

DEVELOPMENT VARIANCE PERMIT & DEVELOPMENT PERMIT



APPROVED ISSUANCE OF DEVELOPMENT VARIANCE PERMIT & DEVELOPMENT PERMIT NO. DVP16-0072 & DP16-0071

Issued To: Judston & Karen Wickwire
Site Address: 1281 Highway 33 East
Legal Description: Lot 2 Section 13 Township 26 ODYD Plan 159 Except Plans 22851, H8383 and KAP 88682
Zoning Classification: A1C - Agriculture 1 with Carriage House
Development Permit Area: Farm Protection Development Permit Area

SCOPE OF APPROVAL

This Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.

This Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this Permit, noted in the Terms and Conditions below.

The issuance of a Permit limits the Permit Holder to be in strict compliance with regulations of the Zoning Bylaw and all other Bylaws unless specific Variances have been authorized by the Permit. No implied Variances from bylaw provisions shall be granted by virtue of drawing notations that are inconsistent with bylaw provisions and that may not have been identified as required Variances by the applicant or Municipal staff.

1. TERMS AND CONDITIONS

THAT Development Variance Permit No. DVP16-0072 for Lot 2 Section 13 Township 26 ODYD Plan 159 Except Plans 22851, H8383 and KAP 88682, located at 1281 HWY 33 E, Kelowna, BC;

AND THAT variances to the following sections of Zoning Bylaw No. 8000 be granted, as shown on Schedule "A":

Section 9.5b.1(e): Specific Use Regulations - Carriage House Regulations

To vary the size of upper floor area of a carriage house from a maximum of 75% of the building footprint to the 100% of the building footprint as shown on Schedule "A."

AND THAT Development Permit No. DP16-0071 for Lot 2 Section 13 Township 26 ODYD Plan 159 Except Plans 22851, H8383 and KAP 88682 located at 1281 HWY 33 E, Kelowna, BC to allow the construction of a Carriage House be approved subject to the following:

- a) The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A";
- b) The exterior design and finish of the building to be constructed on the land be in accordance with Schedule "B";

AND THAT Council's consideration of this Development Variance Permit and Development Permit be considered subsequent to the outstanding conditions of approval as set out in Schedule "C" attached to the Report from the Community Planning Department dated June 14, 2016.

AND THAT Council's consideration of this Development Variance Permit and Development Permit be considered subsequent to the registration of a Right of Way for sewer connection with neighbouring property located at 1301 Lewis Road, Kelowna, BC, in favour of the subject property;

AND FURTHER THAT this Development Variance Permit & Development Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

2. PERFORMANCE SECURITY

None required.

3. DEVELOPMENT

The land described herein shall be developed strictly in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit that shall form a part hereof.

If the Permit Holder does not commence the development permitted by this Permit within two years of the date of this Permit, this Permit shall lapse.

This Permit IS NOT a Building Permit.

4. APPLICANT'S AGREEMENT

I hereby declare that all of the above statements and the information contained in the material submitted in support of this Permit are to the best of my belief, true and correct in all respects. Upon issuance of the Permit for me by the Municipality, then in such case, I covenant and agree to save harmless and effectually indemnify the Municipality against:

- a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality granting to me the said Permit.
- b) All costs, expenses, claims that may be incurred by the Municipality if the construction by me of engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

I further covenant and agree that should I be granted a Development Permit and/or Development Variance Permit, the Municipality may withhold the granting of any Occupancy Permit for the occupancy and / or use of any building or part thereof constructed upon the hereinbefore referred to land until all of the engineering works or other works called for by the Permit have been completed to the satisfaction of the Municipal Engineer and Divisional Director of Community Planning & Real Estate.

Should there be any change in ownership or legal description of the property, I undertake to notify the Community Planning Department immediately to avoid any unnecessary delay in processing the application.

I HEREBY UNDERSTAND AND AGREE TO ALL THE TERMS AND CONDITIONS SPECIFIED IN THIS PERMIT.

Signature of Owner / Authorized Agent Date

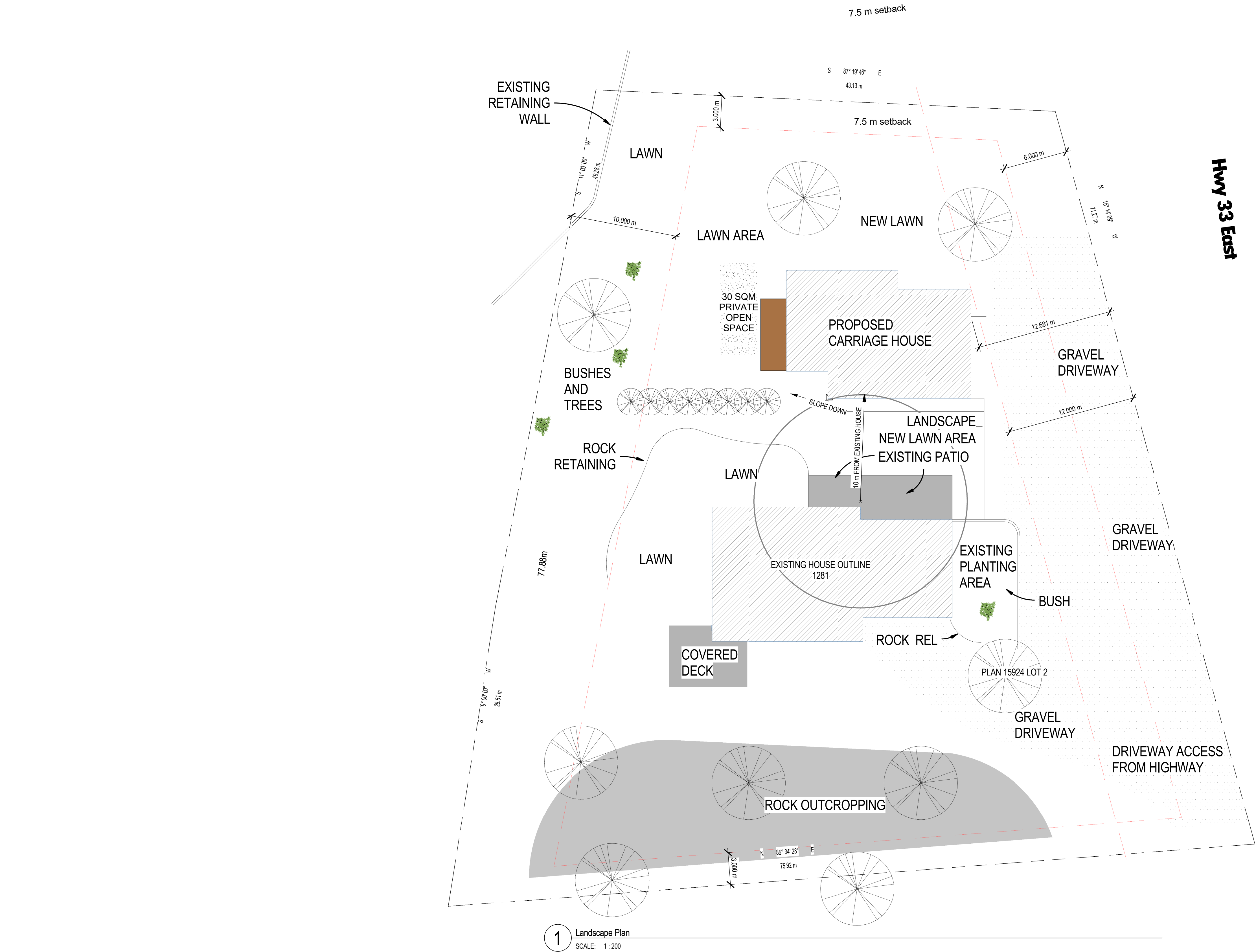
Print Name in Bold Letters Telephone No.

5. APPROVALS

Issued and approved by Council on the _____ day of _____, 2016.

Ryan Smith, Community Planning Department Manager Date
Community Planning & Real Estate

**The PERMIT HOLDER is the CURRENT LAND OWNER.
Security shall be returned to the PERMIT HOLDER.**



1 Landscape Plan
SCALE: 1 : 200

Notes:

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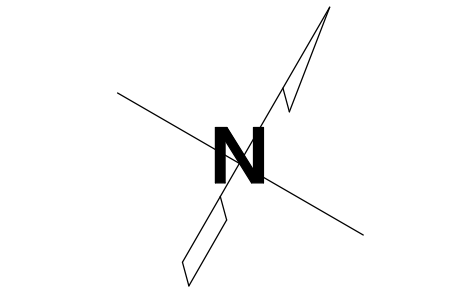
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Seal

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03	20160310	RE-ISSUED FOR DP
02	20151215	RE-ISSUED FOR DP
01	20151007	ISSUED FOR DP
no.	date	description
revisions		



101 - 1865 DILWORTH DR., SUITE 520
KELOWNA BC V1Y 9T1

project title
WICKWIRE RESIDENCE

1281 HWY 97 East Kelowna, British Columbia
project no. 1408

drawing title
LANDSCAPE PLAN

designed	PS	scale	1 : 200
drawn	PS		
checked	Checker		
drawing no.			

A1.02

plotted 2016-03-10 10:38:18 AM

WALL ASSEMBLIES

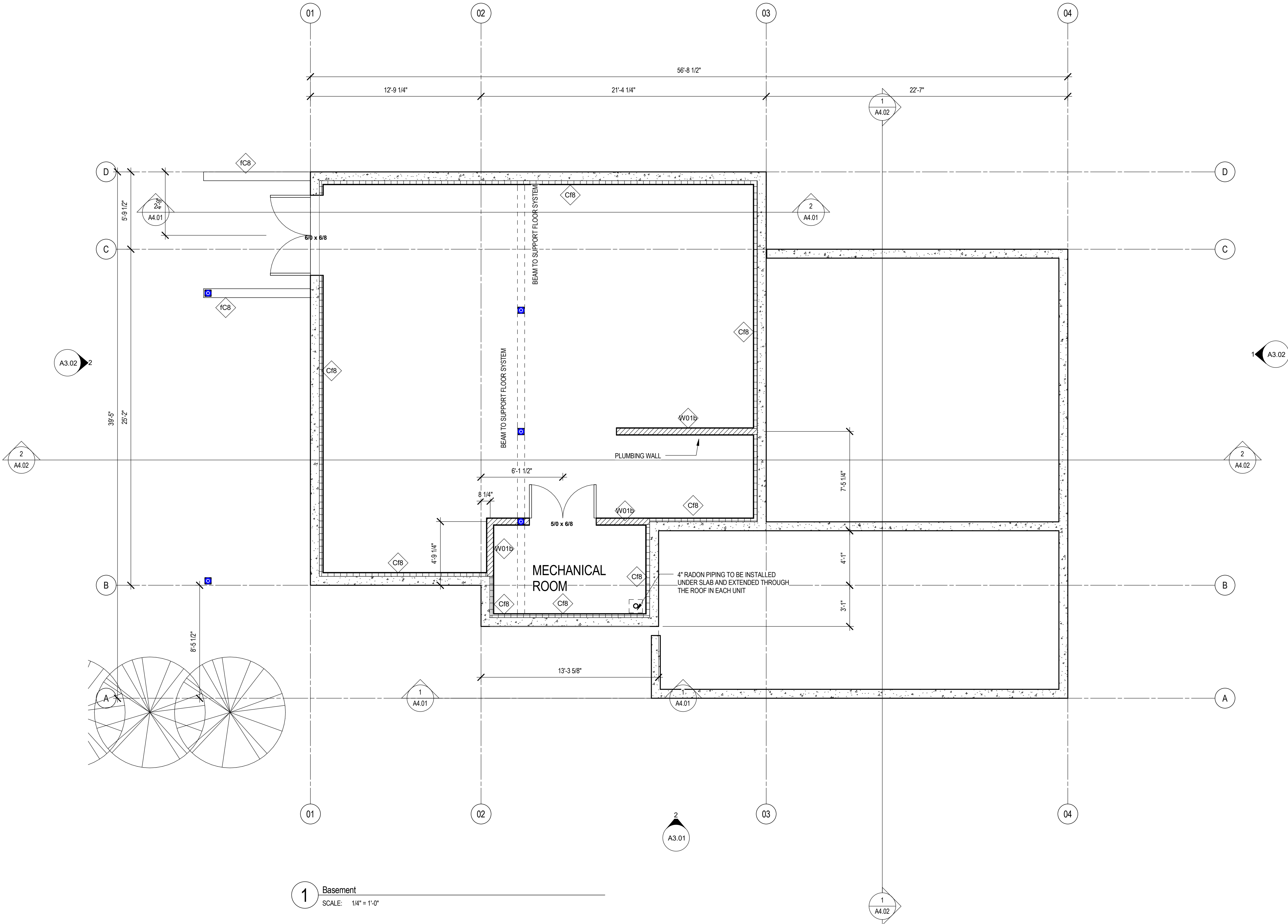
fc8		EXTERIOR FOUNDATION WALL
Cf8		EXTERIOR WALL - BASEMENT DAMPPROOFING (AS REQUIRED) ACRYLIC STUCCO 3" RIGID INSULATION CI 8" CONCRETE WOOD FRAMING 1/2" GWB
W01a		EXTERIOR WALL - SIDING BUILDING PAPER 7/16"PLYWOOD SHEATHING 2x WOOD STUD LAYER R22 BATT INSULATION 6Mil VAPOUR BARRIER 1/2" GWB
W01b		INTERIOR WALL 1/2" GWB 2x6 STUD 1/2" GWB
W02b		INTERIOR WALL 1/2" GWB 2x4 STUDS STUDS 1/2" GWB

FLOOR ASSEMBLIES

F1		SOG 4" CONCRETE RADON BARRIER INSTALL STRUCTURAL FILL
F3		INTERIOR FLOOR 5/8" PLYWOOD SHEATHING 11-7/8" TJI 5/8" TYPE GWB

ROOF ASSEMBLIES

R1		ROOF 30 YEAR SHINGLES 2 LAYER 30 LB ROOFING PAPER 1/2" SHEATHING ROOF TRUSS SYSTEM R40 INSULATION C/W INSULATION STOPS FOR VENT PATH 60 MIL VAPOUR BARRIER 1/2" GWB
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03	20150818	ISSUED FOR BUILDING PERMIT
02	20141216	ISSUED FOR BUILDING PERMIT
01	20141210	ISSUED FOR DESIGN REVIEW
no.	date	description
revisions		



project title		WICKWIRE RESIDENCE	
1281 HWY 97 East Kelowna, British Columbia			
project no.		1408	
drawing title			
BASEMENT FLOOR			
designed	PS	scale	As indicated
drawn	PS		
checked	PS		
drawing no.			
		A2.02	
plotted	2016-03-10 10:38:19 AM		

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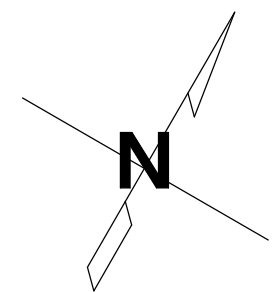
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no.	date	description
revisions		



101 - 1865 DILWORTH DR. SUITE 520
KELOWNA BC V1Y 9T1

project title

WICKWIRE RESIDENCE

1281 HWY 97 East Kelowna, British Columbia

project no. 1408

drawing title

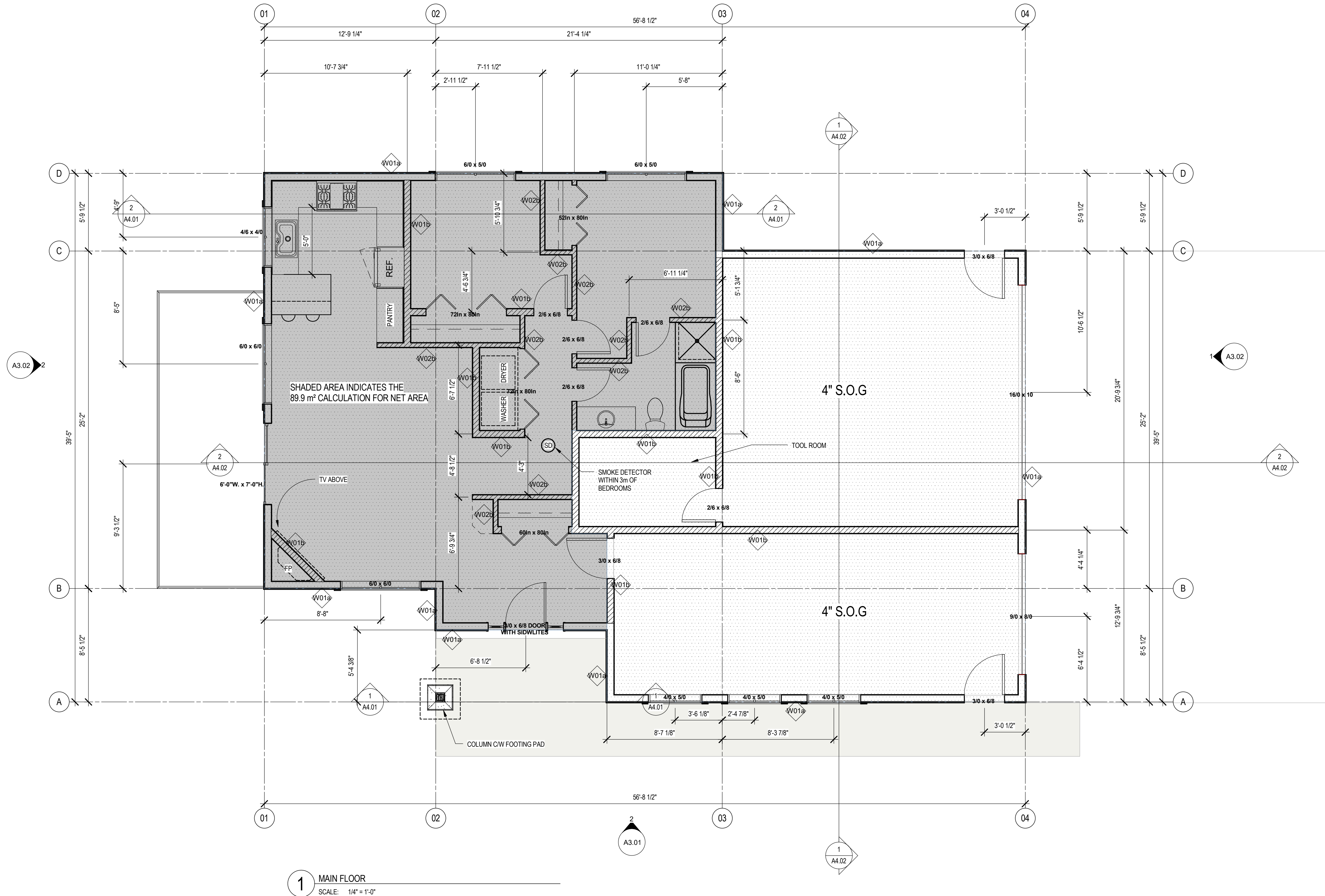
MAIN FLOOR PLAN

designed	PS	scale	1/4" = 1'-0"
drawn	PS		
checked	PS		
drawing no.			

A2.03

plotted 2016-03-10 10:38:20 AM

ISSUED FOR BUILDING PERMIT



WALL ASSEMBLIES

- fC8

EXTERIOR FOUNDATION WALL
- Cf8

EXTERIOR WALL - BASEMENT
DAMPPROOFING (AS REQUIRED)
ACRYLIC STUCCO
3" RIGID INSULATION CI
8" CONCRETE
WOOD FRAMING
1/2" GWB
- W01a

EXTERIOR WALL - SIDING
BUILDING PAPER
7/16"PLYWOOD SHEATHING
2x_ WOOD STUD LAYER
R22 BATT INSULATION
6Mil VAPOUR BARRIER
1/2" GWB
- W01b

INTERIOR WALL
1/2" GWB
2x6 STUD
1/2" GWB
- W02b

INTERIOR WALL
1/2" GWB
2x4 STUDS STUDS
1/2" GWB

FLOOR ASSEMBLIES

- F1

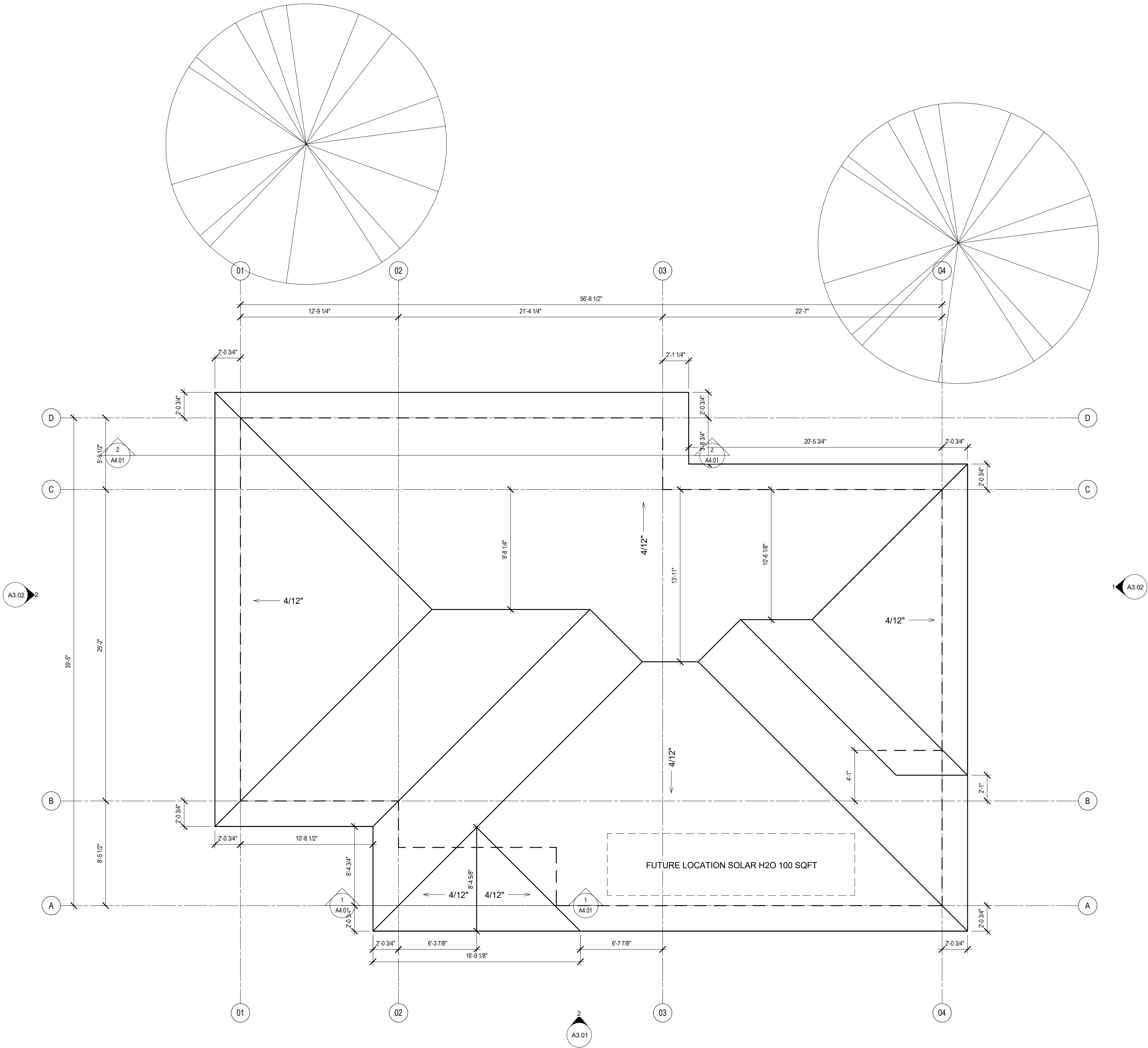
SOG 4" CONCRETE
RADON BARRIER INSTALL
STRUCTURAL FILL
- F3

INTERIOR FLOOR
5/8" PLYWOOD SHEATHING
11-7/8" TJI
5/8" TYPE GWB

ROOF ASSEMBLIES

- R1

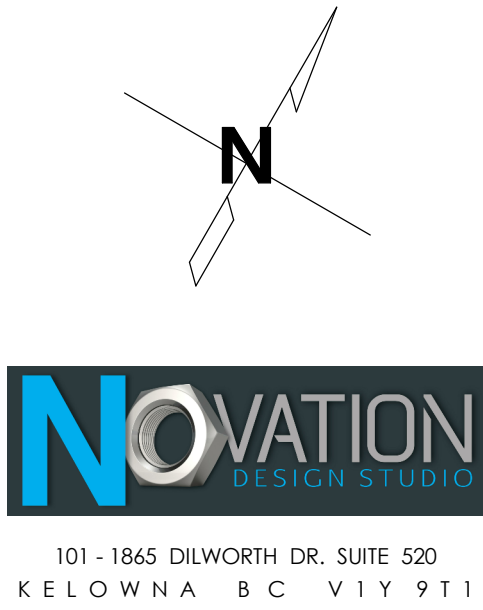
ROOF 30 YEAR SHINGLES
2 LAYER 30 LB ROOFING PAPER
1/2" SHEATHING
ROOF TRUSS SYSTEM
R40 INSULATION C/W INSULATION STOPS FOR
VENT PATH
60 MIL VAPOUR BARRIER
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01	20141210	Issued For Design Review
no. revisions	date	description



project title
WICKWIRE RESIDENCE

1281 HWY 97 East Kelowna, British Columbia

project no. 1408

drawing title
ROOF PLAN

designed	PS	scale	As indicated
drawn	PS		
checked	Checker		
drawing no.			

A2.04

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GENERAL NOTES:

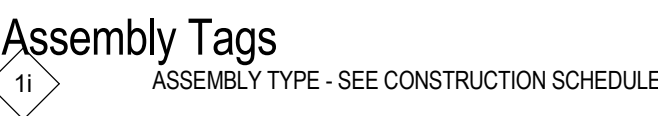
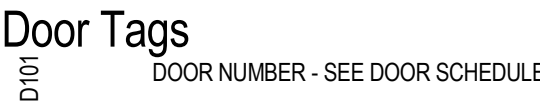
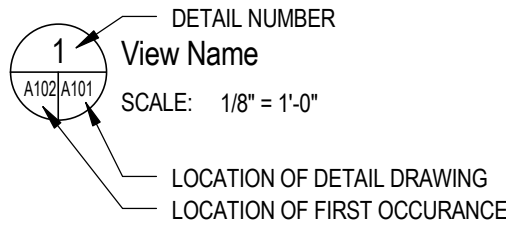
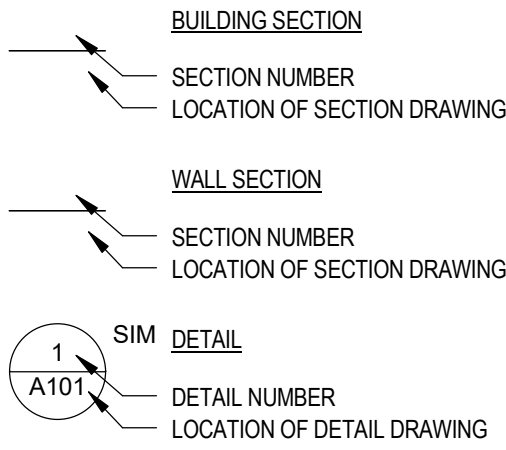
GENERAL

- ALL DIMENSIONS ARE MADE FROM EXTERIOR FACE OF WALL SHEATHING TO CENTER OF PARTY WALLS AND INTERIOR WALLS UNLESS NOTED OTHERWISE ON PLANS. OUTSIDE EDGE OF EXTERIOR WALL SHEATHING TO BE FLUSH WITH FOUNDATION WALL BELOW. DO NOT SCALE DRAWINGS. THE GENERAL CONTRACTOR IS TO CHECK ALL DIMENSIONS AND CONFIRM ALL PROPERTY LINE BEARINGS AND DIMENSIONS WITH LEGAL SURVEY.
- IN THE CASE OF DISCREPANCY, THE DESIGNER IS TO BE NOTIFIED BEFORE WORK CAN COMMENCE. COMMENCEMENT OF CONSTRUCTION SHALL CONSTITUTE ACCEPTANCE OF CONDITIONS AS SATISFACTORY.
- REFER TO MECHANICAL DRAWINGS FOR FINAL PLUMBING AND HVAC LAYOUT AND SPECIFICATIONS.
- REFER TO ELECTRICAL DRAWINGS FOR FINAL LIGHT, OUTLETS AND ELECTRICAL PANEL LOCATIONS AND SPEC.
- REFER TO CIVIL DRAWINGS FOR OFFSITE CONSTRUCTION AND FINAL SITE DRAINAGE LAYOUT AND SPEC.
- REFER TO LANDSCAPE DRAWINGS FOR FINAL LANDSCAPE LAYOUT.
- REFER TO STRUCTURAL DRAWINGS FOR FINAL WALL/FLOOR/ROOF/COLUMN LAYOUT AND SPECIFICATIONS.

ASSURANCE / COMPLIANCE REQUIREMENTS

- THE CURRENT B.C.B.C. 2012, ITS REQUIREMENTS AND ALL AGENDA, SHALL FORM AN INTEGRAL PART OF THESE DRAWINGS. ALL CONSTRUCTION MATERIALS AND PROCEDURES SHALL CONFIRM TO THESE STANDARDS.
- ALL WORK TO CONFORM TO LOCAL BYLAWS AND DEVELOPMENT PERMIT REQUIREMENTS.
- ALL DRAWINGS ARE TO BE READ AS A COMPLETE SET IN CONJUNCTION WITH SPECIFICATIONS AND CIVIL, STRUCTURAL, MECHANICAL, ELECTRICAL, AND LANDSCAPE DRAWINGS AS APPLICABLE.
- ALL WORK WILL BE SUBJECT TO FIELD REVIEW BY THE DESIGNER AND OR OTHER REGISTERED PROFESSIONAL AND BY THE CONSULTING ENGINEERS NAMED ON THESE DRAWINGS TO MEET THE MUNICIPAL LETTERS OF ASSURANCE / COMPLIANCE REQUIREMENTS.
- ALL WORK MUST MEET THE APPROVAL OF THE PROFESSIONAL CONSULTANTS.
- ALL WORK MUST MEET THE STANDARDS OF THE B.C. TRADE ASSOCIATIONS GOVERNING EACH TRADE INVOLVED IN THE PROJECT.
- STARTING WORK ON THIS PROJECT BY ANY SUB-CONTRACTOR MEANS THAT THE ABOVE REQUIREMENTS HAVE BEEN REVIEWED AND NO EXTRA CLAIM FOR COST WILL BE PUT FORWARD TO MEET THE PROFESSIONAL CONSULTANTS FIELD REVIEW REQUIREMENTS.
- THE SUB-CONTRACTORS ARE RESPONSIBLE FOR SITE SAFETY AND TO MEET ALL REQUIREMENTS OF THE WORKERS COMPENSATION BOARD.
- ALL SUB-CONTRACTORS WILL BE REQUIRE TO ACKNOWLEDGE COMPLIANCE WITH ABOVE CONDITIONS BY SIGNING A COPY OF THESE REQUIREMENTS WHICH MUCH ACCOMPANY THEIR QUOTATION.
- GENERAL CONTRACTOR IS TO KEEP RECORD AND PROVIDE ARCHITECT WITH COPIES OF MUNICIPAL INSPECTION SLIPS.
- THE CONTRACTOR / CLIENT IS TO INFORM THE DESIGNER IN WRITING 24 HOURS PRIOR TO STARTING CONSTRUCTION OF THE PROJECT.
- THE SUB-CONTRACTOR IS TO CHECK ALL DIMENSIONS AFFECTION HIS TRADE AND IN THE CASE OF DISCREPANCY THE CONTRACTOR IS TO BE NOTIFIED BEFORE WORK CAN COMMENCE.
- THE CONTRACTOR IS TO NOTIFY THE DESIGNER 24 HOURS PRIOR TO A REQUIRED INSPECTION.

SYMBOL LEGEND:



CONTEXT SITE PLAN:

CRITERIA FOR A CARRIAGE HOUSE OR ACCESSORY DEVELOPMENT

Site Details:	Proposal
Site Area (m²)	4347 m2
Site Width (m)	71.27 m
Site Depth (m)	60.00 m
Site Coverage of Building(s) (%)	434 m² 10 %
Site Coverage buildings, driveways, and parking (%)	434 m² 10 %

PRINCIPAL DWELLING Details:	Proposal
Set Backs (in meters):	
Front	21.00 m
Rear	16.75 m
Side (include direction) South	18.60 m
Side (include direction) North	39.67 m
Height of Building(s)/# of storeys / # (m)	2 storeys / 8 m
Total floor area (m2)	380 m2

CARRIAGE HOUSE or ACCESSORY BUILDING details:	Proposal
Total floor area of carriage house (m²)	89.9 m² (single storey)
Building setbacks (in meters):	
Front	12.0 m
Rear	20.8 m
Side (include direction) South	43.7 m
Side (include direction) North	15.6 m
Distance between carriage house and principal buildings	9.7 m
Lot coverage of all accessory buildings (including carriage house)	
Number of on-site parking stalls	5 stalls
Size per parking stall	3 m x 6 m
Private open space per unit (m2)	25 m2

CONSULTANTS:

DRAWING INDEX:

ILLUSTRATION:

Architectural Drawing List		
no.	name	
A0.00	PROJECT INFORMATION AND DRAWINGS INDEX	
A1.01	SITE PLAN	
A1.02	LANDSCAPE PLAN	
A2.01	FOUNDATION PLAN	
A2.02	BASEMENT FLOOR	
A2.03	MAIN FLOOR PLAN	
A2.04	ROOF PLAN	
A3.01	EXTERIOR ELEVATIONS	
A3.02	EXTERIOR ELEVATIONS	
A4.01	BUILDING SECTIONS	
A4.02	BUILDING SECTIONS	



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01	20140627	ISSUED FOR DESIGN REVIEW
no. revisions	date	description

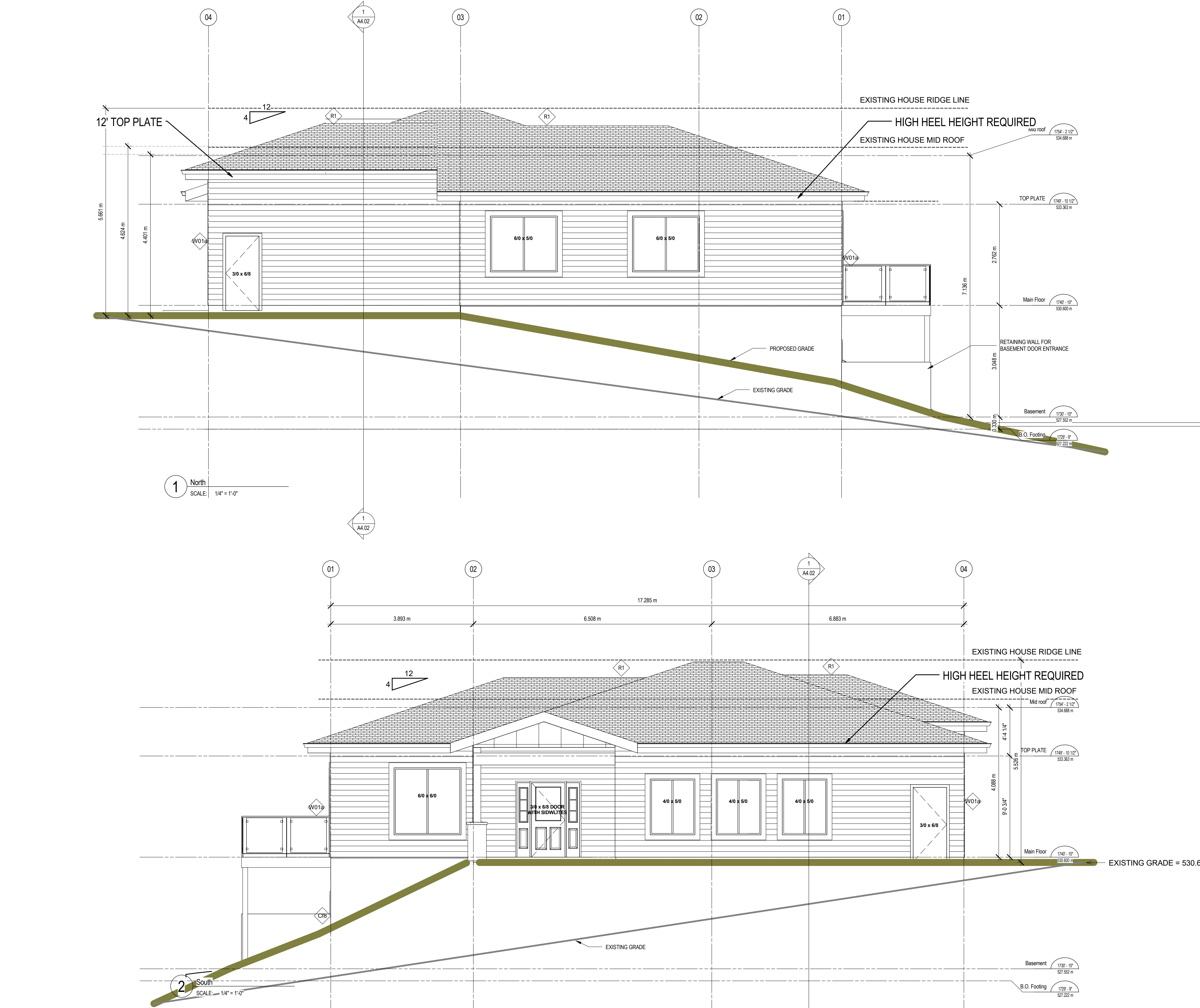


101 - 1865 DILWORTH DR., SUITE 520
KELOWNA BC V1Y 9T1

project title	
WICKWIRE RESIDENCE	
1281 HWY 97 East Kelowna, British Columbia	
project no.	1408
drawing title	
PROJECT INFORMATION AND DRAWINGS INDEX	
designed	PS
drawn	DMD
checked	PK
drawing no.	

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project title
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1281 HWY 97 East Kelowna, British Columbia

project no. 1408

drawing title
EXTERIOR ELEVATIONS

designed	PS	scale	1/4" = 1'-0"
drawn	DMD		
checked	PK		
drawing no.			

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drawing title

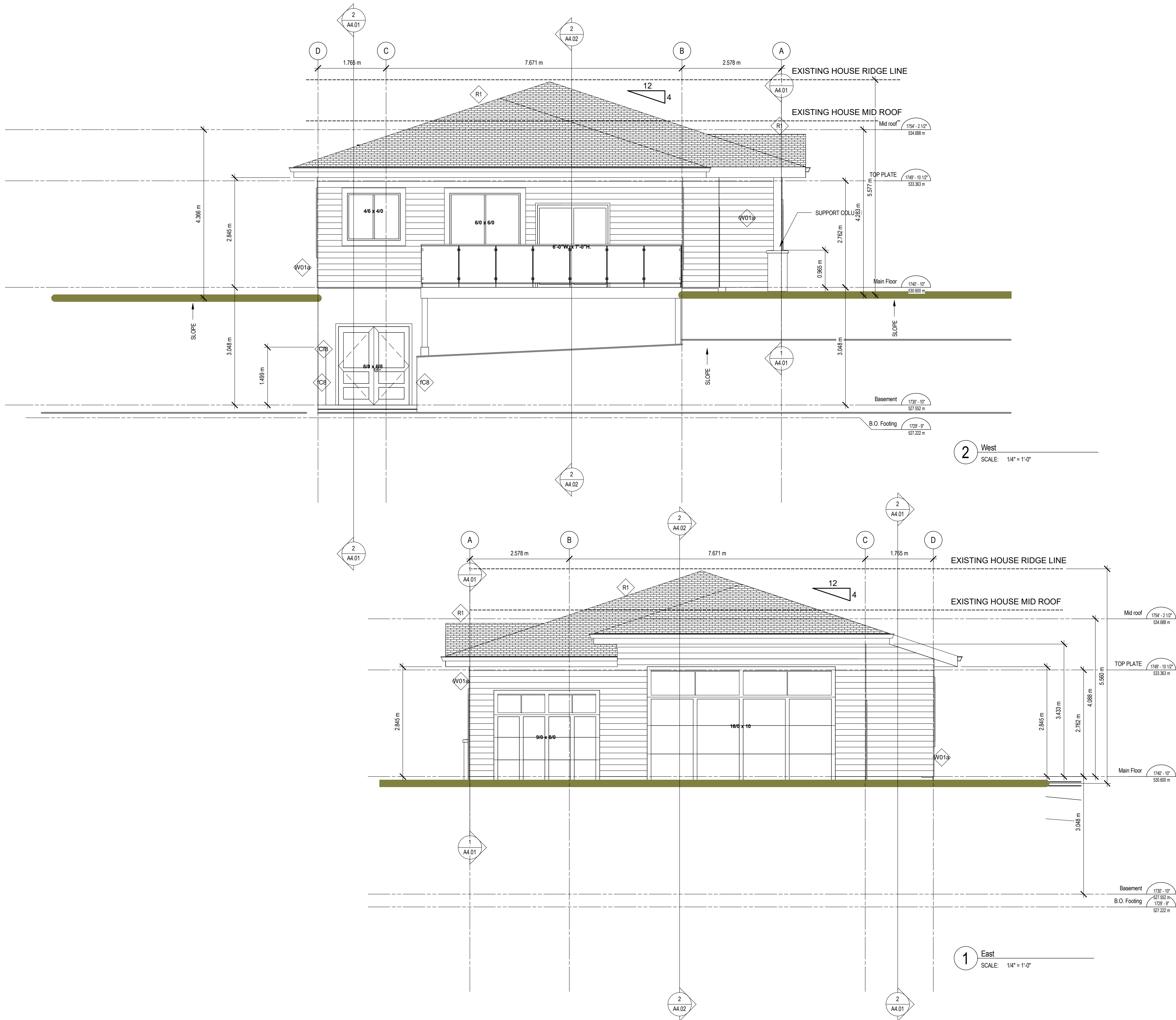
EXTERIOR ELEVATIONS

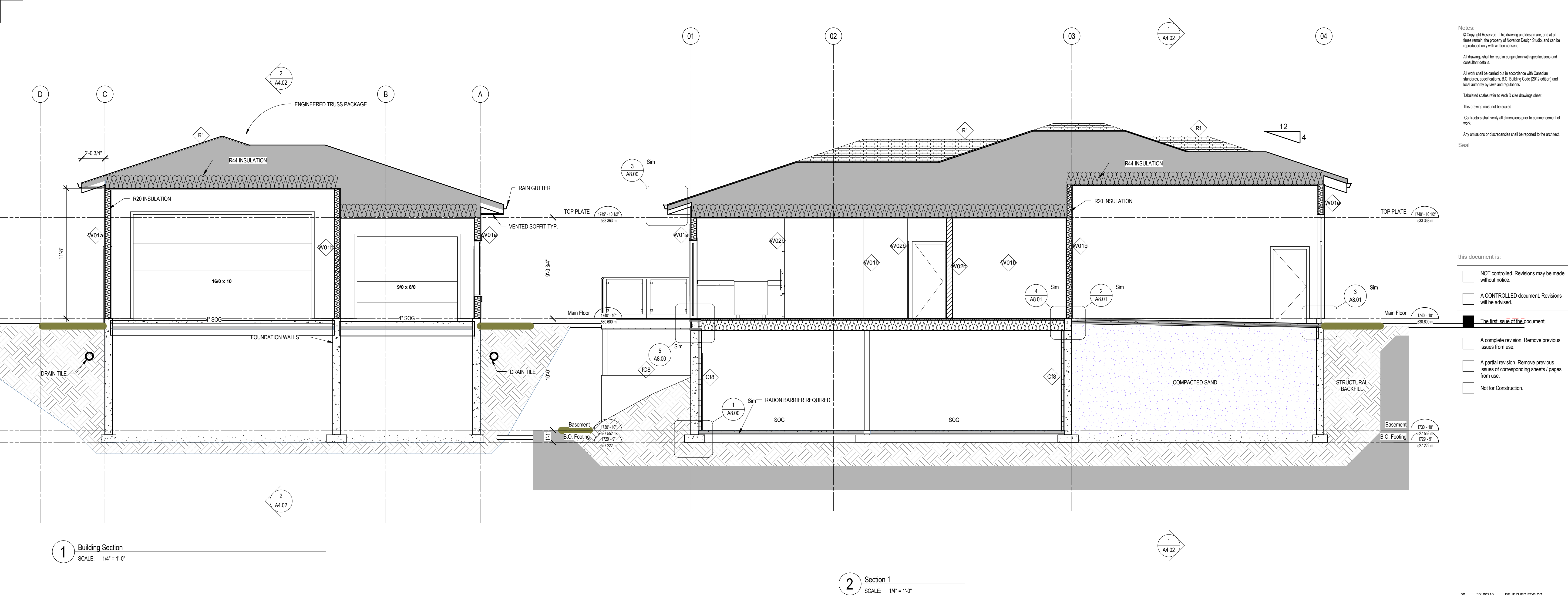
designed	PS	scale	1/4" = 1'-0"
drawn	DMD		
checked	PK		
drawing no.			

A3.02

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ISSUED FOR BUILDING PERMIT





ROOF CONSTRUCTION	RSI
-ASHPHALT SHINGLES (SLOPES UNDER 4/12 PEEL & STICK UNDERLAY) -7/16" OSB SHEATHING C/W H-CLIPS -ENGINEERED ROOF TRUSSES@24"o.c. (HEEL CUT VARIES)	
-AIR FILM (EXTERIOR)	.03
-R40 CONTINUOUS CELLULOSE INSULATION	7.05
-6 MIL POLY	
-1/2" DRYWALL	.08
-AIR FILM (INTERIOR)	.11
TOTAL RSI (REQUIRED 6.91)	7.27

INTERIOR WALL@MAIN FLR
- 1/2" GYPSUM BOARD TO BOTH SIDES OF 2X4 SPRUCE STUDS @ 16" O.C.

INTERIOR WALLS@LOWER FLR
-2xX's@16"o.c. c/w SILL GASKET OR EQIV.
-1/2" DRYWALL FINSHED RMS ONLY

EXTERIOR WALL CONSTR	
-AIR FILM (EXTERIOR)	.03
-HORZ. FIBER CEMENT SIDING/VERTICAL BOARD AND BATTENS	.003
-BUILDING PAPER	
-7/16" SHEATHING	.11
-R-22 INSULATION	2.67
-2x6 @ 16"o.c.	
-6MIL POLY	
-5/8" DRYWALL	.10
-AIR FILM (INTERIOR)	.11
TOTAL RSI (REQUIRED 2.97)	3.02

INTERIOR WALL CONSTRUCTION @ GARAGE

-AIR FILM (EXTERIOR)	.03
-1/2 DRYWALL	.08
-R-22 INSULATION	2.67
-2x6 @ 16"o.c.	
-6MIL POLY	
-1/2" DRYWALL	.08
-AIR FILM (INTERIOR)	.11
TOTAL RSI (REQUIRED 2.97)	2.97

EXTERIOR WALL CONSTR	
-AIR FILM (EXTERIOR)	.03
-ACRYLIC STUCCO (OVER)	.017
-7/16" SHEATHING	.11
-1.5" xps INSULATION	1.33
-8" CONCRETE WALL	
-INTERIOR WOOD STRAPPING CAVITY	1.96
-1/2" DRYWALL	.08
-AIR FILM (INTERIOR)	.11
TOTAL RSI (REQUIRED 2.98)	3.63

INTERIOR FLOOR CONSTRUCTION
-FINISHED FLOORING
- 3/8" UNDERLAY (PREMIUM) @ TILE AREAS
- 3/4 T.&G. O.S.B. SUB-FLOOR, ENG FLR SYSTEM, SPACING AS PER MANUFACTUER (GLUED, SCREWED & BRIDGED)
-1/2" GYPSUM BOARD TO FINISHED AREAS

SLAB ON GRADE
- 4" CONC SLAB, 25MPA, 10M REBAR @16" o.c.
- 6 MIL. POLY. VAPOUR BARRIER
- 4" GRAVEL BED

Notes:
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All drawings shall be read in conjunction with specifications and consultant details.
All work shall be carried out in accordance with Canadian standards, specifications, B.C. Building Code (2012 edition) and local authority by-laws and regulations.
Tabulated scales refer to Arch D size drawings sheet.
This drawing must not be scaled.
Contractors shall verify all dimensions prior to commencement of work.
Any omissions or discrepancies shall be reported to the architect.
Seal

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06	20160310	RE-ISSUED FOR DP
05	20151215	RE-ISSUED FOR DP
04	20151007	ISSUED FOR DP
03	20150818	ISSUED FOR BUILDING PERMIT
02	20141216	ISSUED FOR BUILDING PERMIT
01	20140708	ISSUED FOR BUILDING PERMIT
no.	date	description
revisions		



project title	
WICKWIRE RESIDENCE	
1281 HWY 97 East Kelowna, British Columbia	
project no.	1408
drawing title	
BUILDING SECTIONS	
designed	PS
drawn	DMD
checked	PK
drawing no.	
scale	1/4" = 1'-0"

A4.02

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CITY OF KELOWNA

MEMORANDUM

Date: May 9, 2016
File No.: DP16-0071
To: Suburban and Rural Planning (TY)
From: Development Engineering Manager (SM)
Subject: 1281 Hwy 33 E Carriage House

Development Engineering has the following comments and requirements associated with this Development Permit application to evaluate the form and character of a proposed carriage house. The utility upgrading requirements outlined in this report will be a requirement of this development.

1. Domestic water and fire protection.

The property is serviced by the BMID water distribution system. Ensure an adequately sized domestic water service is in place. The applicant is required to make satisfactory arrangements with the BMID for these items. All charges for service connection and upgrading costs are to be paid directly to the BMID. If needed, fireflow confirmation will be provided through BMID.

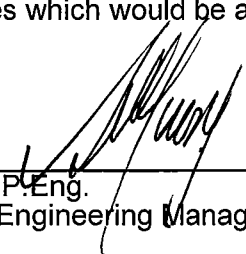
2. Sanitary Sewer.

This subject parcel does not currently have a municipal sanitary sewer service. The applicant may arrange with the neighbouring property owner to establish a legal Easement, under section 219 of the BC Land Titles Act, for the right to install a private sewer service through the neighbour's property down to the existing municipal sanitary sewer main on Lewis Road. The City of Kelowna will not be a party named in the easement agreement and will regard the entire length of the sewer service pipe as privately owned until it crosses onto the public roadway.

Once the easement is established on legal title, the applicant can request a cost estimate for the sanitary sewer service installation to the private easement property line. The cost of the service installation will be paid by the applicant. Additional connection costs will be: Sewer Spec Area Administration Fee of \$250, Sewer Development Fee of \$300.

3. Electric Power and Telecommunication Services

It is the applicant's responsibility to make a servicing application with the respective electric power, telephone and cable transmission companies to arrange for service upgrades to these services which would be at the applicant's cost.



Steve Muenz, P.Eng.
Development Engineering Manager
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