

Development Permit & Development Variance Permit DP17-0075 & DVP17-0076



This permit relates to land in the City of Kelowna municipally known as

450 Groves Ave

and legally known as

Lot 1, District Lot 14, Osoyoos Division Yale District Plan EPP89203

and permits the land to be used for the following development:

Multi-dwelling housing

The present owner and any subsequent owner of the above described land must comply with any attached terms and conditions.

<u>Date of Council Decision</u>	January 21, 2020
<u>Decision By:</u>	Council
<u>Development Permit Area:</u>	Revitalization and Floodplain Development Permit Area
Existing Zone:	RM6- High Rise Apartment Housing
Future Land Use Designation:	MRH- Multiple Unit Residential (High Density).

This is NOT a Building Permit.

In addition to your Development Permit, a Building Permit may be required prior to any work commencing. For further information, contact the City of Kelowna, Development Services Branch.

NOTICE

This permit does not relieve the owner or the owner's authorized agent from full compliance with the requirements of any federal, provincial or other municipal legislation, or the terms and conditions of any easement, covenant, building scheme or agreement affecting the building or land.

Owner: Abbott Park Holdings Inc. 1096096 BC

Applicant: Zeidler BKDI Architects

Terry Barton
Community Planning Department Manager
Planning & Development Services

Date

1. SCOPE OF APPROVAL

This Development Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.

This Development Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this permit, noted in the Terms and Conditions below.

The issuance of a permit limits the permit holder to be in strict compliance with regulations of the Zoning Bylaw and all other Bylaws unless specific variances have been authorized by the Development Permit. No implied variances from bylaw provisions shall be granted by virtue of drawing notations that are inconsistent with bylaw provisions and that may not have been identified as required Variances by the applicant or Municipal staff.

2. CONDITIONS OF APPROVAL

- a) The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A";
- b) The exterior design and finish of the building to be constructed on the land be in accordance with Schedule "B";
- c) Landscaping to be provided on the land be in accordance with Schedule "C"; and
- d) The applicant be required to post with the City a Landscape Performance Security deposit in the form of a "Letter of Credit" in the amount of 125% of the estimated value of the landscaping, as determined by a Registered Landscape Architect.
- e) Variances to the following sections of Zoning Bylaw No. 8000:

Section 13.12.6 RM6 High Rise Apartment Housing Development Regulations

Maximum site coverage for principal buildings, accessory structures, and parking areas and driveways from 50% to 83%

Minimum site front yard setback from 6.0m to 0.97m

Minimum site side yard (east and west) from 4.5m to 1.53m

Minimum site rear yard from 9.0m to 0.0m

Section 6.1.2 (c)- Daylighting Standards

In the case of a building more than two storeys or 10.0m in height, no part of such building above the second storey or above 10.0m shall project above lines extending toward the building at right angles from:

All points along the side lot line of the lot and inclined at an angle of 65 degrees to the horizontal to 72.5 degrees proposed for the west building section.

This Development Permit is valid for two (2) years from the date of approval, with no opportunity to extend.

3. PERFORMANCE SECURITY

As a condition of the issuance of this Permit, Council is holding the security set out below to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Developer and be paid to the Developer or his or her designate if the security is returned. The condition of the posting of the security is that should the Developer fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the Municipality may use enter into an agreement with the property owner of the day to have the work carried out, and any surplus shall be paid over to the property own of the day. Should the Developer carry out the development permitted by this Permit within the time set out above, the security shall be returned to the Developer or his or her designate. There is filed accordingly:

- a) An Irrevocable Letter of Credit in the amount of **\$88,702.50** or
- b) A certified cheque in the amount of **\$88,702.50**

Before any bond or security required under this Permit is reduced or released, the Developer will provide the City with a statutory declaration certifying that all labour, material, workers' compensation and other taxes and costs have been paid.

5. INDEMNIFICATION

Upon commencement of the works authorized by this Permit the Developer covenants and agrees to save harmless and effectually indemnify the Municipality against:

- a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality said Permit.

All costs, expenses, claims that may be incurred by the Municipality where the construction, engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

**The PERMIT HOLDER is the CURRENT LAND OWNER.
Security shall ONLY be returned to the signatory of the
Landscape Agreement or their designates.**

DRAFT



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NO.	DATE	DESCRIPTION
1	2019-09-23	ISSUED FOR PRELIMINARY REVIEW
2	2019-10-15	REVISED FOR PRELIMINARY REVIEW
3	2019-09-23	ISSUED FOR PRELIMINARY REVIEW
4	2019-09-23	ISSUED FOR PRELIMINARY REVIEW
5	2019-09-23	ISSUED FOR PRELIMINARY REVIEW

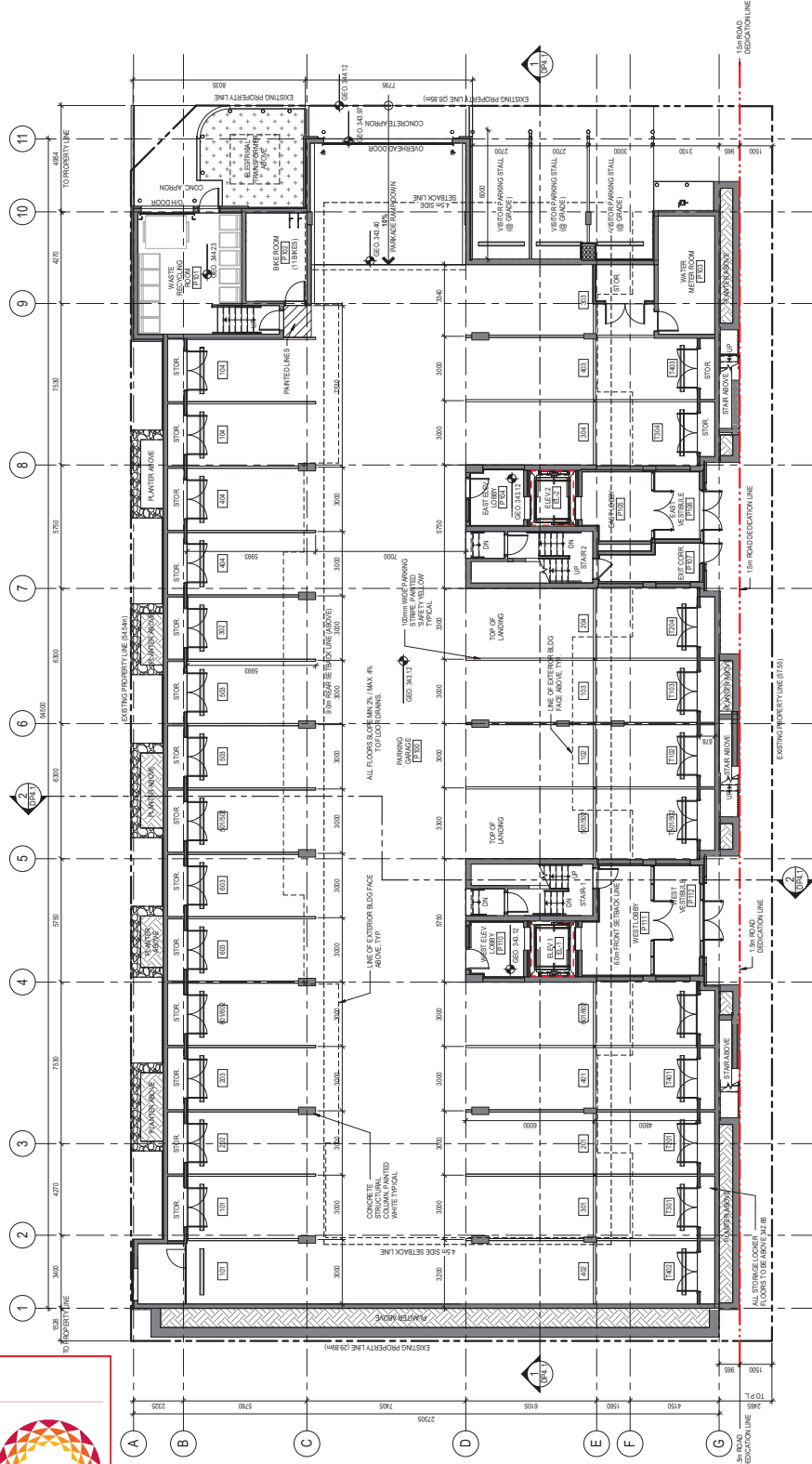
VINEYARD DEVELOPMENTS
 4161, LAKE DRUMBOURGH
 KELOWNA, B.C. V1Y1T1

450 PARC RESIDENCES
 450 Groves Avenue Kelowna, B.C.

PARKADE FLOOR PLAN

Scale: 1:100
 Drawn by: TP
 Checked by: JS
 Project: 216-140
 Date Issued: 2019-09-23

Sheet No: **5** DP2.0



1 PARKADE PLAN
 SCALE: 1:100

SCHEDULE A

This forms part of application
 # DP17-0075 DVP17-0076

Planner Initials **JB**

City of Kelowna
 DEVELOPMENT PLANNING



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NOTICE OF CONSTRUCTION

CONTRACT

This construction plan has been prepared by the undersigned professional engineer in compliance with the provisions of the Professional Engineers Act and the Engineering Profession Act. The undersigned is not responsible for any errors or omissions in this plan or for any consequences of its use. This drawing is the exclusive property of Zeidler Architects and shall not be reproduced or used for any purpose without the written permission of Zeidler Architects.



NO.	DATE	DESCRIPTION
1	2019-09-23	ISSUED FOR CONSTRUCTION PERMIT
2	2019-09-23	ISSUED FOR CONSTRUCTION PERMIT (REVISED)
3	2019-09-23	ISSUED FOR CONSTRUCTION PERMIT (REVISED)
4	2019-09-23	ISSUED FOR CONSTRUCTION PERMIT (REVISED)
5	2019-09-23	ISSUED FOR CONSTRUCTION PERMIT (REVISED)

VINEYARD DEVELOPMENTS
450 PARC RESIDENCES
450 Groves Avenue Kelowna, B.C.

PROJECT NO.

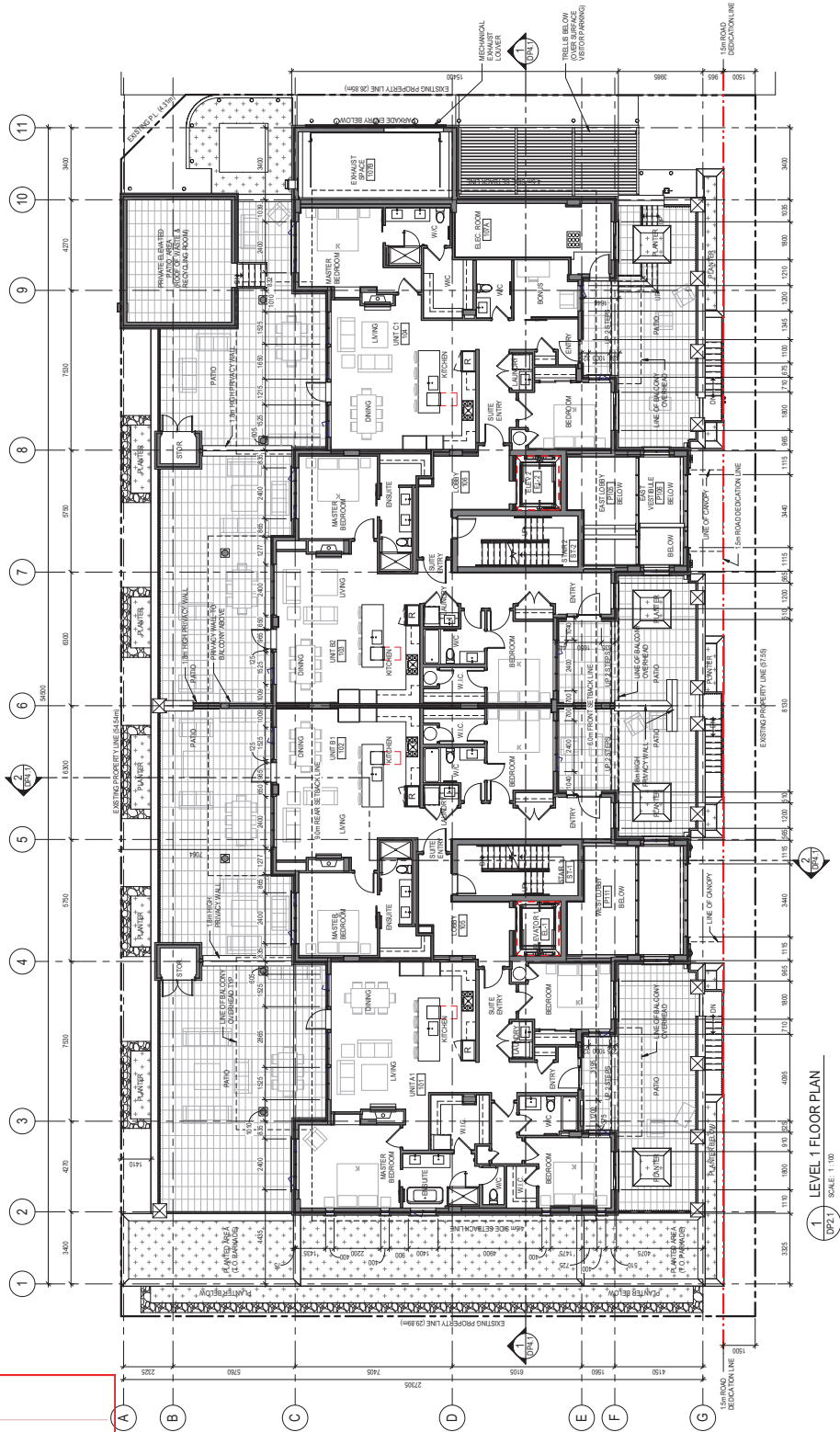
450 PARC RESIDENCES
450 Groves Avenue Kelowna, B.C.

DRAWING NO.

LEVEL 1 FLOOR PLAN

SCALE: 1:100
DRAWN BY: TP
CHECKED BY: JS
PROJECT NO.: 216-140
DATE ISSUED: 2019-09-23

REVISIONS: SHEET NO. **5** DP2.1



1 LEVEL 1 FLOOR PLAN
SCALE: 1:100

SCHEDULE A
This forms part of application
DP17-0075 DVP17-0076



City of Kelowna
DEVELOPMENT PLANNING

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NO.	DATE	DESCRIPTION
1	2019-09-23	ISSUED FOR DEVELOPER PRESENTATION
2	2019-09-23	ISSUED FOR DEVELOPER PRESENTATION
3	2019-09-23	ISSUED FOR DEVELOPER PRESENTATION
4	2019-09-23	ISSUED FOR DEVELOPER PRESENTATION
5	2019-09-23	ISSUED FOR DEVELOPER PRESENTATION

VINEYARD DEVELOPMENTS
 416, LAKE DRUMBOURGH
 KELOWNA, B.C. V1Y1T1

PROJECT NO.

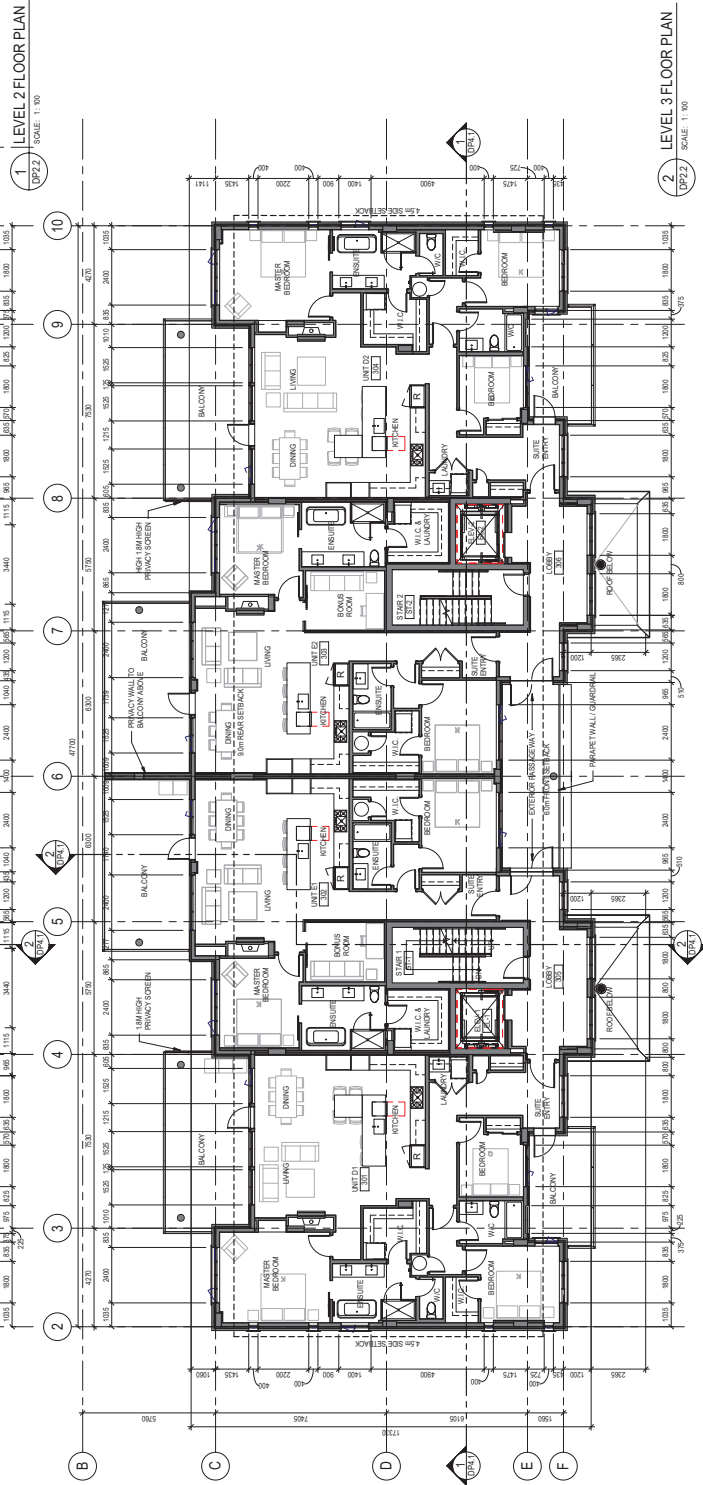
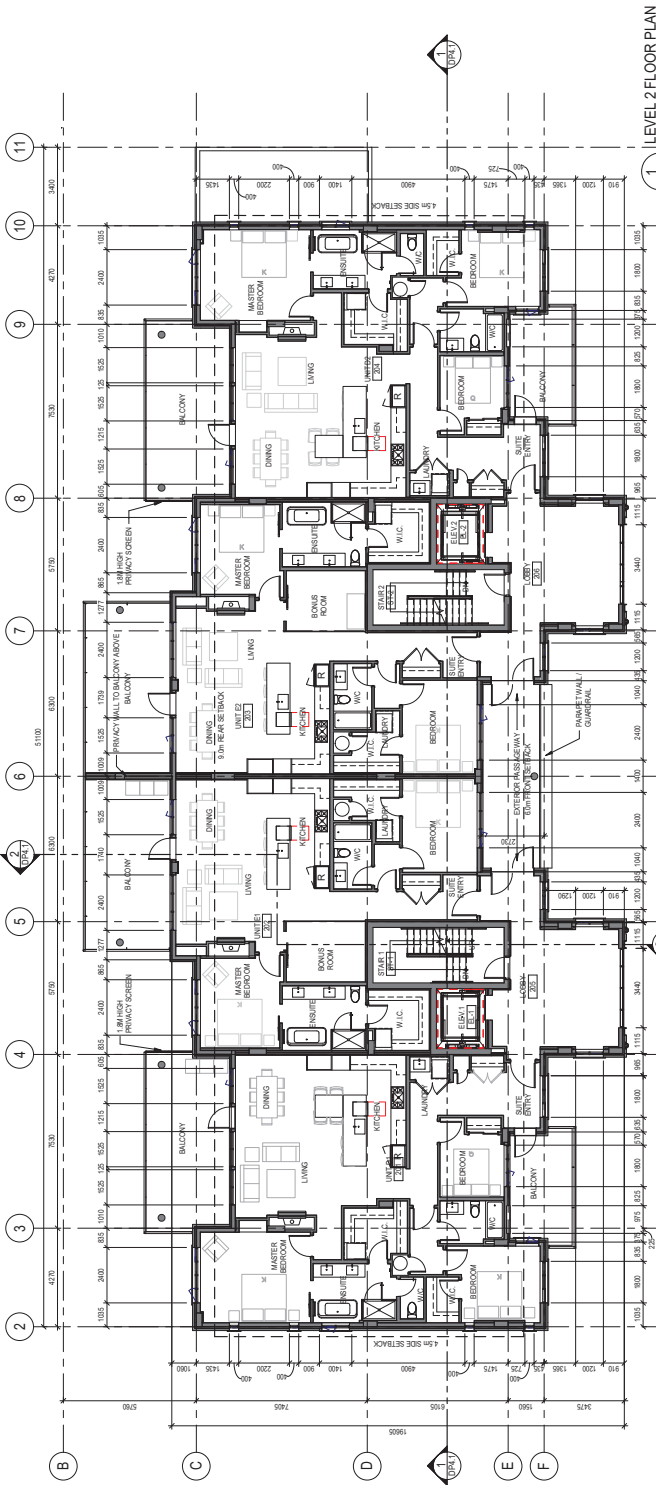
450 PARC RESIDENCES
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DRAWING NO.

LEVEL 2 + LEVEL 3 FLOOR PLANS

SCALE:	1:100
DRAWN BY:	TP
CHECKED BY:	JS
PROJECT NO.:	216-140
DATE ISSUED:	2019-09-23

REVISIONS: **5** DP2.2



SCHEDULE A

This forms part of application
 # DP17-0075 DVP17-0076

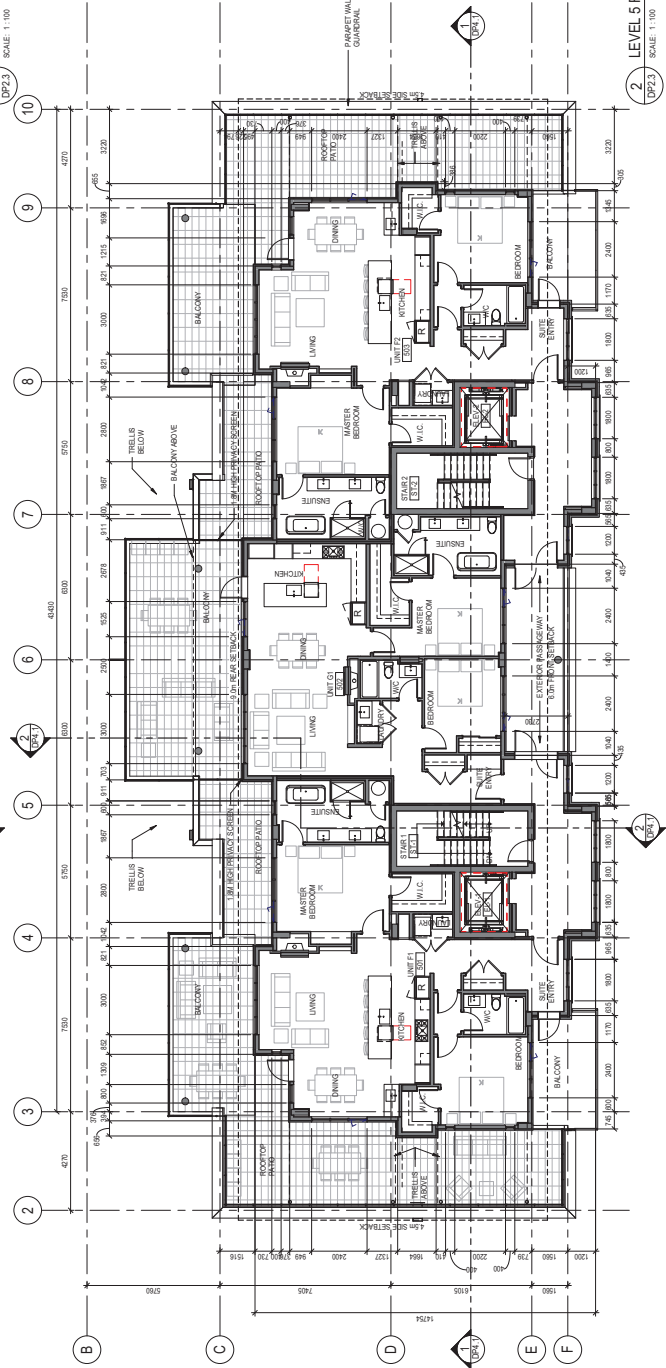
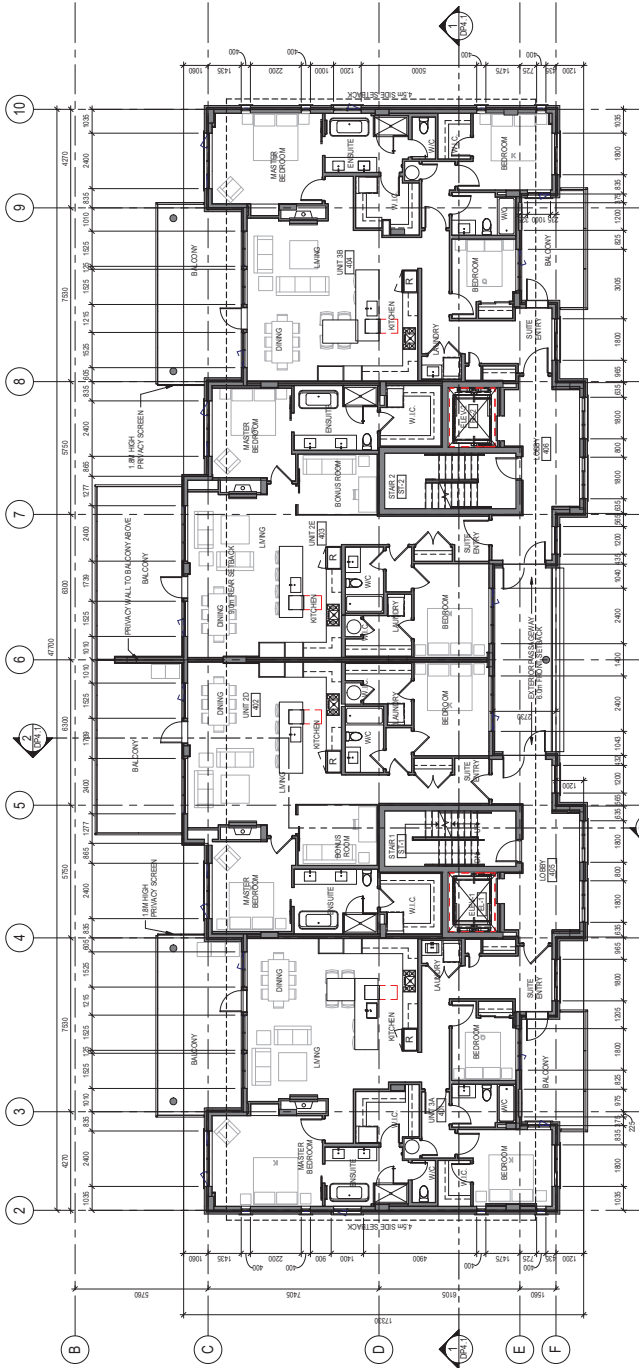
City of Kelowna
 DEVELOPMENT PLANNING

Planner Initials **JB**



NO.	DATE	DESCRIPTION
1	2018-09-23	ISSUED FOR DEVELOPMENT PERMIT
2	2018-09-23	ISSUED FOR DEVELOPMENT PERMIT
3	2018-09-23	ISSUED FOR DEVELOPMENT PERMIT
4	2018-09-23	ISSUED FOR DEVELOPMENT PERMIT
5	2018-09-23	ISSUED FOR DEVELOPMENT PERMIT

SCALE:	1:100
DRAWN BY:	TP
CHECKED BY:	JS
PROJECT NO.:	216-140
DATE ISSUED:	2018-09-23



SCHEDULE

A

This forms part of application
 # DP17-0075 DVP17-0076



City of **Kelowna**
 DEVELOPMENT PLANNING

Planner Initials **JB**



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001

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CONTRACT

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NO.	DATE	DESCRIPTION
1	2019-09-23	ISSUED FOR PRELIMINARY REVIEW
2	2019-10-17	ISSUED FOR PRELIMINARY REVIEW
3	2019-09-23	ISSUED FOR PRELIMINARY REVIEW
4	2019-09-23	ISSUED FOR PRELIMINARY REVIEW
5	2019-09-23	ISSUED FOR PRELIMINARY REVIEW

450 PARC RESIDENCES
450 Groves Avenue Kelowna, B.C.

PROJECT NO.

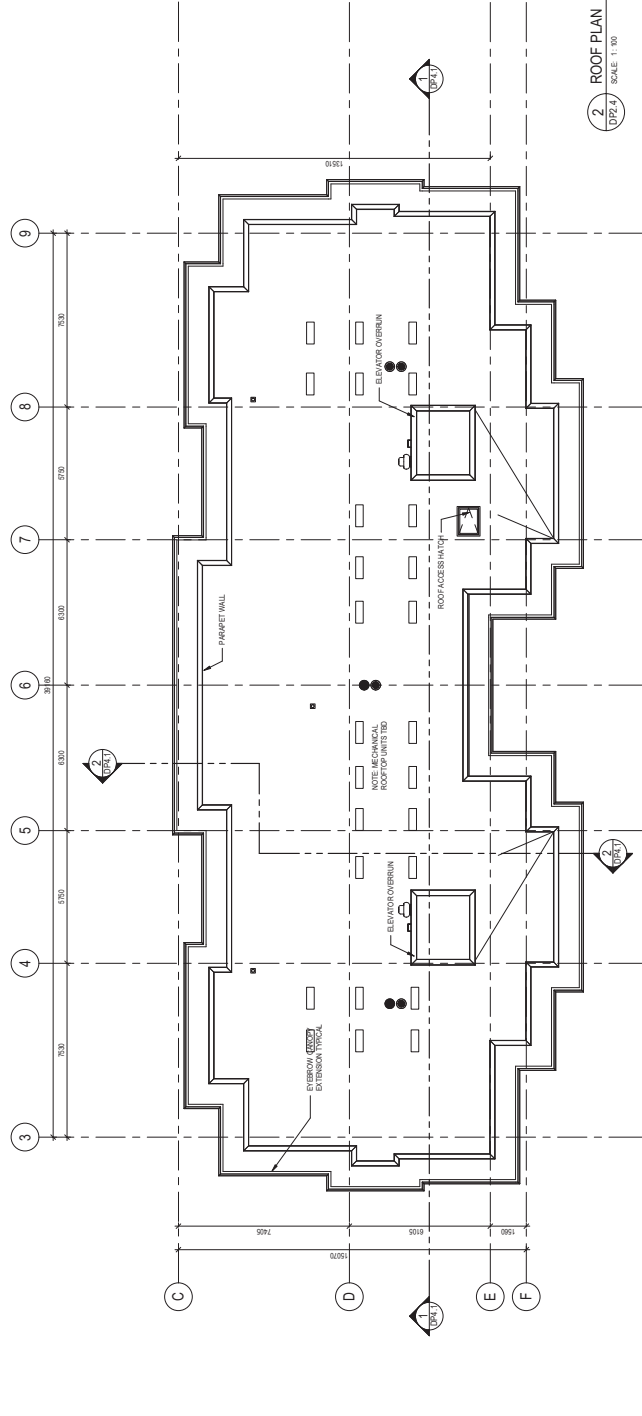
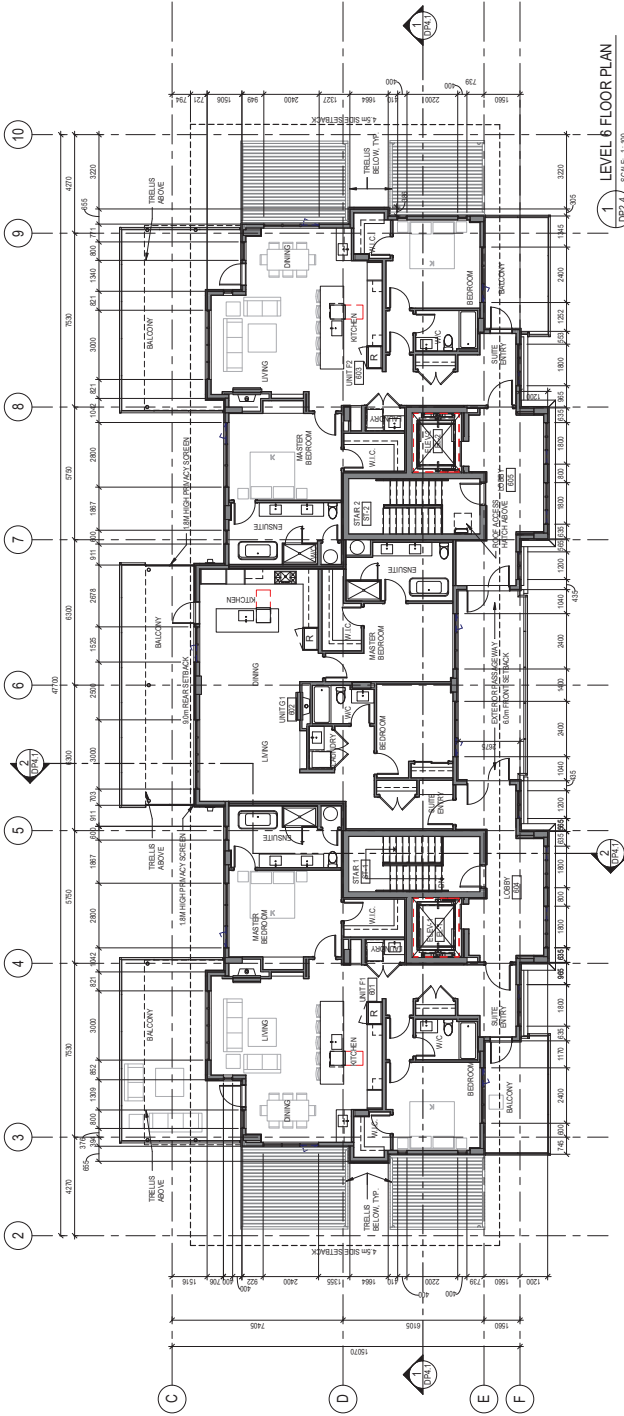
450 PARC RESIDENCES
450 Groves Avenue Kelowna, B.C.

DRAWING NO.

LEVEL 6 + ROOF PLAN FLOOR PLANS

SCALE:	1:100
DRAWN BY:	TP
CHECKED BY:	JS
PROJECT NO.:	216-140
DATE ISSUED:	2019-09-23

SHEET NO. 5 DP2.4



SCHEDULE A

This forms part of application
DP17-0075 DVP17-0076



City of Kelowna
DEVELOPMENT PLANNING

Planner Initials JB



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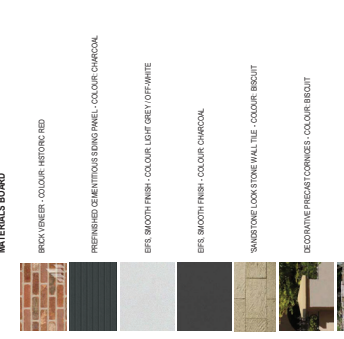
001

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001/001

- 1 BRICK VENEER - COLOUR: HISTORIC RED
- 2 PREFINISHED CLAMANTIOUS BEING PANEL - COLOUR: CHARCOAL
- 3 EPS, SMOOTH FINISH - COLOUR: LIGHT GREY / OFF-WHITE
- 4 EPS, SMOOTH FINISH - COLOUR: CHARCOAL
- 5 HANDED WINDOW CLEAR GLAZING IN BLACK FRAMES
- 6 HANDED WINDOW FROSTED GLAZING IN BLACK FRAMES
- 7 SANDSTONE LOOK STONE WALL TILE - COLOUR: BOUTIQUE
- 8 SANDSTONE LOOK STONE WALL TILE - COLOUR: BOUTIQUE
- 9 DECORATIVE PRECAST CONCRETES - COLOUR: BOUTIQUE
- 10 PRECAST WINDOW HEADS / SILLS - COLOUR: BOUTIQUE
- 11 CLASS BALCONY GARBAGE - BLACK/POSTS
- 12 METAL SPIKE GUARDRAIL AND RAILING - COLOUR: BLACK
- 13 METAL PIPE HANDRAIL - COLOUR: BLACK
- 14 PRIVITY SCREEN
- 15 BRICK VENEER - COLOUR: HISTORIC RED
- 16 PREFINISHED CLAMANTIOUS BEING PANEL - COLOUR: CHARCOAL
- 17 EPS, SMOOTH FINISH - COLOUR: LIGHT GREY / OFF-WHITE
- 18 EPS, SMOOTH FINISH - COLOUR: CHARCOAL
- 19 HANDED WINDOW CLEAR GLAZING IN BLACK FRAMES
- 20 HANDED WINDOW FROSTED GLAZING IN BLACK FRAMES
- 21 SANDSTONE LOOK STONE WALL TILE - COLOUR: BOUTIQUE
- 22 SANDSTONE LOOK STONE WALL TILE - COLOUR: BOUTIQUE
- 23 DECORATIVE PRECAST CONCRETES - COLOUR: BOUTIQUE
- 24 PRECAST WINDOW HEADS / SILLS - COLOUR: BOUTIQUE
- 25 CLASS BALCONY GARBAGE - BLACK/POSTS
- 26 METAL SPIKE GUARDRAIL AND RAILING - COLOUR: BLACK
- 27 METAL PIPE HANDRAIL - COLOUR: BLACK
- 28 PRIVITY SCREEN
- 29 SANDSTONE LOOK STONE WALL TILE - COLOUR: BOUTIQUE
- 30 DECORATIVE PRECAST CONCRETES - COLOUR: BOUTIQUE
- 31 NATURAL STONE IN WATER WALL

- 32 SPINDLE FRAME GLAZING IN BLACK FRAMES
- 33 BRICK CLAMANTIOUS BEING PANEL - COLOUR: CHARCOAL
- 34 CONCRETE COLUMN CAPS (BOUTIQUE)
- 35 EYE-BROW CANOPY - PREFINISHED BLACK GWP PREFINISHED ALUMINUM SOFFIT (WOOD GRAIN)
- 36 METAL CHANNEL FRAME PAINTED BLACK
- 37 CONCRETE LANDSCAPE PLANTERS GWP ATTIC WALL - BRICK FINISH (HYDRIC RED)
- 38 CONCRETE COLUMNS
- 39 GROUND PAINTED - COLOUR: BLACK
- 40 MECHANICAL LOWER - COLOUR: BLACK
- 41 MECHANICAL LOWER - COLOUR: BOUTIQUE
- 42 HOLLOW METAL DOOR - COLOUR: BLACK
- 43 NATURAL ROCK LANDSCAPE RATER
- 44 ALUMINUM TRILLS - COLOUR: BLACK
- 45 FIRE GLASS DOOR WITH CLEAR GLAZING - COLOUR: BLACK
- 46 STEEL FRAME CANOPY - COLOUR: BLACK
- 47 SECTIONAL GROUND - COLOUR: BLACK
- 48 SECTIONAL GROUND - COLOUR: BLACK
- 49 PANELS - COLOUR: BLACK



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NO.	DATE	DESCRIPTION
1	2023-09-20	ISSUED FOR PRELIMINARY REVIEW
2	2023-10-10	REVISED FOR PRELIMINARY REVIEW
3	2023-09-20	ISSUED FOR PRELIMINARY REVIEW
4	2023-09-20	ISSUED FOR PRELIMINARY REVIEW
5	2023-09-20	ISSUED FOR PRELIMINARY REVIEW

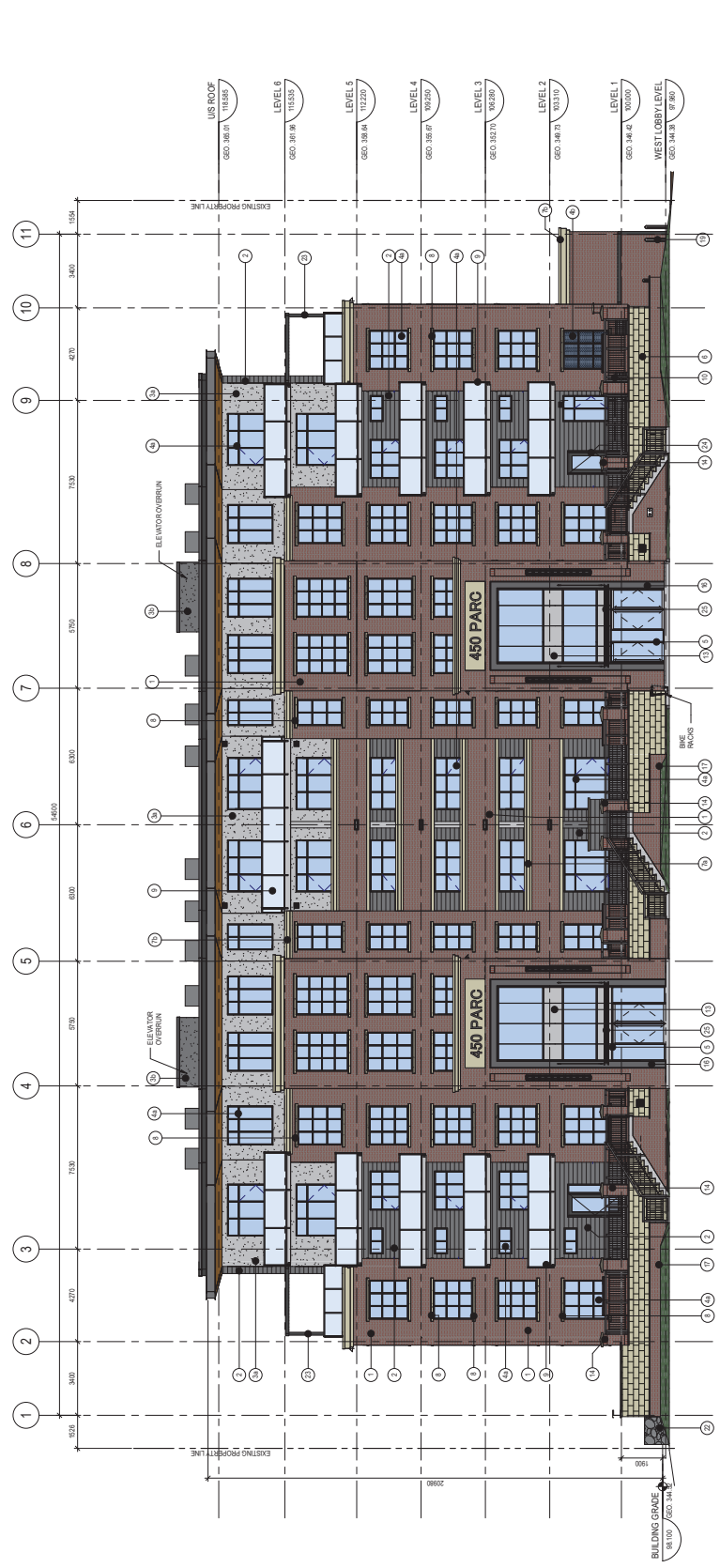
VINEYARD DEVELOPMENTS
 4141, BASE DOLNORSTADT, KELLOWNA, B.C. V1Y1T1

450 PARC RESIDENCES
 450 Groves Avenue Kelowna, B.C.

BUILDING ELEVATION - SOUTH

Scale: As indicated
 Date: TP
 Designer: JS
 Project: 216-140
 Date Issued: 2019-09-23

Sheet: 5
 Title: DP3.1



1 SOUTH ELEVATION
 DVP.1 SCALE: 1:100

SCHEDULE B

This forms part of application
 # DP17-0075 DVP17-0076

City of Kelowna
 DEVELOPMENT PLANNING

Planner Initials: JB



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2021

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NO.	DATE	REVISION
1	2020-09-27	ISSUED FOR PRELIMINARY REVIEW
2	2020-12-22	ISSUED FOR PRELIMINARY REVIEW
3	2020-09-27	ISSUED FOR PRELIMINARY REVIEW
4	2020-09-27	ISSUED FOR PRELIMINARY REVIEW
5	2020-09-27	ISSUED FOR PRELIMINARY REVIEW



450 PARC RESIDENCES
450 Groves Avenue Kelowna, B.C.

Drawing No.

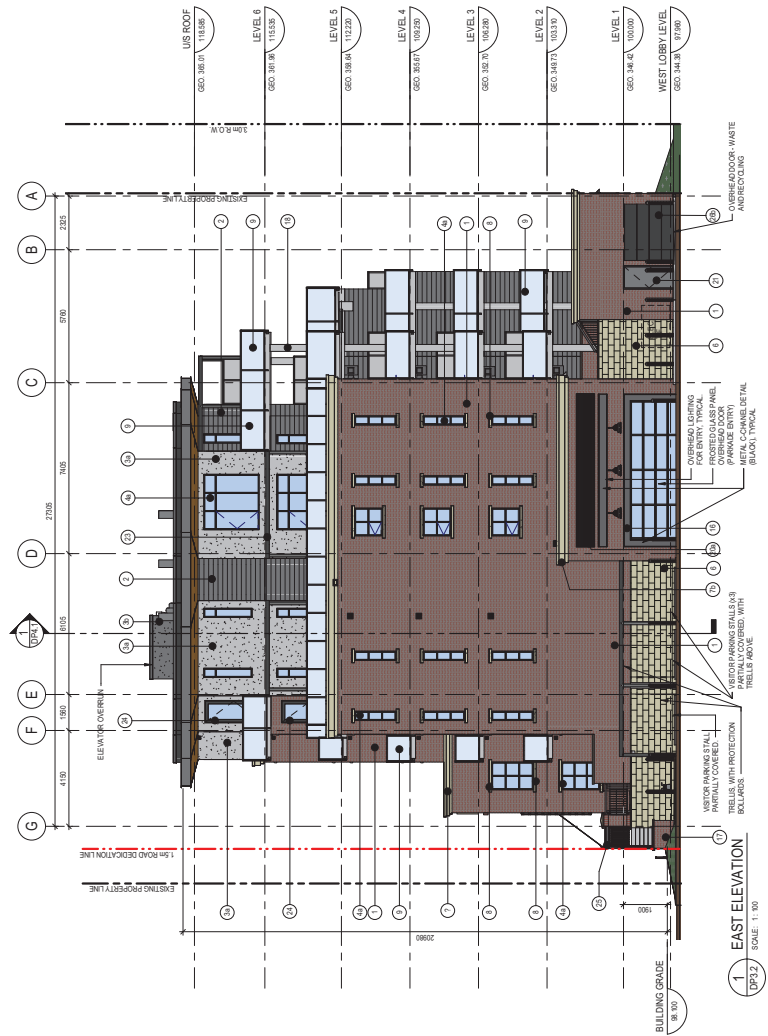
BUILDING ELEVATION + PERSPECTIVE VIEWS - EAST

scale:	As indicated
drawn by:	TP
checked by:	JS
project no.:	216-140
date issued:	2019-09-23

sheet no. **5** DP3.2

MATERIALS LEGEND

- 1 BRICK VENEER - COLOUR HISTORIC
- 2 PREFINISHED ORIENTED STRONG PANEL - COLOUR CHARCOAL
- 3 EPS SMOOTH FINISH - COLOUR LIGHT GREY / OFF WHITE
- 4 EPS SMOOTH FINISH - COLOUR CHARCOAL
- 5 FINISHED WINDOW CLEAR GLAZING IN BLACK FRAMES
- 6 UNFINISHED WINDOW CLEAR GLAZING IN BLACK FRAMES
- 7 SANDSTONE LOOK STONE WALL TILE - COLOUR BRIGHT
- 8 DECORATIVE PRECAST CONCRETE - COLOUR BRIGHT
- 9 PRECAST WINDOW HEADS / SILL - COLOUR BRIGHT
- 10 GLASS BALCONY GUARDRAIL - BLACK POSTS
- 11 METAL POCKET GUARDRAIL AND RAILING - COLOUR BLACK
- 12 METAL PIPE HANDRAIL - COLOUR BLACK
- 13 PRIVACY SCREEN
- 14 BRICK VENEER GLAZING IN BLACK FRAMES
- 15 GROUND ANCHORED GASTRICAL COLUMNS WITH PRECAST
- 16 CONCRETE OVERHEAD DOOR WITH PRINTED GLASS PANELS - COLOUR BLACK
- 17 NYBRIC CANOPY - RESINATED BLACK / FRESHENED
- 18 ALUMINIUM SPLIT (WOOD GRAIN)
- 19 METAL CHANNEL FRAME PAINTED BLACK
- 20 CONCRETE LANDSCAPE PLANTERS (V/CAP AT 0 WALL - BRICK FINISH HISTORIC RED)
- 21 CONCRETE COLUMNS
- 22 BALLERS PAINTED - COLOUR BLACK
- 23 MECHANICAL LOWER - COLOUR BLACK
- 24 MECHANICAL UPPER - COLOUR BRIGHT
- 25 KOLLOW METAL DOOR - COLOUR BLACK
- 26 NATURAL ROCK MESHGLASS PAINTER
- 27 ALUMINIUM TRILIS - COLOUR BLACK
- 28 BRICKGLASS DOOR WITH CLEAR GLAZING - COLOUR BLACK
- 29 STEEL FRAME CANOPY - COLOUR BLACK
- 30 SECTIONAL OVERHEAD DOOR - COLOUR BLACK
- 31 PANELS - COLOUR BLACK



SCHEDULE B

This forms part of application
DP17-0075 DVP17-0076

City of Kelowna
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Planner Initials **JB**



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NO.	DATE	DESCRIPTION
1	2019-07-23	ISSUED FOR PRELIMINARY REVIEW
2	2019-07-23	ISSUED FOR PRELIMINARY REVIEW
3	2019-07-23	ISSUED FOR PRELIMINARY REVIEW
4	2019-07-23	ISSUED FOR PRELIMINARY REVIEW
5	2019-07-23	ISSUED FOR PRELIMINARY REVIEW

VINEYARD
 DEVELOPMENTS
 450 GROVES AVENUE
 KELOWNA, B.C. V1Y1T1

PROJECT

450 PARC RESIDENCES

450 Groves Avenue Kelowna, B.C.

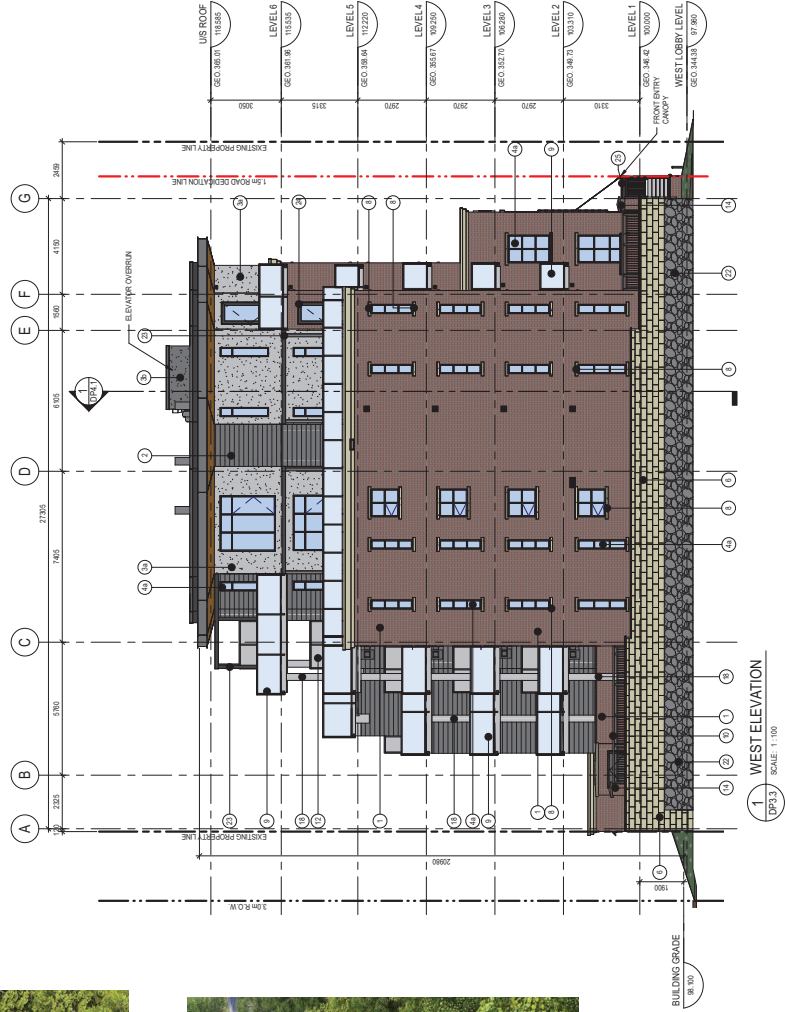
DATE: 2021

BUILDING ELEVATION +
 PERSPECTIVE VIEWS - WEST

SCALE:	AS INDICATED
DRAWN BY:	TP
CHECKED BY:	JS
PROJECT NO.:	216-140
DATE ISSUED:	2019-09-23

SHEET NO. **5** OF **33**
DP3.3

- MATERIALS LEGEND:**
- 1 BRICK VENEER - COLOUR: HISTORIC RED
 - 2 PREFINISHED QUERQUILL SILING PANEL - COLOUR: CHARCOAL
 - 3 STEEL SMOOTH FINISH - COLOUR: LIGHT GREY/OFF-WHITE
 - 4 STEEL SMOOTH FINISH - COLOUR: CHARCOAL
 - 5 UNFINISHED WINDOW CLEAR GLAZING IN BLACK FRAMES
 - 6 COLORED WINDOW FINISHED GLAZING IN BLACK FRAMES
 - 7 INSULATED WINDOW GLAZING WITH BLACK FRAME
 - 8 SANDSTONE LOOK STONE WALL TILE - COLOUR: BICQUIT
 - 9 DECORATIVE PRECAST CORNICES - COLOUR: BICQUIT
 - 10 PRECAST WINDOW HEADERS/ SILLS - COLOUR: BICQUIT
 - 11 GLASS BALCONY GUARDRAIL - BLACK POSTS
 - 12 METAL POCKET GUARDRAIL AND RAILING - COLOUR: BLACK
 - 13 METAL PIPE HANDRAIL - COLOUR: BLACK
 - 14 FINISH SCREEN
 - 15 BRICK VENEER - COLOUR: HISTORIC RED
 - 16 BRICK/GUARD (HORIZONTAL RED) GUARDRAIL COLUMNS WITH PRECAST CONCRETE COLUMN CAPS (BICQUIT)
 - 17 STEEL WINDOW CANOPY - PREFINISHED BLACK C/P PREFINISHED
 - 18 METAL CHANNEL FRAME PAINTED BLACK
 - 19 CONCRETE COLUMNS
 - 20 POLYURETHANE INSULATION WITH FIBREGLASS BATT TO WALL - BICQUIT FINISH (HISTORIC RED)
 - 21 RIGID INSULATION
 - 22 RIGID INSULATION
 - 23 ALUMINUM TRILLS - COLOUR: BLACK
 - 24 STEEL FRAME CANOPY - COLOUR: BLACK
 - 25 BRICK/GUARD WITH CLEAR GLAZING - COLOUR: BLACK
 - 26 SECTIONAL OVERHEAD DOOR - COLOUR: BLACK
 - 27 PANELS - COLOUR: BLACK



SCHEDULE B

This forms part of application
 # DP17-0075 DVP17-0076

City of Kelowna
 DEVELOPMENT PLANNING

Planner Initials **JB**



NOT FOR CONSTRUCTION

- MATERIALS LEGEND**
- 1 BRICK VENER - COLOUR HISTORIC RED
 - 2 PREFINISHED CEMENTIOUS SING PANEL - COLOUR CHARCOAL
 - 3 EPS SMOOTH FINISH - COLOUR LIGHT GREY / OFF WHITE
 - 4 EPS SMOOTH FINISH - COLOUR CHARCOAL
 - 5 FINCHED WINDOW CLEAR GLAZING IN BLACK FRAMES
 - 6 FINCHED WINDOW Frosted GLAZING IN BLACK FRAMES
 - 7 8EG WINDOW GLAZING WITH BLACK FRAME
 - 8 SANDSTONE LOOK STONE WALL TILE - COLOUR REDDIT
 - 9 DECORATIVE PRECAST CONCRETE - COLOUR BECUT
 - 10 PRECAST WINDOW FINISH TILLS - COLOUR REDDIT
 - 11 PRECAST MASONRY GARDENAIL - BLACK POINTS
 - 12 METAL POINT GARDENAIL AND BRUING - COLOUR BLACK
 - 13 METAL PIPE HORIZONTAL - COLOUR BLACK
 - 14 PRECAST SCREEN
 - 15 BRICK CLAD HISTORIC RED GARDENAIL COLUMNS WITH PRECAST CONCRETE COLUMN CAPS (BECUT)
 - 16 1" EYEBROW CANOPY - PREFINISHED BLACK POWDER COATED ALUMINUM SOFFIT (WOOD GRAIN)
 - 17 METAL CHANNEL FRAME PAINTED BLACK
 - 18 COOPERATE LANDSCAPE PLANTERS ON TOP OF WALL - ALUMINUM (WOOD GRAIN)
 - 19 CONCRETE COLUMNS
 - 20 COULURED PAINTED - COLOUR BLACK
 - 21 MECHANICAL LOWER - COLOUR BECUT
 - 22 HOLLOW METAL DOOR - COLOUR BLACK
 - 23 NATURAL ROCK LANDSCAPE PLANTER
 - 24 ALUMINUM TRELLIS - COLOUR BLACK
 - 25 FIRE GLASS DOOR WITH CLEAR GLAZING - COLOUR BLACK
 - 26 STEEL FRAME CANOPY - COLOUR BLACK
 - 27 SECTIONAL OVERHEAD DOOR - COLOUR BLACK
 - 28 SECTIONAL OVERHEAD DOOR WITH PROTECTED GLASS PANELS - COLOUR BLACK

CONTINUOUS

The information on this drawing is for informational purposes only. It is not intended to be used for construction or for any other purpose. The contractor shall verify all bearings, distances, and dimensions prior to commencement of work. All services and materials must be approved by the City of Kelowna. This drawing is the exclusive property of Zeidler Architects and shall remain the confidential information of Zeidler Architects.

NO.	DATE	DESCRIPTION
1	2023-07-27	ISSUED FOR PERMIT PRESENT
2	2023-12-12	REVISIONS FOR PERMIT PRESENT
3	2024-07-26	ISSUED FOR PERMIT PRESENT
4	2024-08-23	ISSUED FOR PERMIT PRESENT
5	2024-09-23	ISSUED FOR PERMIT PRESENT

VINEYARD DEVELOPMENTS
 #14, BASE DOLMORT ROAD, KELOWNA, B.C. V1Y1T1

PROJECT: 450 PARC RESIDENCES
 450 Groves Avenue Kelowna, B.C.

DATE: 2024-09-23

SCHEDULE B

This forms part of application # DP17-0075 DVP17-0076

Planner Initials **JB**

City of Kelowna
 DEVELOPMENT PLANNING

scale: As indicated
 drawn by: TP
 checked by: JS
 project no: 216-140
 date issued: 2019-09-23

sheet no: **5** DP3.4



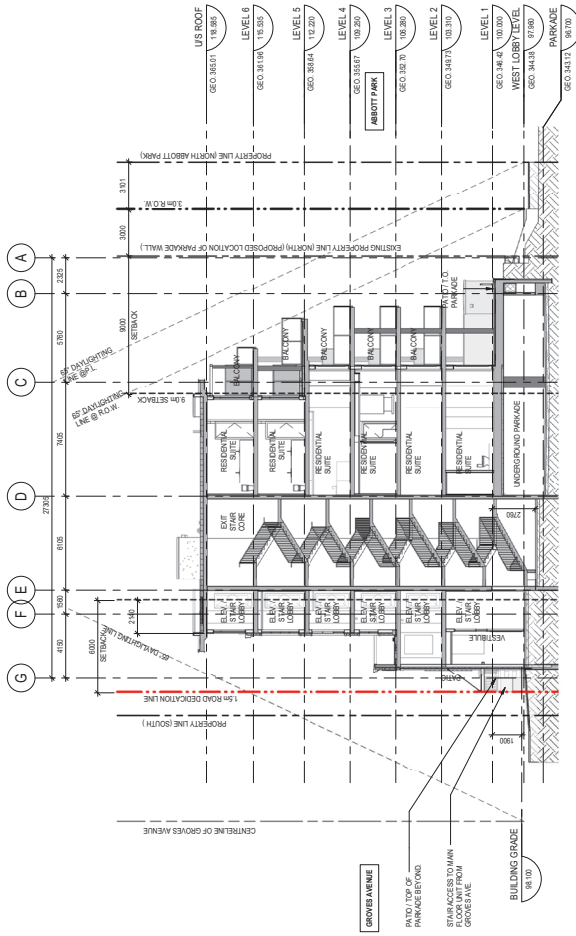


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 T +1 403 233 2525

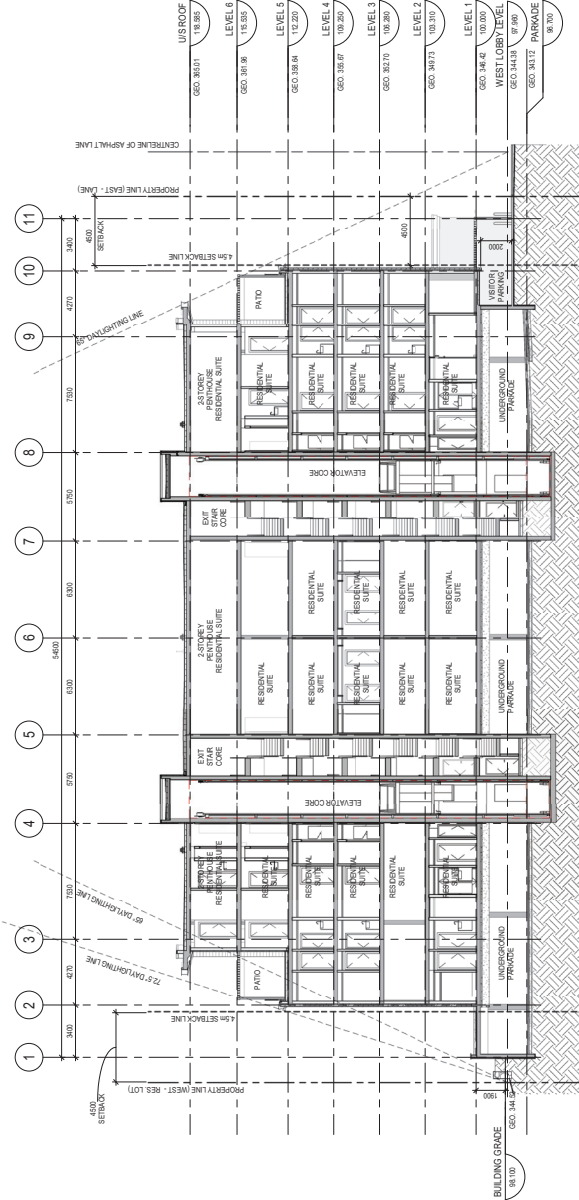
NOT FOR CONSTRUCTION

consultants

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2 BUILDING SECTION - NORTH-SOUTH
 DP4.1 SCALE 1:150



1 BUILDING SECTION - EAST-WEST
 DP4.1 SCALE 1:150

SCHEDULE B

This forms part of application
 # DP17-0075 DVP17-0076

Planner Initials **JB**



NO.	DATE	DESCRIPTION
1	2019-09-23	ISSUED FOR PRELIMINARY REVIEW
2	2019-10-15	ISSUED FOR PRELIMINARY REVIEW
3	2019-09-23	ISSUED FOR PRELIMINARY REVIEW
4	2019-09-23	ISSUED FOR PRELIMINARY REVIEW
5	2019-09-23	ISSUED FOR PRELIMINARY REVIEW

VINEYARD DEVELOPMENTS
 #104, BASE DUMFRIES ROAD
 KELOWNA, B.C. V1Y1T1

PROJECT NO.

450 PARC RESIDENCES
 450 Groves Avenue Kelowna, B.C.

drawing title

BUILDING SECTIONS

scale:	1:150
drawn by:	TP
checked by:	JS
project no.:	216-140
date issued:	2019-09-23

sheet no. **5** DP4.1



NO.	DATE	DESCRIPTION
1	2023.07.27	ISSUED FOR COST ESTIMATE
2	2023.07.27	ISSUED FOR PERMIT REVIEW
3	2023.07.28	ISSUED FOR PERMIT REVIEW
4	2023.07.28	ISSUED FOR PERMIT REVIEW
5	2023.07.27	ISSUED FOR PERMIT REVIEW

SCALE:	As indicated
DRAWN BY:	ADPI
CHECKED BY:	TK
PROJECT NO.:	216-140
DATE ISSUED:	2023-09-12

NO.	Botanical Name	Common Name	Size	Remarks
1	Prunella vulgaris	Wild Rose	46 PM	152
2	Niphopogon glaucoloma	Mountain Sage	46 PM	152
3	Panicum virgatum	Switchgrass	46 PM	152
4	Rudbeckia hirta	Black-eyed Susan	46 PM	152
5	Asplenium platyneuron	Rock Spleenwort	46 PM	152
6	Adiantum species	Maidenhair Fern	46 PM	152
7	Hosta plantainifolia	Plantain Lily	46 PM	152
8	Salix glauca	Blue Willow	46 PM	152
9	Asplenium platyneuron	Rock Spleenwort	46 PM	152
10	Panicum virgatum	Switchgrass	46 PM	152
11	Rudbeckia hirta	Black-eyed Susan	46 PM	152
12	Asplenium platyneuron	Rock Spleenwort	46 PM	152
13	Adiantum species	Maidenhair Fern	46 PM	152
14	Hosta plantainifolia	Plantain Lily	46 PM	152
15	Salix glauca	Blue Willow	46 PM	152
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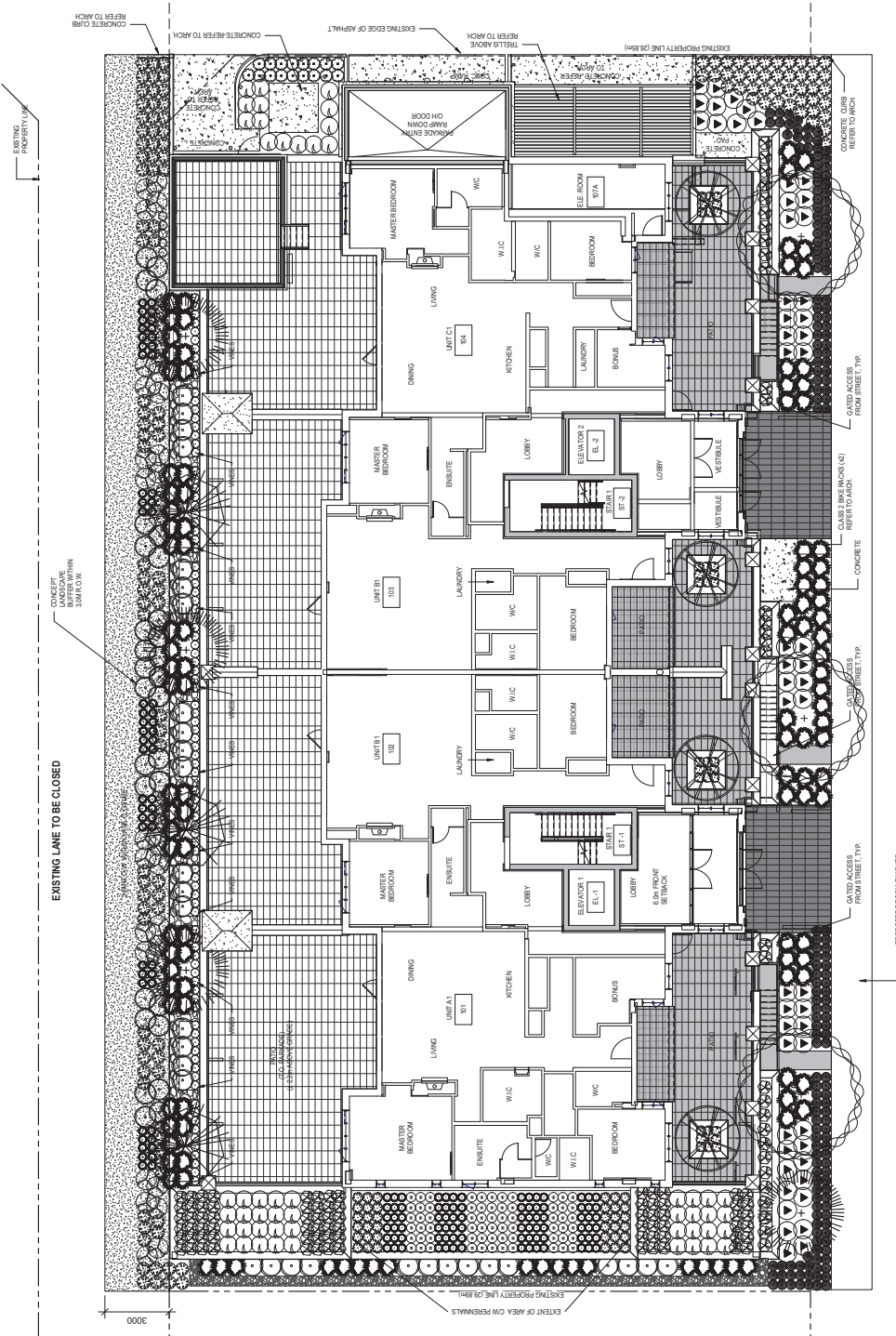
CONSTRUCTION SPECIFICATIONS FOR PLANTING ARE AS SHOWN ON THE PLANS AND SHALL BE IN ACCORDANCE WITH THE CITY OF KELOWNA STANDARD SPECIFICATIONS FOR LANDSCAPE ARCHITECTURE. THE TOTAL NUMBER OF TREES AND SHRUBS TO BE PLANTED SHALL BE AS INDICATED IN THE SCHEDULE. THE TOTAL NUMBER OF TREES AND SHRUBS TO BE PLANTED SHALL BE AS INDICATED IN THE SCHEDULE.

SCHEDULE C

This forms part of application # **DVP17-0075** **DVP17-0076**

Planner Initials **JB**

City of Kelowna
DEVELOPMENT PLANNING



PROPOSED BRUSH PIERCES TO BE LOCATED IN THE CITY OF KELOWNA. LOCATION TO BE DETERMINED BY THE CITY OF KELOWNA.

PROPOSED BRUSH PIERCES TO BE LOCATED IN THE CITY OF KELOWNA. LOCATION TO BE DETERMINED BY THE CITY OF KELOWNA.

PROPOSED BRUSH PIERCES TO BE LOCATED IN THE CITY OF KELOWNA. LOCATION TO BE DETERMINED BY THE CITY OF KELOWNA.

OVERALL LANDSCAPE PLAN
 SCALE: 1"=30'

[Pattern]	INKLEWOOD PAVEMENT - INTERLACED
[Pattern]	INKLEWOOD PAVEMENT - GREY
[Pattern]	ROCK BOLLARD RETAINING WALL
[Pattern]	REGULAR CONCRETE REFER TO ARCH.



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MATRIX
 LANDSCAPE ARCHITECTURE

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NO.	DATE	DESCRIPTION
1	2019.03.26	ISSUED FOR PERMITS APPLICATION
2	2019.04.11	REVISED FOR PERMITS APPLICATION
3	2019.04.31	ISSUED FOR PERMITS APPLICATION
4	2019.07.26	ISSUED FOR PERMITS APPLICATION
5	2019.08.16	ISSUED FOR PERMITS APPLICATION

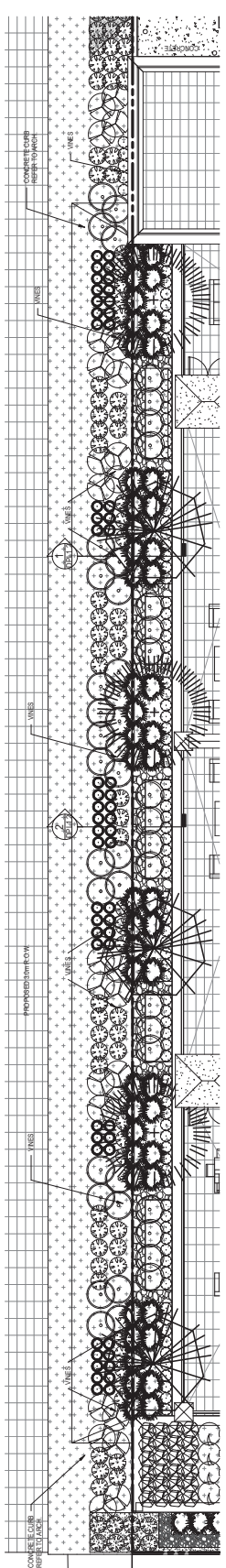
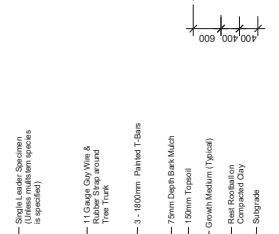
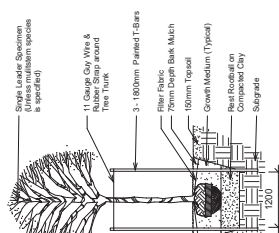
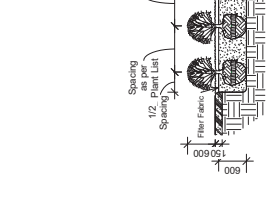
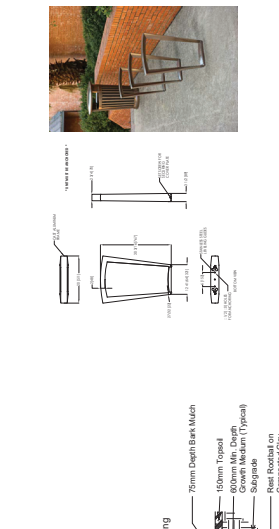
VINEYARD
 DEVELOPMENTS
 1410, BASE ROAD, HOUSTONVILLE
 KELOWNA, B.C. V1Y 9T1

PROJECT: 450 PARC RESIDENCES
 450 Groves Avenue Kelowna, B.C.

LANDSCAPE DETAILS

SCALE: As indicated
 DRAWN BY: AD
 CHECKED BY: TK
 PROJECT NO: 216-140
 DATE ISSUED: 2019-09-12

SHEET: 4 DPL1.2



SCHEDULE C

This forms part of application # DVP17-0075 DVP17-0076

City of Kelowna DEVELOPMENT PLANNING

Planner Initials **JB**

SCHEDULE C

This forms part of application
DVP17-0075 DVP17-0076

Planner Initials **JB**



zeidler

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NO.	DATE	REVISION
1	2019.07.27	ISSUED FOR PERMIT REVIEW
2	2019.08.01	ISSUED FOR PERMIT REVIEW
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VINEYARD
DEVELOPMENTS

450 PARC RESIDENCES
450 Groves Avenue Kelowna, B.C.

PROJECT NO: 450 PARC RESIDENCES
SCALE: 1:200
DATE ISSUED: 2019-09-12
PROJECT: 450 PARC RESIDENCES

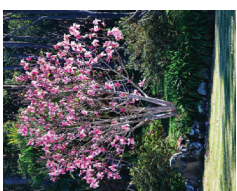
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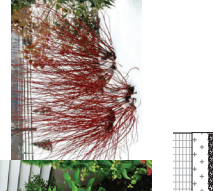
AMERICAN LINDEN



DOUBLE FLOWERING PLUM



SAUCER MAGNOLIA



ARCTIC FIRE DOGWOOD



PYRAMIDAL GREEN BEECH



ROYAL BURGUNDY BARBERRY



PYRAMIDAL EUROPEAN HORNBEAM



ROYAL BURGUNDY BARBERRY



PEE GEE HYDRANGEA



PEE GEE HYDRANGEA



ROSY LIGHTS RHODODENDRON



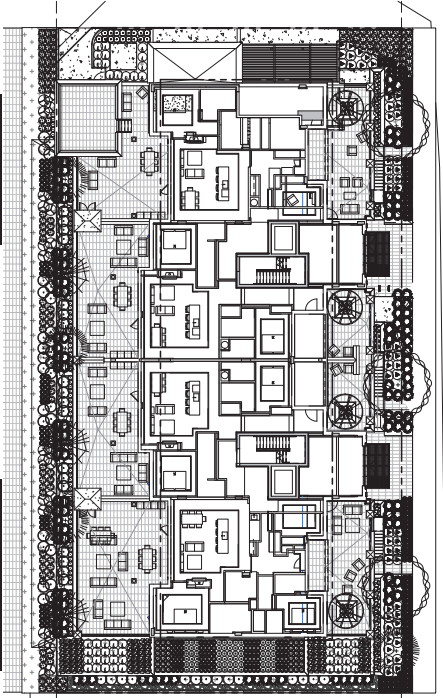
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RUBY HORSE CHESTNUT



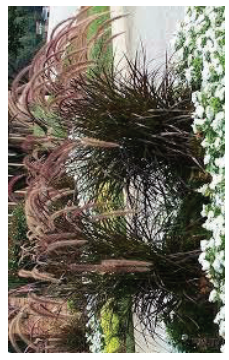
RUBY HORSE CHESTNUT



1 OVERALL LANDSCAPE PLAN PLANTING PLAN
DPL1.3 SCALE: 1:200



KARL FOERSTER FEATHER REED GRASS



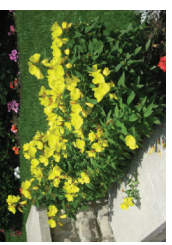
PURPLE FOUNTAIN GRASS



VIRGINIA CREEPER



CLIFF GREEN



EVENING PRIMROSE



KINKINNICK



STELLA DORO DAYLILY

PLANTING PLAN

SCALE: 1:200
DRAWN BY: [Name]
DESIGNED BY: [Name]
PROJECT NO: 450 PARC RESIDENCES
DATE ISSUED: 2019-09-12

PROJECT NO: 450 PARC RESIDENCES
SCALE: 1:200
DATE ISSUED: 2019-09-12
PROJECT: 450 PARC RESIDENCES



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 Calgary AB T2P 1G7
 T: +1 403 233 2525

SCHEDULE C

This forms part of application
 # DVP17-0075 DVP17-0076

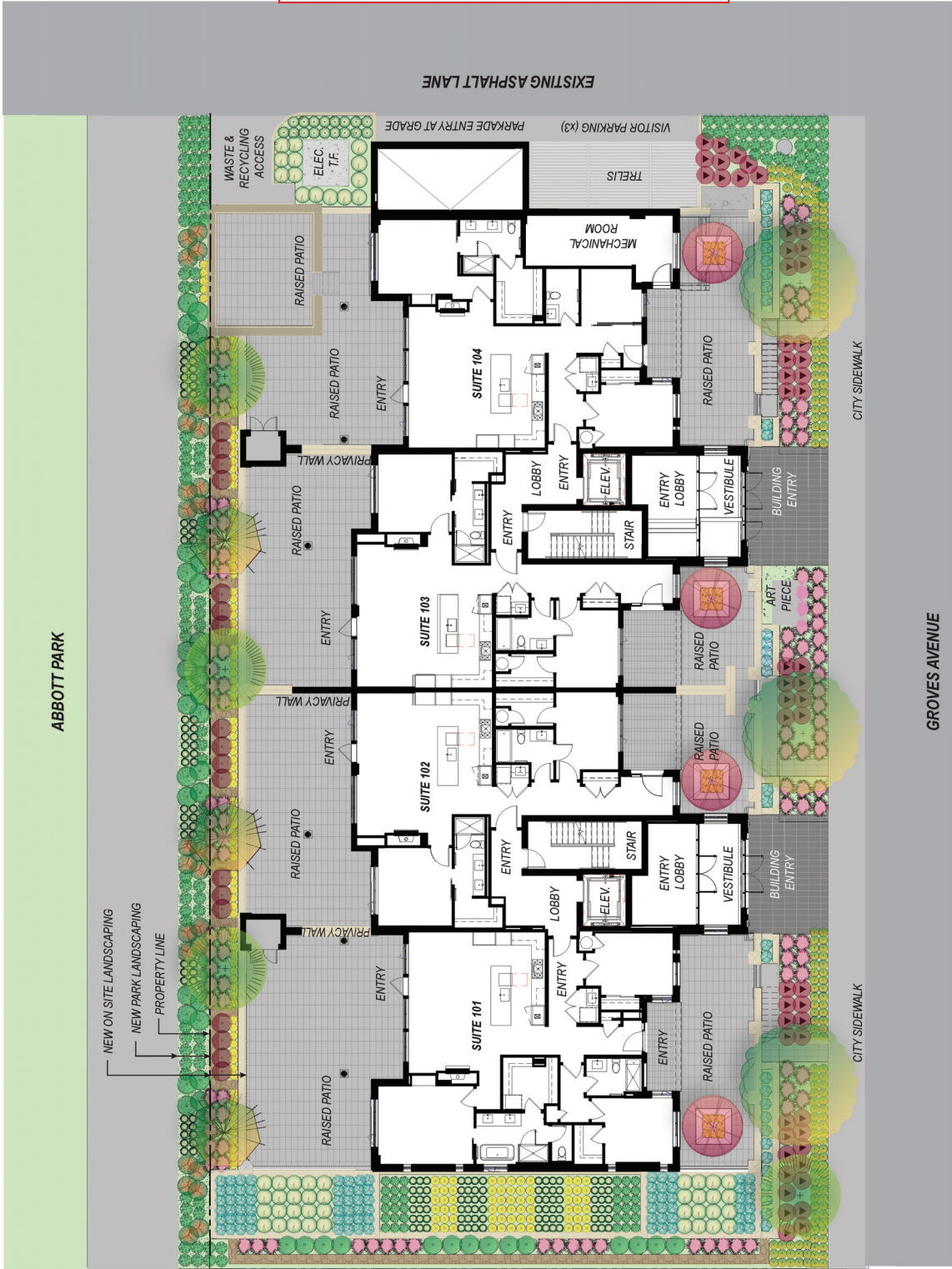


Planner Initials **JB**



LANDSCAPE

scale: NTS
 project no: 216-140
 date: 2019-09-23



RENDERED LANDSCAPE SITE PLAN

450 PARC RESIDENCES 450 Groves Avenue Kelowna, B.C.





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CONDATE

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DATE	DESCRIPTION
2023-07-26	ISSUED FOR PREVIEW
2023-07-26	ISSUED FOR REVIEW
2023-07-26	ISSUED FOR REVIEW

VINEYARD DEVELOPMENTS
 #10, BASE DOWNTOWN
 KELOWNA, B.C. V1Y1Y1

PROJECT
 450 PARC RESIDENCES
 450 Groves Avenue Kelowna, B.C.

DATE
 2019-09-23

SCALE
 1:250

DRAWN BY
 TP

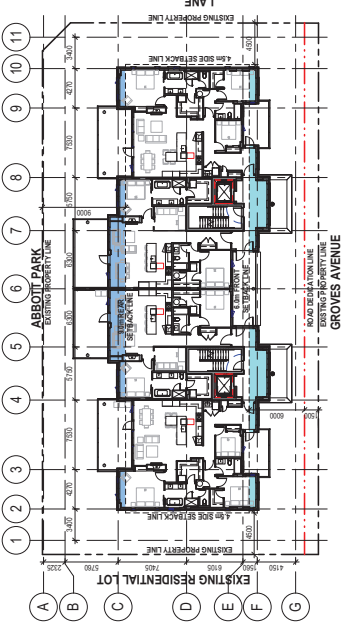
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PROJECT NO.
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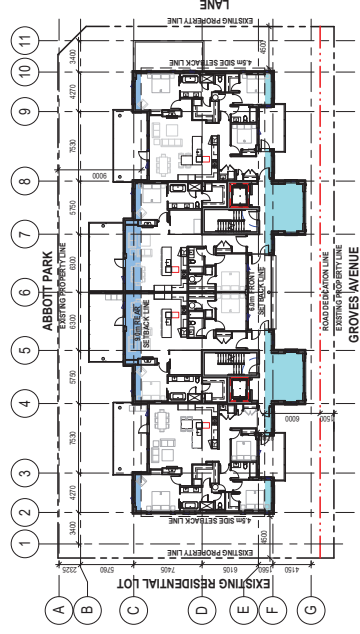
DATE ISSUED
 2019-09-23

SHEET NO.
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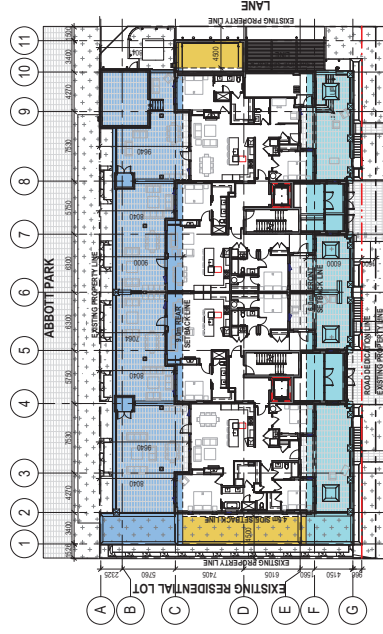
PROJECT NO.
 DP5.0



2 LEVEL 3 & 4 FLOOR PLAN
 DP5.0 SCALE 1:250



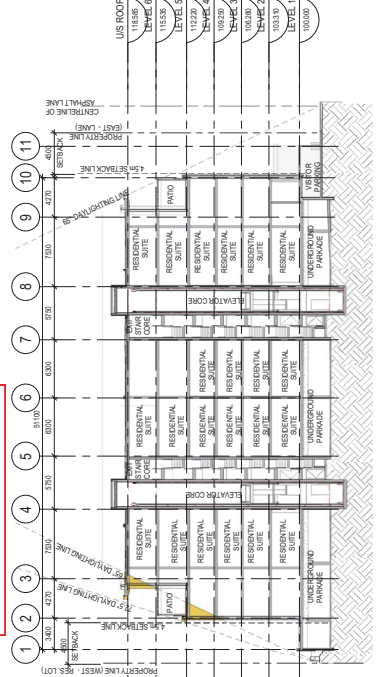
3 LEVEL 2 FLOOR PLAN
 DP5.0 SCALE 1:250



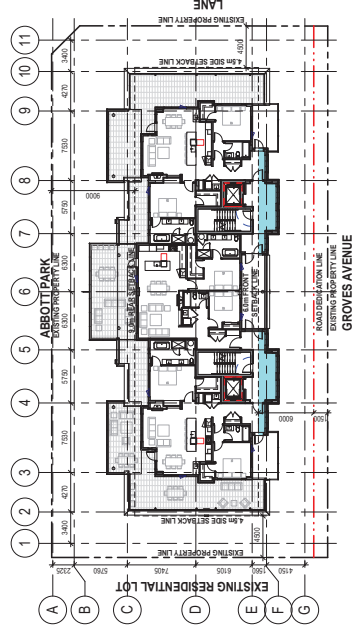
1 LEVEL 1 FLOOR PLAN
 DP5.0 SCALE 1:250

FLOOR PLAN SETBACK VARIANCE DIAGRAMS
 Portions of Building in Blue: Yard Setbacks (parkade level only)
 Portions of Building in Yellow: Yard Setbacks (parkade level and portions of main floor level)
 Portions of Building in Green: Yard Setbacks (parkade level + building envelope only)

VARIANCE	BY-LAW REQUIREMENT	PROPOSED
SITE COVERAGE	50% MAXIMUM	63%
FRONT YARD SETBACK	6.0m MINIMUM	0.06m
REAR YARD SETBACK	9.0m MINIMUM	0.0m
WEST SIDE YARD SETBACK	4.0m MINIMUM	1.50m
EAST SIDE YARD SETBACK	4.0m MINIMUM	1.50m
DATELAPPING STANDARD	1.0m FROM HORIZONTAL	7.2m FROM HORIZONTAL



5 DAYLIGHTING VARIANCE BUILDING SECTION - EAST-WEST
 DP5.0 SCALE 1:250



4 LEVEL 5 & 6 FLOOR PLAN
 DP5.0 SCALE 1:250

ATTACHMENT B

This forms part of application
 # DP17-0075 DVP17-0076

City of Kelowna
 DEVELOPMENT PLANNING

Planner Initials: **JB**

November 28, 2019

PARTNERS

VAIDILA BANELIS | ARCHITECT

AAA, AIBC, SAA, OAA, MRAIC,

LEED® AP

STEPHEN BUGBEE | ARCHITECT

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PRINCIPALS

MARTIN VEENHOVEN | ARCHITECT

AAA, AIBC, MRAIC, AIA (WA)

The City of Kelowna
City Hall
1435 Water Street
Kelowna BC, V1Y 1J4
ATTN: Jocelyn Black

Dear Jocelyn Black,

**Re: '450 PARC' (formerly, Abbott Park Residences) Vineyard Developments
DESIGN RATIONALE for Development Permit - Application Revision**

'450 PARC' is a multi-family residential project proposed for 448, 458 & 460 Groves Avenue, in Kelowna B.C. This proposed high-end residential development is a 6-storey, 22-unit luxury condo development, set upon a partially below-grade enclosed parking structure. Located in the vibrant neighbourhood of South Pandosy, the site is within walkable distance to beach access, as well as the commercial/mixed-use corridor of Pandosy Street, offering access to a great variety of urban amenity, including transit, restaurants, shopping and entertainment. This site also falls within the Urban Centre / Revitalization DP Area.

The site is bordered by Groves Avenue along the South, an existing asphalt lane along the East, a single-family dwelling to the West, and the existing landscaped Abbott Park to the North.

The massing of the proposed building is similar in scale to the other developments bordering Abbott Park, and we believe helps to complete the urban renewal for this block.

High end materials are proposed for this building, that include but are not limited to, historic red brick veneer, large historic-style windows, and traditional cornices. The building is designed with a mix of contemporary elements that act as a counter point to an overall historic feel of the building. These elements include dark charcoal-grey panelling on the lower floors, smooth acrylic stucco (off white) on the uppermost floors, a mix of contemporary metal picket guardrails and glass balcony guardrails, and large contemporary glass building entry features.

All units in the proposed development have multiple, large outdoor spaces, in the form of patios and balconies, taking advantage of views towards Lake Okanagan, as well as the existing Abbott Park.

This proposed development has been designed with ground-oriented main-floor units with direct access to the suites from Groves Avenue. The design features terraced, constructed landscape planters along Groves Avenue, to help break up the massing of the development, as well as provide a human-scale interface from the street to the patios located above the semi-recessed parkade. These landscaped planters also provide a level of privacy for these private patios. The planting along Groves Avenue is varied in species and colour, providing a diverse and interesting street front.

The existing asphalt lane that runs along the north property line (between the subject

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property and Abbott Park) has been closed off and will be converted to a landscaped area. For this area, this development is proposing pavers and sloped planting to property line which along with the tiered landscape rock wall planters on site, will mediate the grade difference between the elevated patios (top of parkade) and Abbott Park. This terraced rock wall also provides privacy screening for the patio. The terraced rock wall provides a more 'natural' interface with the landscaped Abbott Park, while the constructed terraced planes along Groves Avenue provide a more urban interface for the street.

Waste & Recycling access, Parkade access, and 3 surface visitor parking stalls all occur off the existing asphalt lane to the East.

In summary, we believe that the proposed '450 PARC' project fits well into this developing community and will help further the developing urban fabric of Kelowna.

Sincerely,
Zeidler Architecture

A handwritten signature in blue ink, appearing to read "T. Loewenhardt", with a long horizontal stroke extending to the right.

Tyler Loewenhardt
Intern Architect
M.Arch., B.Env.Des.

cc. Craig Mohr – Owner, Vineyard Developments
Jean Guy Beliveau – Partner, Zeidler Architecture
Jeff Stevenson – Associate, Zeidler Architecture

ATTACHMENT B

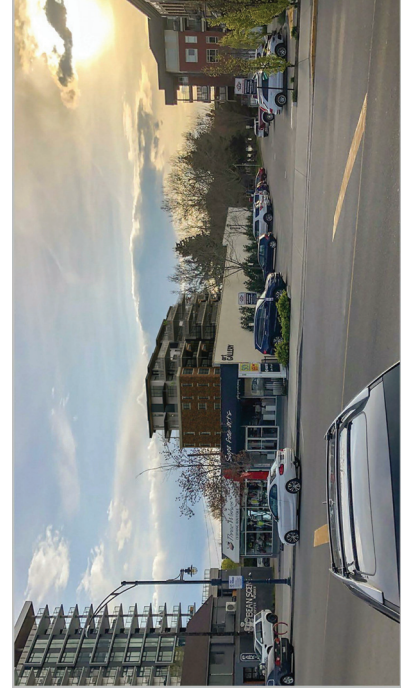
This forms part of application
 # DP17-0075 DVP17-0076

Planner Initials **JB**

zeidler

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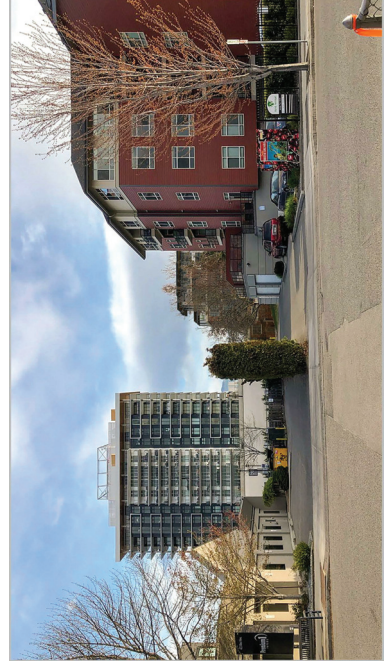
City of
Kelowna
 DEVELOPMENT PLANNING

FROM PANDOSY STREET



FROM PANDOSY STREET



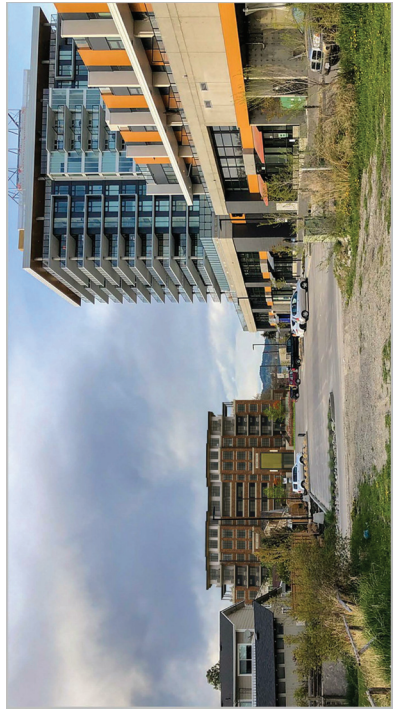
FROM WEST AVENUE



FROM ABBOTT HOUSE WALKWAY



FROM ABBOTT STREET CORNER



FROM SOFA PARKING LOT

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DATE	USER	DESCRIPTION
7 - 2019-09-21	ISSUED FOR PDP REVIEW	
1 - 2019-09-21	ISSUED FOR PDP REVIEW	
3 - 2019-09-20	ISSUED FOR PDP REVIEW	

VINEYARD
 DEVELOPMENTS
 410, LAKE DRUMMOLEIGH
 KELOWNA, B.C. V1Y1T1

PROJECT NO
450 PARC RESIDENCES
 450 Groves Avenue Kelowna, B.C.

drawing title
STREET PERSPECTIVE VIEWS

SCALE
 DRAWN BY TP
 CHECKED BY JS
 PROJECT NO 216-140
 DATE ISSUED 2019-09-23

REVISION NO
 3
 SHEET NO
DP3.5



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 Calgary, AB T2P 1G7
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001

001/01/01

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NO.	DATE	DESCRIPTION
1	2019-09-23	ISSUED FOR PERMIT
2	2019-09-23	ISSUED FOR PERMIT



PROJECT NO:
450 PARC RESIDENCES
 450 Groves Avenue Kelowna, B.C.

001

STREET ELEVATIONS

SCALE:	1:500
DRAWN BY:	TP
CHECKED BY:	JS
PROJECT NO:	216-140
DATE ISSUED:	2019-09-23

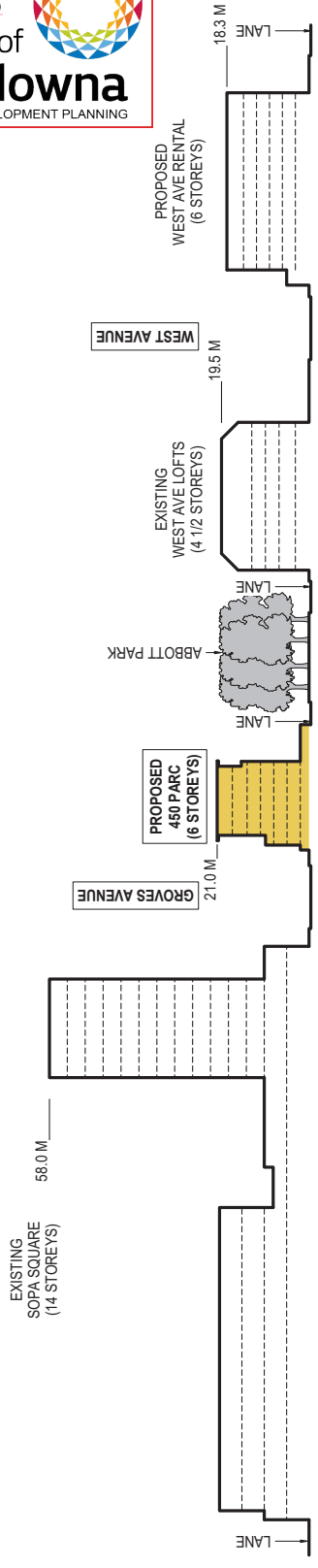


ATTACHMENT B

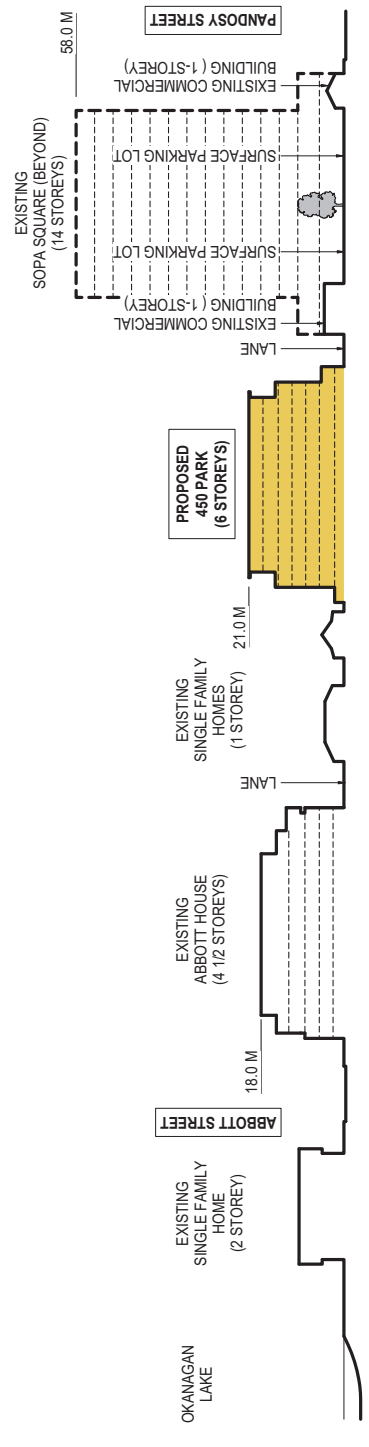
This forms part of application
 # DP17-0075 DVP17-0076

Planner Initials **JB**

City of Kelowna
 DEVELOPMENT PLANNING



1 SCHEMATIC ABBOTT PARK BLOCK ELEVATION
 SCALE: 1:300



2 SCHEMATIC GROVES AVENUE STREET ELEVATION
 SCALE: 1:300