

# Development Permit & Development Variance Permit DP19-0144



This permit relates to land in the City of Kelowna municipally known as  
950 Dilworth Dr.

and legally known as

Lot G, Section 28, Township 26 Osoyoos Division Yale District Plan 31716

and permits the land to be used for the following development:

**Child care centre, major**

**USE as per Zoning Bylaw**

The present owner and any subsequent owner of the above described land must comply with any attached terms and conditions.

Date of Council Decision Monday, January 27

Decision By: COUNCIL OR COMMUNITY PLANNING DEPARTMENT MANAGER

Development Permit Area: Fire Hazard DP Area

Existing Zone: P2- Education and Minor Institutional

Future Land Use Designation: Educational/Major Institutional (EDINST)

## **This is NOT a Building Permit.**

In addition to your Development Permit, a Building Permit may be required prior to any work commencing. For further information, contact the City of Kelowna, Development Services Branch.

## **NOTICE**

This permit does not relieve the owner or the owner's authorized agent from full compliance with the requirements of any federal, provincial or other municipal legislation, or the terms and conditions of any easement, covenant, building scheme or agreement affecting the building or land.

Owner: The Board of Education School District No. 23 (Central Okanagan)

Applicant: Carscadden Stokes McDonald Architects Inc.

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Terry Barton  
Community Planning Department Manager  
Planning & Development Services

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Date

## 1. SCOPE OF APPROVAL

This Development Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.

This Development Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this permit, noted in the Terms and Conditions below.

The issuance of a permit limits the permit holder to be in strict compliance with regulations of the Zoning Bylaw and all other Bylaws unless specific variances have been authorized by the Development Permit. No implied variances from bylaw provisions shall be granted by virtue of drawing notations that are inconsistent with bylaw provisions and that may not have been identified as required Variances by the applicant or Municipal staff.

## 2. CONDITIONS OF APPROVAL

- a) The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A";
- b) The exterior design and finish of the building to be constructed on the land be in accordance with Schedule "B";
- c) Landscaping to be provided on the land be in accordance with Schedule "C"; and
- d) The applicant be required to post with the City a Landscape Performance Security deposit in the form of a "Letter of Credit" in the amount of 125% of the estimated value of the landscaping, as determined by a Registered Landscape Architect.

**This Development Permit is valid for two (2) years from the date of approval, with no opportunity to extend.**

## 3. PERFORMANCE SECURITY

As a condition of the issuance of this Permit, Council is holding the security set out below to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Developer and be paid to the Developer or his or her designate if the security is returned. The condition of the posting of the security is that should the Developer fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the Municipality may use enter into an agreement with the property owner of the day to have the work carried out, and any surplus shall be paid over to the property own of the day. Should the Developer carry out the development permitted by this Permit within the time set out above, the security shall be returned to the Developer or his or her designate. There is filed accordingly:

- a) An Irrevocable Letter of Credit in the amount of **\$34,425.00**
- b) A certified cheque in the amount of **\$34,425.00**

Before any bond or security required under this Permit is reduced or released, the Developer will provide the City with a statutory declaration certifying that all labour, material, workers' compensation and other taxes and costs have been paid.

## 5. INDEMNIFICATION

Upon commencement of the works authorized by this Permit the Developer covenants and agrees to save harmless and effectually indemnify the Municipality against:

- a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality said Permit.

All costs, expenses, claims that may be incurred by the Municipality where the construction, engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

**The PERMIT HOLDER is the CURRENT LAND OWNER.  
Security shall ONLY be returned to the signatory of the  
Landscape Agreement or their designates.**

**MEMORANDUM**

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**Date:** July 24, 2019  
**File No.:** DP19-0144  
**To:** Community Planning (JB)  
**From:** Development Engineering Manager (JK)  
**Subject:** 950 Dilworth Dr.

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A major Development Permit application for the form and character of a proposed child care centre, major. The Development Engineering Technologist for this project is Ryan O'Sullivan.

**1. Domestic Water and Fire Protection**

- a. This property is located within the City of Kelowna service area. Only one service will be permitted to this property. The applicant, at their cost, will arrange for the removal of the existing service and the installation of a new larger metered water service if required.

**2. Sanitary Sewer**

- a. Our records indicate that this property is currently serviced with a 200mm-diameter sanitary sewer service. An inspection manhole onsite will be required, c/w an access easement in favor of the City up to and including the manhole.

**3. Storm Drainage**

- a) The developer must engage a consulting civil engineer to provide a storm water management plan for this site which meets the requirements of the City Subdivision Development and Servicing Bylaw 7900. The storm water management plan must also include provision of lot grading plans, minimum basement elevations (MBE), if applicable, and provision of a storm drainage service and recommendations for onsite drainage containment and disposal systems
- b) Provide the following drawings:
  - i. A detailed Stormwater Management Plan for this development that is based off the original grading plan of the subdivision; and,
  - ii. An Erosion and Sediment Control Plan.

**4. Road Improvements**

- a. Existing driveway letdown on Dilworth Rd must be removed replaced with a concrete letdown (SS-C7), to a max width of (9m).and irrigated landscaped boulevard,

- b. The developer is required to complete and submit for review a parking lot flow analysis.
- c. Dilworth Rd left-in turning lane analysis with road paint line markings improvements and concrete medians alterations is required with signs/pavement marking design drawing.

#### **5. Other Engineering Comments**

- a. Boulevard landscaping complete with street trees is required on Dilworth Rd complete with underground irrigation systems. A landscape & irrigation design drawing for approval is required in accordance with bylaw 8000.
- b. Existing offsite trees must be protected as per bylaw 8042, Tree Barrier Installation and Inspection.

#### **6. Electric Power and Telecommunication Services**

- a. The electrical and telecommunication services to this building must be installed in an underground duct system, and the building must be connected by an underground service. It is the developer's responsibility to make a servicing application with the respective electric power, telephone and cable transmission companies to arrange for these services, which would be at the applicant's cost.
- b. The developer must coordinate safe separation with Fortis prior to BP.

#### **7. Design and Construction**

- a. Design, construction supervision and inspection of all off-site civil works and site servicing must be performed by a Consulting Civil Engineer and all such work is subject to the approval of the City Engineer. Drawings must conform to City standards and requirements.
- b. Engineering drawing submissions are to be in accordance with the City's "Engineering Drawing Submission Requirements" Policy. Please note the number of sets and drawings required for submissions.
- c. Quality Control and Assurance Plans must be provided in accordance with the Subdivision, Development & Servicing Bylaw No. 7900 (refer to Part 5 and Schedule 3).
- d. A "Consulting Engineering Confirmation Letter" (City document 'C') must be completed prior to submission of any designs.
- e. Before any construction related to the requirements of this subdivision application commences, design drawings prepared by a professional engineer must be submitted to the City's Works & Utilities Department. The design drawings must first be "Issued for Construction" by the City Engineer. On examination of design drawings, it may be determined that rights-of-way are required for current or future needs.

## **8. Servicing Agreement for Works and Services**

- a. A Servicing Agreement is required for all works and services on City lands in accordance with the Subdivision, Development & Servicing Bylaw No. 7900. **The applicant's Engineer, prior to preparation of Servicing Agreements, must provide adequate drawings and estimates for the required works.** The Servicing Agreement must be in the form as described in Schedule 2 of the bylaw.
- b. Part 3, "Security for Works and Services", of the Bylaw, describes the Bonding and Insurance requirements of the Owner. The liability limit is not to be less than \$5,000,000 and the City is to be named on the insurance policy as an additional insured.

## **9. Geotechnical Report**

Provide a comprehensive geotechnical report, prepared by a Professional Engineer competent in the field of geotechnical engineering to address the items below: **NOTE: The City is relying on the Geotechnical Engineer's report to prevent any damage to property and/or injury to persons from occurring as a result of problems with soil slippage or soil instability related to this proposed subdivision.**

The Geotechnical report must be submitted prior to submission of Engineering drawings or application for subdivision approval.

- (i) Area ground water characteristics, including any springs and overland surface drainage courses traversing the property. Identify any monitoring required.
- (ii) Site suitability for development.
- (iii) Site soil characteristics (i.e. fill areas, sulphate content, unsuitable soils such as organic material, etc.).
- (iv) Any special requirements for construction of roads, utilities and building structures.
- (v) Suitability of on-site disposal of storm water and sanitary waste, including effects upon adjoining lands.
- ii) Any special requirements that the proposed subdivision should undertake so that it will not impact the bank(s). The report must consider erosion and structural requirements.
- iii) Any items required in other sections of this document.
- iv) Recommendations for erosion and sedimentation controls for water and wind.
- v) Recommendations for roof drains and perimeter drains.
- vi) Recommendations for construction of detention or infiltration ponds if applicable.

## **10. Charges and Fees**

- a) Development Cost Charges (DCC's) are payable.
- b) Fees per the "Development Application Fees Bylaw" include:
  - i) Survey Monument, Replacement Fee: \$1,200.00 (GST exempt) – only if disturbed.
  - ii) Engineering and Inspection Fee: 3.5% of construction value (plus GST).

*James Kay*

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James Kay, P. Eng.  
Development Engineering Manager

RO

This forms part of application

# DP19-0144



City of Kelowna DEVELOPMENT PLANNING

Planner Initials JB

PROPOSED

1 SITE PLAN SCALE 1:250

ROCKFALL SAFETY SET BACK LINE SHOWN FOR REFERENCE. CONFIRM WITH GEOTECH REPORT

HEAT PUMPS C/W ENCLOSURE

NON-CUMBERABLE CHAINLINK FENCE 5' TALL ROUTE TBC WITH SITE CONDITIONS

E.G. 444.00 (DERIVED) B.G. 445.15

ENTRY E.G. 444.00 (DERIVED) B.G. 445.50

E.G. 443.50 (DERIVED) B.G. 445.20

E.G. 443.90 (DERIVED) B.G. 443.30

PLAY AREA BOUNDARY AND FENCE TREES IN PLAY AREA THINNED AS REQUIRED FOR PLAY FEATURES, ALLOW UP TO SOIL REMOVAL

RETAINING/PLAY ELEMENT C/W LANDSCAPE LIGHTS

GRAVEL PATH SLOPES 6% CONCRETE BENCH 450MM HIGH

3 STAIRS @ 180MM RISE, 300MM RUN TRENCH DRAIN, SEE CIVIL ALSO

CONCRETE BENCH 450MM HIGH

SLOPE STABILIZATION PARKING LIGHT, SEE ELECTRICAL ALSO

GARBAGE ENCLOSURE PAD MOUNTED TRANSFORMER, LOCATION TBC WITH PORTS

APPROXIMATE OUTLINE OF EXCAVATION AT ROAD FOR SERVICE CONNECTION, SEE CIVIL FOR DETAILS

ASPHALT DRIVE AISLE TURNING LANE, SEE CIVIL AND OFFSITE

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SITE AND ZONING INFORMATION

ADDRESS: 950 DILLWORTH DRIVE
LEGAL DESCRIPTION: LOT 6, TOWNSHIP 26, COQUILCO
SITON, VALE DISTRICT PL 31716
SITE AREA: 26,807 M2
ZONING: P-2 EDUCATIONAL AND MINOR INSTITUTIONAL
BUILDING AREA:

PARKING

Table with 2 columns: Parking Type and Quantity. Includes rows for Accessible Parking (1), Full Size Parking (35), Medium Size Parking (8), Total Parking (55), and Existing Parking (34 +/-).

PARKING / LOADING - REQUIRED

Table detailing parking and loading requirements based on City of Kelowna Bylaw Section 8. Includes scenarios for child care center, upper child care, and loading spaces for children and employees.

Table with 2 columns: Institution Use and Required Spaces. Includes rows for Class I (1 per 25 employees) and Class II (5 per building public entrance).

E.G. 445.50 (DERIVED) B.G. 445.00

E.G. 446.00 (DERIVED) B.G. 445.00

2ND FLOOR ENTRY E.G. 443.50 (DERIVED) B.G. 445.60

E.G. 444.50 (DERIVED) B.G. 445.00

2ND FLOOR ENTRY E.G. 443.90 (DERIVED) B.G. 445.55

SITE SIGN APPROX 6'W X 2'H TBC WITH YCMA

SITE GRADE E.G. 445.45

SITE GRADE E.G. 445.17

14 RISERS @ 180MM RISE, 300MM RUN STAR C/W GALVANIZED METAL HANDRAILS EACH SIDE

E.G. 443.25 (DERIVED) B.G. 443.0 - /+

E.G. 443.00 (DERIVED) B.G. 442.85

WORKPOINT #1 CL. 6A SITE GRADE - /+443.10

SITE GRADE - /+443.80

1ST FLOOR ENTRY E.G. 442.70 (DERIVED) B.G. 442.70

GENERAL NOTES: 1. SURVEY DATA PREPARED BY ALLTERRA LAND SURVEYING LTD. JAN 29 2019

2. TOPOGRAPHY AND TREE SURVEY DOES NOT INCLUDE FULL EXTENT OF PROPERTY AND IS LIMITED TO AREAS AROUND THE PROPOSED BUILDING LOCATION.

SITE LEGEND KEY

- Gravel, Concrete, Asphalt, Asphalt (Future Expansion), Feature Paving, Area Where Fill Required +/- 0.0M-1.6M, Existing Tree to Remain, Existing Tree Removed, New Tree/Landscape, Approximate Cut Line, See Civil, Parking Light, Landscape Light (Low Bollard)

Mt Sanitary: Min Elev = 438.45, Max Elev = 438.45, North Invert = 436.50, East Invert = 436.52, South Invert = 436.37, West Invert = 436.47

Mt Storm: Min Elev = 431.05, Max Elev = 431.05, North Invert = 432.30, East Invert = 432.30, South Invert = 432.27, West Invert = 432.27

Mt Sanitary: Min Elev = 437.17, Max Elev = 437.17, North Invert = 435.30, East Invert = 435.30, South Invert = 435.27, West Invert = 435.27

APPROXIMATE OUTLINE OF EXCAVATION AT ROAD FOR SERVICE CONNECTION, SEE CIVIL FOR DETAILS

ASPHALT DRIVE AISLE TURNING LANE, SEE CIVIL AND OFFSITE

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KELOWNA YCMA CHILDCARE CENTRE
950 DILLWORTH DR
KELOWNA BC
City of Kelowna

REVISIONS
REVISION NO.
REVISION DESCRIPTION
DATE

GENERAL NOTE: SITE PLAN ROTATED FOR FIT.

REDUCED SIZE NOT TO SCALE



This forms part of application

#DP19-0144

Lamp & Sign Lights



City of Kelowna  
DEVELOPMENT PLANNING

Planner Initials JB

# CIRCULATION

1 SITE PLAN  
SCALE 1:250

CIRCULATION NOTES:  
1. INDICATIVE CIRCULATION DIAGRAMS SHOWN FOR REFERENCE.

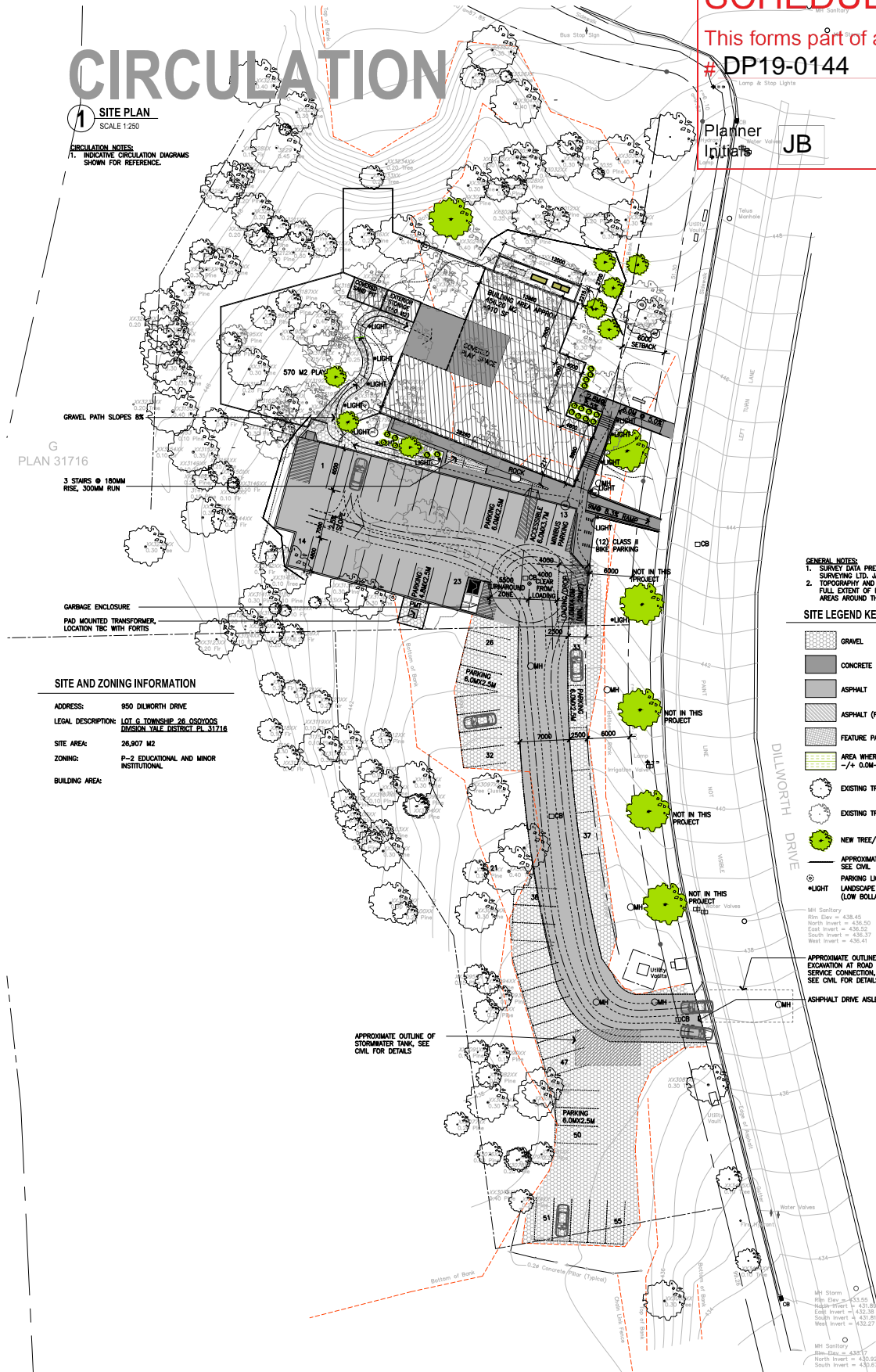
PLAN 31716

3 STAIRS @ 180MM RISE, 300MM RUN

GARBAGE ENCLOSURE  
PAD MOUNTED TRANSFORMER, LOCATION TBC WITH FORTE

### SITE AND ZONING INFORMATION

ADDRESS: 950 DILLWORTH DRIVE  
LEGAL DESCRIPTION: LOT 6, TOWNSHIP 26, CO29006, OXON HILL DISTRICT, P.L. 31716  
SITE AREA: 26,807 M<sup>2</sup>  
ZONING: P-2 EDUCATIONAL AND MINOR INSTITUTIONAL  
BUILDING AREA:



GENERAL NOTES:  
1. SURVEY DATA PREPARED BY ALLTORRA LAND SURVEYING LTD. JAN 29 2019  
2. TOPOGRAPHY AND TREE SURVEY DOES NOT INCLUDE FULL EXTENT OF PROPERTY AND IS LIMITED TO AREAS AROUND THE PROPOSED BUILDING LOCATION.

### SITE LEGEND KEY

- GRAVEL
- CONCRETE
- ASPHALT
- ASPHALT (FUTURE EXPANSION)
- FEATURE PAVING
- AREA WHERE FILL REQUIRED -/+ 0.0M-1.6M
- EXISTING TREE TO REMAIN
- EXISTING TREE REMOVED
- NEW TREE/LANDSCAPE
- APPROXIMATE CUT LINE, SEE CIVIL
- PAVING LIGHT
- LANDSCAPE LIGHT (LOW BOLLARD)

Mt. Sanitar  
Rise Elev = 438.45  
North Invert = 436.50  
East Invert = 436.52  
South Invert = 435.37  
West Invert = 435.41

APPROXIMATE OUTLINE OF EXCAVATION AT ROAD FOR SERVICE CONNECTION, SEE CIVIL FOR DETAILS.

ASPHALT DRIVE AISLE

Mt. Stern  
Rise Elev = 431.55  
North Invert = 431.65  
East Invert = 432.38  
South Invert = 431.85  
West Invert = 432.27

Mt. Sanitar  
Rise Elev = 435.71  
North Invert = 433.35  
South Invert = 433.50  
West Invert = 433.57

APPROXIMATE OUTLINE OF STORMWATER TANK, SEE CIVIL FOR DETAILS.

REDUCED SIZE  
NOT TO SCALE

GENERAL NOTE:  
SITE PLAN  
ROTATED FOR FIT.

DP7C



950 DILLWORTH DR  
KELOWNA BC  
Kelowna  
KELOWNA YVICA  
CHILD CARE CENTRE  
SITE PLAN - PROPOSED

Prepared by:  
Checked by:  
Reviewed by:  
Date: 2019-08-20





# SCHEDULE

B

This forms part of application  
# DP19-0144

Planner Initials **JB**



Caracadden Stokes  
McDonald Architects Inc.  
715 East Hastings Street  
Vancouver, BC, V6A 1E3  
604 633 1830  
h@caracadden.ca  
@CaracaddenSto  
caracadden.ca

- ① PAINTED CEMENTIOUS SHINGLE – MULTICOLOURED
- ② PREFINISHED METAL CLADDING/ROOFING – LIGHT GREY
- ③ STUCCO – LIGHT GREY
- ④ DOORS/WINDOWS – WOOD GRAIN
- ⑤ PREFINISHED METAL FLASHING – TO MATCH ROOF
- ⑥ METAL RWL – GALVANIZED
- ⑦ METAL MECHANICAL VENT – GALVANIZED
- ⑧ TRIM – WOOD GRAIN

REDUCED SIZE  
NOT TO SCALE

ISSUED FOR PERMIT JAN 3 2019  
ISSUED FOR DEVELOPMENT PERMIT JUNE 24 2019

Caracadden

950 DILWORTH DR  
KELOWNA BC

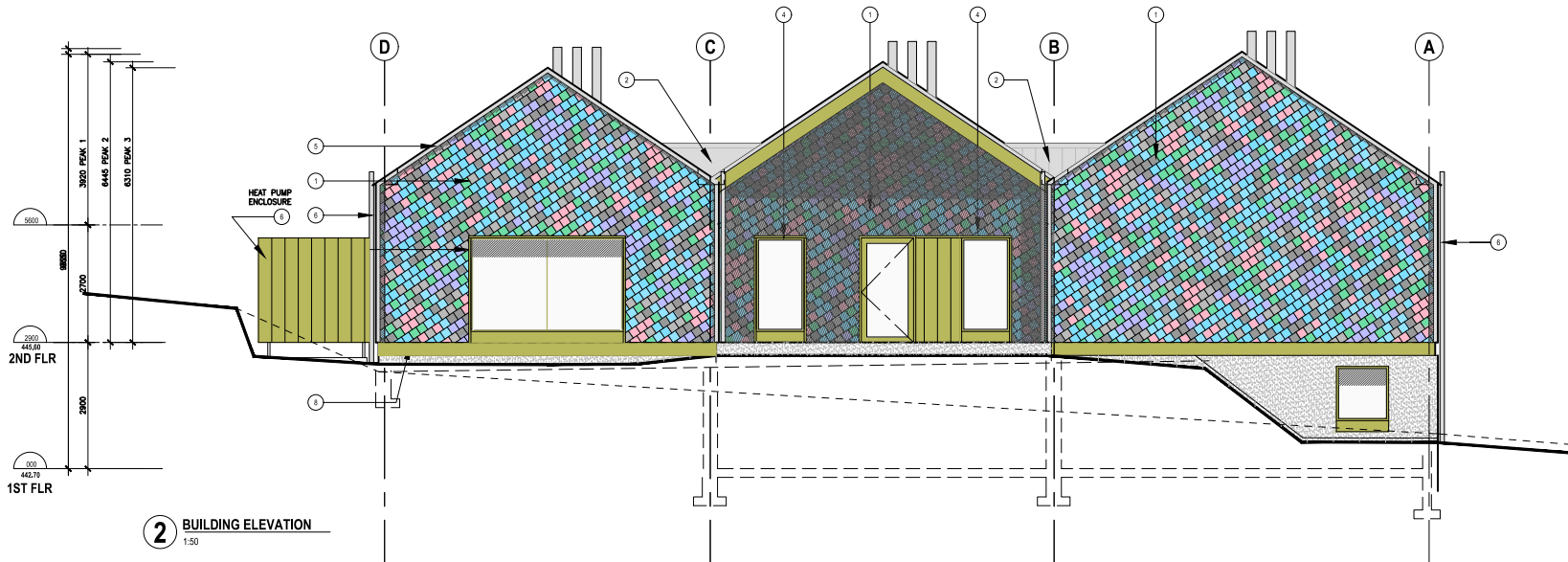
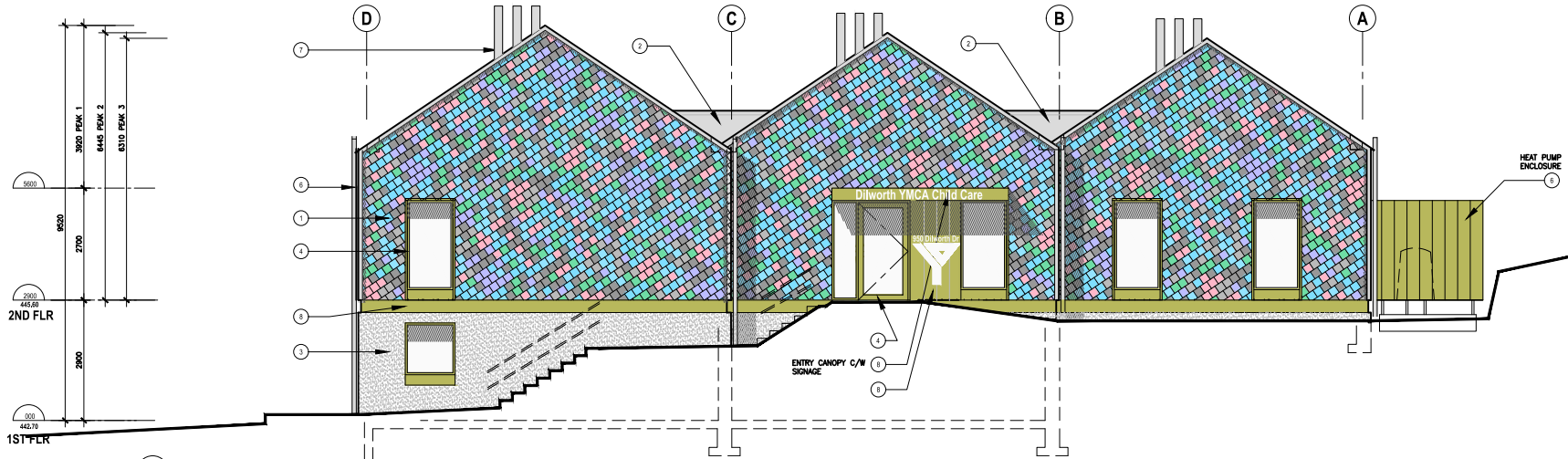
KELOWNA YMCA  
CHILDCARE CENTRE

## ELEVATIONS

NO.	DATE
1860	
1:50	

DP10

Copyright reserved. These drawings are, and as I, the architect, warrant the exclusive property of the architect, and cannot be used without the consent of the architect.



# SCHEDULE B

This forms part of application

# DP19-0144



City of  
**Kelowna**  
DEVELOPMENT PLANNING

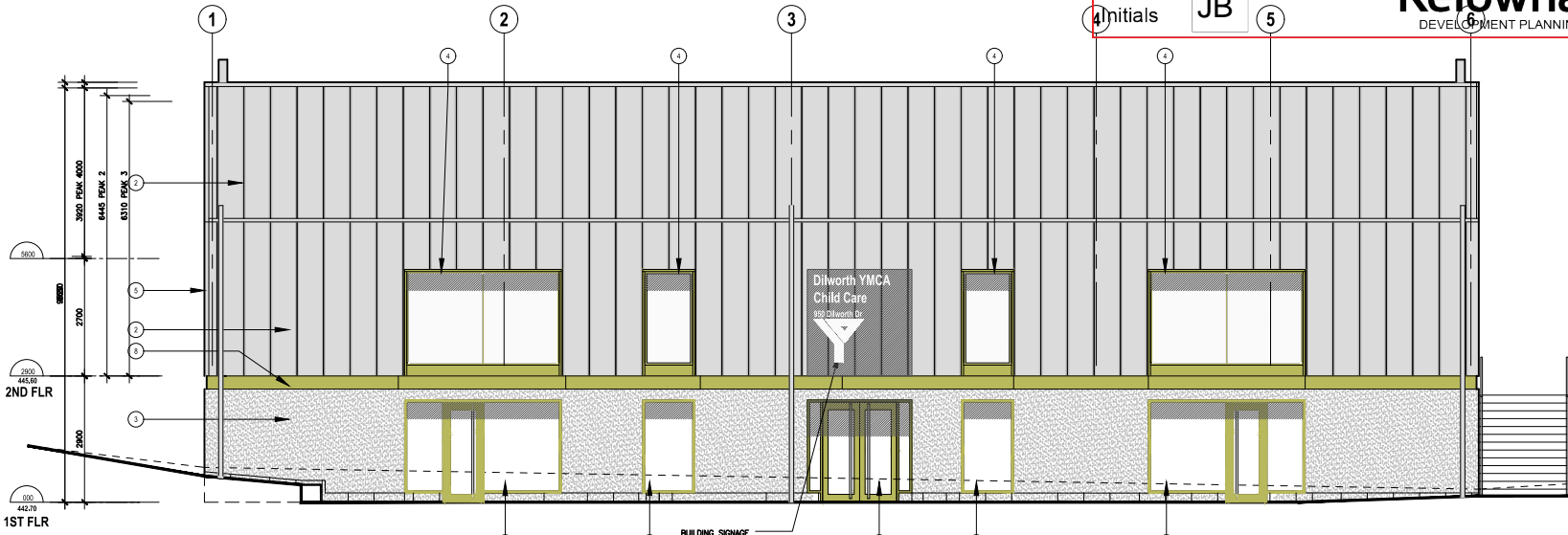
Planner  
Initials

JB



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Vancouver, BC, V6A 1E3  
604 633 1830  
h@caracadden.ca  
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caracadden.ca

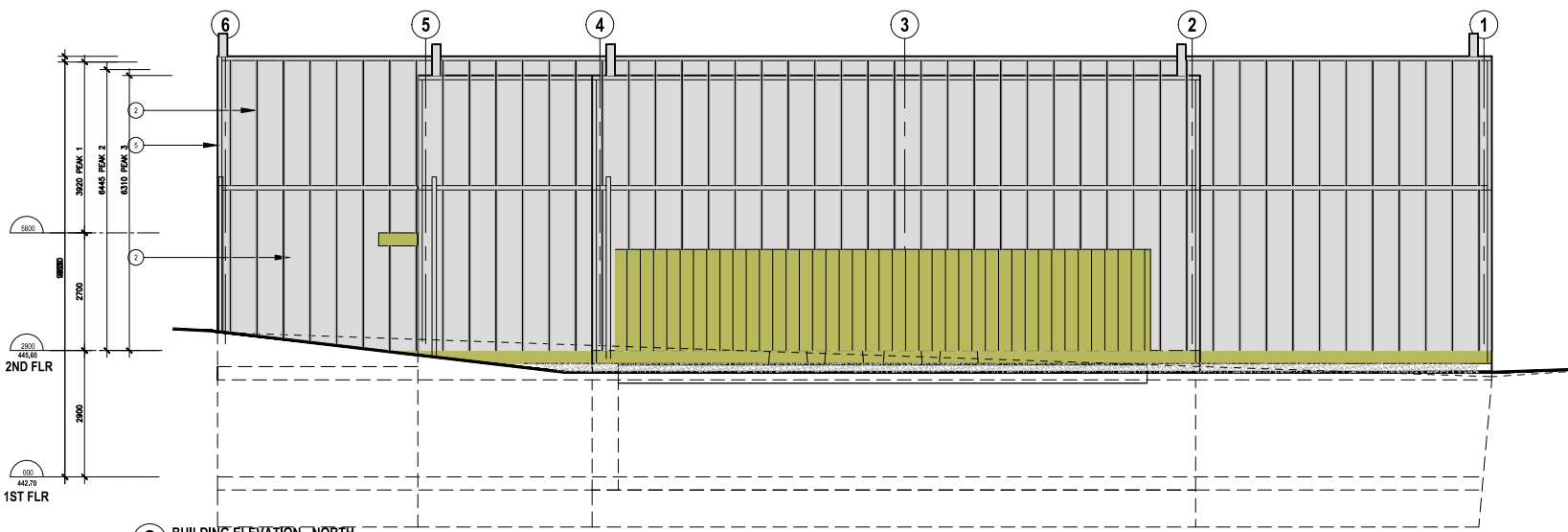
- ① PAINTED CEMENTIOUS SHINGLE – MULTICOLOURED
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- ⑤ PREFINISHED METAL FLASHING – TO MATCH ROOF
- ⑥ METAL RWL – GALVANIZED
- ⑦ METAL MECHANICAL VENT – GALVANIZED
- ⑧ TRIM – WOOD-GRAIN



**1 BUILDING ELEVATION - SOUTH**  
SCALE 1:50

BUILDING SIGNAGE  
APPROXIMATELY 2400MM  
X 2400MM – DETAILS  
AS PER YMCA BRANDING

**REDUCED SIZE  
NOT TO SCALE**



**2 BUILDING ELEVATION - NORTH**  
SCALE 1:50

ISSUED FOR DR BY: JAN 3 2019  
ISSUED FOR DEVELOPMENT PERMIT: JUNE 24 2019

1:4 & 1:10  
**Caracadden**

950 DILWORTH DR  
KELOWNA BC

KELOWNA YMCA  
CHILDCARE CENTRE

ELEVATIONS

1800  
SCALE  
1:50

DP11

Copyright reserved. These drawings are, and as it may, contain the exclusive property of the architect, and cannot be used without the consent of the architect.

# SCHEDULE

B

This forms part of application

# DP19-0144



City of  
**Kelowna**  
DEVELOPMENT PLANNING

Planner  
Initials **JB**



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cascadden.ca

- ① PAINTED CEMENTIOUS SHINGLE – MULTICOLOURED
- ② PREFINISHED METAL CLADDING/ROOFING – LIGHT GREY
- ③ STUCCO – LIGHT GREY
- ④ DOORS/WINDOWS – WOOD GRAIN
- ⑤ PREFINISHED METAL FLASHING - TO MATCH ROOF
- ⑥ METAL RWL – GALVANIZED
- ⑦ METAL MECHANICAL VENT – GALVANIZED
- ⑧ TRIM – WOOD GRAIN

**REDUCED SIZE  
NOT TO SCALE**

ISSUED FOR DP BY: JAN 3 2019  
ISSUED FOR DEVELOPMENT PERMIT: JUNE 24 2019

**Cascadden**  
950 DILWORTH DR  
KELOWNA BC

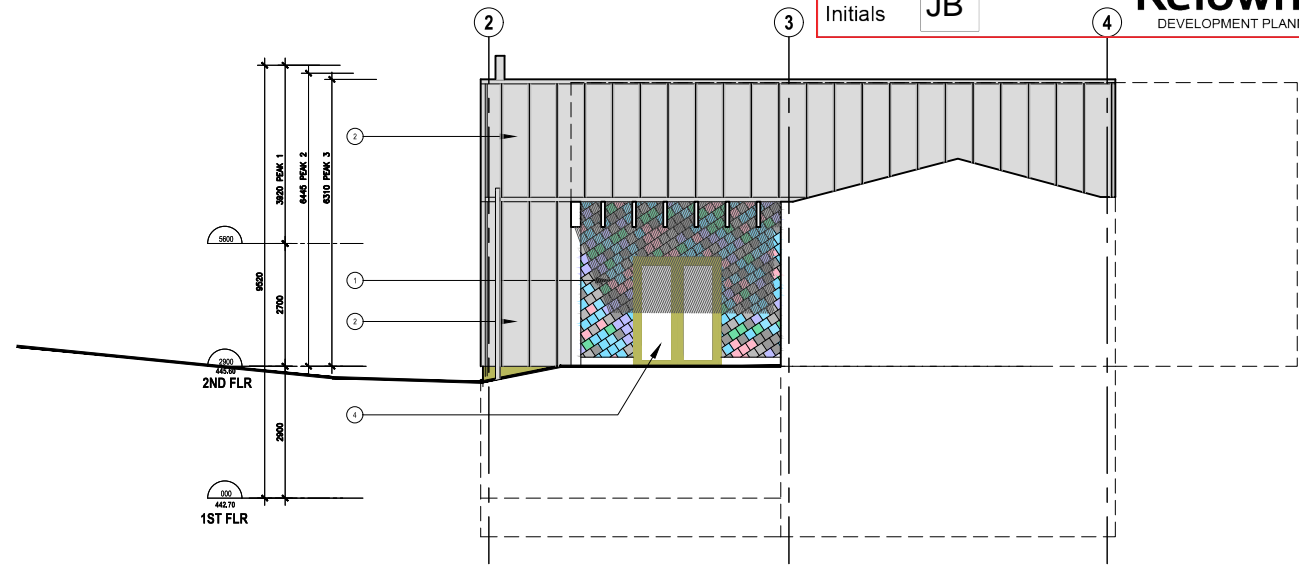
KELOWNA YMCA  
CHILDCARE CENTRE

**ELEVATIONS**

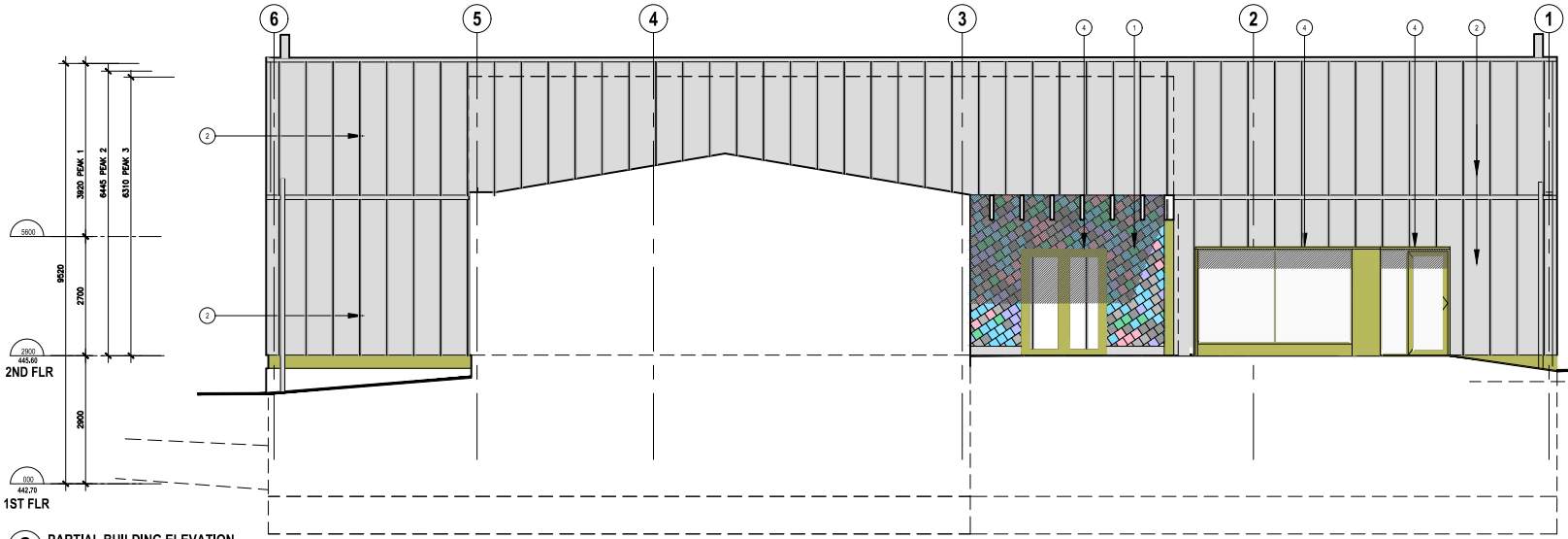
SCALE: 1:50

**DP12**

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**1 PARTIAL BUILDING ELEVATION**  
SCALE 1:50



**2 PARTIAL BUILDING ELEVATION**  
SCALE 1:50

# SCHEDULE B

This forms part of application  
# DP19-0144

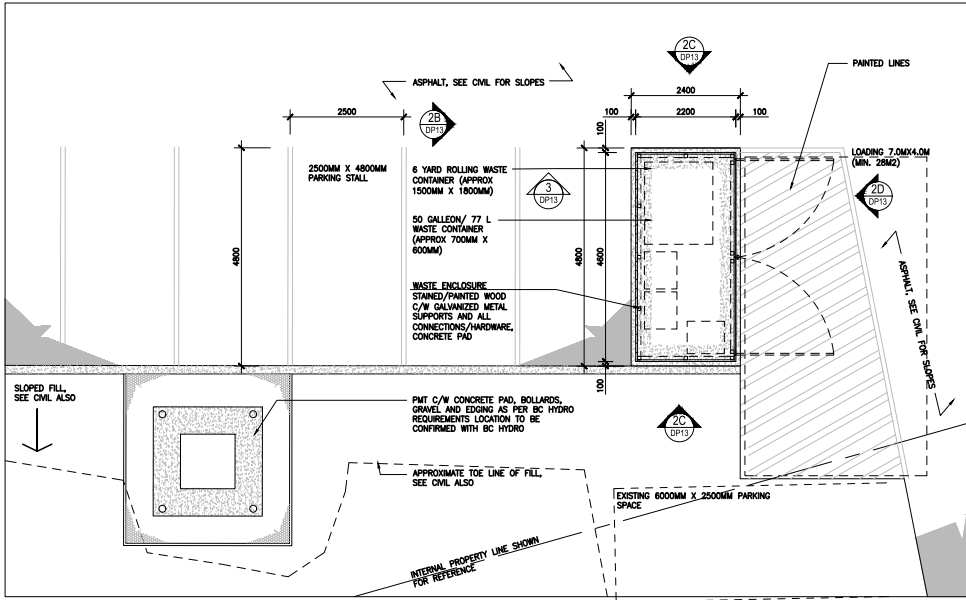


City of  
**Kelowna**  
DEVELOPMENT PLANNING

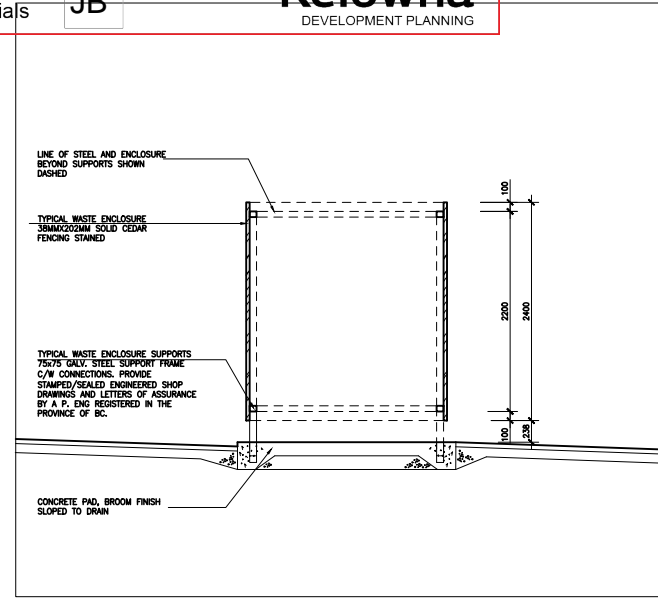
Planner  
Initials **JB**



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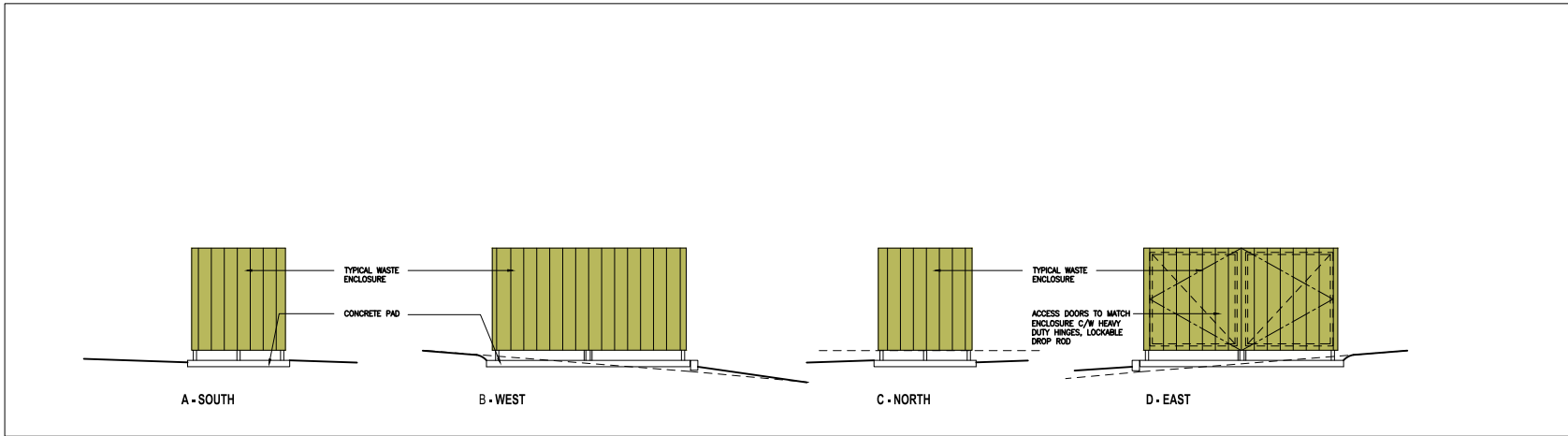


1 SITE PLAN DETAIL  
SCALE 1:50



3 SITE PLAN DETAIL  
SCALE 1:50

REDUCED SIZE  
NOT TO SCALE



2 GARBAGE ENCLOSURE ELEVATIONS  
SCALE 1:50

ISSUED FOR DP #1  
ISSUED FOR DEVELOPMENT PERMIT

JAN 8 2019  
JUNE 24 2019

Caracadden

950 DILWORTH DR  
KELOWNA BC

KELOWNA YMCA  
CHILDCARE CENTRE

### ELEVATIONS

DESIGN	CHECKED
JOB NO.	DATE
1860	
SCALE	
1:50	
CLIENT REFERENCE (IF APPLICABLE)	

DP13

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# PRELIMINARY PLANT LIST

Magnolia stellata 'Royal Star'	Star magnolia	Tree form 60 mm cal
Acer rubrum 'Red Sunset'	Red Sunset Maple	75 mm cal
Aster frikartii Monch	Frikarts Aster	blue Aug to Oct
Calamagrostis 'Karl Foerster'	Karl Foerster Reed grass	
Cornus sericea	Red Twig Dogwood	red twigs winter
Echinacea purpurea 'Ruby Star'	Ruby Star Coneflower	purple July to Sept
Euonymus alata compacta	Dwarf Burning Bush	bright red foliage in fall
Festuca ovina Elijah Blue	Elijah Blue Fescue	
Forsythia 'Mindor'	Show Off Forsythia	bright yellow March
Fountain Grass	Pennisetum alopecuroides	
Helictotrichon sempervirens	Blue Oat Grass	
Hermocallis 'Stella d'Oro' (yellow)	Stella D'Oro Daylily	yellow may to aug
Hibiscus syriacus	Blue Satin Rose of Sharon	blue july to sept
Hosta 'Regal Splendor'	Regal Splendor Hosta	white july/Aug
Lavandula angustifolia 'Munstead'	Munstead Lavender	purple late june thru August
Leucanthemum x superbum 'Snow Lady' (white)	Snow Lady Shasta Daisy	white summer to fall
Mahonia aquifolium	Oregon Grape	Mahonia aquifolium
Orange Flame grass	Miscanthus sinensis purpurascens	
Perovskia atriplicifolia	Russian sage	purple late spring to fall
Philadelphus lewisii 'Blizzard'	Blizzard Mockorange	fragrant white April /May
Pinus mugo pumilio	Dwarf Mugo Pine	evergreen
Rudbeckia hirta 'Goldsturm'	Goldsturm Gloriosa Daisy	golden yellow late summer into fall

Shrubs, perennials and ornamental grasses MIN # 2 POT



Provide year round color and interest for the children and staff

**SCHEDULE C**

This forms part of application # DP19-0144

Planner Initials **JB**

City of Kelowna DEVELOPMENT PLANNING

## Notes

- The illustrated landscape plan is conceptual only...not for construction.
- All plants, material and planting practices to conform to the Canadian Landscape Standard - Current Edition
- Contractor to provide a warranty and maintenance period of 1 year on all plants and materials. Plants and materials that fail before end of the warranty period shall be replaced by the contractor.
- Contractor to confirm location of all utilities prior to construction
- All planting areas to receive 300 mm of topsoil. Seeded areas 75 mm of topsoil.
- Prior to delivery to site, a representative sample and test results of topsoil should be made available to the consultant for approval.
- Plant material selections are conceptual only. Final planting selections may vary depending on availability. No plant species substitution will be accepted without the written consent of the consultant.
- All planting beds to receive 50 mm depth of Ogo - Grow mulch or approved equivalent..
- All planting beds and lawn areas to be irrigated.
- Bike racks to be Maglin MBR500-S. Color Black. Surface mount to Concrete Pad

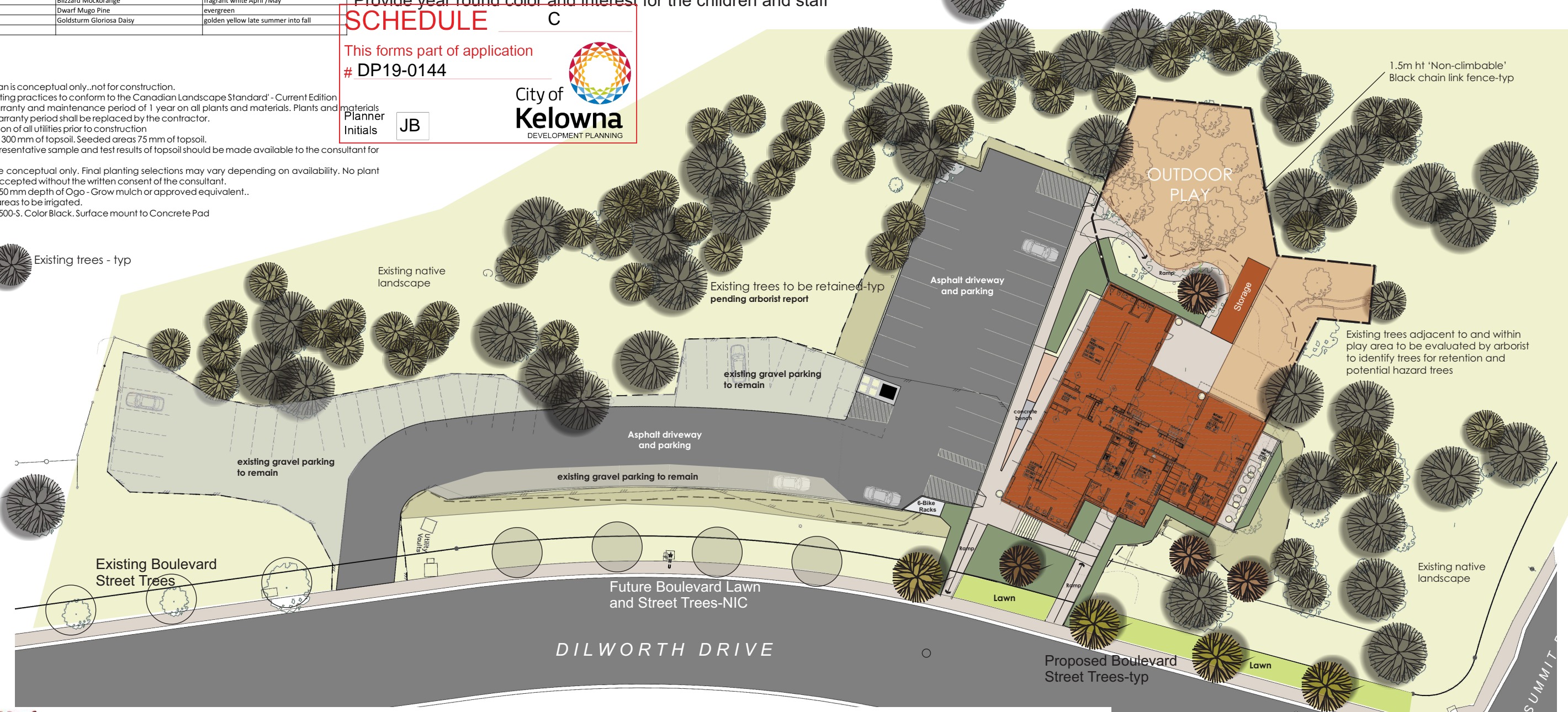
- Sodded Lawn area
- Existing trees - typ
- Massed planting shrubs, perennials, ornamental grasses

Dryland Grass Mix for all disturbed areas

Dryland Grass Mix Seed Blend (% by weight)

Application Rate 150kg/ha	
Crested Wheat Grass	20
Perennial Rye	15
Slender Wheat Grass	10
Tall Wheat Grass	10
Hard Fescue	10
Creeping Red Fescue	10
Annual Rye	10
Fall Rye	15

Seed mix to be certified #1 Grade.



# Conceptual Landscape Plan KELOWNA YMCA CHILD CARE CENTRE



<b>ATTACHMENT</b>	<b>B</b>
This forms part of application # <b>DP19-0144</b>	
Planner Initials	<b>JB</b>
 <b>City of Kelowna</b> DEVELOPMENT PLANNING	

**MEMO 950 DILWORTH DRIVE KYMCA CHILDCARE CENTRE DP APPLICATION**

- FAX  
 POST  
 EMAIL      PAGE(S) INCLUDING THIS PAGE

TO                    **Jocelyn Black** Planner Specialist, City of Kelowna                    *jblack@kelowna.ca*

CC                    **Sharon Peterson**, President/CEO YMCA of Okanagan                    *peterson@ymcaokanagan.ca*

FROM                **Stewart Burgess**, ASSOCIATE ARCHITECT AIBC                    *stewart@carscadden.ca*

PROJECT            950 Dilworth Drive KYMCA Childcare Centre

DATE                July 5, 2019

**Design Rationale:**

As per request received via telephone please see the following written copy of our design rationale as outlined on pages DP 1, 2,3 of our development permit submission.

This development permit submission is for a new YMCA childcare facility located in Dilworth Park in Kelowna BC. The building is about 9500sf spread over two storeys and takes advantage of the natural slope to make this two storey facility appear lower than this as some of the lower floor is buried into the hillside. At this time only the upper floor will be occupied with the lower floor being roughed in as storage with allowances for a future expansion of childcare capacities or other YMCA programming. Parking capacities have been calculated so as to allow either future office or childcare, refer to site plan DP7.

The building uses a four-part design strategy:

1.            TARGET PASSIVE HOUSE

A simplified building layout and form helps with energy efficiency and the passive house target. Entry and support are centralized so as to service both childcare spaces. Future childcare or other ymca program will be accounted for in a roughed in lower floor. This project is targeting the passive house energy efficiency standard and will employ passive house design strategies (ie additional insulation at exterior of substructure, careful air tightness/detailing, electrical heat pumps and energy recovery ventilators, etc) although will not be certifying.

2.            PLAYFUL AND CHILD FOCUSED

Childcare rooms are shifted around the common entry and support areas to provide a sheltered courtyard space centred around existing trees. The play area is located behind the building away from



<b>ATTACHMENT</b>	<b>B</b>
This forms part of application # DP19-0144	
Planner Initials	<b>JB</b>
City of <b>Kelowna</b> DEVELOPMENT PLANNING	

traffic pollution and uses existing trees for shelter and play centres where possible. Day to day entry will be by the rear through the courtyard while the general public can access the facility from a street facing “front door” this double sided entry strategy will help to provide security for children and give them a place to play while waiting for their caregivers.

### 3. ECONOMICAL BUILDING STRATEGY

The YMCA proposes to use wood-based standard building technologies in keeping with the Kelowna area industrial and trades capacities. The resulting sloped roof forms will fit in with the neighbourhood context while being arranged to provide a distinctive "look" to the structure from afar. Materials consist of cementitious shingles, wood trim and prefinished metal cladding.

### 4. CONTEXTUAL YET DIFFERENT

These economical and straightforward materials will be tweaked to provide visual interest (ie colour mixed shingles). The building will be contextual to the mostly suburban neighbourhood yet still act as a "landmark" at this important gateway moment on Dilworth Drive. Wood trim and coloured shingles will provide a warm counterpoint to the modern and bright prefinished metal roof and cladding.

Do not hesitate to be in touch with additional questions or concerns.

Best regards,

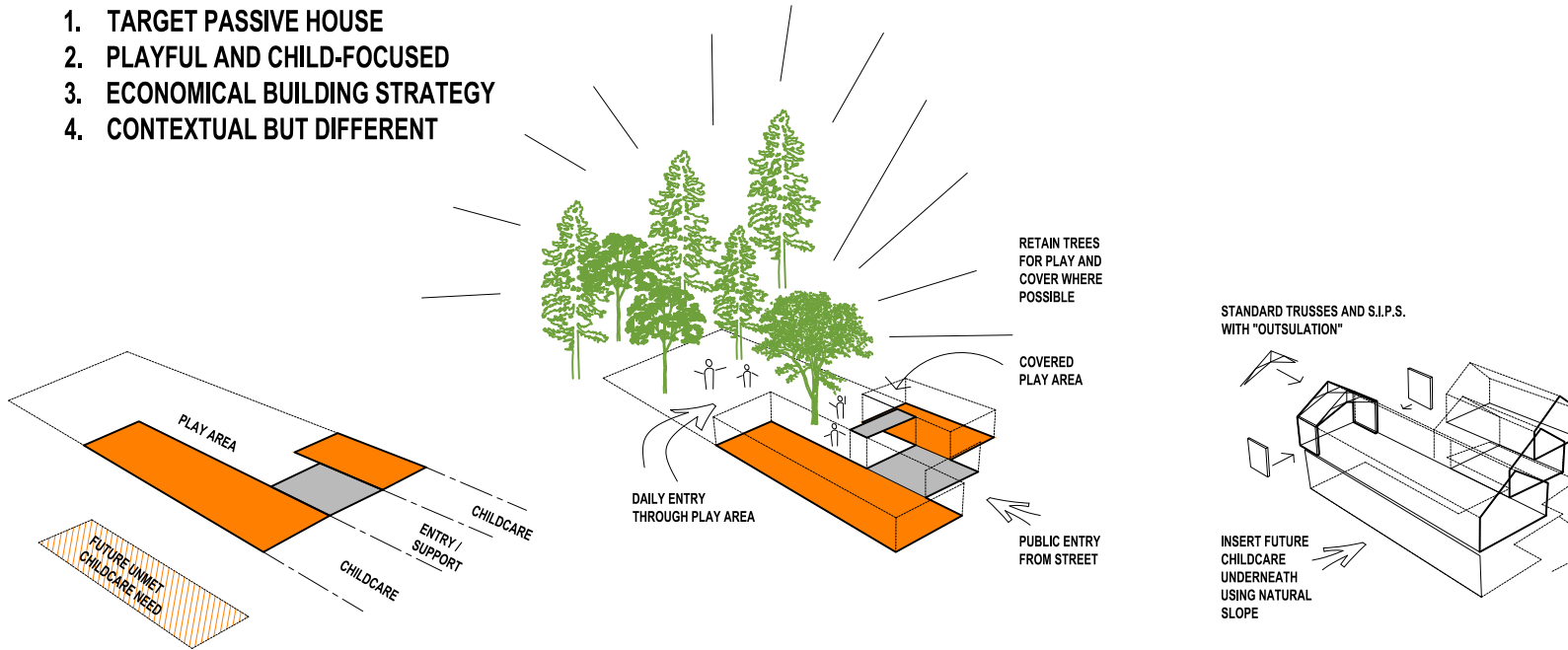
Stewart Burgess ASSOCIATE, ARCHITECT AIBC

DISTRIBUTION Authority, Owner, File



# PROJECT RATIONALE

1. TARGET PASSIVE HOUSE
2. PLAYFUL AND CHILD-FOCUSED
3. ECONOMICAL BUILDING STRATEGY
4. CONTEXTUAL BUT DIFFERENT



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REDUCED SIZE  
NOT TO SCALE

ISSUED FOR DEVELOPMENT PERMIT JUNE 28 2019

Carocadden

950 DILWORTH DR  
KELOWNA BC

KELOWNA YMCA  
CHILDCARE CENTRE

PROJECT RATIONALE

SB/BC BC

1860 JAN 2019

NIS

DP2

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## 1. TARGET PASSIVE HOUSE

A SIMPLIFIED BUILDING FORM HELPS WITH ENERGY EFFICIENCY AND PASSIVE HOUSE TARGET. ENTRY AND SUPPORT ARE CENTRAL SO AS TO SERVICE BOTH CHILDCARE SPACES. FUTURE CHILDCARE OR OTHER YMCA PROGRAM NEEDS CAN BE ACCOUNTED FOR IN A ROUGHED IN LOWER FLOOR.

## 2. PLAYFUL AND CHILD FOCUSED

PROGRAM ELEMENTS ARE SHIFTED PROVIDE A SHELTERED COURTYARD SPACE CENTRED AROUND EXISTING TREES, THE PLAY AREA IS LOCATED BEHIND THE BUILDING AWAY FROM TRAFFIC POLLUTION AND USES EXISTING TREES FOR SHELTER AND PLAY CENTRES WHERE POSSIBLE. A DOUBLE SIDED ENTRY STRATEGY WILL HELP TO PROVIDE SECURITY FOR CHILDREN AND GIVE THEM A PLACE TO PLAY WHILE WAITING FOR THEIR CAREGIVERS

## 3. ECONOMICAL BUILDING STRATEGY

THE YMCA PROPOSES TO USE WOOD-BASED STANDARD BUILDING TECHNOLOGIES IN KEEPING WITH THE KELOWNA AREA INDUSTRIAL AND TRADES CAPACITIES, THE RESULTING SLOPED ROOF FORMS WILL FIT IN WITH THE NEIGHBOURHOOD CONTEXT WHILE BEING ARRANGED TO PROVIDE A DISTINCTIVE "LOOK" TO THE STRUCTURE FROM AFAR.





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**REDUCED SIZE  
NOT TO SCALE**

DESIGNED FOR DEVELOPMENT PERMIT JUNE 28, 2019

**Caracadden**

950 DILWORTH DR  
KELOWNA BC

KELOWNA YMCA  
CHILDCARE CENTRE

PROJECT RATIONALE

REGION: **SB/BC** PROVINCE: **BC**

JOB NO.: **1860** DATE: **JAN 2019**

SCALE: **NTS**

DESIGNER: STOKES | CARACADDEN ARCHITECTS

SHEET: **DP3**

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**4. CONTEXTUAL YET DIFFERENT**

STANDARD BUILDING MATERIALS SUCH AS FIBRE CONCRETE SHINGLES WILL BE DEPLOYED IN UNUSUAL WAYS TO MAKE THE BUILDING APPEARS CONTEXTUAL TO THE MOSTLY SUBURBAN NEIGHBOURHOOD YET STILL ACT AS A "LANDMARK" AT THIS IMPORTANT GATEWAY MOMENT ON DILWORTH DRIVE. WOOD TRIMS WILL PROVIDE A WARM COUNTERPOINT TO THE ECONOMICAL YET BRIGHT PREFINISHED METAL ROOF AND CLADDING,