

DEVELOPMENT PERMIT / DEVELOPMENT VARIANCE PERMIT



APPROVED ISSUANCE OF DEVELOPMENT PERMIT / DEVELOPMENT VARIANCE PERMIT NO. DP16-0029/DVP16-0030

Issued To: Legault Enterprises Ltd
Site Address: 477 Christleton Avenue
Legal Description: Lot 1, District Lot 14, ODYD, Plan 8009
Zoning Classification: RU6 - Two Dwelling Housing
Development Permit Area: Intensive Residential - Two Dwelling Housing

SCOPE OF APPROVAL

This Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.

This Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this Permit, noted in the Terms and Conditions below.

The issuance of a Permit limits the Permit Holder to be in strict compliance with regulations of the Zoning Bylaw and all other Bylaws unless specific Variances have been authorized by the Permit. No implied Variances from bylaw provisions shall be granted by virtue of drawing notations that are inconsistent with bylaw provisions and that may not have been identified as required Variances by the applicant or Municipal staff.

1. TERMS AND CONDITIONS

THAT Development Permit No. DP16-0029 for Lot 1, District Lot 14, ODYD, Plan 8009 located at 477 Christleton Avenue, Kelowna, BC to allow the construction of two single family dwellings be approved subject to the following:

- a) The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A";
- b) The exterior design and finish of the building to be constructed on the land be in accordance with Schedule "B";

AND THAT variances to the following sections of Zoning Bylaw No. 8000 be granted, as shown on Schedule "B":

Section [13.6.6(G)]: [RU6 - Two Dwelling Housing]

To vary the required minimum side yards from 2.3m required to 2.0m proposed for the second storey portion of the buildings.

AND FURTHER THAT this Development Permit and Development Variance Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

2. PERFORMANCE SECURITY

None required.

3. DEVELOPMENT

The land described herein shall be developed strictly in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit that shall form a part hereof.

If the Permit Holder does not commence the development permitted by this Permit within two years of the date of this Permit, this Permit shall lapse.

This Permit IS NOT a Building Permit.

4. APPLICANT'S AGREEMENT

I hereby declare that all of the above statements and the information contained in the material submitted in support of this Permit are to the best of my belief, true and correct in all respects. Upon issuance of the Permit for me by the Municipality, then in such case, I covenant and agree to save harmless and effectually indemnify the Municipality against:

- a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality granting to me the said Permit.
- b) All costs, expenses, claims that may be incurred by the Municipality if the construction by me of engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

I further covenant and agree that should I be granted a Development Permit and/or Development Variance Permit, the Municipality may withhold the granting of any Occupancy Permit for the occupancy and / or use of any building or part thereof constructed upon the hereinbefore referred to land until all of the engineering works or other works called for by the Permit have been completed to the satisfaction of the Municipal Engineer and Divisional Director of Community Planning & Real Estate.

Should there be any change in ownership or legal description of the property, I undertake to notify the Community Planning Department immediately to avoid any unnecessary delay in processing the application.

I HEREBY UNDERSTAND AND AGREE TO ALL THE TERMS AND CONDITIONS SPECIFIED IN THIS PERMIT.

Signature of Owner / Authorized Agent

Date

Print Name in Bold Letters

Telephone No.

5. APPROVALS

Issued and approved by Council on the _____ day of _____, 2016.

Ryan Smith, Community Planning Department Manager
Community Planning & Real Estate

Date

**The PERMIT HOLDER is the CURRENT LAND OWNER.
Security shall be returned to the PERMIT HOLDER.**

Attachment "A": DEVELOPMENT PERMIT GUIDELINES

Intensive Residential - Carriage House / Two Dwelling Housing

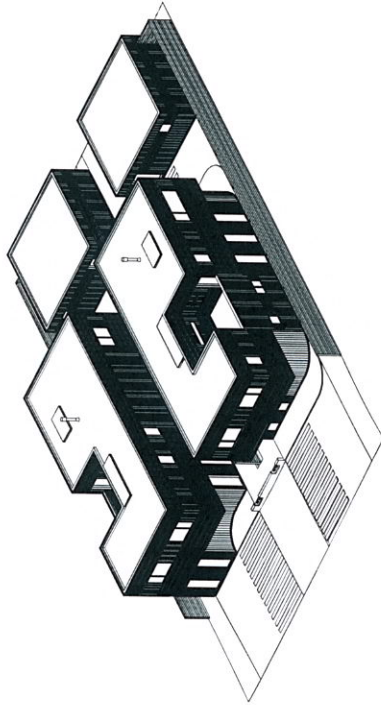
Consideration has been given to the following guidelines as identified in Section 14.C. of the City of Kelowna Official Community Plan relating to Intensive Residential - Carriage House / Two Dwelling Housing Development Permit Areas:

INTENSIVE RESIDENTIAL - CARRIAGE HOUSE / TWO DWELLING HOUSING	YES	NO	N/A
General Considerations			
Does the dwelling complement the character of the neighbourhood and the principal dwelling?	✓		
Is private outdoor space maximized for each dwelling unit?	✓		
Does lighting placement ensure safety and reduce light pollution?	✓		
Are parking spaces and garages located in the rear yard?	✓		
Are impermeable surfaces minimized?	✓		
Do all street facing elevations have a high quality of design?	✓		
Are entrances a dominant feature visible from the street or lane?		✓	
Does the design consider the scale and placement of windows on building faces, projections and dormers?	✓		
Is utility and mechanical equipment screened from view?			✓
Do windows and outdoor areas respect the privacy of adjacent properties?	✓		
Does the building location minimize shadowing on the private open space of adjacent properties?	✓		
Does fencing or landscaping screen views of private open space on adjacent properties?	✓		
Is fencing material in keeping with that of abutting properties?	✓		
Are existing healthy mature trees and vegetation being retained?		✓	
Does the front yard landscaping use drought tolerant native plants?	✓		
Two Dwelling Housing and Carriage Houses			
Does the design create a "lanescape" with a main entrance, massing towards the lane and landscaping?			✓
Do all street facing elevations have an equal level and quality of design?	✓		
Does the exterior design and finish complement the principal dwelling?	✓		
Do the roofline, windows and façades incorporate variation to establish individual character?	✓		
Does the massing next to private open space of adjacent properties reduce the sense of scale?	✓		

477 CHRISTLETON AVENUE
(ISSUED FOR DEVELOPMENT PROPOSAL APPLICATION)

JANUARY 22, 2016

PID 009-879-471
KID 196606
LOT 1 DISTRICT LOT 14
OSOYOOS DIVISION YALE DISTRICT
PLAN 8006



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PROJECT INFORMATION

HOUSE A	
GFA DETACHED GARAGE	53.42 m ² (575 sq ft)
GROUND LEVEL	121.33 m ² (1305 sq ft)
2ND LEVEL	118.54 m ² (1276 sq ft)
TOTAL	239.87 m ² (2582 sq ft)
HOUSE B	
GFA DETACHED GARAGE	53.42 m ² (575 sq ft)
GROUND LEVEL	119.84 m ² (1290 sq ft)
2ND LEVEL	118.54 m ² (1276 sq ft)
TOTAL	238.38 m ² (2569 sq ft)
LOT AREA	957.5 m ² (10,306 sq ft)
NOTES	
41	DOUBLE PANE INSULATED ROOFTOP SKYLIGHT
42	ROUND TOP CHIMNEY
43	WOOD DECKING - PRIVATE OPEN SPACE
44	BLACK MATTE - 150mm INDUSTRIAL CAGED NAUTICAL LIGHT
45	BLACK MATTE - RECESSED SOFFIT POT LIGHT

SCHEDULE A
This forms part of development
Permit # DP16-0029 DP16-0030

DRAWING LIST

A0.00 TITLE PAGE
A1.01 SITE PLAN
A1.02 LANDSCAPE/ROOF PLAN
A2.01 GROUND LEVEL - FLOOR PLAN
A2.02 2ND LEVEL - FLOOR PLAN
A3.01 HOUSE ELEVATIONS
A3.02 DETACHED GARAGE ELEVATIONS
A3.03 HOUSE A - ELEVATIONS
A3.04 HOUSE B - ELEVATIONS
A4.01 PERSPECTIVE VIEW 1
A4.02 PERSPECTIVE VIEW 2
A4.03 PERSPECTIVE VIEW 3
A4.04 PERSPECTIVE VIEW 4
A4.05 PERSPECTIVE VIEW 5
A4.06 PERSPECTIVE VIEW 6
A4.07 PERSPECTIVE VIEW 7

MATERIALS

M1	ARCHITECTURAL CONCRETE
M2	BLACK CEDAR CLADDING
M3	WESTERN RED CEDAR VERTICAL SLAT CLADDING
M4	WESTERN RED CEDAR WINDOW FRAME WITH DOUBLE PANE INSULATED GLAZING
M5	CORTEN STEEL
M6	TEMPERED TRANSLUCENT CHANNEL GLASS
M7	BLACK CEDAR WOOD SLAT FENCE
M8	BLACK MATTE PAINTED ALUMINUM FLASHING
M9	"SEQUIA RED" STAINED SOLID CORE WOOD DOOR
M10	WESTERN RED CEDAR WOOD DECKING
M11	EPDM RUBBER MEMBRANE
M12	WESTERN RED CEDAR PATIO DOOR FRAME WITH DOUBLE PANE INSULATED GLAZING
M13	WESTERN RED CEDAR PANEL GARAGE DOOR
M14	WESTERN RED CEDAR DOOR FRAME WITH INSERTED DOUBLE PANE INSULATED GLAZING

Contractor must check and verify all dimensions and quantities before proceeding with the work.

DO NOT SCALE DRAWINGS

No.	ISSUES	DATE
1.	Development Proposal Application	January 22, 2016
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477 Christleton Avenue
Kelowna, British Columbia
V1Y 3H9
PID 009-879-471
LOT 1 DISTRICT LOT 14
OSOYOOS DIVISION YALE DISTRICT
PLAN 8006

Sheet Title

Title Page

Drawn: Author
Job No.: 002
Checked: Checker
Scale: As Shown
Scale: Not Applicable

A0.00

CHRISTLETON AVENUE

EDGE SIDEWALK



JOËL LEGAULT
PROJECTS
Unit 205 - 2777 Oak Lane Road
West Kelowna, British Columbia
V2Z 1T6 Canada
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E: jlegault@shaw.ca

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No. ISSUES
1. Development Proposal Application
2. Review
3. Review
4. Review
5. Review
6. Review
7. Review
8. Review
9. Review
10. Review

DATE
January 22, 2016

477 Christleton Avenue
Kelowna, British Columbia
V1Y 5H9
KID 199656 / PID 004879-471
LOT 1 DISTRICT LOT 14
DISTRICT 14
PLAN 0009

Sheet Title
Site Plan

Drawn
Job No.
Author
Scale
1:200

A1.01

2384

473

477 CHRISTLETON AVENUE

BUILDING INFORMATION

HOUSE A
GFA: DETACHED GARAGE 53.42 m² (575 sq ft)
GROUND LEVEL 121.33 m² (1306 sq ft)
2ND LEVEL 118.54 m² (1278 sq ft)
TOTAL 239.87 m² (2584 sq ft)

HOUSE B
GFA: DETACHED GARAGE 53.42 m² (575 sq ft)
GROUND LEVEL 118.54 m² (1278 sq ft)
2ND LEVEL 118.54 m² (1278 sq ft)
TOTAL 239.87 m² (2584 sq ft)

SITE INFORMATION

LOT AREA 957.5 m² (10,306 sq ft)
SITE COVERAGE 36% - 348.02 m² (3746 sq ft)
SITE COVERAGE (BUILDINGS, DRIVEWAYS, AND PARKING) 42% - 401.34 m² (4320 sq ft)
GARAGE COVERAGE 53.42 m² (575 sq ft) per side (11.2% - Total Site Coverage)
DRIVEWAYS AND SIDE PARKING 23.87 m² (257 sq ft) Per Side

SCHEDULE A

This forms part of development

Permit # PP1600029 DVP16-0030

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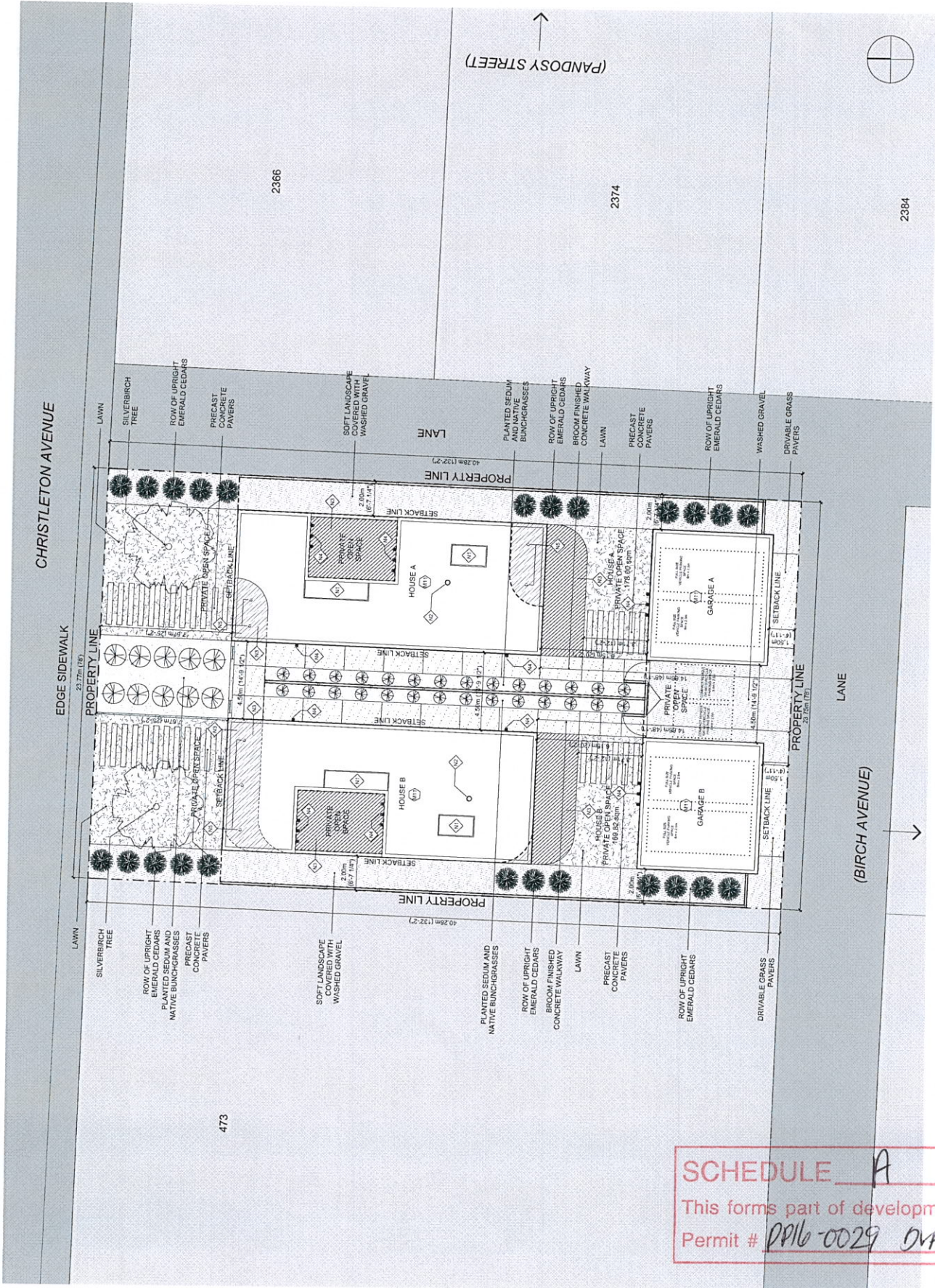
No. ISSUES DATE
1. Issued for Permit Application January 22, 2016

477 Christleton Avenue
Vancouver, British Columbia
V1V 5P9
MO 10000000 000-000-000
LOT 1 DISTRICT LOT 14
V1V 5P9
PLAN 00000000000000000000

Sheet Title
Landscape/Roof Plan

Drawn: Author
Job No.: 002
Client: [Redacted]
Issue Date: 01-22-16
Scale: 1:200

A1.01



SCHEDULE A
This forms part of development
Permit # **DP16-0029 DP16-0030**

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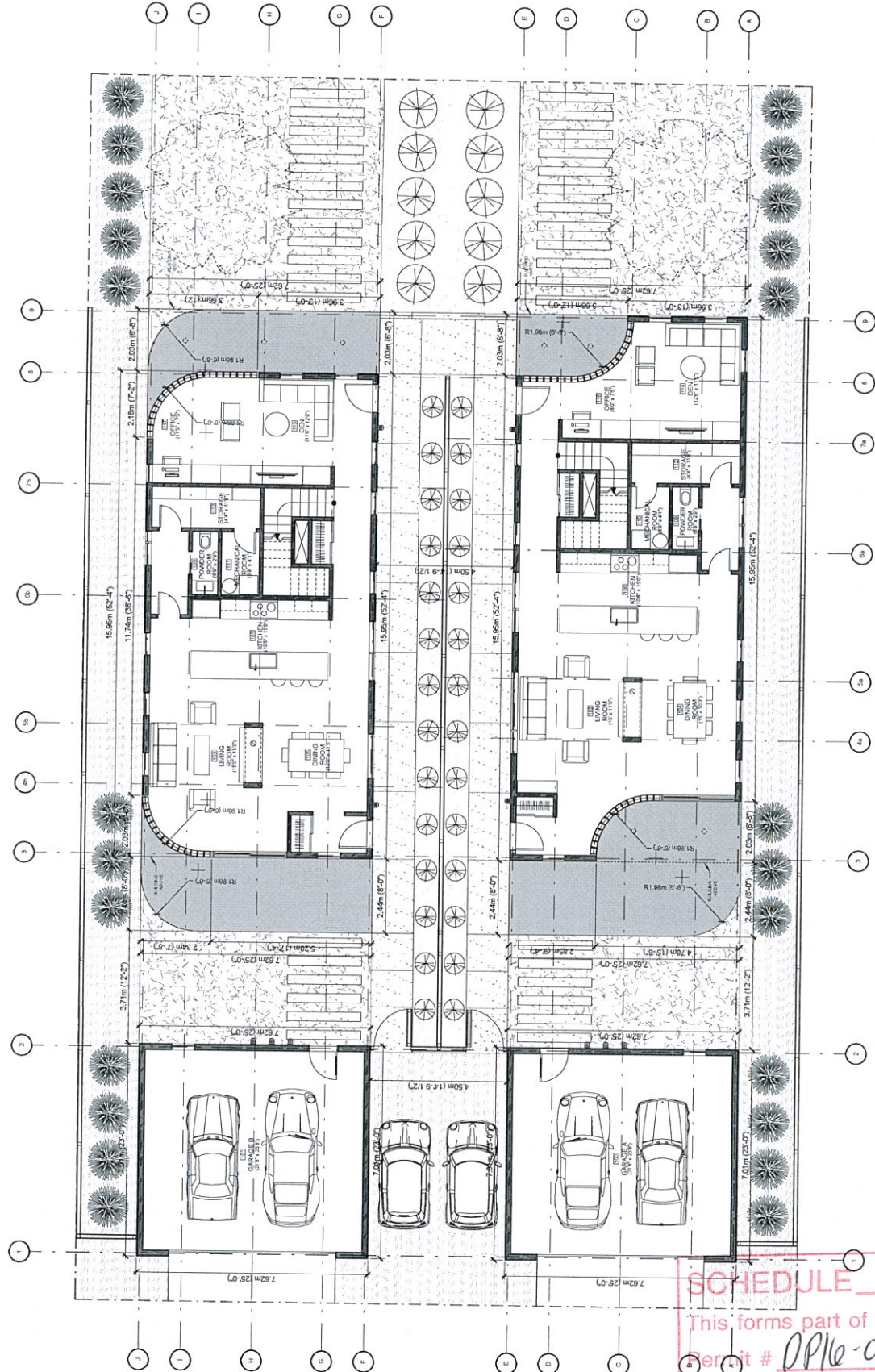
No. 05053 DATE
1. Issued for Permit Application January 22, 2016

477 Christleton Avenue
Vancouver, British Columbia
V7Y 5H9
MID 190626 MID 000479-471
LOT 1 DISTRICT LOT 14
MISSION VALLEY DISTRICT
PLAN 8003

Sheet Title
Ground Level - Floor Plan

Drawn: JLG
Job No.: 05053
Project Name: 477 Christleton Avenue
Issue Date: 01-22-16
Scale: As Indicated

A2.01



SCHEDULE
This forms part of development
Permit # *DP16-029 DP16-030*

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Contractor must check and verify all dimensions and room areas and at all times retain the exclusive property of the drawings and design for the entire project.

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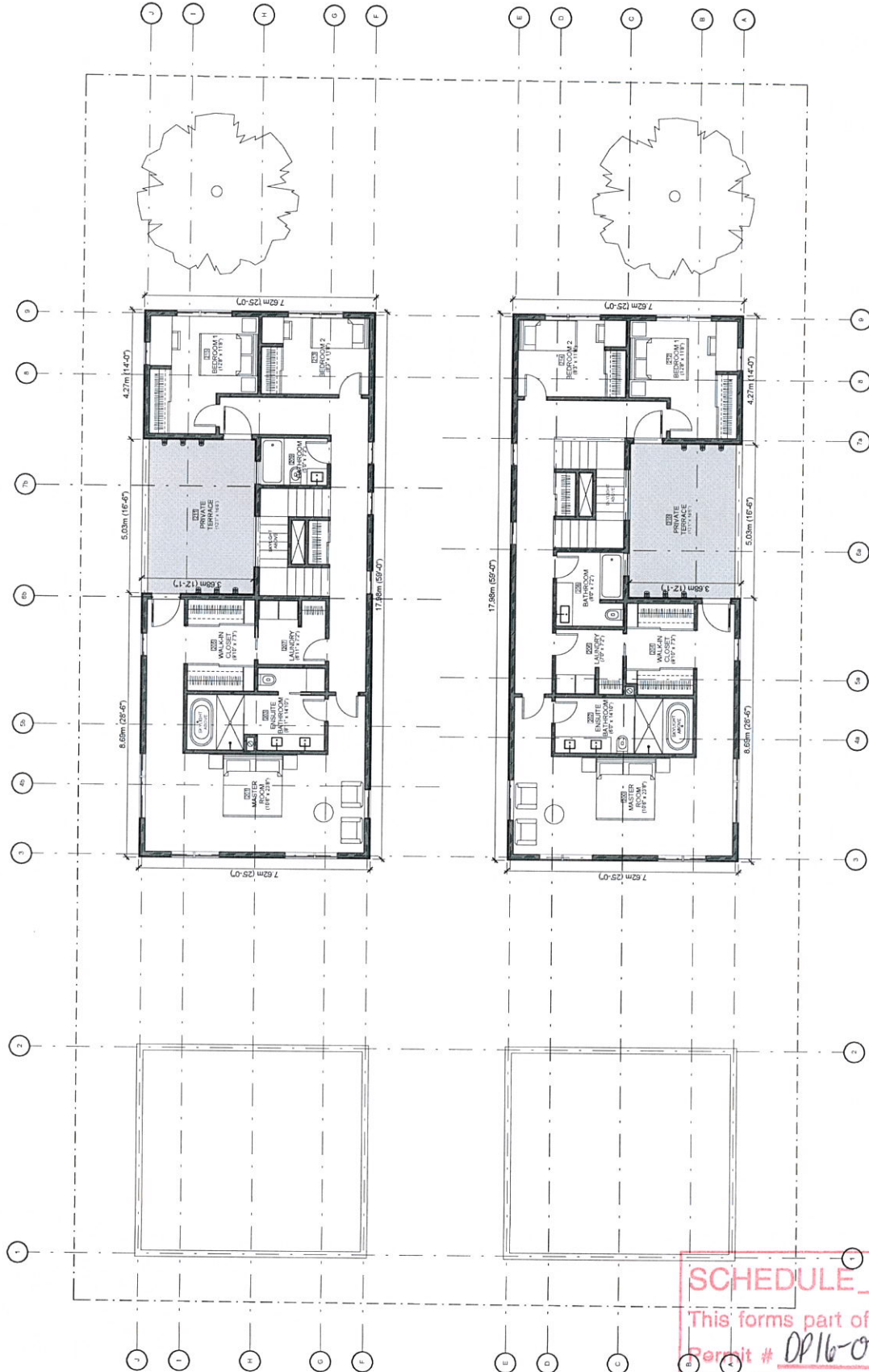
NO. ISSUES DATE
1. Issued for Review January 22, 2016
2. Issued for Approval January 22, 2016

477 Christleton Avenue
Vancouver, British Columbia
V7Y 1S9
LOT 1 DISTRICT LOT 14
CHILTON DISTRICT
PLAN 000

Sheet Title
2nd Level - Floor Plan

Drawn: JLG
Job No: 002
Project: 477 Christleton Avenue
Issue Date: 01-22-16
Scale: As Indicated

A2.02



SCHEDULE
This forms part of development
Permit # DP16-0029 DP16-0030

SCALE 1:125
0m 1m 2m 4m

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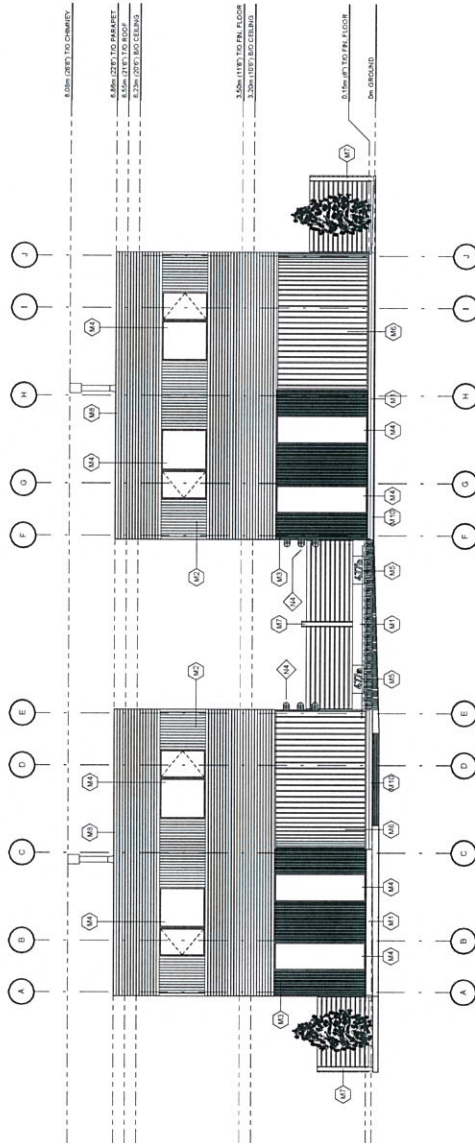
No. ISSUES DATE
1. Development Prepared Application January 22, 2016
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477 Christison Avenue
British Columbia
V1V 5H9
KRD 19606 / RPD 004-074-471
LOT 1 DISTRICT LOT 14
SUNSHINE DISTRICT
PLAN 800

Sheet Title
House Elevations

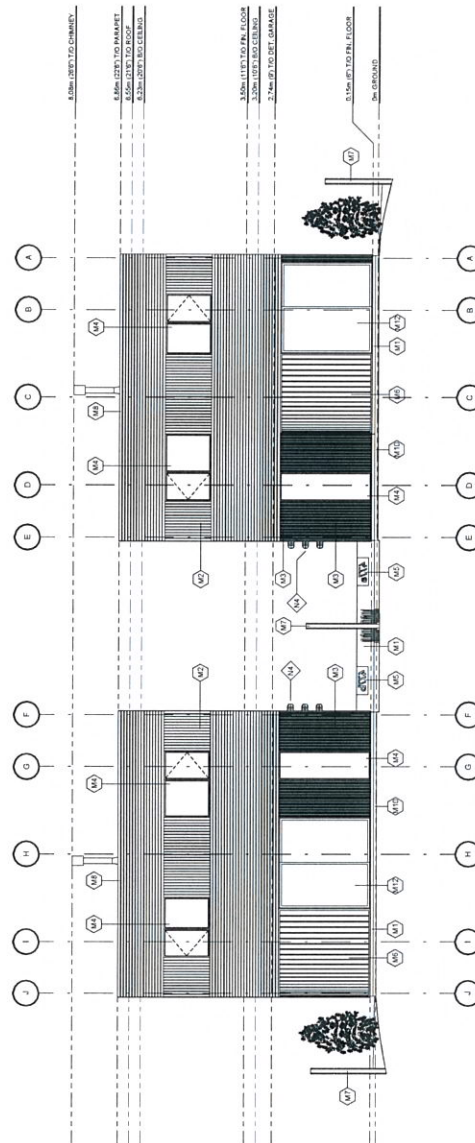
Drawn: Author
Job No.: 002
Client: [Redacted]
Issue Date: 01-22-16
Scale: As Indicated

A3.01



1 NORTH ELEVATION - HOUSES
A3.01 1:125

SCALE 1:125
0m 1m 2m 4m



2 SOUTH ELEVATION - HOUSES
A3.01 1:125

SCALE 1:125
0m 1m 2m 4m

SCHEDULE
This forms part of development
Permit # PP16-0029 DVP16-0030

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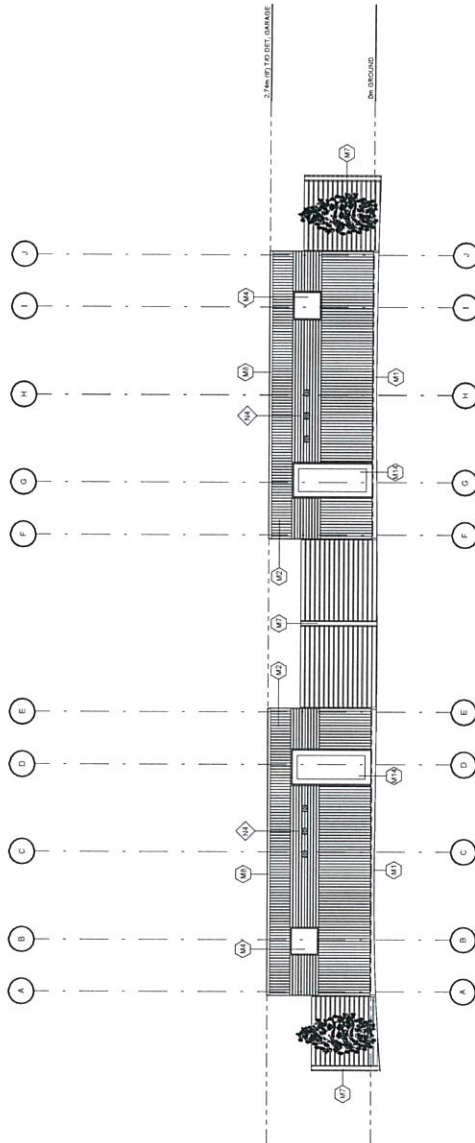
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477 Christleton Avenue
British Columbia
V1V 5H9
KRD 146058 / PND 000-034-471
LOT 1, DISTRICT LOT 14
KRD 146058 / PND 000-034-471
PLAN 800

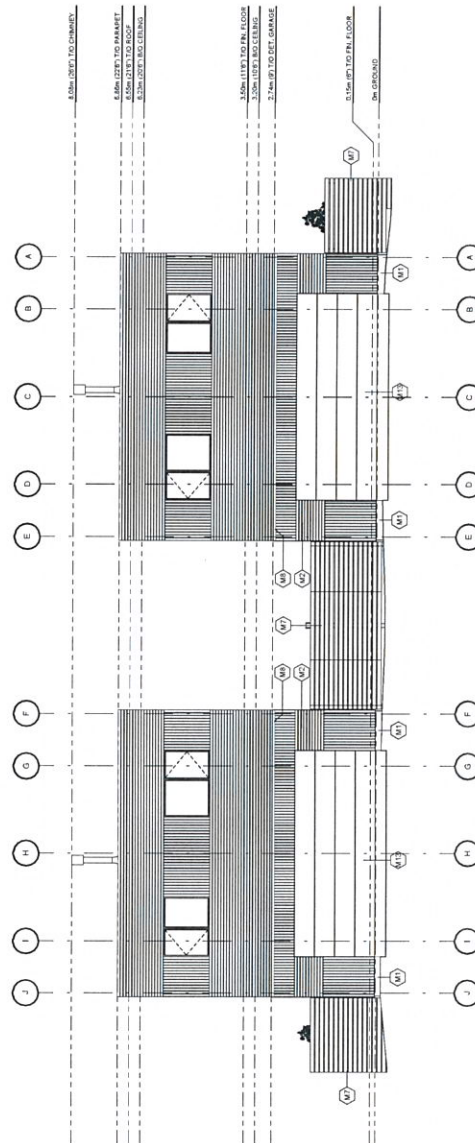
Sheet Title
Detached Garage Elevations

Drawn: Author
Job No.: 000-034-471
Client: KRD 146058
Issue Date: 01-23-16
Scale: As Indicated

A3.02



1 NORTH ELEVATION - GARAGES
A3.02 1:125



2 SOUTH ELEVATION - GARAGES
A3.02 1:125

SCHEDULE

This forms part of development

Permit # DP16-0029 BVP16-0030

JOËL LEGAULT PROJECTS

Unit 205 - 2777 Cassin Road
West Vancouver, BC
V1V 1T6 Canada
Tel: 416 807 3241
E: joel@jlegault.com

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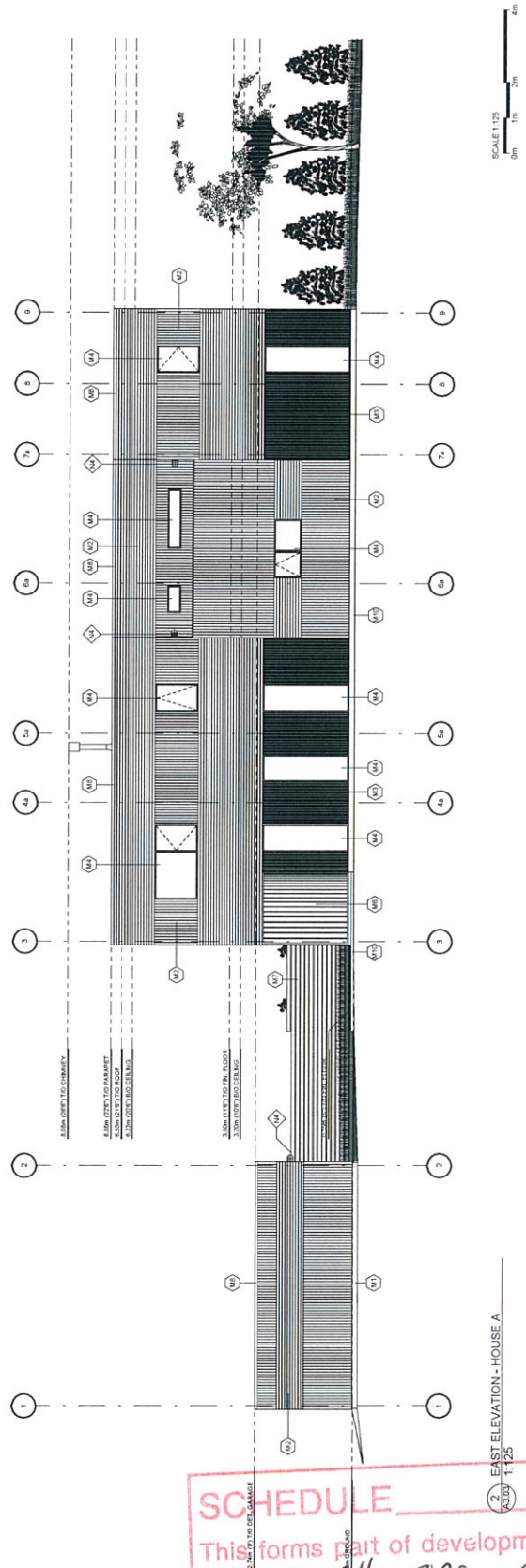
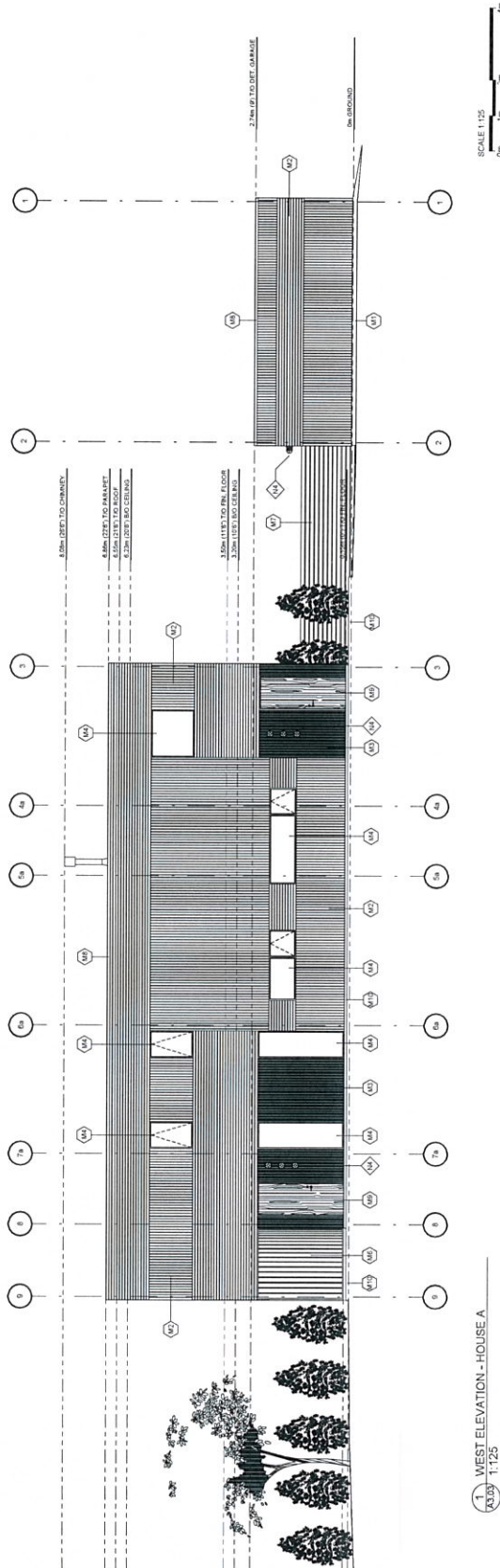
No. ISSUES DATE
1. Development Proposed Application January 22, 2016

477 Christleton Avenue
British Columbia
V1V 5H9
MID 1960/61 PRO 004-074-471
LOT 1 DISTRICT LOT 14
KINDEN DISTRICT
PLAN 8003

Sheet Title
House A - Elevations

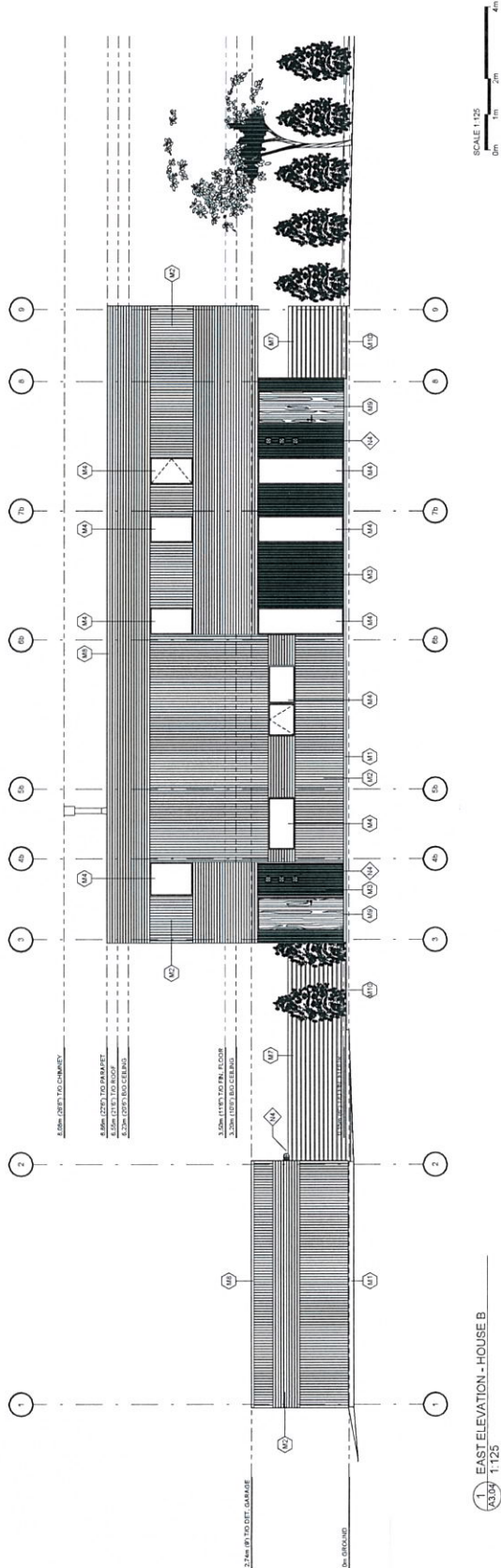
Drawn: Author
Job No.: 002
Client: J. Legault
Issue Date: 01.22.16
Scale: As Indicated

A3.03



SCHEDULE
This forms part of development
Permit # DP16-0029 DVP16-0030

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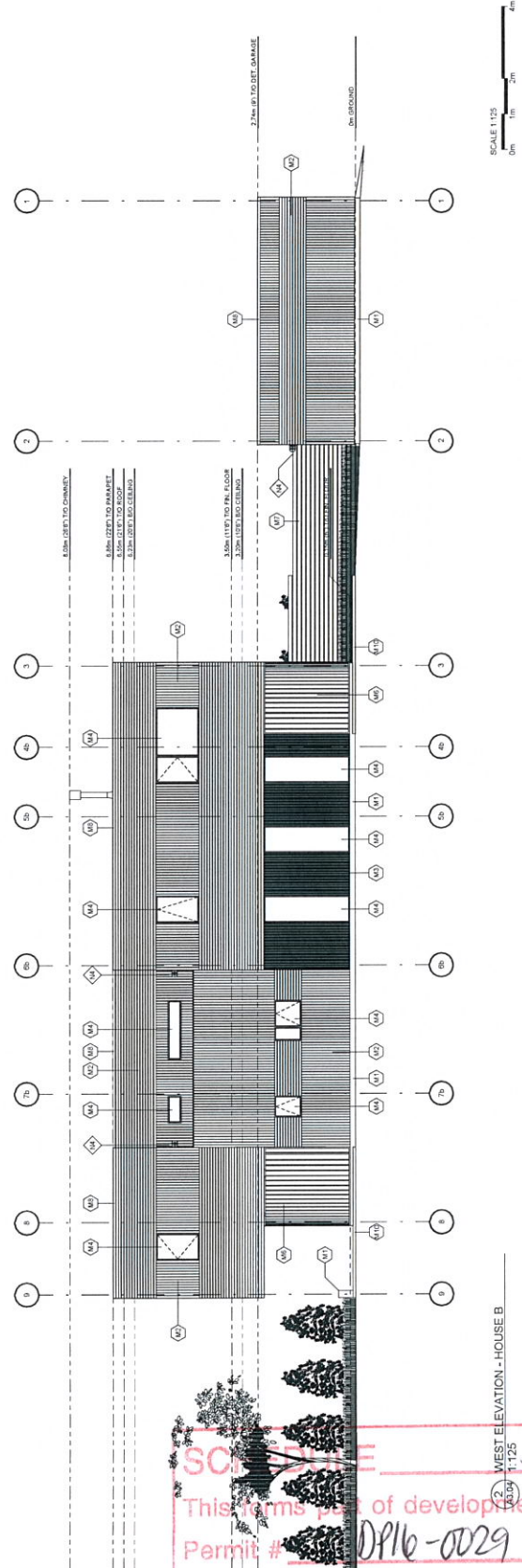
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477 Christison Avenue
Kilowat
British Columbia
V1V 5H9
KID 199026 / PID 004579-471
LOT 1 DISTRICT LOT 14
DISTRICT 14
DIVISION HALL DISTRICT
PLAN 8009

Sheet Title
House B - Elevations

Drawn: J. Legault
Author: J. Legault
Issue Date: 01.22.16
Scale: As Indicated

A3.04



SC 111111
This forms part of development
Permit # DP16-0029 DP16-0030

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Owner must consult with all relevant authorities and report any changes to the relevant authority prior to proceeding with the work.

DO NOT SCALE DRAWINGS

No.	ISSUES	DATE
1.	Completed Proposed Application	January 22, 2016
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477 Christleton Avenue
West Vancouver, British Columbia
V1V 3S9
MO 160656 BCD 008-879-471
LOT 1 DISTRICT LOT 14
OF 14 LOTS IN DIVISION VALE DISTRICT
PLAN 0029

Sheet Title

Perspective View 1

Drawn: Author
Job No.: 002
Client: JOËL LEGAULT
Issue Date: 01.22.16
Scale: Not Applicable

A4.01



SCHEDULE B
This forms part of development
Permit # DP16-0029 DP16-0030



SCHEDULE B
This forms part of development
Permit # DP16-00291 DVP16-0020



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DO NOT SCALE DRAWINGS

No.	ISSUES	DATE
1.	Client/Owner Proposed Addition	January 22, 2016
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477 Christison Avenue
Kelowna, British Columbia
V1Y 5H9
KRD 186006 / PRD 004879-471
LOT 11, DISTRICT LOT 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100
PLAN 8009

Sheet Title
Perspective View 3

Drawn: [Name]
Author: [Name]
Checked: [Name]
Issue Date: 01.22.16
Scale: Not Applicable

A4.03

SCHEDULE B
This forms part of development
PP16-0029
PP16-0030

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DO NOT SCALE DRAWINGS

NO.	ISSUES	DATE
1.	Development Proposed Application	January 22, 2016
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477 Christleton Avenue
Kelowna, British Columbia
V1Y 5H9
KID 186006 / PID 004-879-471
CITY OF KELLOWNA
CITY OF KELLOWNA DISTRICT
PLAN 8009

Sheet Title
Perspective View 4

Drawn	Author
Checked	Checked
Issue Date	Issue Date
Scale	Scale

A4.04



SCHEDULE B
This forms part of development
Permit # 0P16-0029 0VP16-0030

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NO. ISSUES DATE
1. Issued for Permit Application January 22, 2016

477 Christleton Avenue
Vancouver, British Columbia
V1V 5H9
MO 198256 / PID 004-879-471
LOT 1 DISTRICT LOT 14
FRASER VALLEY DIVISION VALE DISTRICT
PLAN 8209

Sheet Title
Perspective View 5

Drawn: Author
Job No.: 002
Client: Fraser Valley
Issue Date: 01-22-16
Scale: Not Applicable

A4.05



SCHEDULE B
This forms part of development
Permit # DP16-0029 DP16-0030

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DO NOT SCALE DRAWINGS

No.	REVISIONS	DATE
1.	Completed Proposed Application	January 22, 2016

477 Christleton Avenue
West Vancouver
V1V 5H9
MCD 1660261 (PID 004-979-471)
LOT 1 DISTRICT LOT 14
SOUTH COAST DIVISION VALE DISTRICT
PLAN 8009

Sheet Title
Perspective View 6

Drawn	Author
Job No.	002
Revision	01
Issue Date	01-21-16
Scale	Not Applicable

A4.06



SOFT COPY
The completion of development
Name: **B**
DP16-0029 DP16-0030

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Consultants are to check with the client, all drawings and report any discrepancies to the consultant before proceeding with the work.

DO NOT SCALE DRAWINGS

No.	ISSUES	DATE
1.	Development Permit Application	January 22, 2016
2.		
3.		
4.		
5.		
6.		
7.		
8.		
9.		
10.		

477 Christleton Avenue
Kamloops, British Columbia
V1V 5H9
KID 186626 / PPD 005-879-471
LOT 1 DISTRICT LOT 14
KID 186626 / PPD 005-879-471
PLAN 8009

Sheet Title
Perspective View 7

Drawn: Author
Job No.: 000
Client: KID
Issue Date: 01-22-16
Scale: Not Applicable

A4.07



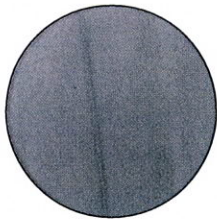
SCHEDULE B
This forms part of development
Permit # 0016-0029 0016-0030

COLOR AND MATERIAL BOARD

4711 CL RISE HIGH AVENUE

(PLEASE REFER TO TITLE PAGE LEGEND AND ELEVATIONS FOR EXACT LOCATIONS)

JOËL LEGAULT
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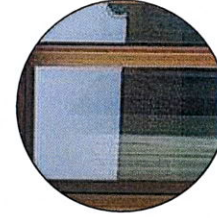
M1 - Architectural Concrete



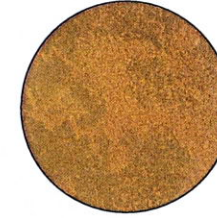
M2 - Black Cedar Cladding



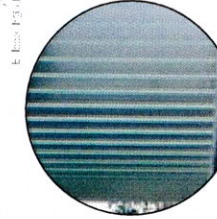
M3 - Western Red Cedar Vertical Slat Cladding



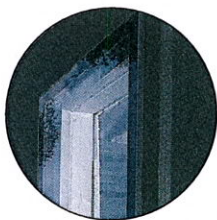
M4 - Western Red Cedar Window Frame With Double Pane Insulated Glazing



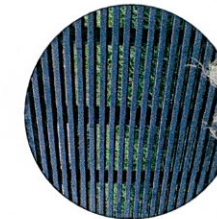
M5 - Corten Steel



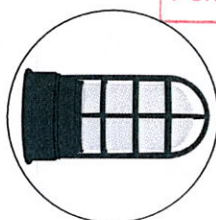
M6 - Tempered Translucent Channel Glass



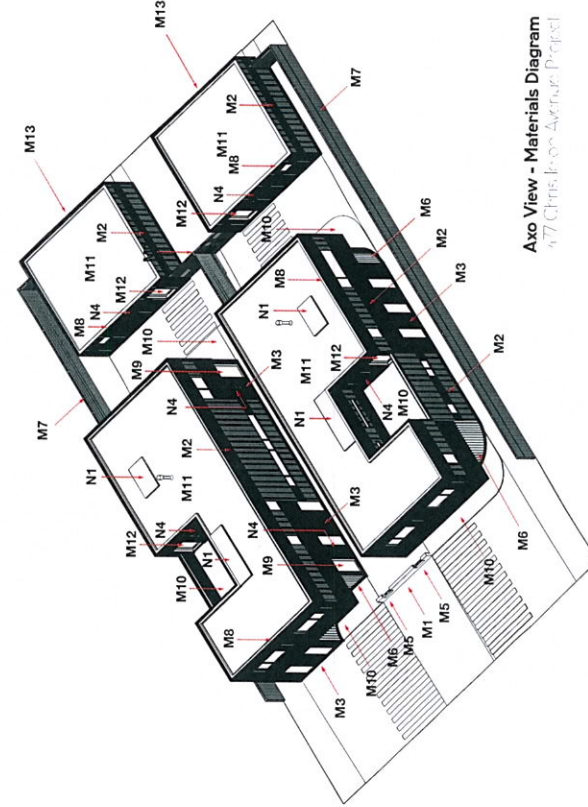
N1 - Double Pane Insulated Rooftop Skylight



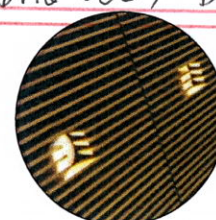
M7 - Black Cedar Wood Slat Fence



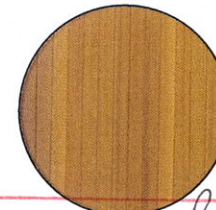
N4 - Black Matte 150mm Industrial Caged Nautical Light



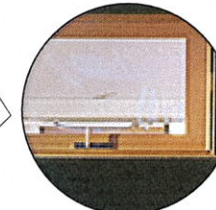
Axo View - Materials Diagram
4711 CL RISE HIGH AVENUE PROJECT



N5 - Black Matte Recessed Soffit Pot Light



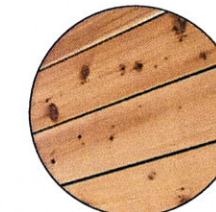
M13 - Western Red Cedar Panel Garage Door



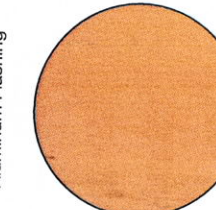
M12 + M14 - Western Red Cedar Door Frame with Inserted Double Pane Insulated Glazing



M11 - EPDM Rubber Membrane



M10 - Western Red Cedar Wood Decking



M9 - "Sequoia Red" Stained Solid Core Wood Door

SCHEDULE B

This forms part of development

Permit #

DPL/16-0029 DPL/16-0030