# DEVELOPMENT PERMIT & DEVELOPMENT VARIANCE PERMIT



# APPROVED ISSUANCE OF DEVELOPMENT PERMIT & DEVELOPMENT VARIANCE PERMIT

File Number

DP16-0074 & DVP16-0075

Issued To:

Boardwalk Housing Corp., Inc. No. BC1030251

Site Address:

925 Leon Ave

Legal Description:

Lot A, District Lot 138, ODYD, Plan EPP54864

Zoning Classification:

RM6 - High Rise Apartment Housing

Developent Permit Area:

Comprehensive Development Permit Area

#### SCOPE OF APPROVAL

This Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.

This Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this Permit, noted in the Terms and Conditions below.

The issuance of a Permit limits the Permit Holder to be in strict compliance with regulations of the Zoning Bylaw and all other Bylaws unless specific Variances have been authorized by the Permit. No implied Variances from bylaw provisions shall be granted by virtue of drawing notations that are inconsistent with bylaw provisions and that may not have been identified as required Variances by the applicant or Municipal staff

# 1. TERMS AND CONDITIONS

THAT Development Permit and Development Variance Permit No. DP16-0074 & DVP16-0075 for Lot A, District Lot 138, ODYD, Plan EPP54864, located at 925 Leon Ave, Kelowna, BC be approved subject to the following:

- a) The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A";
- b) The exterior design and finish of the building to be constructed on the land be in accordance with Schedule "B";
- c) Landscaping to be provided on the land be in accordance with Schedule "C";
- d) The applicant be required to post with the City a Landscape Performance Security deposit in the form of a "Letter of Credit" in the amount of 125% of the estimated value of the landscaping, as determined by a Registered Landscape Architect;

AND THAT the variance to the following section Zoning Bylaw No. 8000 be granted subject to general conformance with the drawings (Schedule "A", "B", & "C") attached to DP16-0074 & DVP16-0075:

# Section 13.12.6 (b) Development Regulations

To vary the maximum site coverage of buildings, driveways, and parking areas from 50% to 83.4%.

# Section 13.12.6 (d) Development Regulations

To vary the minimum front yard (west) setback from 6.0m to 2.9m.

# Section 13.12.6 (e) Development Regulations

To vary the minimum flanking yard (south) setback from 6.0m to 3.3m.

# Section 6.10 Setback from Provincial Highways

To vary the minimum setback from 4.5m to a Provincial Highway to 3.3m to a Provincial Highway.

# Section 13.12.6 (f) Development Regulations

To vary the minimum rear yard (east) setback from 9.0m to 2.2m.

# Section 8.1.14 Tandem Parking

To vary the number of parking spaces that may be configured in tandem from 0 to 8 parking stalls.

# Section 8.1.11 (b) Size and Ratio Parking

To vary the minimum portion of full sized parking spaces from 50% to 45% and to vary the maximum portion of medium sized parking spaces from 40% to 46.5%.

#### 2. PERFORMANCE SECURITY

As a condition of the issuance of this Permit, Council is holding the security set out below to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Permit Holder and be paid to the Permit Holder if the security is returned. The condition of the posting of the security is that should the Permit Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the Municipality may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Permit Holder, or should the Permit Holder carry out the development permitted by this Permit within the time set out above, the security shall be returned to the Permit Holder. There is filed accordingly:

a)	Cash in the amount of \$	OR		
b)	A Certified Cheque in the amount of \$_	105,366.88	OR	
	An Irrevocable Letter of Credit in the a			

Before any bond or security required under this Permit is reduced or released, the Developer will provide the City with a statutory declaration certifying that all labour, material, workers' compensation and other taxes and costs have been paid.

#### 3. DEVELOPMENT

The land described herein shall be developed strictly in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit that shall form a part hereof.

If the Permit Holder does not commence the development permitted by this Permit within two years of the date of this Permit, this Permit shall lapse.

This Permit IS NOT a Building Permit.

## 4. APPLICANT'S AGREEMENT

I hereby declare that all of the above statements and the information contained in the material submitted in support of this Permit are to the best of my belief, true and correct in all respects. Upon issuance of the Permit for me by the Municipality, then in such case, I covenant and agree to save harmless and effectually indemnify the Municipality against:

- a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality granting to me the said Permit.
- b) All costs, expenses, claims that may be incurred by the Municipality if the construction by me of engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

I further covenant and agree that should I be granted a Development Permit and/or Development Variance Permit, the Municipality may withhold the granting of any Occupancy Permit for the occupancy and / or use of any building or part thereof constructed upon the hereinbefore referred to land until all of the engineering works or other works called for by the Permit have been completed to the satisfaction of the Municipal Engineer and Divisional Director of Community Planning & Real Estate.

Should there be any change in ownership or legal description of the property, I undertake to notify the Community Planning Department immediately to avoid any unnecessary delay in processing the application.

I HEREBY UNDERSTAND AND AGREE TO ALL THE TERMS AND CONDITIONS SPECIFIED IN THIS PERMIT.

Signature of Owner / Authorized Agent	Date
Print Name in Bold Letters	Telephone No.
5. APPROVALS  Issued and approved by Council on the day of	, 2016.
Ryan Smith, Community Planning Department Manager Community Planning & Real Estate	 Date

The PERMIT HOLDER is the <u>CURRENT LAND OWNER</u>. Security shall be returned to the PERMIT HOLDER.

## CITY OF KELOWNA

# **MEMORANDUM**

Date:

May 5,2016

File No .:

DP16-0074

To:

Community Planning (AC)

From:

Development Engineering Manager(SM)

Subject:

925 Leon Ave

Multi Family Development

Development Engineering has the following comments and requirements associated with these applications. The road and utility upgrading requirements outlined in this report will be a requirement of this development.

# <u>Domestic Water and Fire Protection</u>

- a) The developer's consulting mechanical engineer will determine the domestic and fire protection requirements of this proposed development and establish hydrant requirements and service needs.
- b) The proposed development lots are currently serviced with small diameter services... Only one service will be permitted for this development. The applicant, at his cost, will arrange for the installation of one new water service and the disconnection of the small existing services.

#### Sanitary Sewer

a) Our records indicate the proposed development lots are connected with 100mm diameter sewer services. The developer's consulting mechanical engineer will determine the development requirements of this proposed development and establish the service needs. Only one service will be permitted for this development and must tie into a manhole. The applicant, at his cost, will arrange for the removal and disconnection of the existing services and the installation of one new larger service.

#### 3. Storm Drainage

- a) The developer must engage a consulting civil engineer to provide a storm water management plan for these sites which meets the requirements of the City Subdivision Development and Servicing Bylaw 7900. The storm water management plan must also include provision of lot grading plans, minimum basement elevations (MBE), if applicable, and provision of a storm drainage service and recommendations for onsite drainage containment and disposal systems.
- b) On site storm drainage systems and overflow service(s) for the site will be reviewed and approved by Engineering when a site servicing design is submitted.

#### Road Improvements

- a) Ethel Street fronting this development site has been urbanized as part of the Ethel Street ATC project completed by the City of Kelowna. The boulevard will require street trees complete with irrigation for the site irrigation system.
- b) Leon Avenue fronting this development site must be upgraded to an urban standard along the full frontage of this proposed development, including curb and gutter, separate sidewalk, landscaped boulevard complete with street trees drainage system including catch basins, manholes and pavement removal and replacement, street lighting and re-location or adjustment of utility appurtenances if required to accommodate the upgrading construction.
- c) <u>Harvey Avenue</u> fronting this development\_is urbanized although the existing driveway and curb letdown should be removed and replaced with new barrier curb, sidewalk and boulevard as required.
- d) <u>Walkway</u> on the east side of this development is to be constructed to a 3.5m width based on standard SS-R2.

#### 5. <u>Subdivision Requirements</u>

- a) If any road dedication or closer affects lands encumbered by a Utility right-of-way (such as Gas, etc.) please obtain the approval of the utility prior to application for final subdivision approval. Any works required by the utility as a consequence of the road dedication or closer must be incorporated in the construction drawings submitted to the City's Development Manager.
- b) Provide all necessary Statutory Rights-of-Way for any utility corridors required, including those on proposed or existing City Lands.

# 6. <u>Electric Power and Telecommunication Services</u>

- a) All proposed distribution and service connections are to be installed underground.
- Streetlights must be installed on all roads.
- c) Make servicing applications to the respective Power and Telecommunication utility companies. The utility companies are required to obtain the City's approval before commencing construction.
- d) Re-locate existing utilities, where necessary.

#### 7. <u>Design and Construction</u>

- a) Design, construction supervision and inspection of all off-site civil works and site servicing must be performed by a Consulting Civil Engineer and all such work is subject to the approval of the City Engineer. Drawings must conform to City standards and requirements.
- b) Engineering drawing submissions are to be in accordance with the City's "Engineering Drawing Submission Requirements" Policy. Please note the number of sets and drawings required for submissions.
- c) Quality Control and Assurance Plans must be provided in accordance with the Subdivision, Development & Servicing Bylaw No. 7900 (refer to Part 5 and Schedule 3).
- d) A "Consulting Engineering Confirmation Letter" (City document 'C') must be completed prior to submission of any designs.

e) Before any construction related to the requirements of this subdivision application commences, design drawings prepared by a professional engineer must be submitted to the City's Works & Utilities Department. The design drawings must first be "Issued for Construction" by the City Engineer. On examination of design drawings, it may be determined that rights-of-way are required for current or future needs.

#### Servicing Agreements for Works and Services

- a) A Servicing Agreement is required for all works and services on City lands in accordance with the Subdivision, Development & Servicing Bylaw No. 7900. The applicant's Engineer, prior to preparation of Servicing Agreements, must provide adequate drawings and estimates for the required works. The Servicing Agreement must be in the form as described in Schedule 2 of the bylaw.
- b) Part 3, "Security for Works and Services", of the Bylaw, describes the Bonding and Insurance requirements of the Owner. The liability limit is not to be less than \$5,000,000 and the City is to be named on the insurance policy as an additional insured.

#### Geotechnical Report

As a requirement of this application and building permit approval the applicant must provide a comprehensive geotechnical report prepared by a Professional Engineer qualified in the field of hydro-geotechnical survey to address the following:

- a) Area ground water characteristics, including water sources on the site.
- b) Site suitability for development; i.e. unstable soils, foundation requirements etc.
- Drill and/or excavate test holes on the site and install pisometers if necessary. Log test hole data to identify soil characteristics, identify areas of fill if any. Identify unacceptable fill material, analyse soil sulphate content, identify unsuitable underlying soils such as peat, etc. and make recommendations for remediation if necessary.
- d) List extraordinary requirements that may be required to accommodate construction of roads and underground utilities as well as building foundation designs.
- e) Additional geotechnical survey may be necessary for building foundations, etc.

# Development Permit and Site Related Issues

Access and Manoeuvrability

(i) Driveway access to the site will not be permitted from Harvey Ave or Ethel Street. One access from Leon Ave is permitted.

An MSU standard size vehicle must be able to manoeuvre onto and off the site without requiring a reverse movement onto public roadways. Indicate on the site, the locations of loading bays as well as the garbage

and recycle bins.

Steve Muenz, ₱. Eng.

Development ∉ngineering Manager

SS

# CITY OF KELOWNA

# **MEMORANDUM**

Date:

May 5, 2016

File No.:

DVP16-0075

To:

Community Planning (AC)

From:

Development Engineering Manager (SM)

Subject:

925 Leon Ave

Development Engineering comments and requirements regarding this development variance permit application are as follows:

This development variance permit application to vary;

- 1. Number of parking stalls.
- 2. Site coverage.
- 3. Building setbacks front and rear.

does not compromise any municipal services.

Steve Muenz, P. Eng.

Development Engineering Manager

SS

			PUDIUM HEIGHT (IF PROPOSED)
	65° Incline (see elev.)	65" Inditre (see elev.)	
INTERCONN	±2.2m to Parkade (Variance Requested)		
RDOFS		9.0m min.	Chemilican
WALLS / BE	a2.9m to CRU (Variance Requested)		BA09 CRA
FLOOR	±9,1m to Residential Bldg.	6.0m min,	WEST (FRONT)
ASSEMBLY	#3.3m to Parkaria		
SPRINKLER	att in to Residential library		SOUTH (SIDE - FLANKING ST.)
CONSTRUC	416 fm	6.0m mén,	NORTH (SIDE - FLANKING ST.)
ALF PODICION			BUILDING (S) SETBACKS (m):
1-2 HR RA	1.01	* 1.64 max	To a second
THUS YOUR	a 5819irn (62,631 st)	Ļ	FLOOR AREA RATIO (F.A.R.)
	2		FLOOR AREA NET
NO OF ST	3		EAST (REAR)
NO OF ST	N/A	N/A	WEST (FRONT)
ARTICLE	NA	NA	SOUTH (SIDE)
OCCUPAN	3.0m min.	3.0m min.	NORTH (SIDE)
			DETBACKS TO PARKING (m);
טייר	7.9m	7.0m	CONTRACT WITH (m) (IF PHOPOSED)
0	NA	NA	NOMBER OF LOADING SPACES
	(see site plan)	0.6 per 100 sin GLA x 142 sin Total = 21 bitos min.	
	Class It min. 80 bike racks within perhade plus storage for 18 bikes to be shared with all readents.	Class E 0.5 per develling unit x 192 units 0.2 per 100 am GLA x 142 am Total = 97 blace min.	THE PROPERTY OF ALCO
	PROPOSAL	TOTAL STATE OF THE	NUMBER OF BICYCLE PARKING SPACES
	NT HOUSING	ZONING STANDARD BOODS A	COMMETCIAL INCUSTRIAL AND MILTIPLE UNIT / INTENSIVE RESIDENTIAL APPLICATIONS:
	#4,364 pm #83,4%	50% max.	ACCITIONAL BEOLIBERTATO TO
	NA	NA	STE CONTROL OF BUILDING(S) (%)
	a18.6m / 5 storeys	55m / 16 storeys	SHE COMBAGE OF BUILDING (SIN OF STORYS
	±1,566 km (see building areas calculations)	7 sm / bachelor unit x 178 units 12 sm / 1 bad x <u>6 units</u> 18 sm / more than 1 bad x <u>6 units</u> total = 1,462 sm min.	HEIGHT OF BUSINESS CONTROLS OF STREET
	200 stalls provided (variance requested to allow landers stalls)	COO SERIE FRANCIS	BUDGATE CORE. CO.
	ation	35.00	OFF-STREET PARKING
	162m	30.0m	SITE DEPTH (m)
	#5.255 sm	1,700 sm	SITE WIDTH (m)
	PROPOSAL	ZONING STANDARD	SITE ADEA (see)
	INT HOUSING	RM6 HIGH RISE APARTMENT HOUSING	ALL TYPES OF APPLICATION:
-		ONE	NUMBER OF BUILDINGS
DARWING		LEVEL	GHADES
DBNE A	WT	SINGLE FAMILY RESIDENTIAL / VACANT	EXISTING LEGAL USE
Sherry		RMS	PROPOSED ZONING
DAMANO		RM6	EXISTING ZONING
WEUJUM		CITY CENTRE	DEVELOPMENT PERMIT AREA
FULL SU	AN 6635, D LANE CLOSURE	LOTS 182, PLAN 3133; LOTS 182, PLAN 6036, LOTS 1,2,384, PLAN 3007; PROPOSED LANE CLOSURE	LEGAL DESCRIPTION
		1683 ETHEL ST, KELOWNA B.C.	ADDRESS

207777	A GROUP C GROUP D		BUILDING CODE REVIEW	TOTAL = 47	disabled 0	compact 3	PAROLING medium 3	OUTSIDE full size 41	TOTAL = 49 (plus	disabled 0	compact 11	LEVEL B' medium 20	PARKADE full size 18	TOTAL = 96	disabled 1	compact 3	LEVEL W medium 62	PARKADE full size 30	NOTE: panking provided includes die tundem stats, Varlance requested to allow 8 fandem stats (1 for each 2 bodroom unit)	TOTAL PARKING PROVIDED:	TOTAL PARKING REQUIRED;	2.2 stells 100 sm, G.F.A. (CRU) x 159 sm, CRU	1 stall studio x 184 units	1,5 stable 2 bedroom unit x 8 units	RESIDENTIAL:	DRIVE ASLES (2-way 90° phg) 23°-0° (7,0m)		) 19'-8" (5.0m)	(10% max) 6'-6" (2.0m) 11'-2" (3.4m)	T-6" (2.3m) 15'-9" (4.8m)	8'-3" (2.5m) 19'-8" (8.0m)	STALL SIZE WIDTH LENGTH HEIGHT
3,2,2,78	m	PARKADE:							49 (plus 8 tandem stalls										falls, Variance 2 bedroom unit)	200	200	U 4	154	12	STALLS		+	-	+	+	1	PROVIDED

ZONING SUMMARY

	1				
NCY	GROUP A	GROUP C	GROUP D	a drived	PARKADE:
			0 1000 0	3 400000	CALCODAN
	3.2.2.24	3.2.2.50	3.2.2.56	322.62	32278
TOREYS	5 STOREYS	50			- Contraction
	-	0			
TREETS FACING	ω				
DING AREA					
- VANAGARION	1,440 sm			2	3.2.2.50 (10)
QTED frewall to be provided to securate bidg, into 2 compartments less than 1440 sm to level A to be considered as a separate building in accordance with 0,21,2					
JOTION TYPE	provided to absend as a	veparate bldg, into eparate building in	2 compartments accordance with	3212 1440 s	э .
ERED	combust.	eparate building in	2 comparements accordance with	3.2.1.2	3
Y RATINGS:	COMBUST	eparate bilidg, Into	accordance with	3.2.1.2	э .
	combust	separate bilidg, Into	accordance with	3212	
	continuation of the contin	eparate building in separate b	2 compartments accordance with PARKADES)	3.2.1.2	j j j
EARING STRUCTU	COMBUST YES	Accurate bilighty in accordance in experime by the biling in accordance in the property of the	2 compartments accordance with accordance with PARKADES)	3.2.1.2	3 I
JEARING STRUCTURE	COMBUST YES  JRE 1	to ecoratio Mdg, http://compusession.com/ a requesta cultifyg in according 51, 51, 11RL (21RR ABOVE PARKADES) 11RL (21RR AT PARKADES)	accordance with PARKADES)	3.2.1.2	

0110	1								
BOILDING AND FLOOR AREAS	ט דרט	X AX	AS:					FIRE PROTECTION:	ION: 3.2
RESIDENTIAL UNITS	COUNT	PAD INCO	and the state of t	UNIT NEA	UNITNEA	BALCONY	BALCONY	LOCATION OF HYDRANT TO	
A STUDIO	120	313	29,1	288	26.8			STANDEDEADOR CONTROL	45 m MAX
A1 STUDIO	86	313	29.1	287	26,7	25.34	23-32	SPRINKLERED	YES
		940	87.9	903	83.9	Z	3.2	FIRE ALARM SYSTEM	YES
RESIDENTIAL TOTALS	192 UNITS	453	42,1	422	39.2	n	3.2	EXITUGHTS	YES
CONMERCIAL UNITS	2000	90,000	201.0	206709	5,664	2.028	188.4	ENERGENCY LIGHTING	YES
CRUTOTAL		1716	159	1526	142			OCCUPANT LOAD	6
								LEVEL 'A' PARKADE 40	46sm / PERSON X 2,741sm
									40sm / PERSON X 1.259sm
	200	1000		-	111		25m		3.7sm / PERSON X 155sm
	CON	WORL MON	COMMON / PROVATE OPEN SPACE	ACE					terson/ sleeping room X 46 units
			BALCONIES	NIES	2,028	188.4	4	(studio/ 1 bed units) #1	= 92 persons per floor (x 4 floors)
	-	EVEL B COM	LEVEL B COMMON DECK AREA	REA	7,027	652,8	.8		remon/ sleeping room x 2 units
		EVEL 1 COM	LEVEL 1 COMMON DECK AREA	REA	3,742	301.2	2		= 8 persons per floor (x 4 floors)
		COMMON	COMMON ROOMS/ LOUNCE	NGE	4,559	423.5	5	BUILDING TOTAL	
			10	TOTAL	16,836	1,566	86		
	SITE C	OVERAGE (In	SITE COVERAGE (Incl. bldg & parking):	ung):				EXIT FACILITIES	
	LEVEL A	C BUILDING F	LEVEL 'A' BUILDING FOOTPRINT AREA	REA	32,528	3.	3,022	REQUIRED EXITS	4
		PAVED PA	PAVED PARKING @ GRADE	ADE	14,656	1,362	85		REQUIRED WIDTHS
			10	TOTAL	47,184	4,384	384		mir. 800mm door width
	0	P. P.	CF4	-					as per 3.4.3.2(A)
	ŧ	11.	197	_	H A	. >	NFA		85 per 3,4,3,2,(8)
TEAET, V. bysonde	29,502	902	2.741	+				PARKADE LEVEL A	5 fermi passon V 60
LEVEL '8' PARKADE	13,552	552	1,259	-		1			= 366mm
LEVEL B. CRU	1,852	352	172	+	1,669		155	PARKADE LEVEL 8	A from parton Y 27 course
LEVEL 1	20,495	95	1.904		15,038	1,397	97		* 165mm
LEVEL 2	20,495	95	1.904		15,308	1,422	22	CRU LEVEL B	6.1mm/ person X 39 persons
LEVEL 3	20,495	95	1,904		15,308	1,422	22		= 238mm
LEVEL 4	20.495	95	1.904		15,308	1.422	22	RESIDENTIAL LEVELS:	
TOTALS	126,886	86	11.788		0.00			LEVEL 1 - 4 (doors)	6,1mm/ person X 92 persons max.
		1	000711	-	07,631	5,819	19		min, door width/ floor = 561 mm
SDATIAL SEDA	2							LEVEL 1 - 4 (stairs)	8.0mm/ person X 92 persons max,
OFATIAL SEPARATION:	KALIO					3.2.3.1.D		DESIDENTAL INTE	min, stair widtly floor = 736mm
NO	NORTH, SOUTH, WEST & EAST WALLS	WEST & EAS	TWALLS					EXIT THEOLOGIC CORPS	man, 1 door @ 800mm (each unit)
WALL AREA	WALLS/ DDE	SOV BUNIN	Lincorporation					ENG THEODORY OF	YES
A3	3 BUILDING ELEVATIONS FACE A STREET	ATIONS FAC	JUNESTRICT E A STREET	ED.				PANIC HARDWARE REO'D	yes (at bottom of each state at lobby)
	AND LIMITING DISTANCES EXCEED 9m IN ALL	STANCES EX	CEED 9m IN	Ē			_	EXIT EXPOSURE	gk.
ANCE	ES						_	MAX, TRAVEL DISTANCE	45m
% PERMITTED							_	EXIT RATINGS REQUIRED:	
CONSTRUCTION TYPE							_	STAIR SHAFTS	1 HR (2HR @ PARKADE LEVELS)
							_	CORRIDORS	1 HR

ethel st	
The four factors and the facto	

Permit # DP16 -0074 + DVP16-0075

This forms part of development

SCHEDULE

FLOOR PLATE SIZE (IF REQUIRED)

BUILDING FIRE SAFETY  SOUTH SOUTCHING  IN A  122  TAMES SAFETY  IN A  122  TAMES SAFETY  IN A  122  TAMES SAFETY  IN A  123  TAMES SAFETY  IN A  123  TAMES SAFETY  IN A  124  TAMES SAFETY  124  TAMES SAFETY  125  TAMES SAF	JANTOR ROOM Non-Rated Fire Separation	SERVICES ROOMS 1 HR 3.62	GROUP F3 TO C ZHR	GROUP CTOC 1 HR BETWEEN UNITS
323/6, 31/32 31/32 31/32 31/32		1.6.2		

REQUIRED FIRE SEPARATIONS

3.1.3.1.

JILDING FIRE SAFETY	SAFETY		
FIT PROTECTION	NA	32346	н
ME SPREAD RATINGS	COMPLIANT WITH	11112	
OF THE PROPERTY ACCOUNT.		With the control of t	ı
AL DECK ASSEMBLES	NA	3.1.14.2	
SSIFICATION	CLASS 'A'	3.1.15.2	
C FIRESTOPS	YES	3.1.11	
ATTIC AREA	300 sm	71115	П
		200,111,000	
CRAWLSPACE AREA	N/A	3,111,6	- 1
CEALED FLOOR AREA	AW	31.115	1

ACCESSIBILITY REQUIREMENTS	REQUIREMENTS	3.8.
	REQUIRED	PROVIDED
ACCESS TO MAIN ENTRANCES	YES	NEG
ACCESS TO ALL FLOORS	5	100
Participation of the Contraction	30	YES
ACCESSIBLE WASHROOM	NO (CRU ONLY)	NO (CRU ONLY)
WASHROOM FIXTURES REQUIREMENTS	URES REQUIRE	MENTS
MIN, 1 REGID/ DWELLING UNIT		3,722/10
MINL 1 W/C PROVIDED IN EACH UNIT	17	
ENERGY EFFICIENCY:	NCY:	10.2 ENERGY
COMPLIANCE PATH (ASHRAEINIPERINL):	AMT.	
ASHRAE 90.1 - 2010 PRESCRIPTIVE VALUES WITH NERG STANDARDS ZONE 5 WITH MAX, 40% GLAZING ENVELOPE: REFER TO TABLE 5.5 - 5	VALUES WITH NERG STANDAR	DS.

R N
m o
I 1
× 6
<u> </u>
₩ 5
1 中 1





TABLE 3.1.17.1.

80 PERSONS
29 PERSONS
42 PERSONS
369 PERSONS

3.2.4./ 3.2.5./ 3.2.6.

3.1 TO 3.6

-21 D DP

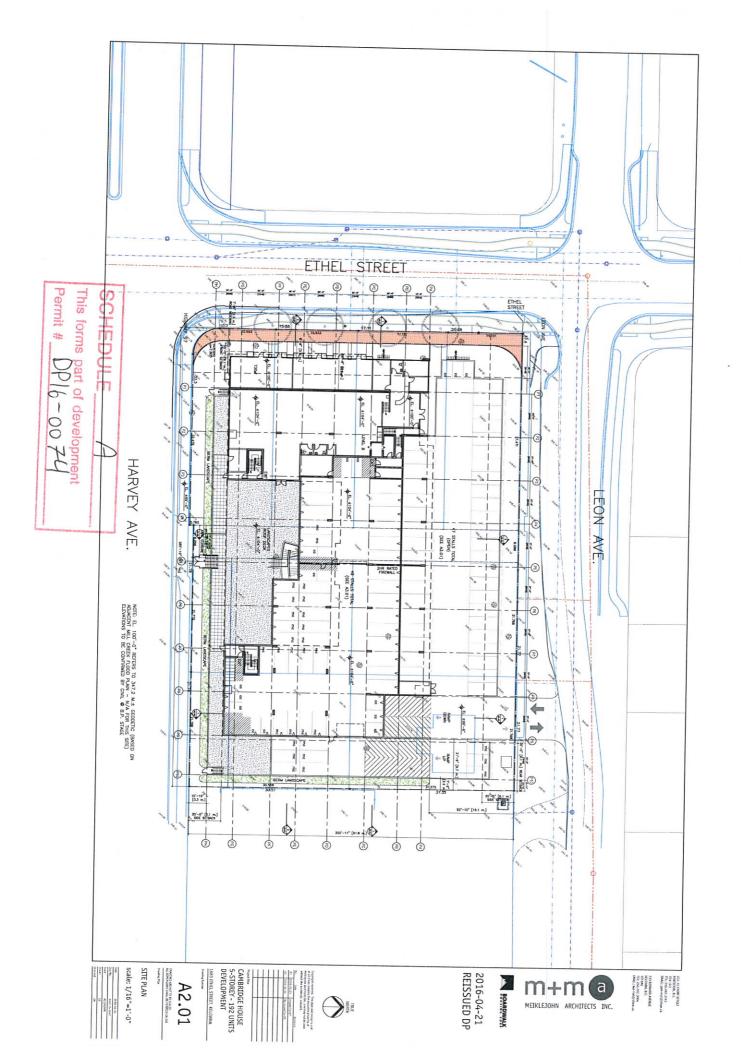
2 doors @ 3-0\* = \$7-0\* (2743mm) ±6 doors @ 3-0\* = 18-0\* (5486mm) 3 doors @ 3"-0" = 8"-0" (2743mm)

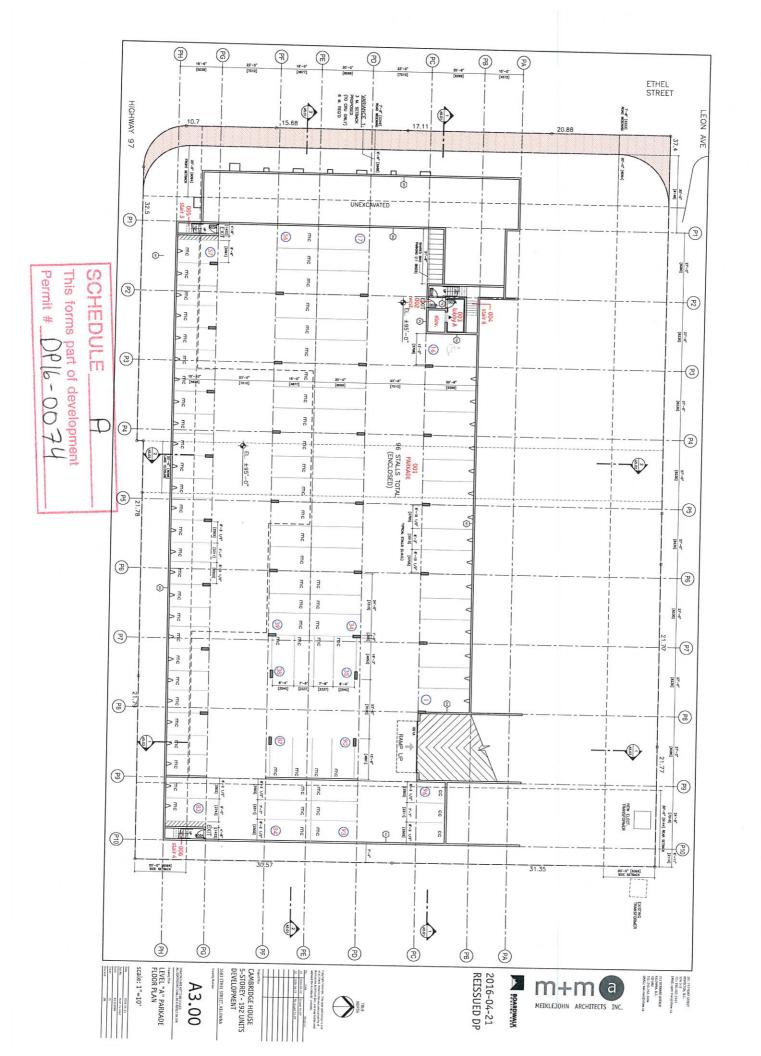
CAMBRIDGE HOUSE 5-STOREY - 192 UNITS DEVELOPMENT Company traversed. This paper was gas yet and all still from more that it shall be some that the still still be and they are the soul for the still be and they are the soul for the still be and the still be and

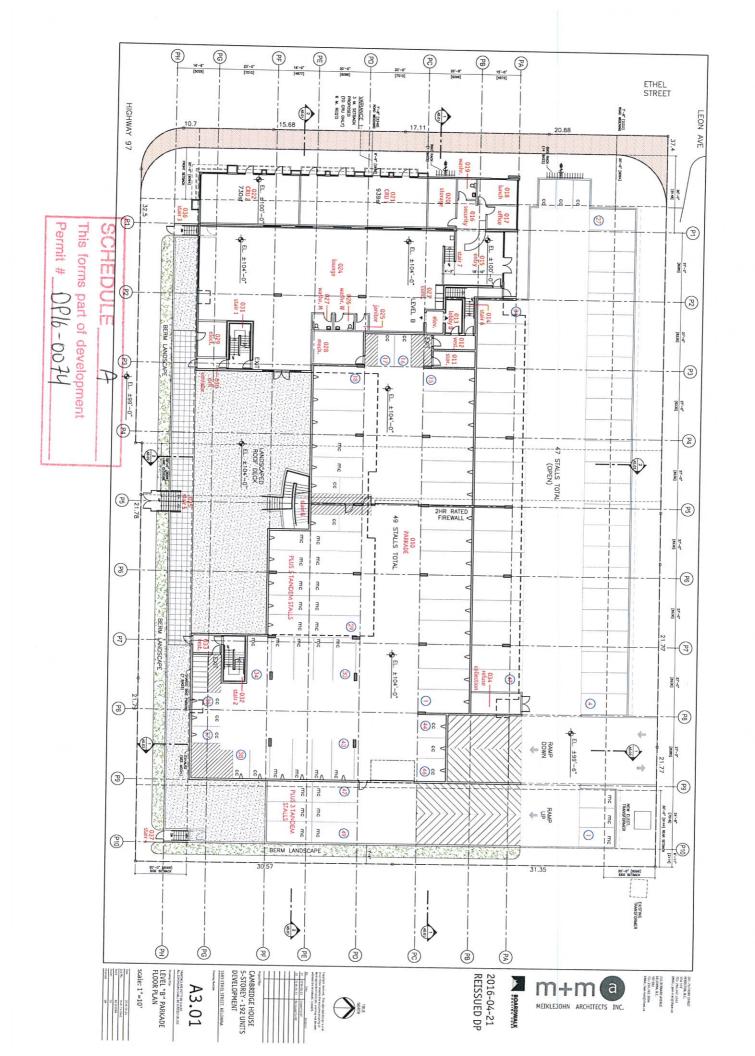
A1.01

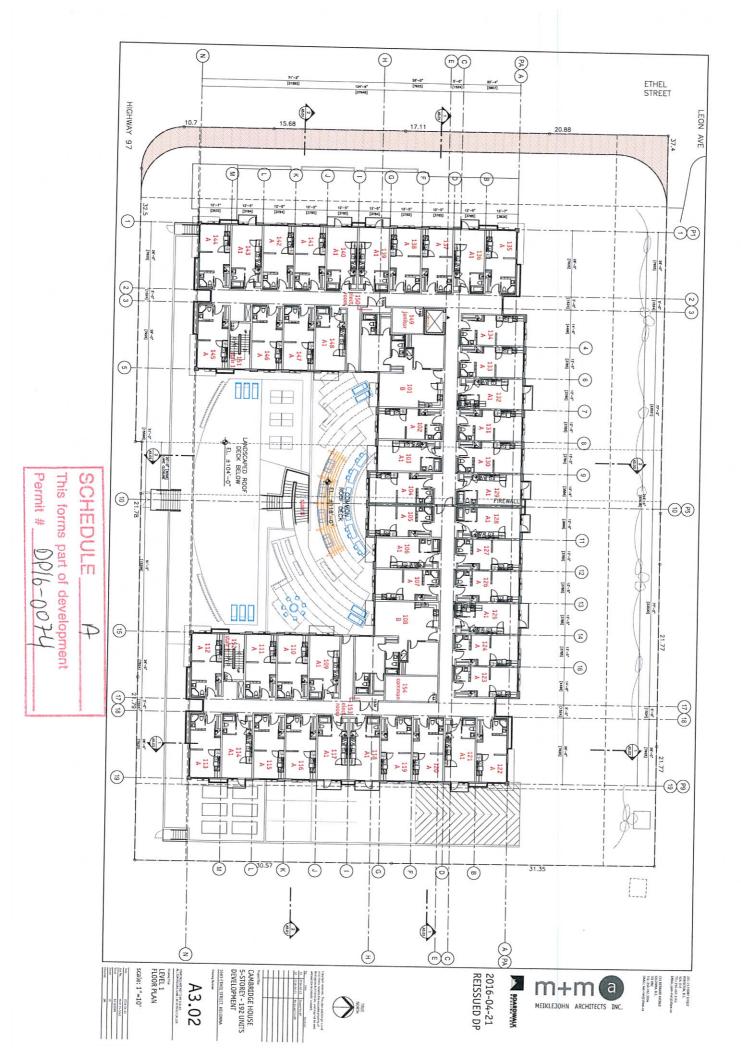
1683 ETHEL STREET, KELDWNA

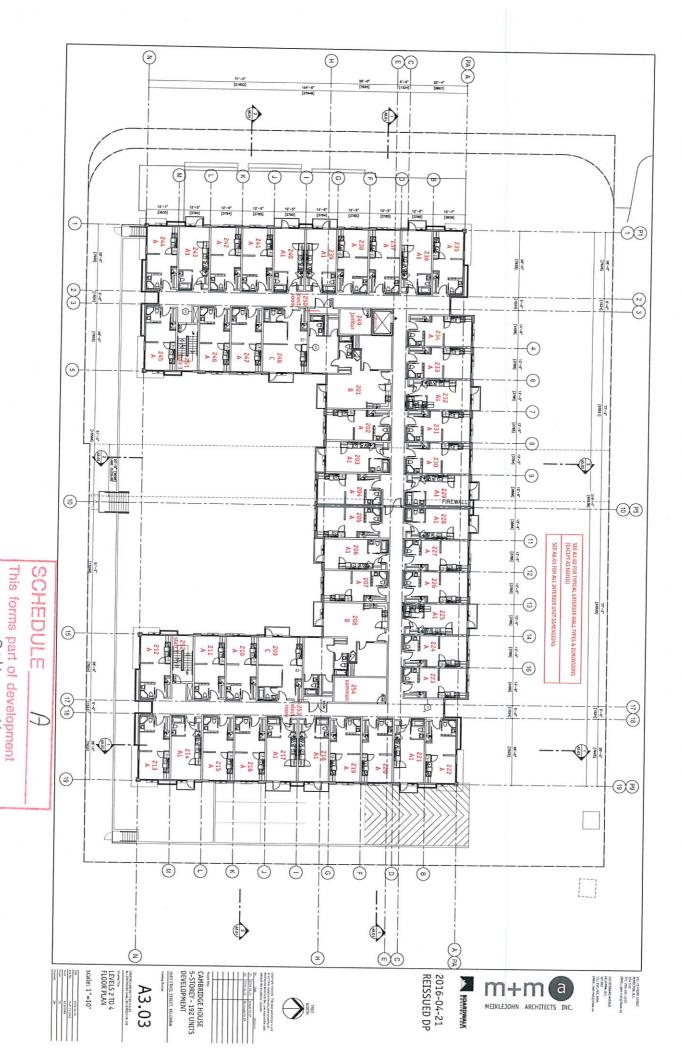
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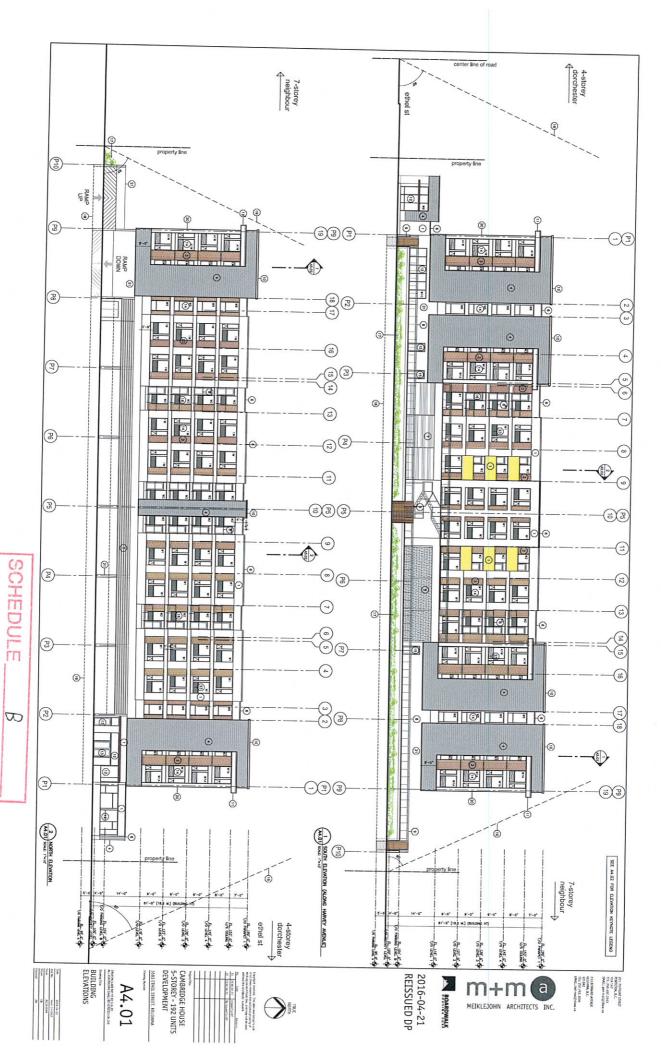






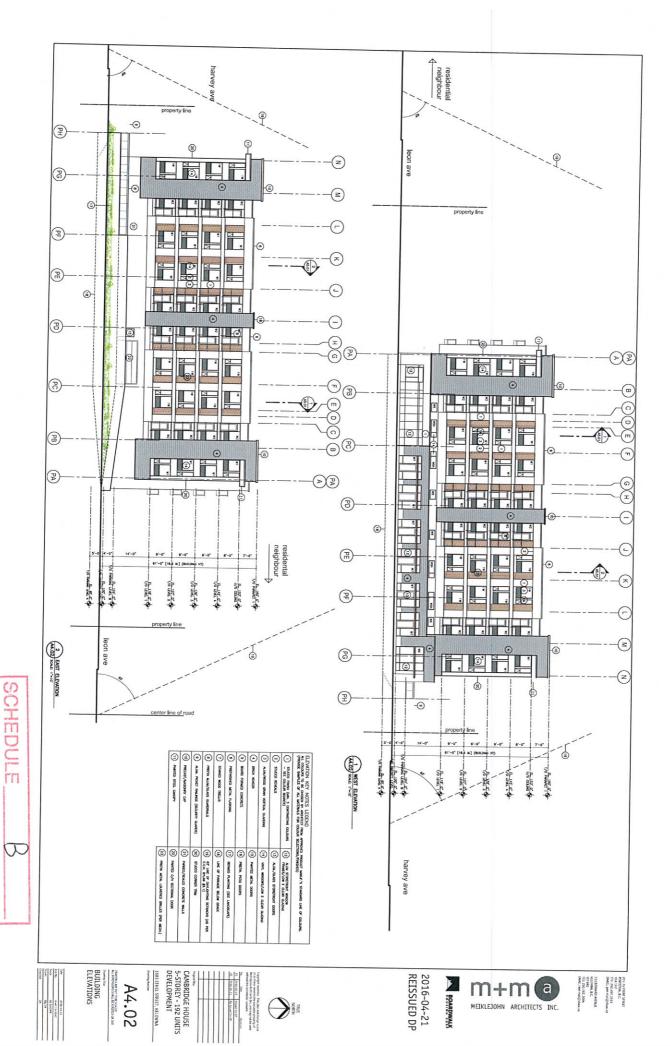


Permit #



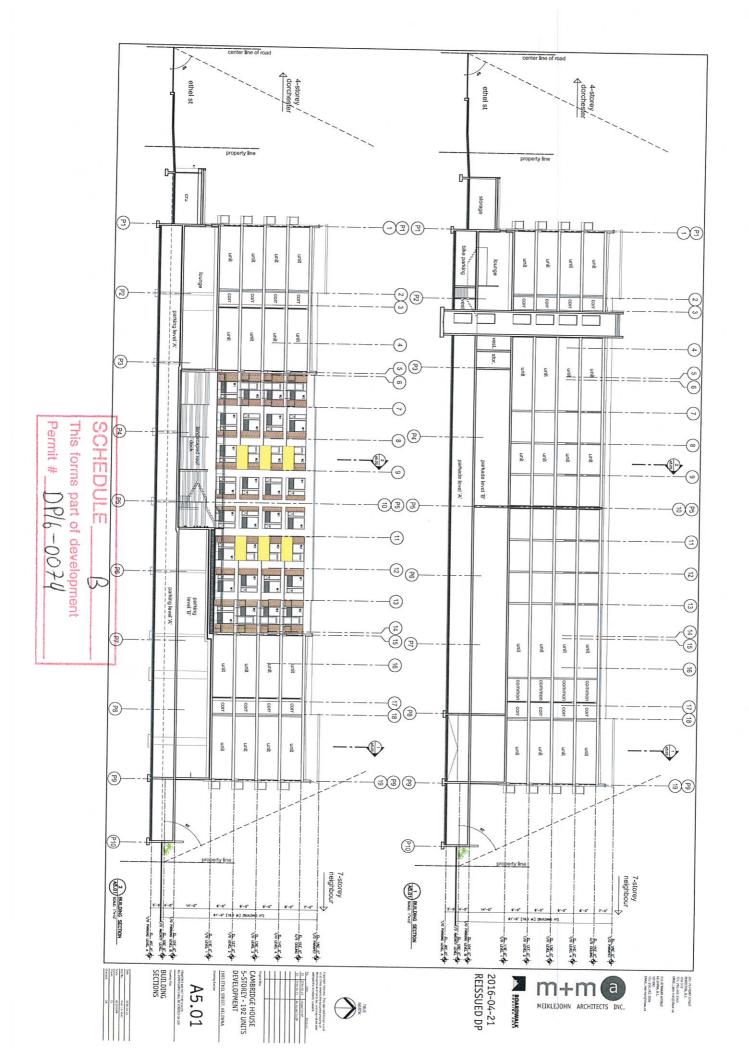
Permit # DP16-0074

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SCHEDULE CO

This forms part of development Permit # DP/b-0074

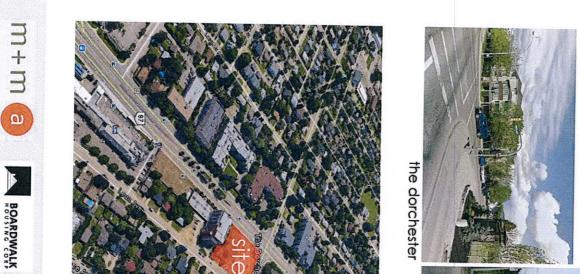
Cambridge Housing Development

B

view along harvey/ethel ave

april 21, 2016



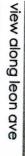














Cambridge Housing Development

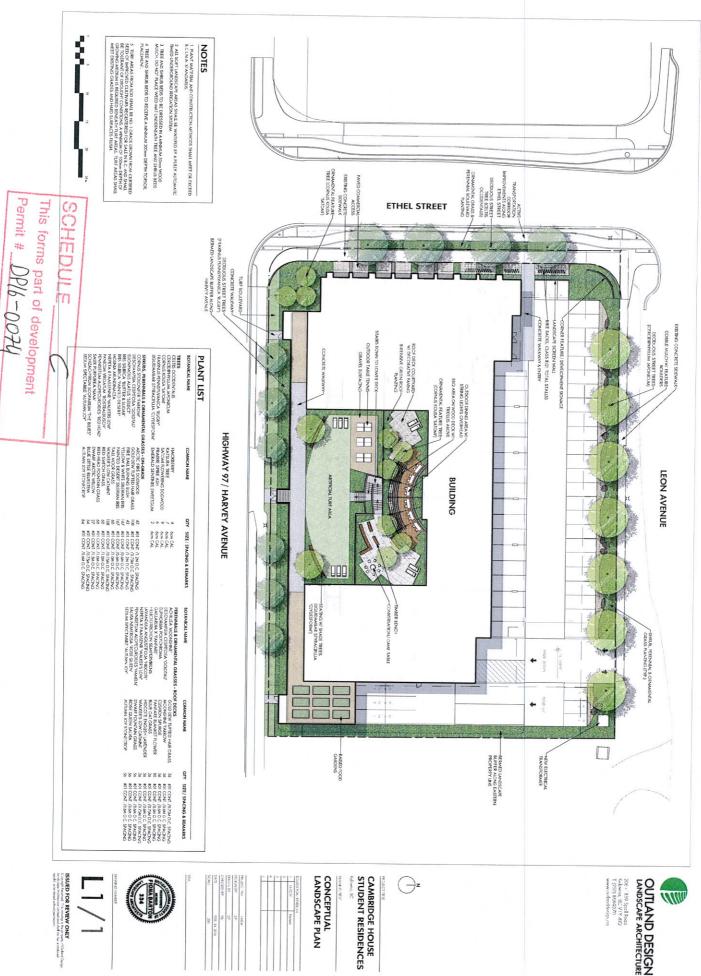
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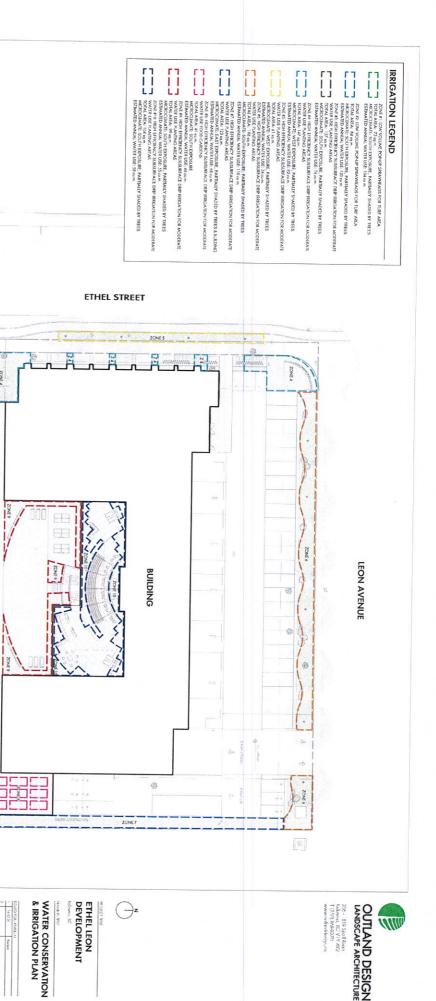
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feb 24, 2016

site context





# IRRIGATION NOTES

I. REGATION PRODUCTS AND INSTITUTION METHODS SHALL MEET OF EXCERD THE REQUIREMENTS OF THE WATER USE REQUIREMENTS AND AND THE SUPPLEMENTARY SPECIFICATIONS IN THE CITY OF REDWINE BY ANY 7900 (PART A, SCHEDULE S).

THE IRRIGATION SYSTEM SHALL MEET THE REQUIREMENTS, REGULATIONS, AND BYLAWS OF THE WATER PURVEYOR.

3. THE IRRIGATION SYSTEM SHALL BE EQUIPPED WITH AN APPROVED BACGLOW PREVENTION DEVICE, WATER MEDIER, AND SHUT OFF VALVE LOCATED OUTSIDE THE BUILDING ACCESSIBLE TO THE CITY. A AM APPROVED SMART CONTROLLER SHALL BE INSTALLED. THE RRISATION SCHEDULING TIMES SHALL UTILLER AMARIMME IT VALUE OF 71, MONTH (REIOWNA) JULY ET), TAKING INTO CONSIDERATION SOIL TYPE SLOPE, AND MICROCLIMATE

6. IRRIGATION SLEEVES SHALL BE INSTALLED I

8. A FLOW SENSOR AND MASTER VALVE SHALL BE CONNECTED TO THE CONTROLLER AND PROGRAMMED TO STOP FLOW TO THE SYSTEM IN CASE OF AN RISICATION WATER LEAK. ", IRRIGATION PIPE SHALL BE SIZED TO ALLOW FOR A MAXIMUM FLOW OF 1.5m /SEC

# WATER CONSERVATION CALCULATIONS

WATER BALANCE = 326 cum. / year
\*REFER ATTACHED IRRIGATION APRICATION FOR DETAILED CALCULATIONS LANDSCAPE MAXIMUM WATER BUDGET (WB) = 1079 cu m. / ywar ESTIMATED LANDSCAPE WATER USE (WU) =753 cu m. / ywar

HIGHWAY 97 / HARVEY AVENUE

2 1907.

This forms part of development SCHEDULE (

Permit #

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ISSUED FOR REVIEW ONLY
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Feb. 24, 2016

Ethel Leon Development C/o Meiklejohn Architects Inc. 233 Bernard Avenue Kelowna, BC V1Y 6N2 Attn: Jim Meiklejohn

Re: Proposed Ethel Leon Development - Preliminary Cost Estimate for Bonding

Dear Jim:

Please be advised of the following preliminary cost estimate for bonding of the proposed landscape works shown in the Ethel Leon Development conceptual landscape plan dated 16.02.24;

• 1,013 square metres (10,904 square feet) of improvements = \$84,293.50

This preliminary cost estimate is inclusive of trees, shrubs, turf, mulch, topsoil & irrigation.

You will be required to submit a performance bond to the City of Kelowna in the amount of 125% of the preliminary cost estimate. Please do not hesitate to contact me with any questions about the landscape plan.

Best regards,

Fiona Barton, MBCSLA, CSLA

as per

Outland Design Landscape Architecture

SCHEDULE

This forms part of development

Permit # DP16-0074