ATTACHMENT A
This forms part of application
DP19-0152 DVP19-0153
City of Kelowna
DEVELOPMENT PLANNING
Planner Initials JB

Development Permit & Development Variance Permit DP19-0152 DVP19-0153

City of Kelowna

This permit relates to land in the City of Kelowna municipally known as

728 Valley Rd

and legally known as

Lot D, Section 29, Township 26, ODYD, Plan EPP75038

and permits the land to be used for the following development:

Multiple Dwelling Housing

AND THAT the a variance to the following section of Zoning Bylaw No. 8000 be granted, as shown on Schedule

The present owner and any subsequent owner of the above described land must comply with any attached terms and conditions.

Date of Decision	April 21, 2020
Decision By:	Council
Development Permit Area:	Farm Protection
Existing Zone:	CD27- Valley Land Subdivision
Future Land Use Designation:	Multiple Unit Residential (Medium Density) MRM

This is NOT a Building Permit.

In addition to your Development Permit, a Building Permit may be required prior to any work commencing. For further information, contact the City of Kelowna, Development Services Branch.

NOTICE

This permit does not relieve the owner or the owner's authorized agent from full compliance with the requirements of any federal, provincial or other municipal legislation, or the terms and conditions of any easement, covenant, building scheme or agreement affecting the building or land.

Owner: 1138742 B.C. Ltd, Inc. No 1138742

Applicant: Kent Macpherson

_____ _____

Terry Barton
Community Planning Department Manager
Planning & Development Services

Date

DRAFT

1. SCOPE OF APPROVAL

This Development Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.

This Development Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this permit, noted in the Terms and Conditions below.

The issuance of a permit limits the permit holder to be in strict compliance with regulations of the Zoning Bylaw and all other Bylaws unless specific variances have been authorized by the Development Permit. No implied variances from bylaw provisions shall be granted by virtue of drawing notations that are inconsistent with bylaw provisions and that may not have been identified as required Variances by the applicant or Municipal staff.

2. CONDITIONS OF APPROVAL

a) The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A";

b) The exterior design and finish of the building to be constructed on the land be in accordance with Schedule "B";

c) Landscaping to be provided on the land be in accordance with Schedule "C"; and

d) The applicant be required to post with the City a Landscape Performance Security deposit in the form of a "Letter of Credit" in the amount of 125% of the estimated value of the landscaping, as determined by a Registered Landscape Architect.

e) Variances to the following sections of Zoning Bylaw No. 8000:

Section 1.6 (c): CD27 - Valley Land Subdivision Development Regulations

To vary the maximum height as permitted in the RM5- Medium Density Multiple Housing zone from the lesser of 18.0m or 4.5 storeys permitted to 26.5m or 7 storeys proposed

Section 1.6 (e): CD27 - Valley Land Subdivision Development Regulations

To vary the side yard setback from 7.0m to 0.0m for a portion of the south property line for the property located at 726 Valley Rd

Section 1.6 (f): CD27 - Valley Land Subdivision Development Regulations

To vary the rear yard setback from 9.0m permitted to 7.0m proposed for a portion of the north property line, and from 9.0m to 0.0m for a portion of the north property line

This Development Permit is valid for two (2) years from the date of approval, with no opportunity to extend.

3. PERFORMANCE SECURITY

As a condition of the issuance of this Permit, Council is holding the security set out below to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Developer and be paid to the Developer or his or her designate if the security is returned. The condition of the posting of the security is that should the Developer fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the Municipality may use enter into an agreement with the property owner of the day to have the work carried out, and any surplus shall be paid over to the property own of the day. Should the Developer carry out the development permitted by this Permit within the time set out above, the security shall be returned to the Developer or his or her designate. There is filed accordingly:

a) An Irrevocable Letter of Credit in the amount of $143, 790.00

b) A certified cheque in the amount of $143, 790.00

Before any bond or security required under this Permit is reduced or released, the Developer will provide the City with a statutory declaration certifying that all labour, material, workers' compensation and other taxes and costs have been paid.

5. INDEMNIFICATION

DRAFT

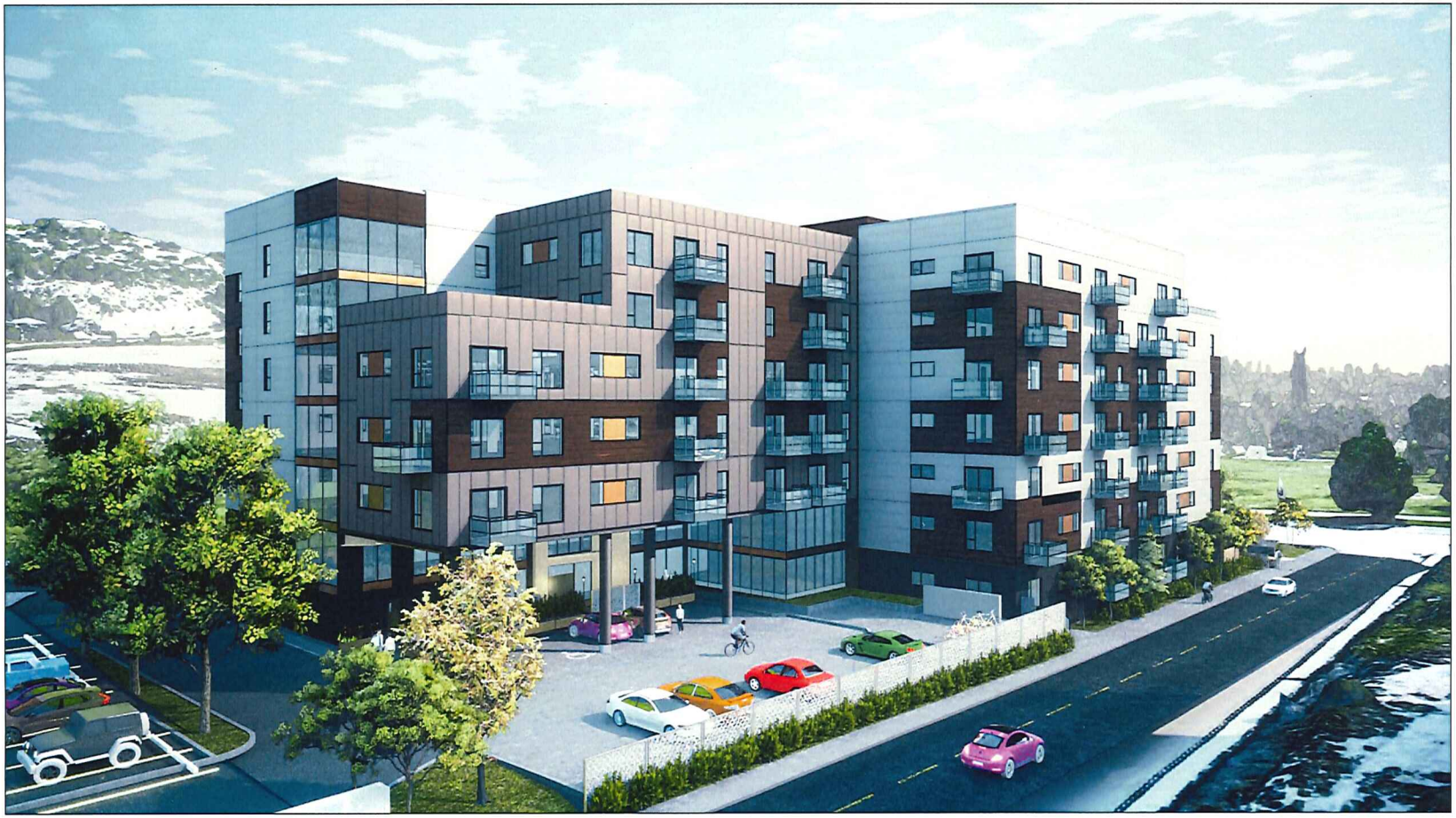
Upon commencement of the works authorized by this Permit the Developer covenants and agrees to save harmless and effectually indemnify the Municipality against:

a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality said Permit.

All costs, expenses, claims that may be incurred by the Municipality where the construction, engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

The PERMIT HOLDER is the CURRENT LAND OWNER.
Security shall ONLY be returned to the signatory of the Landscape Agreement or their designates.

DRAFT



KELOWNA SUSSEX - SUITES
SUSSEX RETIREMENT LIVING LTD.

728 VALLEY ROAD, KELOWNA, BC.
PLAN EPP80501, LOT 2, SECTION 29, TOWNSHIP 26, ODYD

ISSUED FOR DP RE-SUBMISSION
FRIDAY, OCTOBER 25, 2019

ARCHITECTURAL DRAWING LIST:

SHEET NO:	SHEET NAME:
DP-000	COVER PAGE
DP-001	SITE PLAN & ZONING ANALYSIS
DP-001a	LEGAL LAND SURVEY SITE PLAN
DP-002	PARKADE PLAN 1 & ENLARGED PLAN
DP-002a	PARKADE PLAN 2 & RAMP SECTION
DP-003	MAIN FLOOR PLAN
DP-004	2ND, 3RD & 4TH FLOOR PLAN
DP-005	5TH & 6TH FLOOR PLAN
DP-006	7TH FLOOR PLAN
DP-006a	ROOF PLAN
DP-007	ENLARGED SUITE LAYOUTS
DP-008	ENLARGED SUITE LAYOUTS
DP-009	ENLARGED SUITE LAYOUTS
DP-010	ENLARGED SUITE LAYOUTS
DP-011	ELEVATIONS
DP-012	BUILDING SECTIONS
DP-013	BUILDING SECTIONS
DP-014	WINDOW & DOOR SCHEDULE
DP-015	PERSPECTIVES
DP-016	PERSPECTIVES
DP-016a	PERSPECTIVES
DP-017	PERSPECTIVES
DP-018	PERSPECTIVES

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revisions:

no	date	description
3	2020/02/13	ISSUED FOR DP FINAL SUBMISSION
2	2019/10/25	ISSUED FOR DP RE-SUBMISSION
1	2019/07/12	ISSUED FOR DEVELOPMENT PERMIT
0	2019/04/05	ISSUED FOR PRE-DP REVIEW

consultant:

seal:

permit:

client:
SUSSEX RETIREMENT LIVING

project:
THE VINEYARDS SUITES
728 VALLEY ROAD, KELOWNA, BC.
LOT 2, SECTION 29, TOWNSHIP 26, OSOYOOS DIVISION YALE DISTRICT, PLAN EPP80501

drawn by:	reviewed:
LC	NA
scale:	approved:
	DS
date:	project no:
2020-02-11	2019-06

drawing title:
COVER PAGE

drawing no:	revision no:
DP-000	3

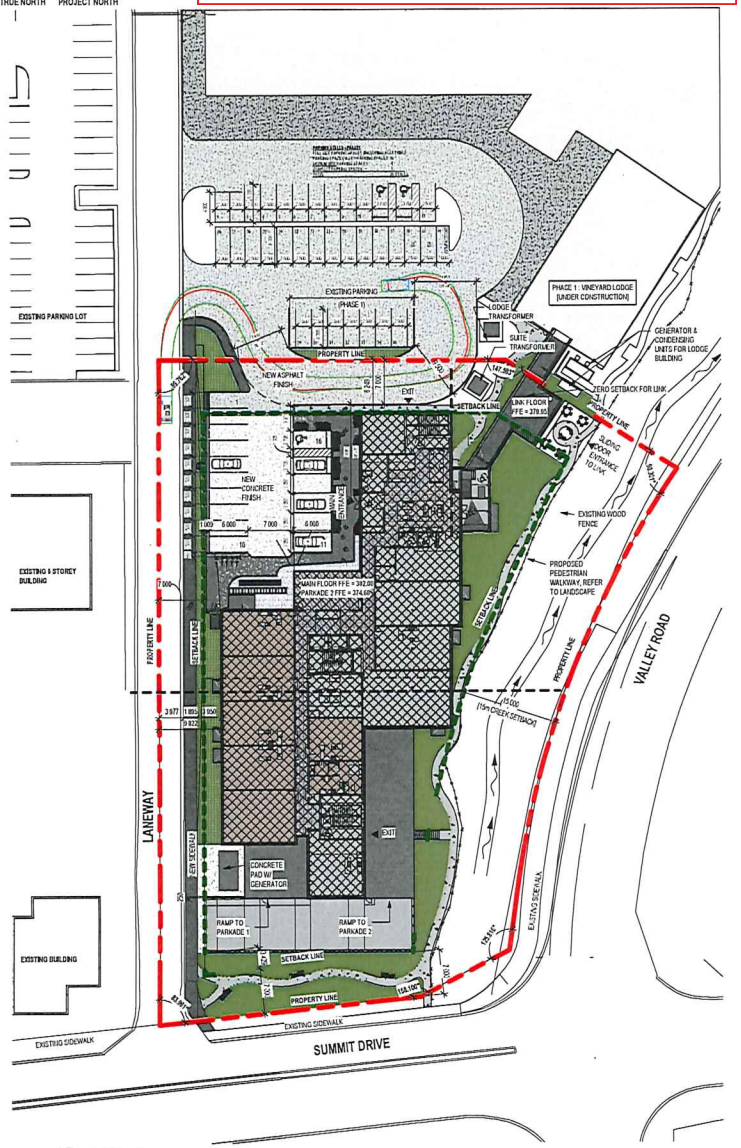
SCHEDULE A

This forms part of application

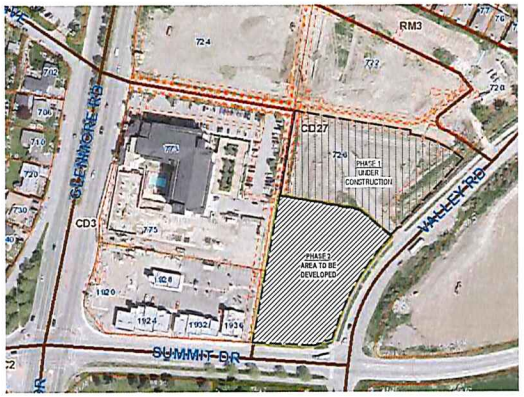
DP19-0152 DVP19-0153

City of Kelowna
DEVELOPMENT PLANNING

Planner Initials JB



1 SITE PLAN
DP-001 SCALE: 1 : 350



KEY PLAN - SITE
SCALE: 1 : 35

ZONING ANALYSIS TABLE:

ZONING: COMPREHENSIVE DEVELOPMENT ZONE CD27 - VALLEY LAND SUBDIVISION
LAND USE: MULTIPLE DWELLING HOUSING

BUILDING INFORMATION:	ZONE REQUIREMENT:	PROPOSAL:
SITE AREA (PARCEL / LOT)	MIN. 1400 sq.m.	6460 sq.m.
SITE WIDTH	MIN. 15m	54.7m / 81.1m (SHORTEST DISTANCE / LONGEST DISTANCE)
SITE DEPTH	MIN. 30m	92.5m / 104.4m (SHORTEST DISTANCE / LONGEST DISTANCE)
SITE COVERAGE OF BUILDINGS	MAX 40% (2584 sq.m.) ALLOWED	33.07% (2136.24 sq.m.)
SITE COVERAGE OF BUILDINGS, DRIVEWAYS & PARKING	MAX 65%	54.86% (3543.64 sq.m.)
DEVELOPMENT REGULATIONS:	**ZONE REQUIREMENT:**	**PROPOSAL:**
TOTAL NUMBER & TYPES OF UNITS	-	1 BEDROOM UNITS (TYPES A-D) = 42 UNITS 1 BEDROOM + DEN (TYPES A-D) = 34 UNITS 2 BEDROOM (TYPES A-D) = 13 UNITS 2 BEDROOM + DEN (TYPES A-D) = 10 UNITS PENTHOUSE = 1 UNIT TOTAL OF No. OF UNITS = 100 UNITS
FLOOR AREA (GROSS & NET)	- -	GROSS = 12325.6 sq.m. NET = 8674 sq.m.
FLOOR AREA RATIO (FAR)	MAX 1.35 (8721 sq.m.)	FAR = 1.34 (8674 sq.m.)
BUILDING HEIGHT (STORIES / METERS)	MAXIMUM IS THE LESSER OF: 4.5 STORIES or 18m	BUILDING GRADE TO HIGHEST PARAPET = 26.5m
BUILDING SETBACKS FRONT: (Summit Drive side - South) SIDE (INCLUDE DIRECTION): (Valley Road side - East) SIDE (INCLUDE DIRECTION): (Laneway - West) REAR: (Between Phase 1 & Phase 2 Buildings - North)	 MIN. 6.0m MIN. 6.0m MIN. 7.0m MIN. 9.0m	 7.0m 15.0m 7.0m 0.240m for the 14m wide portion of the building & 0m for 3.2 m wide Link walkway between 2 buildings
NUMBER OF PARKING STALLS / LOADING SPACES	RESIDENT PARKING: 1 BEDROOM = 1.25 STALLS/UNIT 74 UNITS * 1.25 STALLS = 93 STALLS 2 BEDROOM = 1.5 STALLS/UNIT 24 UNITS * 1.5 STALLS = 63 STALLS TOTAL RESIDENT STALLS = 131 STALLS VISITOR PARKING: 1 STALL PER 7 UNITS 100 UNITS / 7 = 14 STALLS TOTAL PARKING REQUIRED = 144 STALLS LARGE VEHICLE PARKING = 72 STALLS MEDIUM VEHICLE PARKING = 58 STALLS COMPACT VEHICLE PARKING = 14 STALLS [OFF-STREET PARKING (SIZE & RATIO CALCULATION) BASED ON 144 PARKING STALLS]	TOTAL RESIDENT STALLS = 134 STALLS TOTAL VISITOR PARKING = 16 STALLS TOTAL PARKING PROVIDED = 150 STALLS PARKADE = 63 + GRADE 14 STALLS = 77 STALLS PARKADE = 58 STALLS PARKADE = 21 STALLS GRADE BARRIER FREE. = 2 STALLS
DRIVE AISLE WIDTH	7.0m (2 WAY AISLES AND 90 DEG. PARKING)	7.0m
NUMBER OF BICYCLE PARKING SPACE	CLASS I - 0.5 PER DWELLING UNIT 100 UNITS * 0.5 = 50 BICYCLE STALLS CLASS II - 0.1 PER DWELLING UNIT 100 UNITS * 0.1 = 10 BICYCLE STALLS	50 BICYCLE STALLS (INSIDE) 10 BICYCLE STALLS (EXTERIOR)
PRIVATE OPEN SPACE AREA	1 BEDROOM = 15 sq.m./UNIT 42 UNITS * 15 sq.m. = 630 sq.m. 1 BEDROOM + DEN = 15 sq.m./UNIT 34 UNITS * 15 sq.m. = 510 sq.m. 2 BEDROOM = 25 sq.m. 13 UNITS * 25 = 325 sq.m. 2 BEDROOM + DEN = 25 sq.m. 11 UNITS * 25 = 275 sq.m. TOTAL PRIVATE OPEN SPACE - AREA REQ'D= 1740 sq.m.	MAIN FLOOR = 200 sq.m. SEVENTH FLOOR AMENITY AREA = 127 sq.m. EXTERIOR BALCONIES PER SUITE = 3.7 sq.m. * 100 UNITS = 370 sq.m. OUTDOOR CREEK AMENITY SPACE = 1138 sq.m. TOTAL PRIVATE OPEN SPACE - AREA PROVIDED = 1835 sq.m.

ARIAL VIEW OF ENTIRE SITE

ARIAL VIEW OF SITE

STREET VIEW FROM SUMMIT DRIVE

STREET VIEW FROM VALLEY ROAD

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revisions:

no	date	description
5	2020/02/13	ISSUED FOR DP FINAL SUBMISSION
4	2020/01/17	ISSUED FOR RE-SUBMISSION
3	2019/12/03	ISSUED FOR DP RE-SUBMISSION
2	2019/10/25	ISSUED FOR DP RE-SUBMISSION
1	2019/07/12	ISSUED FOR DEVELOPMENT PERMIT
0	2019/04/05	ISSUED FOR PRE-DP REVIEW

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seal:

permit:

client:
SUSSEX RETIREMENT LIVING

project:
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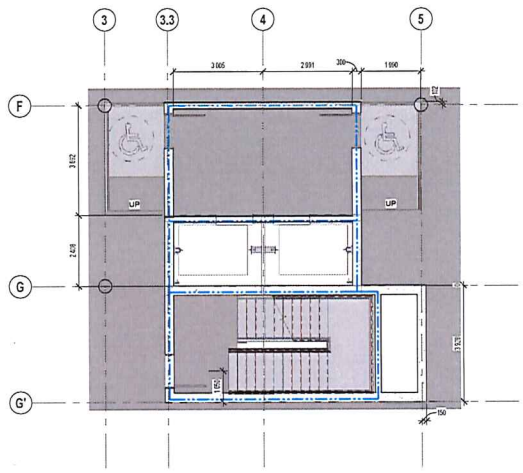
728 VALLEY ROAD, KELOWNA, BC.
LOT 2, SECTION 29, TOWNSHIP 26, OSOYOOS DIVISION YALE DISTRICT, PLAN EPP80501

drawn by: LC	reviewed: NA
scale: As indicated	approved: DS
date: 2020-02-11	project no: 2019-06

drawing title:
SITE PLAN & ZONING ANALYSIS

drawing no: DP-001
revision no: 5

1 DP-002 PARKADE LEVEL 1
SCALE: 1 : 200



2 DP-002 ENLARGED PARKADE CORE
SCALE: 1 : 75

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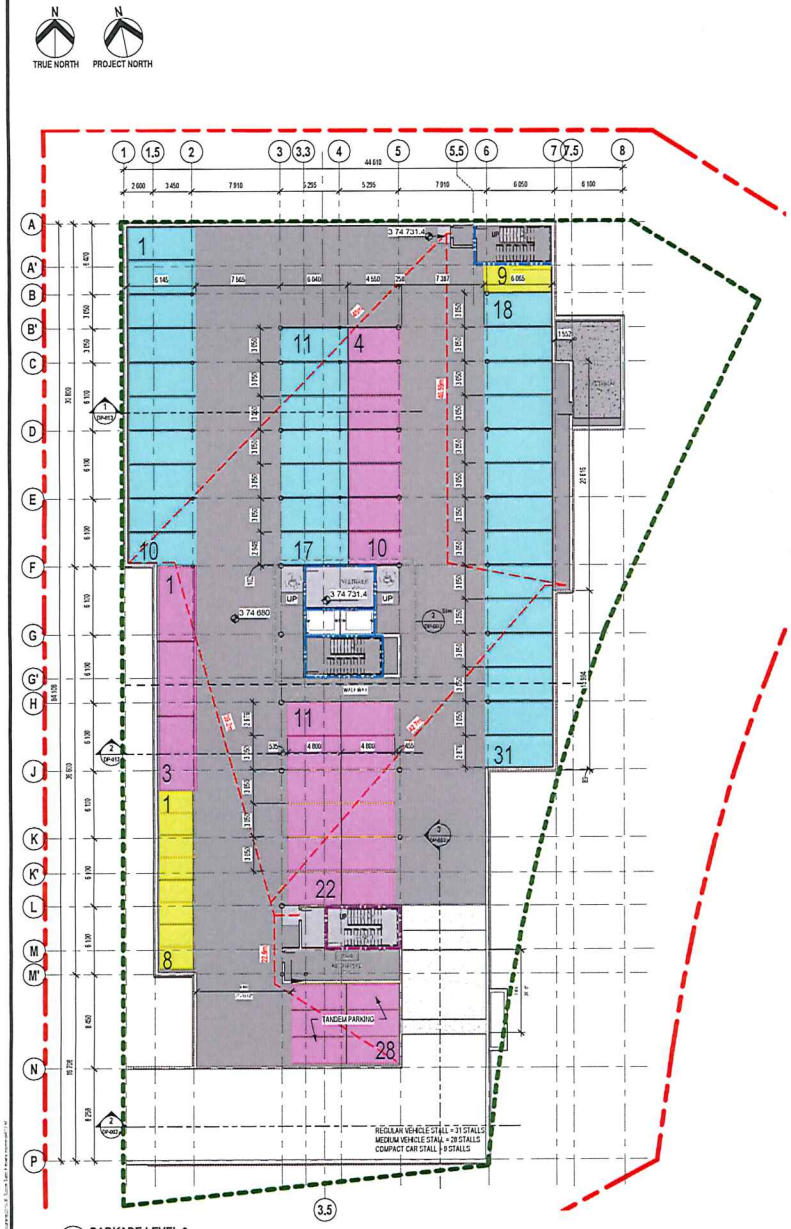
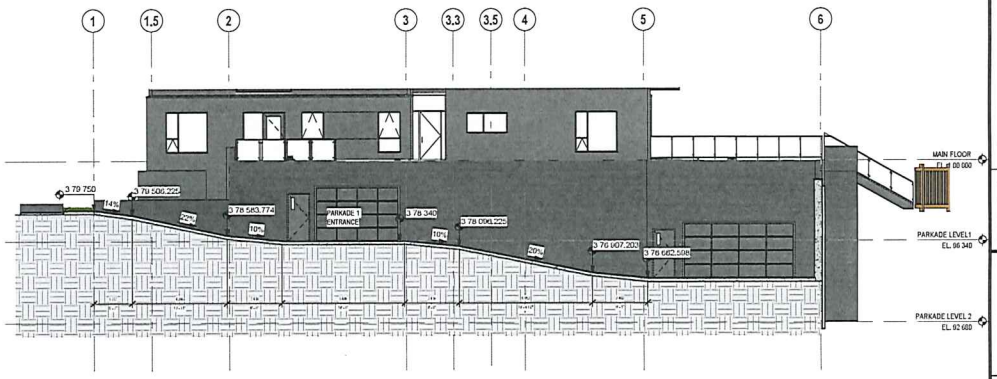
Author	Checker
scale: As indicated	approved: Approver
date: 2020-02-11	project no: 2019-06

drawing title:
PARKADE PLAN 1 & ENLARGED PLAN

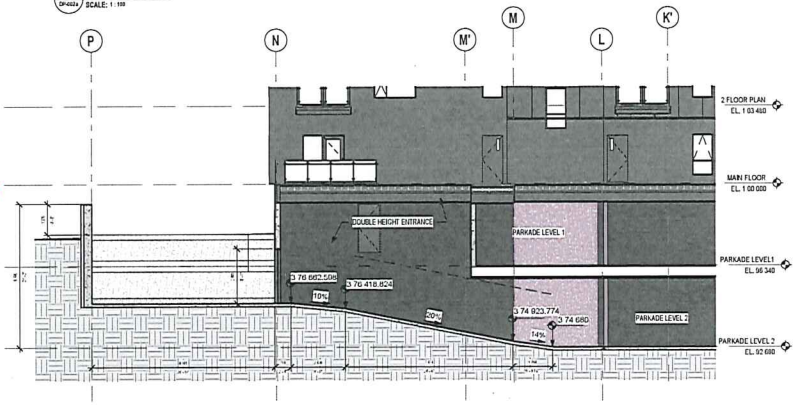
drawing no: DP-002
revision no: 3



1 DP-002a PARKADE LEVEL 2
SCALE: 1 : 200



2 DP-002a RAMP SECTION
SCALE: 1 : 100



3 DP-002a RAMP SECTION TO PARKADE 2
SCALE: 1 : 100

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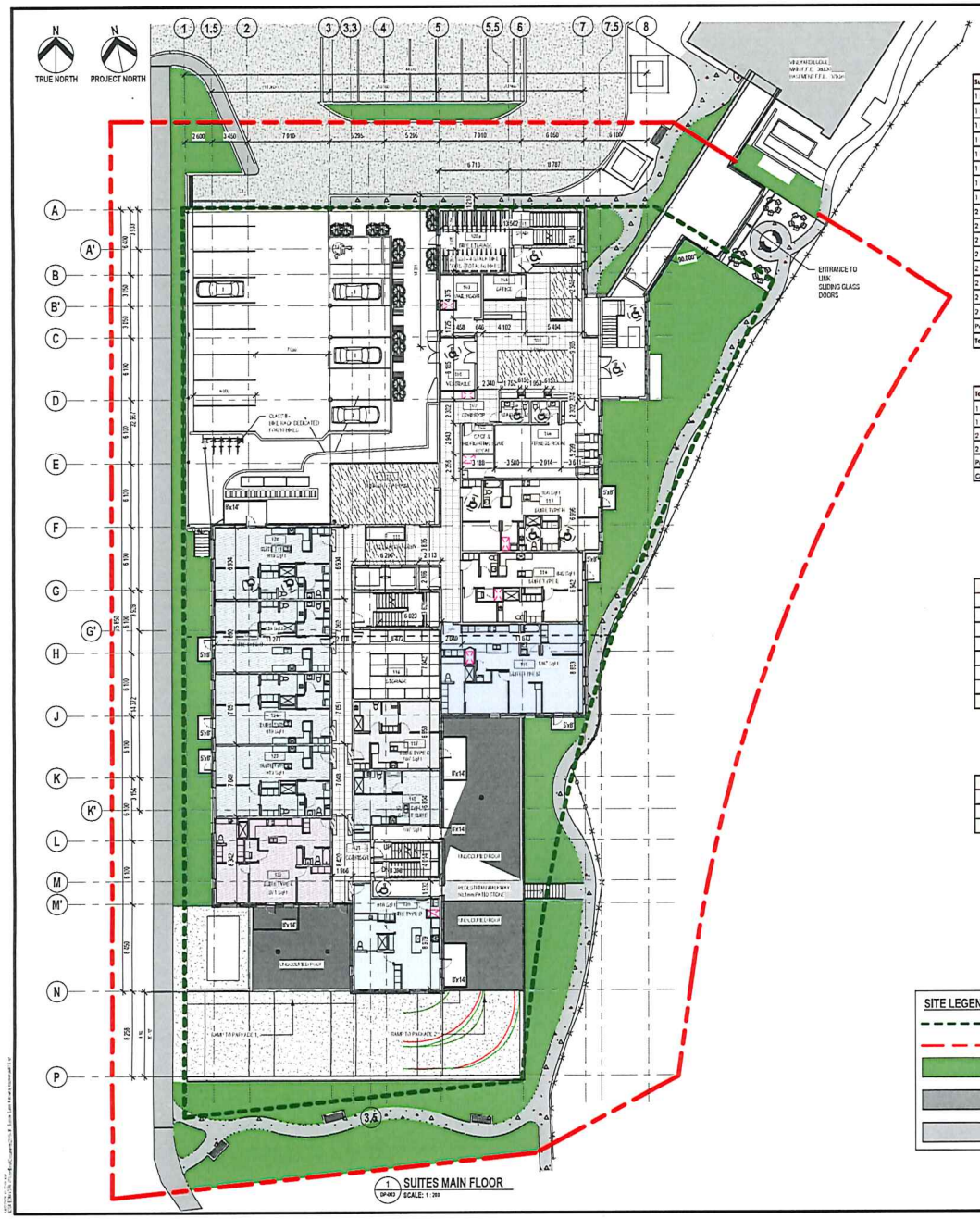
drawn by: LC	reviewed: NA
scale: As indicated	approved: DS
date: 2020-02-11	project no: 2019-06

drawing title:
PARKADE PLAN 2 & RAMP SECTION

drawing no: DP-002a
revision no: 4



Suite Types	Square Footage/ Suite - (TLAR)	Square Footage/ Suite - (TLAO)	Total Suite Count	Total Suite Type Area (TLAR)	Total Suite Type Area (TLAO)
1 Bedroom 'A'	744	807	9	6,696	7,263
1 Bedroom 'B'	819	878	25	20,475	21,950
1 Bedroom 'C'	597	655	7	4,179	4,585
1 Bedroom 'D'	818	931	1	818	931
1 Bedroom + Den 'A'	945	907	7	5,915	6,349
1 Bedroom + Den 'B'	1,035	1,110	6	6,210	6,660
1 Bedroom + Den 'C'	956	1,028	19	18,164	19,532
1 Bedroom + Den 'D'	949	1,063	2	1,898	2,126
2 Bedroom 'A'	1105	1206	5	5,525	6,030
2 Bedroom 'B'	1093	1185	1	1,093	1,185
2 Bedroom 'C'	971	1065	6	5,826	6,390
2 Bedroom 'D'	1040	1138	1	1,040	1,138
2 Bedroom + Den 'A'	1,287	1,389	1	1,287	1,389
2 Bedroom + Den 'B'	1,339	1,446	5	6,695	7,230
2 Bedroom + Den 'C'	1,234	1,332	2	2,468	2,664
2 Bedroom + Den 'D'	1,216	1,313	2	2,432	2,626
Penthouse Suite	1,240	1,453	1	1,240	1,453
Totals	**17,388**	**18,906**	**100**	**92,041**	**99,501**

"Areas calculated from exterior face of suite wall."

"Areas calculated from CL of party walls, outside face of wall at corridors (thru exterior wall)."

"The lighter assumes the cost of the party corridor (and exterior wall) are the **owners** responsibility."

"The darker assumes the cost of the party corridor (and exterior wall) are the **renters** responsibility."

Total Suite Type	Total Count
1 Bedroom	42
1 Bedroom + Den	34
2 Bedroom	13
2 Bedroom + Den	10
Penthouse	1
Guest Suite	1

Floor	# of Suites	Total Footprint/ Floor (TFP)	Partial Floor Area/ Floor (PFA)	Total Area of Suites (TAR)	Total Leasable Area - Renter (TLAR)	Total Leasable Area - Owner (TLAO)
7	11	17,005	15,453	11,546	11,379	12,293
6	15	18,897	18,247	14,073	13,867	14,972
5	16	19,964	19,316	15,082	14,867	16,064
4	16	19,964	19,316	15,082	14,887	16,064
3	18	21,045	20,396	16,030	15,814	17,124
2	14	17,365	16,917	12,663	12,477	13,497
1	10	18,232	13,425	8,582	8,730	9,487
Totals	**100**	**132,672**	**123,370**	**93,344**	**92,041**	**99,501**

"Actual gross areas are calculated from the outmost face of the exterior wall & gross floorplate."
"Area includes all suites, circulation, storage, and amenity space."
"Excludes parkade areas."

"Areas calculated as per BOMA standards."
"Areas are calculated by subtracting the amenity storage from the total footprint."

"Areas calculated as per BOMA requirements."
"Exterior wall area taken from the CL of party wall."
"Interior wall area taken from inside face of suite wall."
"Does not include amenity circulation or storage."
Max FAR: 92,672 Sqft (8731 Sqm)
Provided FAR: 93,344 Sqft (8674 Sqm)

"Areas calculated from exterior face of suite wall."
"The lighter assumes the cost of the party corridor and exterior walls are the **owners** responsibility."

"Areas calculated from CL of party walls, outer face of wall at corridors and exterior walls."
"The darker assumes the cost of the party corridor and exterior wall are the **renters** responsibility."

Floor	# of Stalls	Total Footprint/ Parkade
P1	64	29,926
P2	68	28,745
Totals	**132**	**57,671**

Level	Efficiency Factor %	Efficiency Factor %	Efficiency Factor %	Efficiency Factor %
7	67%	74%	72%	80%
6	73%	76%	79%	82%
5	73%	77%	80%	83%
4	72%	77%	80%	83%
3	75%	78%	81%	84%
2	71%	74%	77%	80%
1	48%	64%	52%	70%
	69%	**75%**	**78%**	**81%**
	* TLAR / TFP Total leasable area (renter) / Total footprint	* TLAO / TFP Total leasable area (owner) / Total footprint	* TLAR / PFA Total leasable area (renter) / Partial footprint	* TLAO / PFA Total leasable area (owner) / Partial footprint

Total Area Calculation:

Total Footprint Area	Total Parkade Area	Total Combined Footprint
132,672	57,671	190,343

SITE LEGEND

- SETBACK LINE
- PROPERTY LINE
- LANDSCAPE AREA
- PAVED DRIVE/ PARKING LOT
- PEDESTRIAN WALKWAY

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revisions:

no	date	description
3	2020/02/13	ISSUED FOR DP FINAL SUBMISSION
2	2019/12/13	ISSUED FOR DP RE-SUBMISSION
1	2019/07/12	ISSUED FOR DEVELOPMENT PERMIT
0	2019/04/05	ISSUED FOR PRE-DP REVIEW

consultant:

seal:

permit:

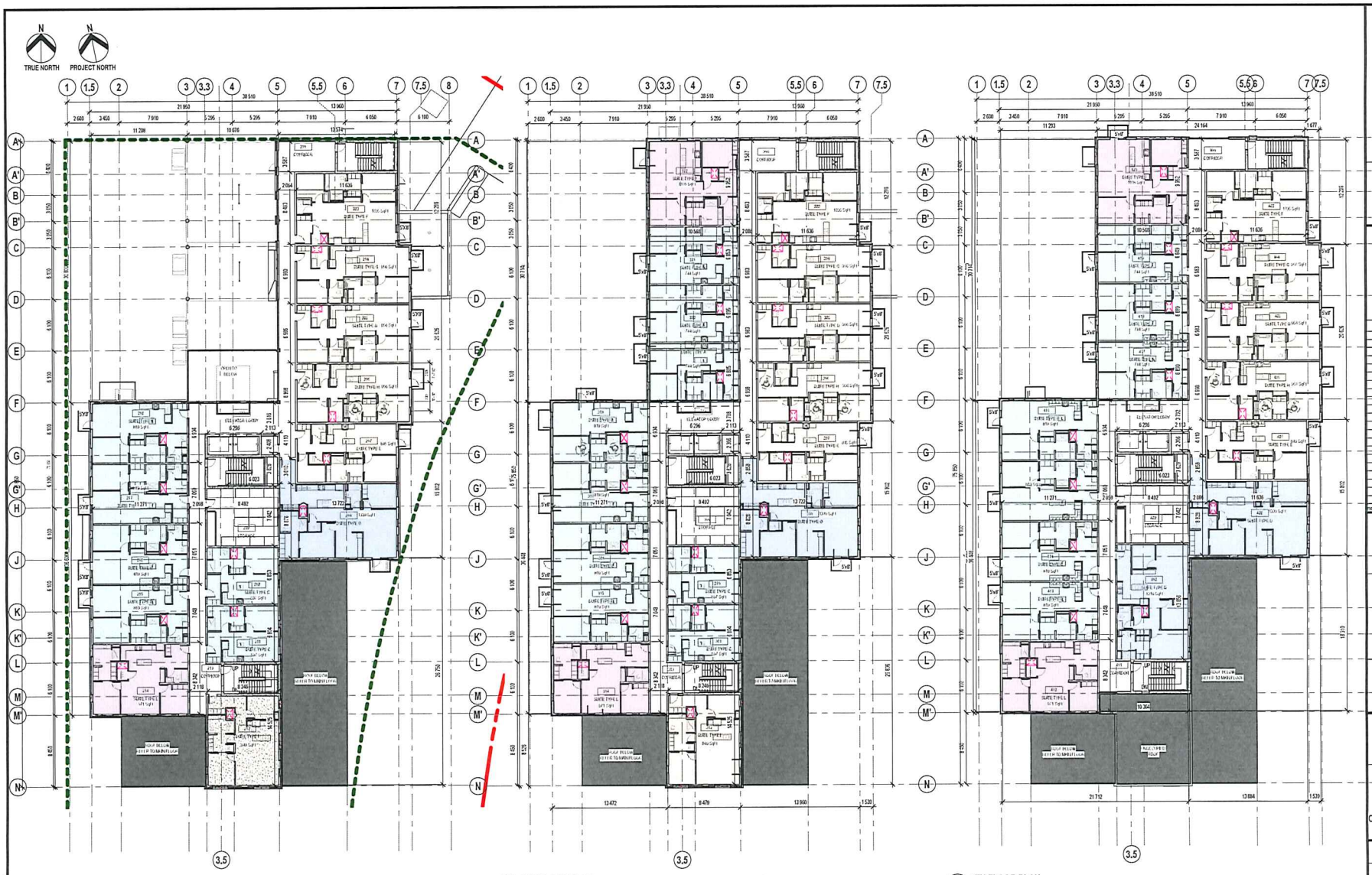
client:
SUSSEX RETIREMENT LIVING

project:
THE VINEYARDS SUITES
728 VALLEY ROAD, KELOWNA, BC.
LOT 2, SECTION 29, TOWNSHIP 26, OSOYOOS DIVISION YALE DISTRICT, PLAN EPP80501

drawn by: LC/AM	reviewed: NA
scale: As indicated	approved: DS
date: 2020-02-11	project no: 2019-06

drawing title:
MAIN FLOOR PLAN

drawing no:	revision no:
DP-003	3



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1	2019/07/12	ISSUED FOR DEVELOPMENT PERMIT
0	2019/06/05	ISSUED FOR PRE-DP REVIEW

consultant:

seal:

permit:

client:
SUSSEX RETIREMENT LIVING

project:
THE VINEYARDS SUITES
728 VALLEY ROAD, KELOWNA, BC.
LOT 2, SECTION 29, TOWNSHIP 26, OSOYOOS DIVISION YALE DISTRICT, PLAN EPP80501

drawn by: LC/AM	reviewed: NA
scale: 1 : 200	approved: DS
date: 2020-02-11	project no: 2019-06

drawing title:
2ND, 3RD & 4TH FLOOR PLAN,

drawing no: DP-004
revision no: 3

1 5TH FLOOR PLAN
DP-005 SCALE: 1 : 200

2 6TH FLOOR PLAN
DP-005 SCALE: 1 : 200

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0	2019/04/05	ISSUED FOR PRE-DP REVIEW

consultant:

seal:

permit:

client:
SUSSEX RETIREMENT LIVING

project:
THE VINEYARDS SUITES
728 VALLEY ROAD, KELOWNA, BC.
LOT 2, SECTION 29, TOWNSHIP 26, OSOYOOS DIVISION YALE DISTRICT, PLAN EPP80501

drawn by:	reviewed:
LC/AM	NA
scale: 1 : 200	approved: DS
date: 2020-02-11	project no: 2019-06

drawing title:
5TH & 6TH FLOOR PLAN

drawing no:	revision no:
DP-005	3

1 7TH FLOOR PLAN
DP-006 SCALE: 1 : 200

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0	2019/04/05	ISSUED FOR PRE-DP REVIEW

consultant:

seal:

permit:

client:
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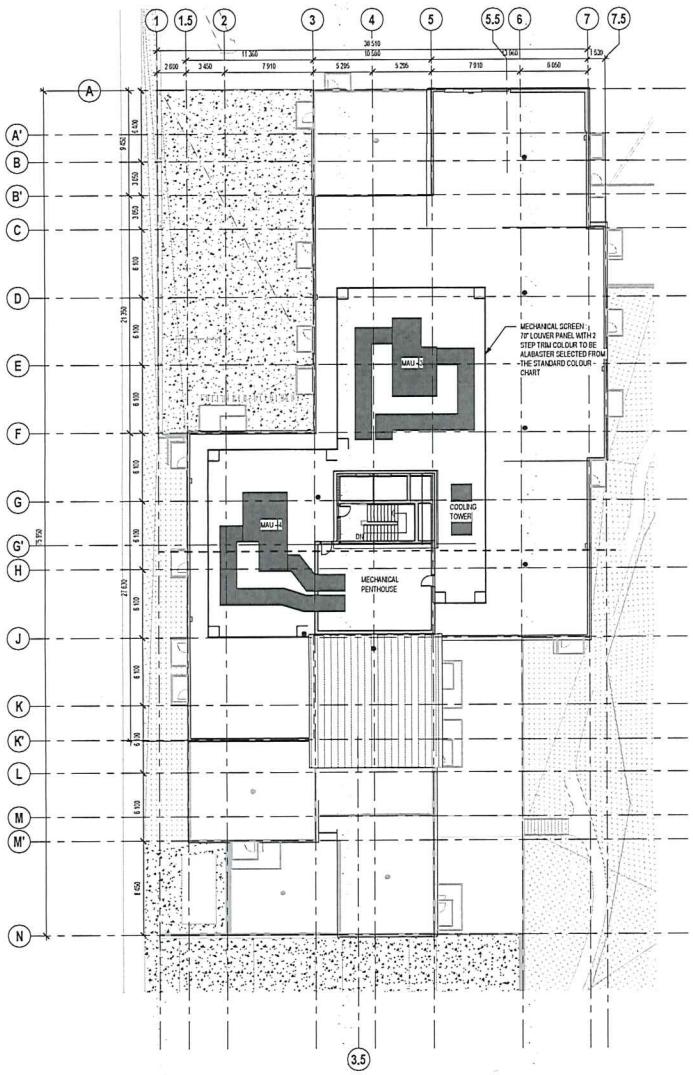
project:
THE VINEYARDS SUITES
728 VALLEY ROAD, KELOWNA, BC.
LOT 2, SECTION 29, TOWNSHIP 26, OSOYOOS DIVISION YALE DISTRICT, PLAN EPP80501

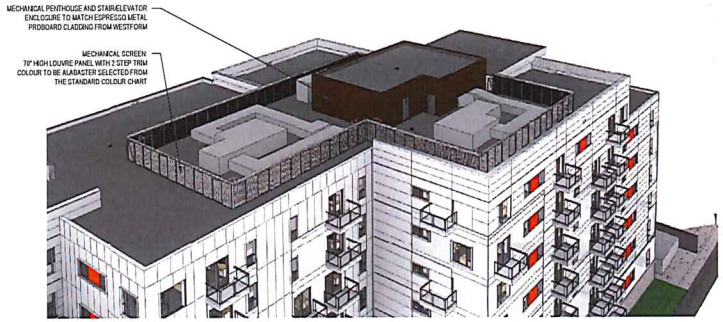
drawn by:	reviewed:
LC/AM	NA
scale: 1 : 200	approved: DS
date: 2020-02-11	project no: 2019-06

drawing title:
7TH FLOOR PLAN

drawing no: DP-006
revision no: 3



1 DP-06a T/O ROOF
SCALE: 1 : 200



2 DP-06a ENLARGED 3D ROOF TOP VIEW
SCALE:

3 DP-06a 3D VIEW
SCALE:

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1	2020/02/13	ISSUED FOR DP FINAL SUBMISSION
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consultant:

seal:

permit:

client:
SUSSEX RETIREMENT LIVING

project:
THE VINEYARDS SUITES

728 VALLEY ROAD,
KELOWNA, BC.

drawn by:	reviewed:
LC	NA
scale: 1 : 200	approved: NA
date: 2019-11-29	project no: 2019-06

drawing title:
ROOF PLAN

drawing no:	revision no:
DP-06a	1

SCHEDULE B

This forms part of application

DP19-0152 DVP19-0153

City of Kelowna
DEVELOPMENT PLANNING

Planner Initials JB

1 SOUTH ELEVATION
DP-011 SCALE: 1 : 200

2 WEST ELEVATION
DP-011 SCALE: 1 : 200

3 NORTH ELEVATION
DP-011 SCALE: 1 : 200

4 EAST ELEVATION
DP-011 SCALE: 1 : 200

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consultant:

seal:

permit:

client:
SUSSEX RETIREMENT LIVING LTD.

project:
KELOWNA SUSSEX - SUITES.
PLAN EPP80501, LOT 2, SECTION 29, TOWNSHIP 26, ODYD
728 VALLEY ROAD,
KELOWNA, BC.

drawn by: DK	reviewed: NA
scale: 1 : 200	approved: DS
date: 2019-10-25	project no: 2019-06

drawing title:
ELEVATIONS

drawing no: DP-011	revision no: 3

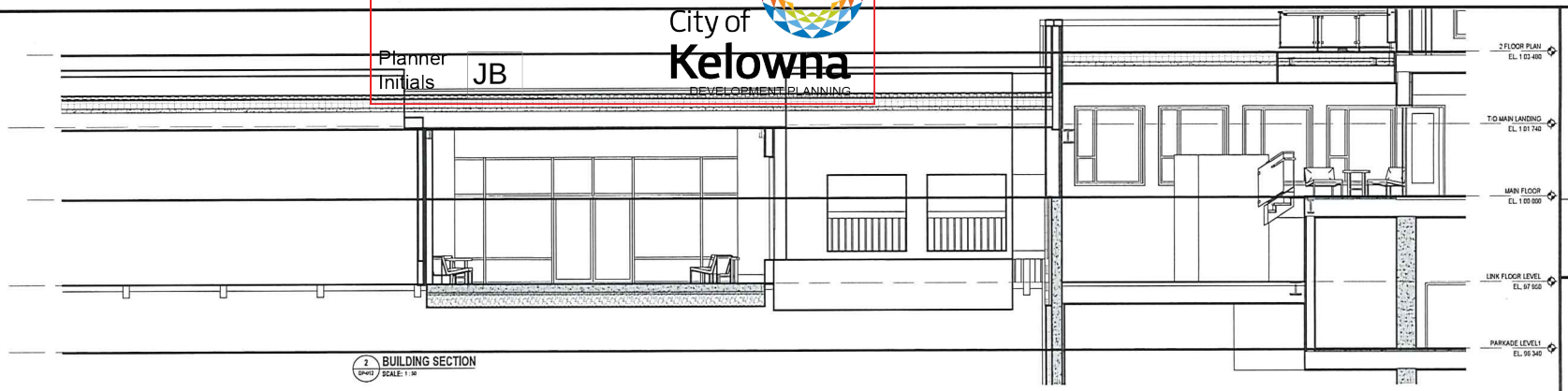
SCHEDULE B

This forms part of application

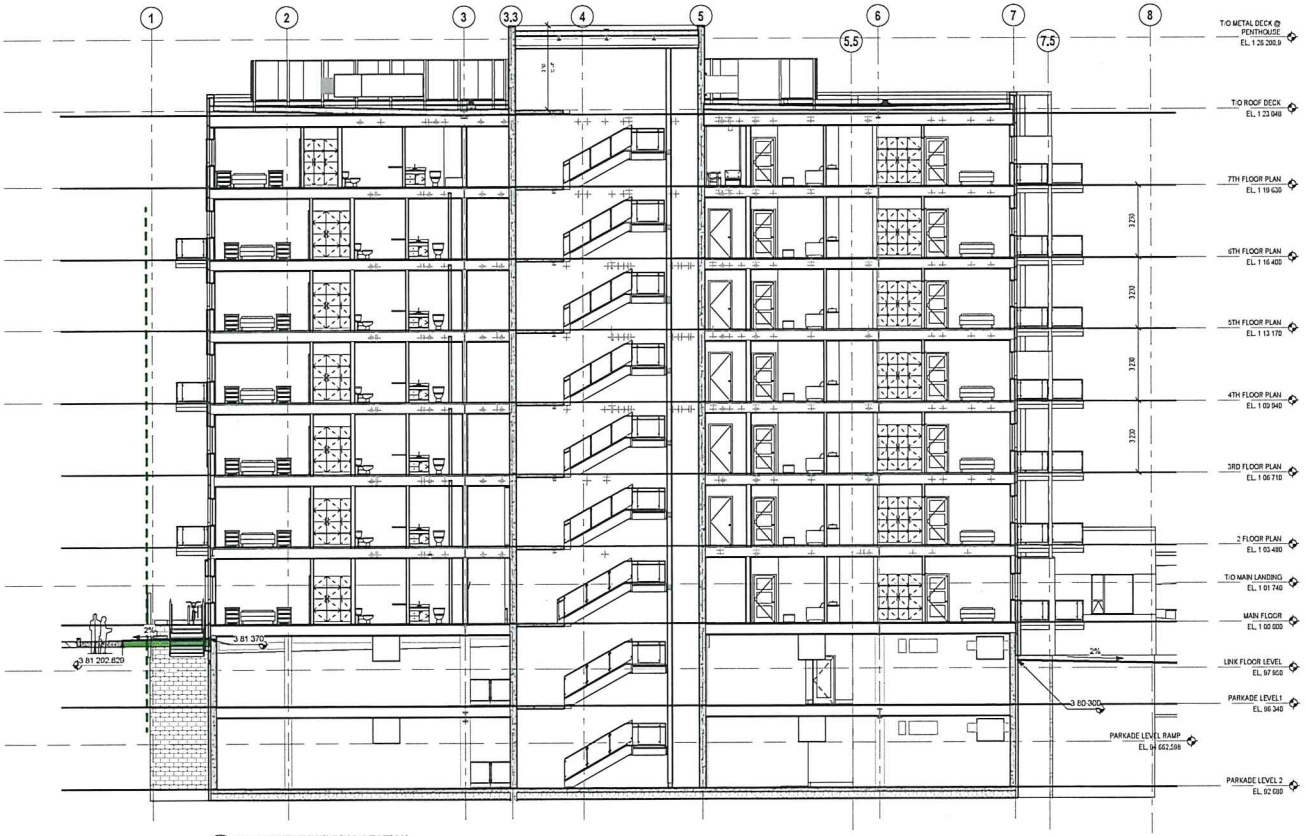
DP19-0152 DVP19-0153

City of Kelowna
DEVELOPMENT PLANNING

Planner Initials JB



2 BUILDING SECTION
DP-012 / SCALE: 1 : 50



1 EAST / WEST BUILDING SECTION
DP-012 / SCALE: 1 : 100

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consultant:

seal:

permit:

client:
SUSSEX RETIREMENT LIVING

project:
THE VINEYARDS SUITES
728 VALLEY ROAD, KELOWNA, BC.
LOT 2, SECTION 29, TOWNSHIP 26, OSOYOOS DIVISION YALE DISTRICT, PLAN EPP80501

drawn by: LC	reviewed: NA
scale: As indicated	approved: DS
date: 2020-02-11	project no: 2019-06

drawing title:
BUILDING SECTIONS

drawing no: DP-012	revision no: 3

SCHEDULE C

This forms part of application

DP19-0152 DVP19-0153

Planner Initials JB

City of Kelowna
DEVELOPMENT PLANNING

NOTES

1. PLANT MATERIAL AND CONSTRUCTION METHODS SHALL MEET OR EXCEED CSLA STANDARDS.

2. ALL SOFT LANDSCAPE AREAS SHALL BE WATERED BY A FULLY AUTOMATIC TIMED UNDERGROUND IRRIGATION SYSTEM.

3. TREE AND SHRUB BEDS TO BE DRESSED IN A MINIMUM 75mm DOUGLAS RED FIR MULCH AS SHOWN IN PLANS. DO NOT PLACE WEED MAT UNDERNEATH TREE AND SHRUB BEDS.

4. TREE AND SHRUB BEDS TO RECEIVE A MINIMUM 300mm DEPTH TOPSOIL PLACEMENT; DRYLAND SEED AREAS TO RECIEVE A MINIUM 50mm DEPTH TOPSOIL PLACEMENT.

5. TURF AREAS FROM SOD SHALL BE NO. 1 GRADE GROWN FROM CERTIFIED SEED OF IMPROVED CULTIVARS REGISTERED FOR SALE IN B.C. AND SHALL BE TOLERANT OF DROUGHT CONDITIONS. A MINIMUM OF 100mm DEPTH OF GROWING MEDIUM IS REQUIRED BENEATH TURF AREAS. TURF AREAS SHALL MEET EXISTING GRADES AND HARD SURFACES FLUSH.

6. SITE GRADING AND DRAINAGE WILL ENSURE THAT ALL STRUCTURES HAVE POSITIVE DRAINAGE AND THAT NO WATER OR LOOSE IMPEDIMENTS WILL BE DISCHARGED FROM THE LOT ONTO ADJACENT PUBLIC, COMMON, OR PRIVATE PROPERTIES.

7. HYDROSEEDING DRYLAND SEED AREAS:

DRYLAND SEED MIXTURE	*BY WEIGHT*	*BY SPECIES*	*WILDFLOWER SEED MIXTURE*	*BY WEIGHT*
BLUE BUNCH WHEAT GRASS	41%	23%	SILKY LUPINE	30%
ROUGH FESCUE	25%	20%	BALSAM ROOT	30%
IDAHO FESCUE	15%	19%	BROWN EYED SUSAN	35%
PERENNIAL RYEGRASS	10%	7%	COMMON YARROW	5%
SANDBERG BLUEGRASS	5%	13%		
JUNE GRASS	4%	18%		

HYDROSEEDING APPLICATION RATE (DRYLAND SEED AREA)

NATIVE SEED	DRYLAND SEED MIXTURE	125KG/HECTARE
	WILDFLOWER SEED MIXTURE	1KG/HECTARE
FERTILIZER	18-18-18-2, 50% SULPHUR COATED UREA	300KG/HECTARE
MULCH	CANFOR ECOFIBRE PLUS TAC	2,800KG/HECTARE
TACKIFIER	GUAR	3% OF MIX

THE ABOVE HYDROSEEDING MIXTURE IS RECOMMENDED FOR THE DRYLAND SEED AREA AS SHOWN ON THE DRAWING, HOWEVER THE FINAL SEED APPLICATION SHALL INCLUDE THE LARGEST NATIVE GRASS SPECIES POSSIBLE, AS DETERMINED BY THE ENVIRONMENTAL CONSULTANT, LANDSCAPE ARCHITECT, AND GEOTECHNICAL ENGINEER. SEED MIX TO BE CERTIFIED #1 GRADE BY AGRICULTURE CANADA. REFER MANUFACTURER'S SPECIFICATIONS FOR PRODUCT DELIVERY, STORAGE & PROTECTION.

PLANT LIST

BOTANICAL NAME	COMMON NAME	QTY	SIZE/SPACING & REMARKS
TREES			
ACER GRISEUM	PAPERBARK MAPLE	10	6cm CAL.
ACER PALMATUM 'SANGO KAKU'	SANGO KAKU JAPANESE MAPLE	8	6cm CAL.
CRATAEGUS VIRIDIS 'WINTER KING'	GREEN HAWTHORN	1	6cm CAL.
PICEA PUNGENS	BLUE SPRUCE	7	2.5M HT. MIN.
QUERCUS ROBUR X BICOLOR 'LONG'	REGAL PRINCE OAK	1	6cm CAL.
QUERCUS PALUSTRIS 'PINGREEN'	GREEN PILLAR OAK	10	6cm CAL.
SYRINGA RETICULATA 'IVORY SILK'	IVORY SILK LILAC	9	6cm CAL.
TILIA CORDATA 'GREENSPIRE'	GREENSPIRE LINDEN	6	6cm CAL.
SHRUBS			
BERBERIS THUNBERGII 'MONOMB'	CHERRY BOMB BARBERRY	63	#01 CONT. /1.0M O.C. SPACING
BUXUS 'GREEN GEM'	GREEN GEM BOXWOOD	175	#01 CONT. /0.6M O.C. SPACING
CORNUS ALBA 'BAILHALO'	IVORY HALO DOGWOOD	28	#02 CONT. /1.5M O.C. SPACING
HYDRANGEA ARBORESCENS 'NCHA3'	INVINCIBELLE RUBY HYDRANGEA	63	#01 CONT. /1.0M O.C. SPACING
HYDRANGEA PANICULATA 'JANE'	LITTLE LIME HYDRANGEA	28	#02 CONT. /1.5M O.C. SPACING
MAHONIA AQUIFOLIUM	OREGON GRAPE	28	#02 CONT. /1.5M O.C. SPACING
PHILADELPHUS 'SNOWBELLE'	SNOWBELLE MOCKORANGE	63	#01 CONT. /1.0M O.C. SPACING
ROSA 'MORDEN SUNRISE'	MORDEN SUNRISE ROSE	113	#01 CONT. /0.75M O.C. SPACING
ROSA WOODSII	WOODS ROSE	28	#02 CONT. /1.5M O.C. SPACING
SPIRAEA 'GOLDMOUND'	GOLDMOUND SPIREA	112	#01 CONT. /0.75M O.C. SPACING
SYMPHORICARPOS ALBUS	SNOWBERRY	63	#01 CONT. /1.0M O.C. SPACING
SYRINGA 'PENDA'	BLOOMERANG DARK LILAC	43	#02 CONT. /1.2M O.C. SPACING
PERENNIALS, GRASSES, & GROUNDCOVERS			
ALCHEMILLA MOLLIS	LADY'S MANTLES	93	#01 CONT. /0.6M O.C. SPACING
ARCTOSTAPHYLOS UVA-URSI	KINNIKINNICK	60	#01 CONT. /0.75M O.C. SPACING
CALAMAGROSTIS ACUTIFLORA 'KARL FOERSTER'	KARL FOERSTER FEATHER REED GRASS	41	#01 CONT. /0.9M O.C. SPACING
ECHINACEA PURPUREA 'MAGNUS'	PURPLE CONEFLOWER	93	#01 CONT. /0.6M O.C. SPACING
HEMEROCALLIS 'STELLA D'ORO'	STELLA D'ORO DAYLILY	93	#01 CONT. /0.6M O.C. SPACING
HOSTA 'FRAGRANT BOUQUET'	FRAGRAND BOUQUET HOSTA	34	#01 CONT. /1.0M O.C. SPACING
IRIS SIBIRICA 'PAINTED DESERT'	PAINTED DESERT SIBERIAN IRIS	93	#01 CONT. /0.6M O.C. SPACING
LEUCANTHEMUM SUPERBUM 'ACLAIA'	ACLAIA SHASTA DAISY	41	#01 CONT. /0.9M O.C. SPACING
MATTHEUCCIA STRUTHIOPTERIS	OSTRICH FERN	34	#01 CONT. /1.0M O.C. SPACING
PANICUM VIRGATUM 'ROSTRAHLBUSCH'	RED SWITCHGRASS	41	#01 CONT. /0.9M O.C. SPACING
PARTHENOCISSUS QUINQUEFOLIA	VIRGINA CREEPER	23	#01 CONT. /1.2M O.C. SPACING
PENNISETUM 'LITTLE BUNNY'	LITTLE BUNNY FOUNTAIN GRASS	93	#01 CONT. /0.6M O.C. SPACING
RUDBECKIA FULGIDA 'GOLDSTURM'	GOLDSTURM CONEFLOWER	60	#01 CONT. /0.75M O.C. SPACING
SALVIA NEMOROSA 'CARADONNA'	CARADONNA MEADOW SAGE	60	#01 CONT. /0.75M O.C. SPACING
SEDUM SPECTABILE 'AUTUMN JOY'	AUTUMN JOY STONECROP	60	#01 CONT. /0.75M O.C. SPACING
VINE PLANTINGS			
PARTHENOCISSUS TRICUSPIDATA	VIRGINIA CREEPER	20	#01 CONT. /0.75M O.C. SPACING

OUTLAND DESIGN
LANDSCAPE ARCHITECTURE
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Kelowna, BC V1Y 7S2
T (250) 868-8270
www.outlanddesign.ca

N

PROJECT TITLE

SUSSEX SUITES
728 VALLEY ROAD

Kelowna, BC

DRAWING TITLE

CONCEPTUAL LANDSCAPE PLAN

ISSUED FOR / REVISION		
1	19.12.03	Review
2	19.12.04	Review
3	19.12.14	Revised for City Development Permit
4	20.12.02	Revised for City Development Permit
5		

PROJECT NO.	19-186
DESIGNED BY	RM
DRAWN BY	FBO
CHECKED BY	FB
DATE	JAN. 02, 2020
SCALE	1:200

SEAL

BRITISH COLUMBIA SOCIETY OF LANDSCAPE ARCHITECTS
REGISTERED MEMBER
FIONA BARTON
334

DRAWING NUMBER

L1/2

ISSUED FOR REVIEW ONLY

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SCHEDULE C

This forms part of application

DP19-0152 DVP19-0153

City of Kelowna
DEVELOPMENT PLANNING

Planner Initials JB

0 5 10 15 20 25 M

IRRIGATION NOTES

1. IRRIGATION PRODUCTS AND INSTALLATION METHODS SHALL MEET OR EXCEED THE REQUIREMENTS OF THE WATER USE REGULATION BYLAW NO. 10480 AND THE SUPPLEMENTARY SPECIFICATIONS IN THE CITY OF KELOWNA BYLAW 7900 (PART 6, SCHEDULE 5).

2. THE IRRIGATION SYSTEM SHALL MEET THE REQUIREMENTS, REGULATIONS, AND BYLAWS OF THE WATER PURVEYOR.

3. THE IRRIGATION SYSTEM SHALL BE EQUIPPED WITH AN APPROVED BACKFLOW PREVENTION DEVICE, WATER METER, AND SHUT OFF VALVE LOCATED OUTSIDE THE BUILDING ACCESSIBLE TO THE CITY.

4. AN APPROVED SMART CONTROLLER SHALL BE INSTALLED. THE IRRIGATION SCHEDULING TIMES SHALL UTILIZE A MAXIMUM ET VALUE OF 7" / MONTH (KELOWNA JULY ET), TAKING INTO CONSIDERATION SOIL TYPE, SLOPE, AND MICROCLIMATE.

5. DRIP LINE AND EMITTERS SHALL INCORPORATE TECHNOLOGY TO LIMIT ROOT INTRUSION.

6. IRRIGATION SLEEVES SHALL BE INSTALLED TO ROUTE IRRIGATION LINES UNDER HARD SURFACES AND FEATURES.

7. IRRIGATION PIPE SHALL BE SIZED TO ALLOW FOR A MAXIMUM FLOW OF 1.5m /SEC.

8. A FLOW SENSOR AND MASTER VALVE SHALL BE CONNECTED TO THE CONTROLLER AND PROGRAMMED TO STOP FLOW TO THE SYSTEM IN CASE OF AN IRRIGATION WATER LEAK.

IRRIGATION LEGEND

ZONE #1: LOW VOLUME POP-UP SPRAYHEADS FOR TURF AREAS
TOTAL AREA: 33 sq.m.
MICROCLIMATE: SOUTH EXPOSURE, PARTIALLY SHADED BY TREES
ESTIMATED ANNUAL WATER USE: 47 cu.m.

ZONE #2: LOW VOLUME POP-UP SPRAYHEADS FOR TURF AREAS
TOTAL AREA: 75 sq.m.
MICROCLIMATE: SOUTH EXPOSURE, PARTIALLY SHADED BY TREES
ESTIMATED ANNUAL WATER USE: 107 cu.m.

ZONE #3: HIGH EFFICIENCY SUBSURFACE DRIP IRRIGATION FOR MODERATE WATER USE PLANTING AREAS
TOTAL AREA: 150 sq.m.
MICROCLIMATE: SOUTH EXPOSURE, PARTIALLY SHADED BY TREES
ESTIMATED ANNUAL WATER USE: 83 cu.m.

ZONE #4: HIGH EFFICIENCY SUBSURFACE DRIP IRRIGATION FOR MODERATE WATER USE PLANTING AREAS
TOTAL AREA: 240 sq.m.
MICROCLIMATE: SOUTHEAST EXPOSURE, PARTIALLY SHADED BY TREES & BUILDING
ESTIMATED ANNUAL WATER USE: 133 cu.m.

ZONE #5: HIGH EFFICIENCY SUBSURFACE DRIP IRRIGATION FOR MODERATE WATER USE PLANTING AREAS
TOTAL AREA: 268sq.m.
MICROCLIMATE: EAST EXPOSURE, PARTIALLY SHADED BY TREES & BUILDING
ESTIMATED ANNUAL WATER USE: 144 cu.m.

ZONE #6: HIGH EFFICIENCY SUBSURFACE DRIP IRRIGATION FOR MODERATE WATER USE PLANTING AREAS
TOTAL AREA: 169 sq.m.
MICROCLIMATE: WEST EXPOSURE, PARTIALLY SHADED BY TREES
ESTIMATED ANNUAL WATER USE: 94 cu.m.

ZONE #7: HIGH EFFICIENCY SUBSURFACE DRIP IRRIGATION FOR MODERATE WATER USE PLANTING AREAS
TOTAL AREA: 131 sq.m.
MICROCLIMATE: WEST EXPOSURE, SHADED BY TREES & BUILDING
ESTIMATED ANNUAL WATER USE: 73 cu.m.

ZONE #8: HIGH EFFICIENCY SUBSURFACE DRIP IRRIGATION FOR MODERATE WATER USE PLANTING AREAS
TOTAL AREA: 137 sq.m.
MICROCLIMATE: NORTH WEST EXPOSURE, PARTIALLY SHADED BY TREES
ESTIMATED ANNUAL WATER USE: 76 cu.m.

ZONE #9: HIGH EFFICIENCY SUBSURFACE DRIP IRRIGATION FOR MODERATE WATER USE PLANTING AREAS
TOTAL AREA: 91 sq.m.
MICROCLIMATE: SOUTH EXPOSURE, FULL SUN
ESTIMATED ANNUAL WATER USE: 51 cu.m.

WATER CONSERVATION CALCULATIONS

LANDSCAPE MAXIMUM WATER BUDGET (WB) = 1,813 cu.m. / year
ESTIMATED LANDSCAPE WATER USE (WU) = 856 cu.m. / year
WATER BALANCE = 957 cu.m. / year
*REFER ATTACHED IRRIGATION APPLICATION FOR DETAILED CALCULATIONS

OUTLAND DESIGN
LANDSCAPE ARCHITECTURE
303-590 KLO Road
Kelowna, BC V1Y 7S2
T (250) 868-8270
www.outlanddesign.ca

N

PROJECT TITLE
SUSSEX SUITES
728 VALLEY ROAD
Kelowna BC

DRAWING TITLE
WATER CONSERVATION/ IRRIGATION PLAN

ISSUED FOR / REVISION		
1	19.12.03	For Review
2	19.12.04	For Review
3	19.12.16	Revised per City Development Permit
4	20.12.02	Revised per City Development Permit
5		

PROJECT NO.	19-080
DESIGNED BY	KM
DRAWN BY	MC
CHECKED BY	FB
DATE	JAN 02, 2020
SCALE	1:200

SEAL

BRITISH COLUMBIA SOCIETY OF LANDSCAPE ARCHITECTS
REGISTERED MEMBER
FIONA BARTON
334

DRAWING NUMBER
L2/2

ISSUED FOR REVIEW ONLY

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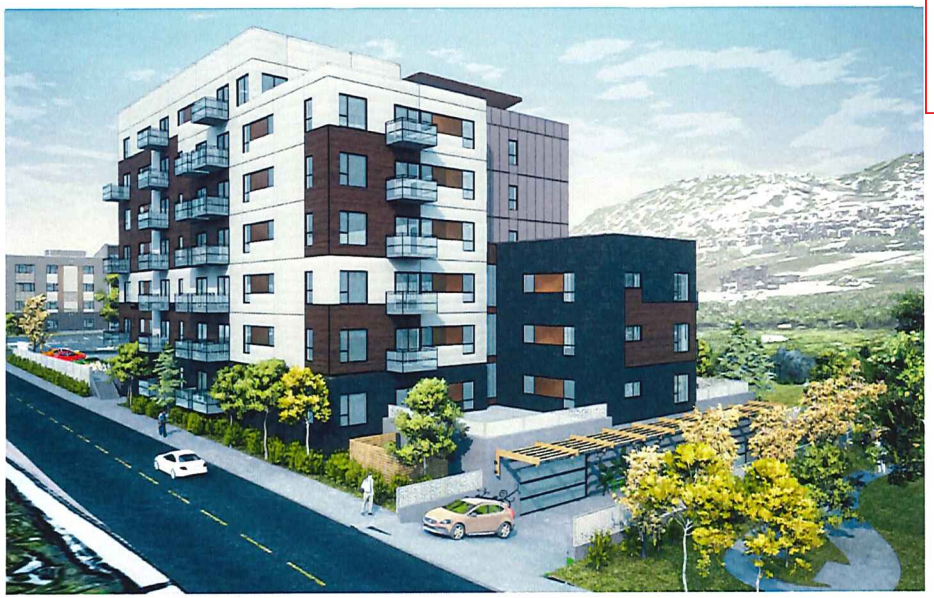
ATTACHMENT B

This forms part of application

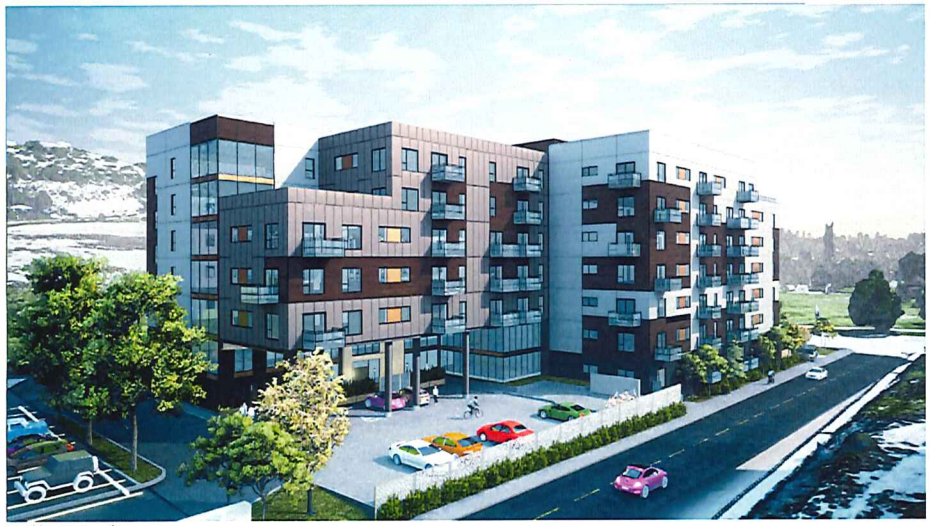
DP19-0152 DVP19-0153

Planner Initials JB

City of Kelowna
DEVELOPMENT PLANNING



south/west perspective



north/west perspective

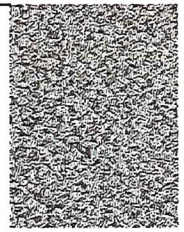
insulated metal panel

imperial white
kingspan - micro rib

NOT USED

taupestone
kingspan - micro rib

roofing



epdm roofing

brick

coal creek
brockwhite company

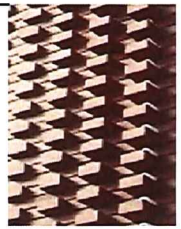
charcoal smooth
brockwhite company

metal cladding

copper
spandrel panel

espresso
westform - proboard

brick - design intent



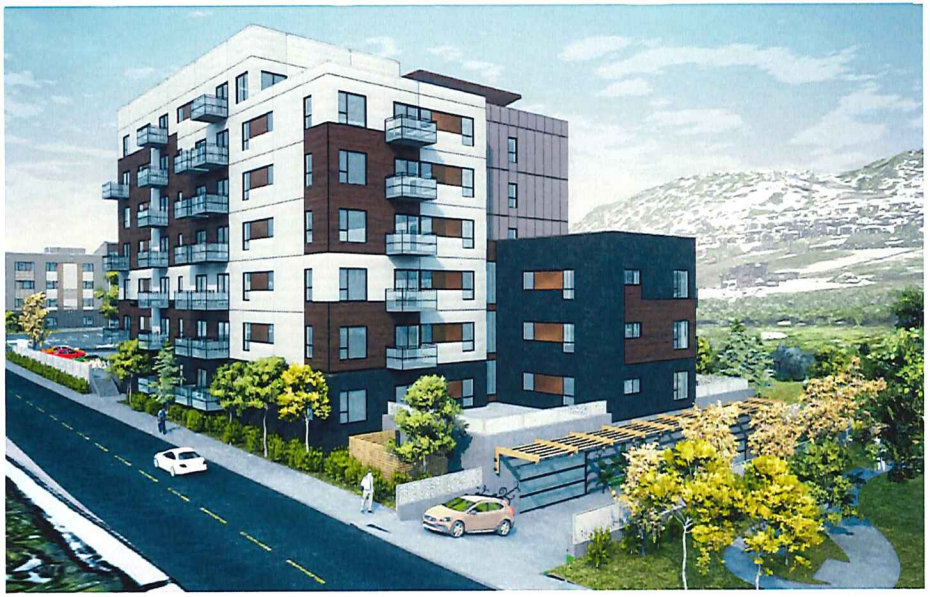
trim

black
- window frames
- canopy flashing
- balcony railings

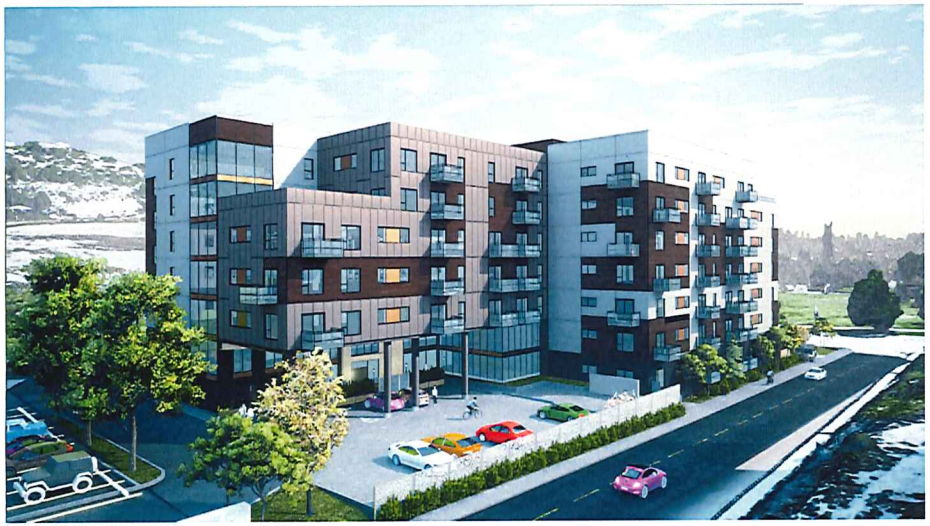
douglas sollows architect inc.

Sussex Vineyards Kelowna Suites

development permit - exterior colour board



south/west perspective



north/west perspective

insulated metal panel

imperial white
kingspan - micro rib

NOT USED

taupestone
kingspan - micro rib

roofing

epdm roofing

brick

coal creek
brockwhite company

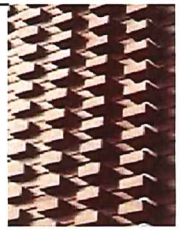
charcoal smooth
brockwhite company

metal cladding

copper
spandrel panel

espresso
westform - proboard

brick - design intent



trim

black
- window frames
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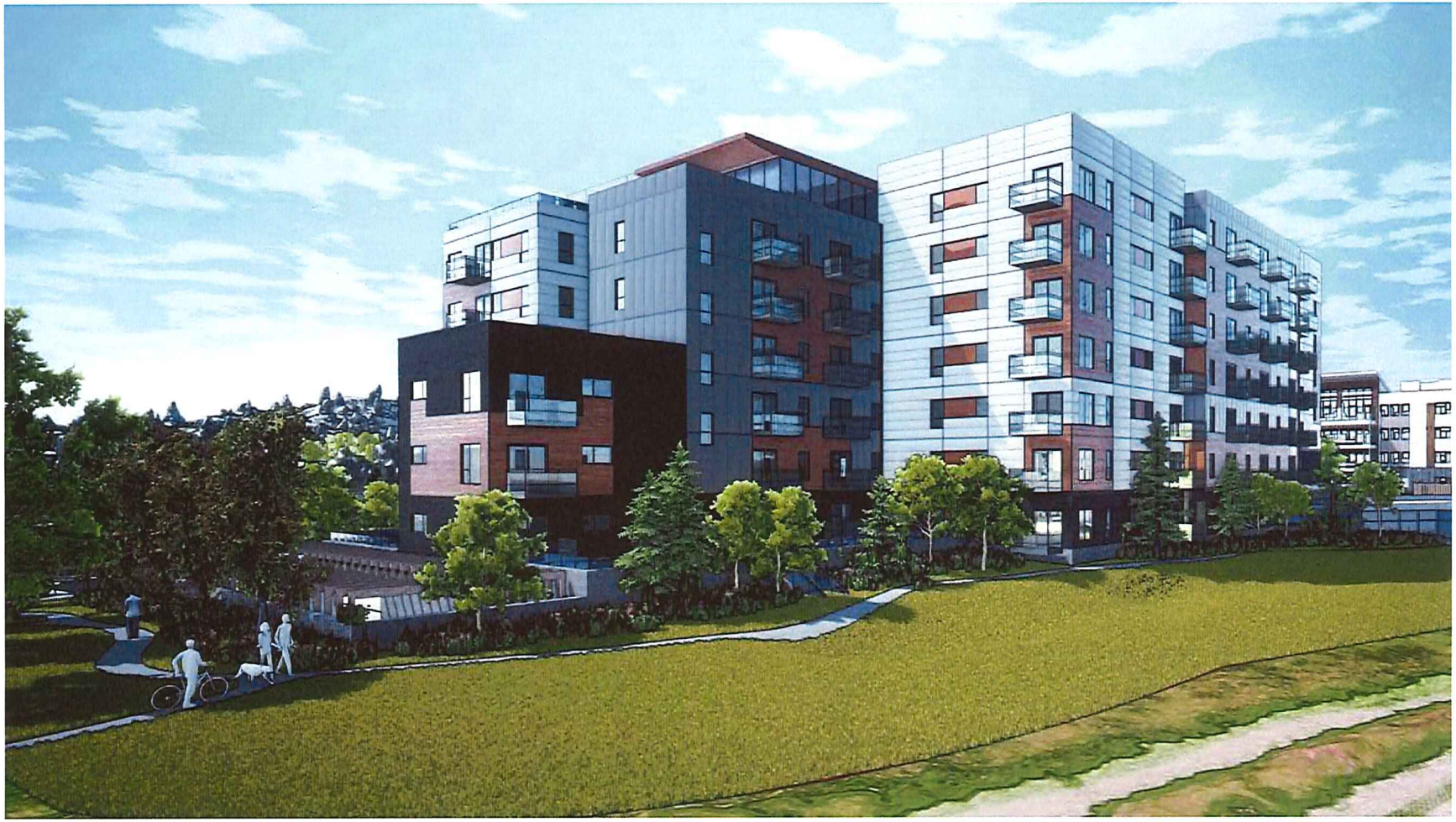
Sussex Vineyards Kelowna Suites

development permit - exterior colour board

douglas sollows architect inc.



SOUTH/EAST PERSPECTIVE

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revisions:

no.	date	description
8	2020/02/13	ISSUED FOR DP FINAL SUBMISSION

consultant:

seal:

permit:

client:
SUSSEX RETIREMENT LIVING

project:
THE VINEYARDS SUITES
728 VALLEY ROAD, KELOWNA, BC.
LOT 2, SECTION 29, TOWNSHIP 26, OSOYOOS DIVISION YALE DISTRICT, PLAN EPP80501

drawn by: DK	reviewed: NA
scale:	approved: DS
date: 2020-02-11	project no: 2019-06

drawing title:
PERSPECTIVES

drawing no: DP-016a	revision no: 0

RAMP ENTRANCE

RAMP ENTRANCE

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revisions:

no	date	description
1	2020/02/13	ISSUED FOR DP FINAL SUBMISSION
0	2019/11/25	ISSUED FOR DP RE-SUBMISSION

consultant:

seal:

permit:

client:
SUSSEX RETIREMENT LIVING

project:
THE VINEYARDS SUITES
728 VALLEY ROAD, KELOWNA, BC.
LOT 2, SECTION 29, TOWNSHIP 26, OSOYOOS DIVISION YALE DISTRICT, PLAN EPP80501

drawn by: DK	reviewed: NA
scale:	approved: DS
date: 2020-02-11	project no: 2019-06

drawing title:
PERSPECTIVES

drawing no: DP-018	revision no: 1

NORTH/WEST PERSPECTIVE

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revisions:

no	date	description
2	2020/02/13	ISSUED FOR DP FINAL SUBMISSION
1	2019/10/25	ISSUED FOR DP RE-SUBMISSION
0	2019/07/12	ISSUED FOR DEVELOPMENT PERMIT

consultant:

seal:

permit:

client:
SUSSEX RETIREMENT LIVING

project:
THE VINEYARDS SUITES
728 VALLEY ROAD, KELOWNA, BC.
LOT 2, SECTION 29, TOWNSHIP 26, OSOYOOS DIVISION YALE DISTRICT, PLAN EPP80501

drawn by:	reviewed:
DK	NA
scale:	approved: DS
date: 2020-02-11	project no: 2019-06

drawing title:
PERSPECTIVES

drawing no:	revision no:
DP-015	2

STREET VIEW TO ENTRANCE

PEDESTRIAN ENTRANCE

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revisions:

no	date	description
2	2020/02/13	ISSUED FOR DP FINAL SUBMISSION
1	2019/10/25	ISSUED FOR DP RE-SUBMISSION
0	2019/07/12	ISSUED FOR DEVELOPMENT PERMIT

consultant:

seal:

permit:

client:
SUSSEX RETIREMENT LIVING

project:
THE VINEYARDS SUITES
728 VALLEY ROAD, KELOWNA, BC.
LOT 2, SECTION 29, TOWNSHIP 26, OSOYOOS DIVISION YALE DISTRICT, PLAN EPP80501

drawn by:	reviewed:
DK	NA
scale:	approved: DS
date: 2020-02-11	project no: 2019-06

drawing title:
PERSPECTIVES

drawing no:	revision no:
DP-017	2

douglas sollows architect inc.

architecture
sustainable
interior
urban

douglas sollows, architect
FRAIC, AAA, AIBC, SAA, MAA, Assoc. AIA
principal

noureen ali dar, architect
AAA, MRAIC

ATTACHMENT B
This forms part of application
DP19-0152 DVP19-0153
City of Kelowna
DEVELOPMENT PLANNING
Planner Initials JB

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nunavut

November 06, 2019

File: 2019-06/3.0 Design/3.1 f Reports
Cdoc: 2019-06 Development Permit – Design Rationale

THE CITY OF KELOWNA
1435 Water Street
Kelowna, BC V1Y 1J4

Attention: Community Planning, City of Kelowna

T: 250-470-0644 Email: jblack@kelowna.ca

RE: VINEYARDS SUITES – DESIGN RATIONALE

Dear Jocelyn,

The Vineyards Suites project proposes 100 residential units, supporting amenities, and two level below-grade parkade. These rental suites are designed to compliment the adjacent Vineyards Lodge, which is a assisted living facility currently under construction. The Vineyards Suites are targeted for an older demographic, who may either appreciate the proximity to the services of the Lodge, or know people who reside there. The two buildings create synergy functionally and experientially, designed together to encourage movement between them, offering a unique lifestyle of convenience and comfort for the residents of both. The project proposes a valuable addition to the already underway densification of the urban fabric of this area of Kelowna, and an appropriate response to the urban conditions and site constraints of this piece of the city. This report details our design response in relation to the project's urban design considerations, site, building form, and sustainability.

URBAN DESIGN CONSIDERATIONS:

The site is located at the intersection of Summit Dr. and Valley Rd, immediately south and west of the Vineyards Lodge project currently under construction. Recognizing the prominent location of the site, the building and landscape design address key urban design considerations, such as:

- Creating a public face for the higher density development areas to the north and west of the site, addressing Summit Drive and Valley Road with articulated building massing and extensive landscaping, creating a well-defined urban edge that shields public views of parking and back-of-house functions.
- Offering a clear sense of entry and pedestrian interface to the street
- Building massing is anchored and buffered by generous landscape planting of ground cover, shrubs, and a variety of tree sizes, from small to large (as fully grown)

- Outdoor amenity space adjacent to the proposed link between the two buildings, furnished with benches and picnic tables, facing south to the primary views across the golf course to the south and the hoodoos to the southeast.
- Minimizing CPTED concerns though "eyes on the street" on all sides, site and building lighting, and controlled highly-visible access points.
- The Landscape concept provides a significant enhancement to the pedestrian experience along the south edge of the site and recreational walking path along the creek.
- The new build footprint requires the site grading to be addressed from street level.
- The building form resulting from functional requirements has been articulated to provide a unique aesthetic identity for residents and bring visual interest to the urban fabric.

THE SITE

The project site presents a number of opportunities as well as challenges to be addressed through the design, including:

- The site has a significant slope from north (high side) to south (low side), which has direct implications on access to the below grade parkade. Site access is only available from the lane to the west of the site, and due to the site slope the ramp down to the parkade must be located at the south end of the site to minimize the ramp length.
- The east edge of the site contains a creek and accompanying setback, restricting landscaping and programing along this edge.
- The immediate context around the site includes and/or will include:
    - Vineyards Lodge (under construction)
    - Link between Lodge and Suites (proposed)
    - Commercial development across lane, along Summit Drive
    - Residential buildings across lane
    - Golf course across summit
    - Vineyards across Valley Road
- Pedestrian Site Accessibility
    - Connection to existing sidewalk through both shortcut with stairs and barrier-free connection
- Vehicular Site Access
    - Access to main entry, drop-off, and surface parking is through a shared access point also used by the Vineyards Lodge.
    - Surface parking co-located with main entry.
    - Underground 2 level parkade, access ramp from lane, south side
    - Parking design followed CPTED considerations:

        - Parking areas will be lit for night visibility
        - Surface parking has clear line of sight from residential units.
- The most prominent views/sight lines of the site are to the south and east.
    - Hoodoos (south)
    - Golfview Park (south)
    - Vineyards (east)
- Outdoor amenities have been designed with consideration of the prominent views and solar access:
    - The proposed link between the Lodge and the Suites is also used for access to an outdoor patio area with views to the south, close proximity to the creek recreational trail, and extensive landscaping.
    - The south end of the sixth floor includes a south-facing event room and adjacent rooftop patio
    - The site design of the Lodge (under construction) includes a recreational trail running adjacent to the creek area along the east side of the site. The site design of the Suites continues this recreational trail south, connecting to the sidewalks running along Summit Drive.
- Landscaping
    - Pedestrian access path
    - Variety of vegetation
    - Screens and privacy
    - Zen garden rooftops

BUILDING FORM

The form of the building presents a considerable mass to the street, which is broken-up, softened, and buffered through a number of strategies:

- Building massing cascades down from 7storeys to 3 toward the south, reducing the visual scale of the building toward Summit Drive.
- Main entry is through a gracious 2 storey volume carved out of the building mass.
- The mass of the building is subdivided into distinct volumes, with a dark brick podium and alternating volumes above, differentiated through façade articulation of the metal panel cladding:
    - Variation of metal panel colour
    - Differing parapet heights
    - Changing the panel orientation so that the volumes have perpendicular "grains"
    - The metal panels of the volumes will have different surface treatments
    - Within the volumes are wood grain accent areas for further articulation
    - Copper spandrel panels add color accents
- Structurally cantilevered balconies for a cleaner façade without vertical supports
- Façade articulated with accent lighting

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architecture
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- Recognizing that the required location of the parkade ramp (due to site slope) makes it a prominent feature of the building's public face, the design proposes to soften the appearance of the ramp entry with a partial trellis and decorative screens, allowing with the opportunity for landscaping vines to extend over the ramp.
- Also proposed graphics and street art added around parkade walls to enliven both parkade users and pedestrians passing at street level.
- The facades use a variety of window shapes and sizes for further articulation and variability.

SUSTAINABILITY

The building includes a number of sustainable features to achieve a high-level of performance, including:

- Triple pane glazing
- High R-value bldg envelope
- Link green roof
- LED lighting fixtures
- Design informed by sun study analysis and building energy modeling.
- Extensive greening and landscaping

CONCLUSION

The Vineyard Suites project proposes an attractive, responsible, and sustainable addition to the urban fabric of this area of Kelowna. The area is currently in the process of adding both commercial and residential density, to which this project would add an appropriate public face to punctuate the corner of Summit Drive and Valley Road, while adding complimentary programming to the Vineyards Lodge currently under construction next door.

Sincerely,

Douglas Sollows, Architect AIBC

Jordan Hettinga – Kent.Macpherson
Peter O'Brien – Director of Development - Sussex Retirement Living Inc.