

Date: April 28, 2016

File No.: DP16-0099

To: Community Planning (AC)

From: Development Engineering Manager (SM)

Subject: 3075 Vint Rd Lot 9 Plan EPP53793

The Development Engineering Technologist for this project is Jason Ough

- a) Subdivision requirements have been addressed in the Development Engineering report under file S15-0075.
- b) Provide Right of Way and Easement as may be required.
- c) This proposed subdivision may require the installation of centralized mail delivery equipment. Please contact Rick Ould, Delivery Planning Officer, Canada Post Corporation, 530 Gaston Avenue, Kelowna, BC V1Y 2K0 to obtain further information and to determine suitable location(s) within the development.

A comprehensive Geotechnical Study is required to be prepared by a Professional Engineer competent in the field of geotechnical engineering. The study is to address the following:

- a) Overall site suitability for development.
- b) Presence of ground water and/or springs.
- c) Presence of fill areas.
- d) Presence of swelling clays.
- e) Presence of sulfates.
- f) Potential site erosion.
- g) Provide recommendations for on-site storm water disposal.
- h) Provide specific requirements for footings and foundation construction.

- a) The developer's consulting mechanical engineer will determine the domestic and fire protection requirements of the proposed development and establish hydrant requirements and service needs. Provide confirmation of available capacity.
- b) This development is within the service area of the Glenmore Ellison Improvement District (GEID). The developer is required to make satisfactory arrangements with GEID for these items. All charges for service connection and upgrading costs are to be paid directly to GEID.

4. Sanitary Sewer

The developer's consulting mechanical engineer will determine the requirements of the proposed development and establish the service needs. Only one service per lot will be permitted for this development. The applicant will arrange for the installation of a sanitary sewer service at the applicant's cost.

5. Storm Drainage

The developer must engage a consulting civil engineer to provide a storm water management plan for the site, which meets the requirements of the Subdivision, Development and Servicing Bylaw No. 7900. The storm water management plan must also include provision of lot grading plan, minimum basement elevation (MBE), if applicable, and provision of a storm drainage service for the development and / or recommendations for onsite drainage containment and disposal systems. All the storm drainage must be dealt with on site.

6. Road Improvements

- a) Road improvements will be constructed along the full frontage of this proposed development, including separate sidewalk, landscaped boulevard complete with street trees and irrigation. Relocate or adjust utility appurtenances if required to accommodate construction. All improvements will be at the developer's expense.
- b) Boulevard landscape irrigation system, must be integrated with the on-site irrigation system.
- c) The temporary hammer head turn around design submitted by CTQ appears acceptable.

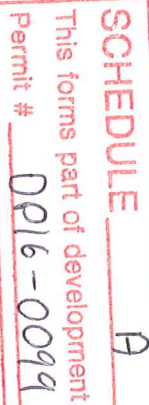
7. Other Engineering Comments

- a) Provide all necessary Statutory Rights-of-Way for any utility corridors required, including those on proposed or existing City Lands.
- b) If any road dedication affects lands encumbered by a Utility right-of-way (such as Terasen, etc.) please obtain the approval of the utility prior to application for final subdivision approval. Any works required by the utility as a consequence of the road dedication must be incorporated in the construction drawings submitted to the City's Development Manager.

8. Development Permit and Site Related Issues

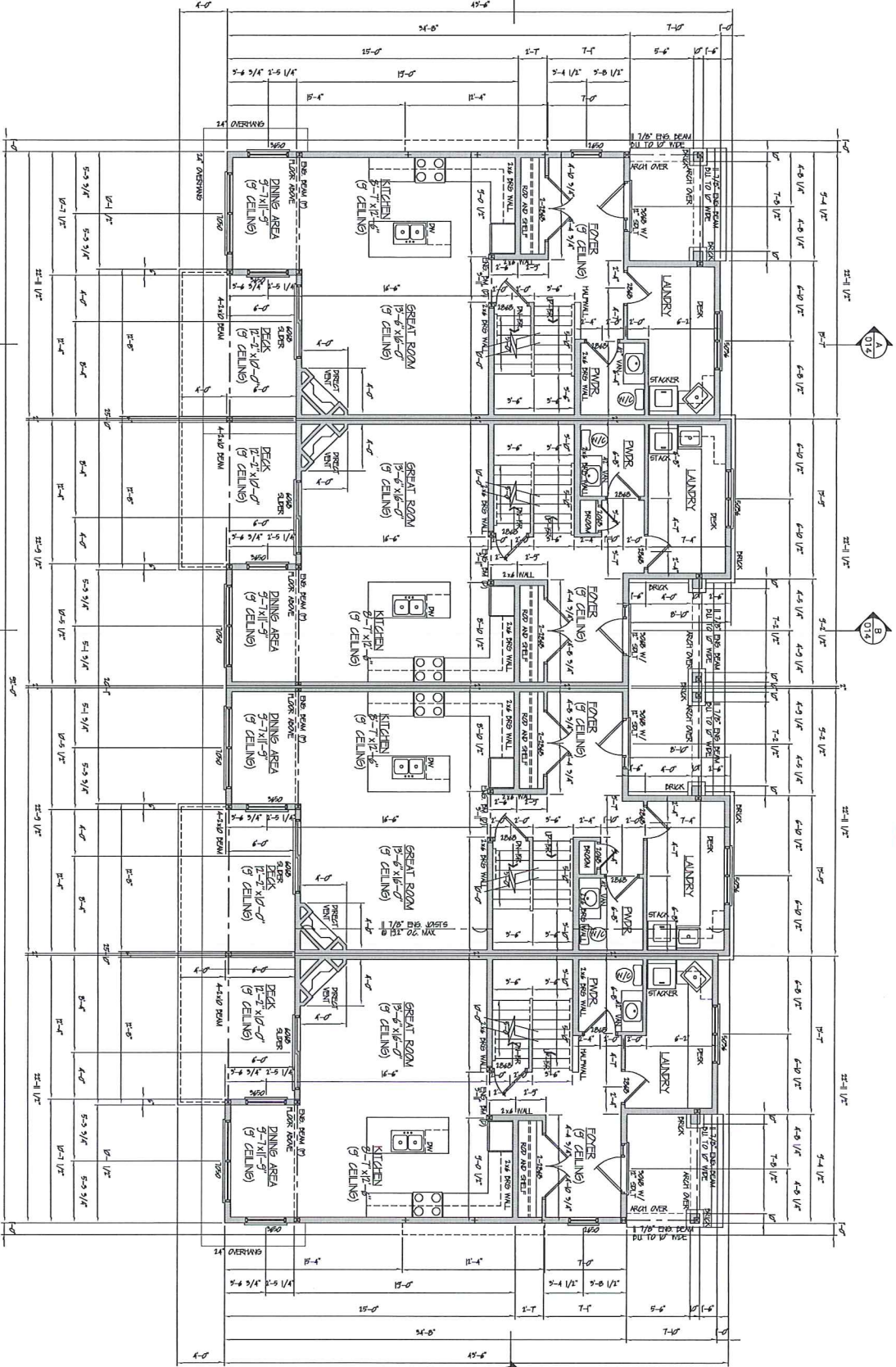
- a) Access and Manoeuvrability
 - (i) An SU-9 standard size vehicle must be able to manoeuvre onto and off the site without requiring a reverse movement onto public roadways. If the development plan intends to accommodate larger vehicles movements should also be illustrated on the site plan.

Steve Muenz, P. Eng.
Development Engineering Manager
jo



SCALE: 1/4" = 1'-0" | DRAWING NUMBER: 15-975-001 | REVISION:

SCHEDULE A
 This forms part of development
 Permit # DP16-0094



MAIN FLOOR PLAN
 - 1/4" = 1'-0"
 - 1/4" = 1'-0"

MAIN FLOOR PLAN
 - 1/4" = 1'-0"
 - 1/4" = 1'-0"

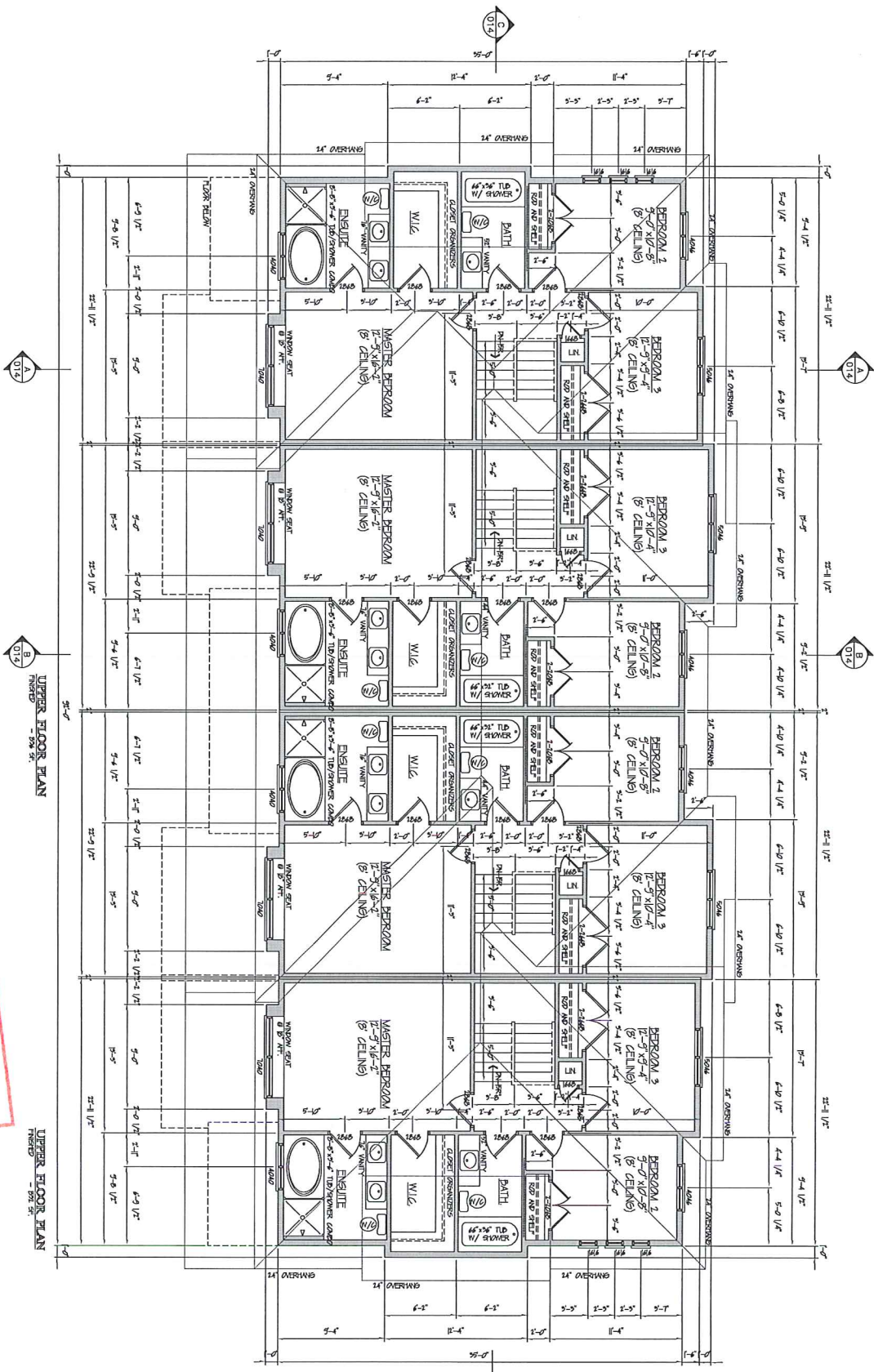
FOR PERMIT - FEBRUARY 28, 2016

DEERHURST TOWNHOMES

OASIS DESIGN
 868-2275
 DESIGNED BY: JAMES W. HAASDYK
 DATE: FEBRUARY 28, 2016

**MAIN FLOOR PLAN
 FOUR PLEX BUILDINGS
 LOT 18 - ACADEMY WAY**

SCALE: 1/4" = 1'-0" | DRAWING NUMBER: 15-975-002 | REVISION:



SCHEDULE A
This forms part of development
Permit # **DP16-0099**

FOR PERMIT - FEBRUARY 28, 2016

DEERHURST TOWNHOMES

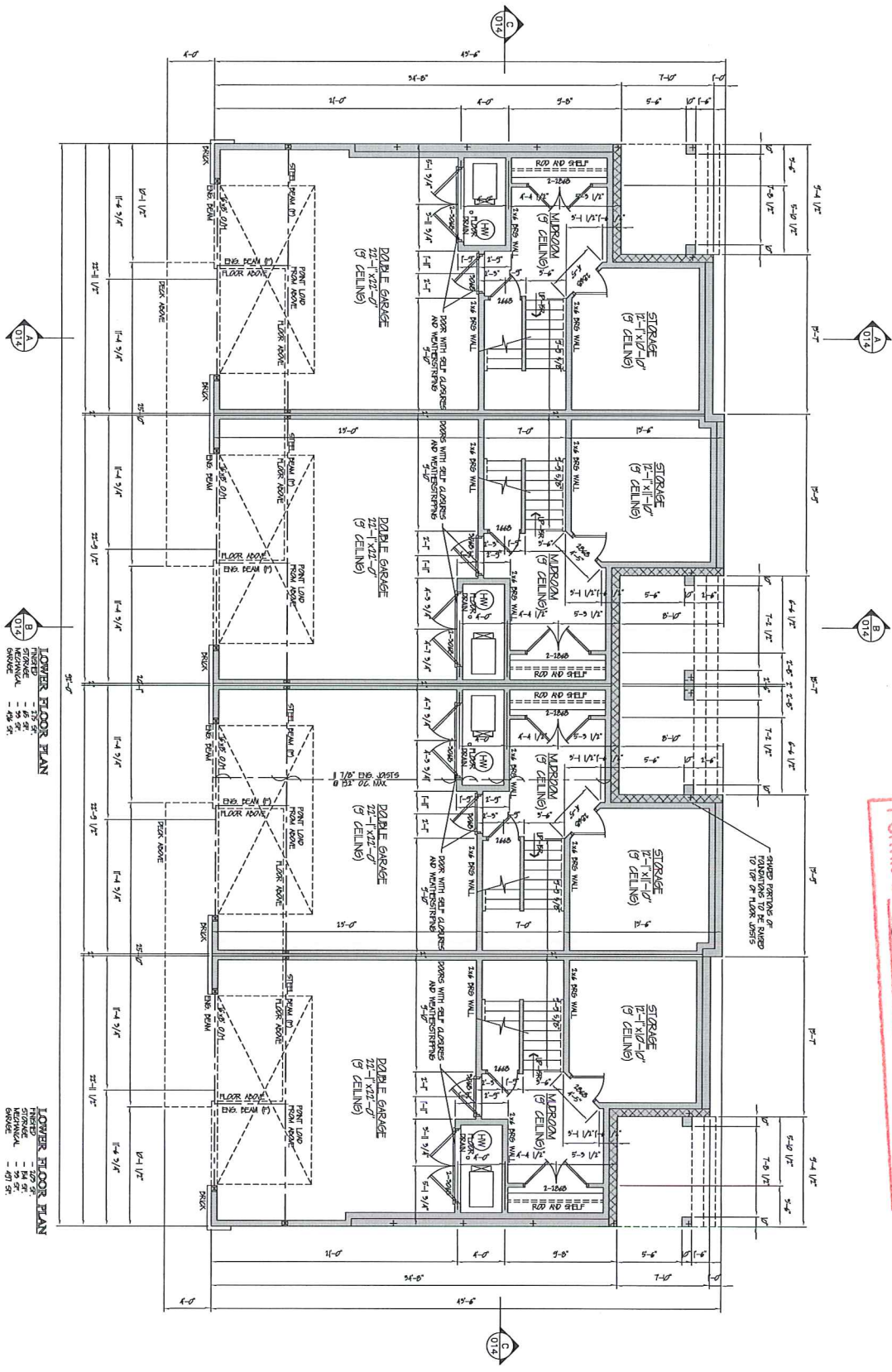
OASIS DESIGN
868-2275 KILPATRICK, NORTH GARDEN, VA 22080
DESIGNED BY: JAMES W. HASSEYK
DATE: FEBRUARY 28, 2016

**UPPER FLOOR PLAN
FOUR PLEX BUILDINGS
LOT 18 - ACADEMY WAY**

SCALE: 1/4" = 1'-0" | DRAWING NUMBER: 15-975-003 | REVISION: A

SCHEDULE P

This forms part of development
 Permit # DP16-0094



LOWER FLOOR PLAN
 FINISHED FLOOR - 44'-0"
 FINISHED CEILING - 42'-0"

LOWER FLOOR PLAN
 FINISHED FLOOR - 44'-0"
 FINISHED CEILING - 42'-0"

FOR PERMIT - FEBRUARY 28, 2016

DEERHURST TOWNHOMES

OASIS DESIGN
 868-2275
 DESIGNED BY: JAMES W. HAASDYK
 DATE: FEBRUARY 28, 2016

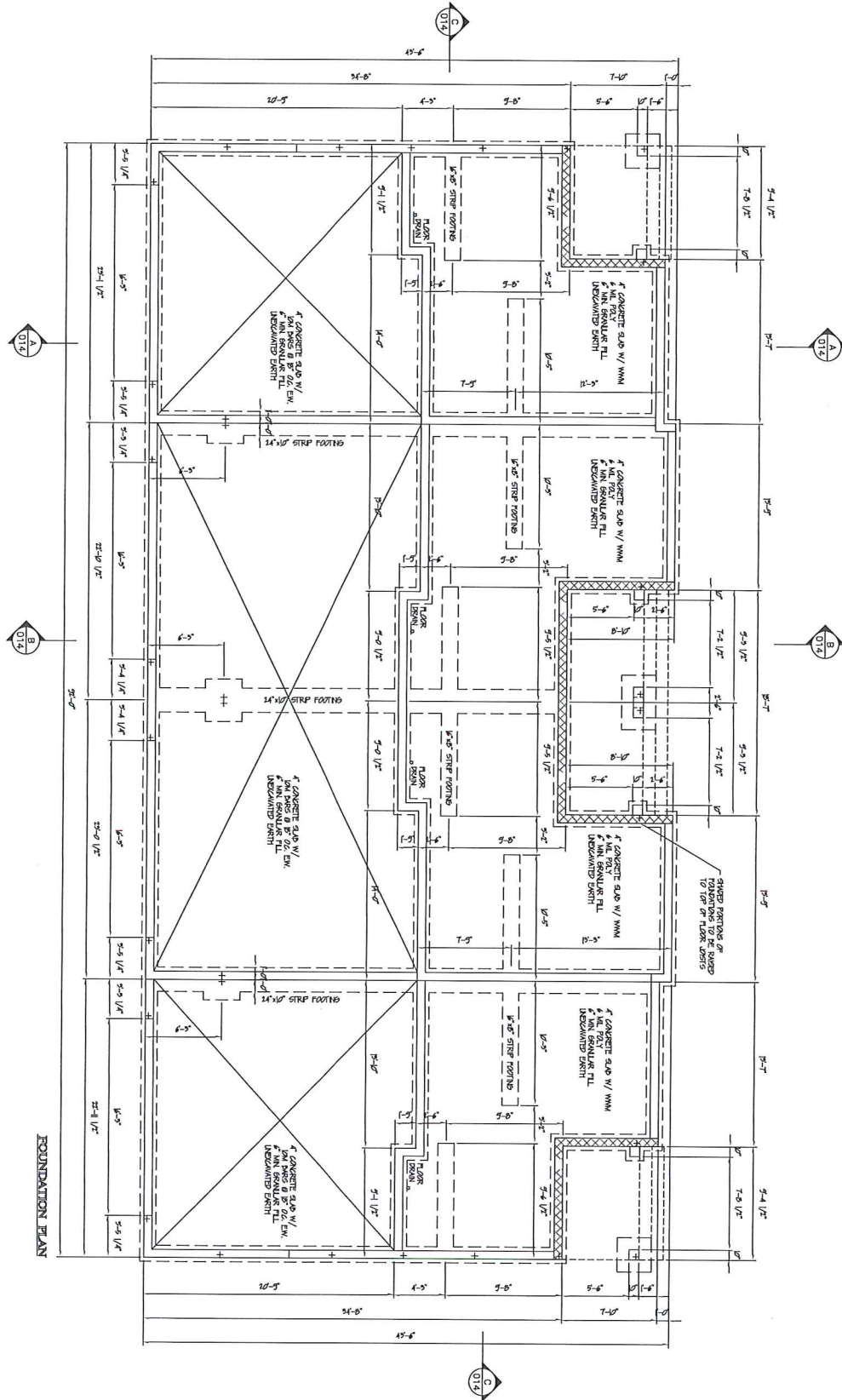
**LOWER FLOOR PLAN
 FOUR PLEX BUILDINGS
 LOT 18 - ACADEMY WAY**

SCALE: 1/4" = 1'-0" | DRAWING NUMBER: 15-975-004 | REVISION:

SCHEDULE *F*
 This forms part of development
 Permit # *DP16-0099*

FOR PERMIT - FEBRUARY 28, 2016

FOUNDATION PLAN



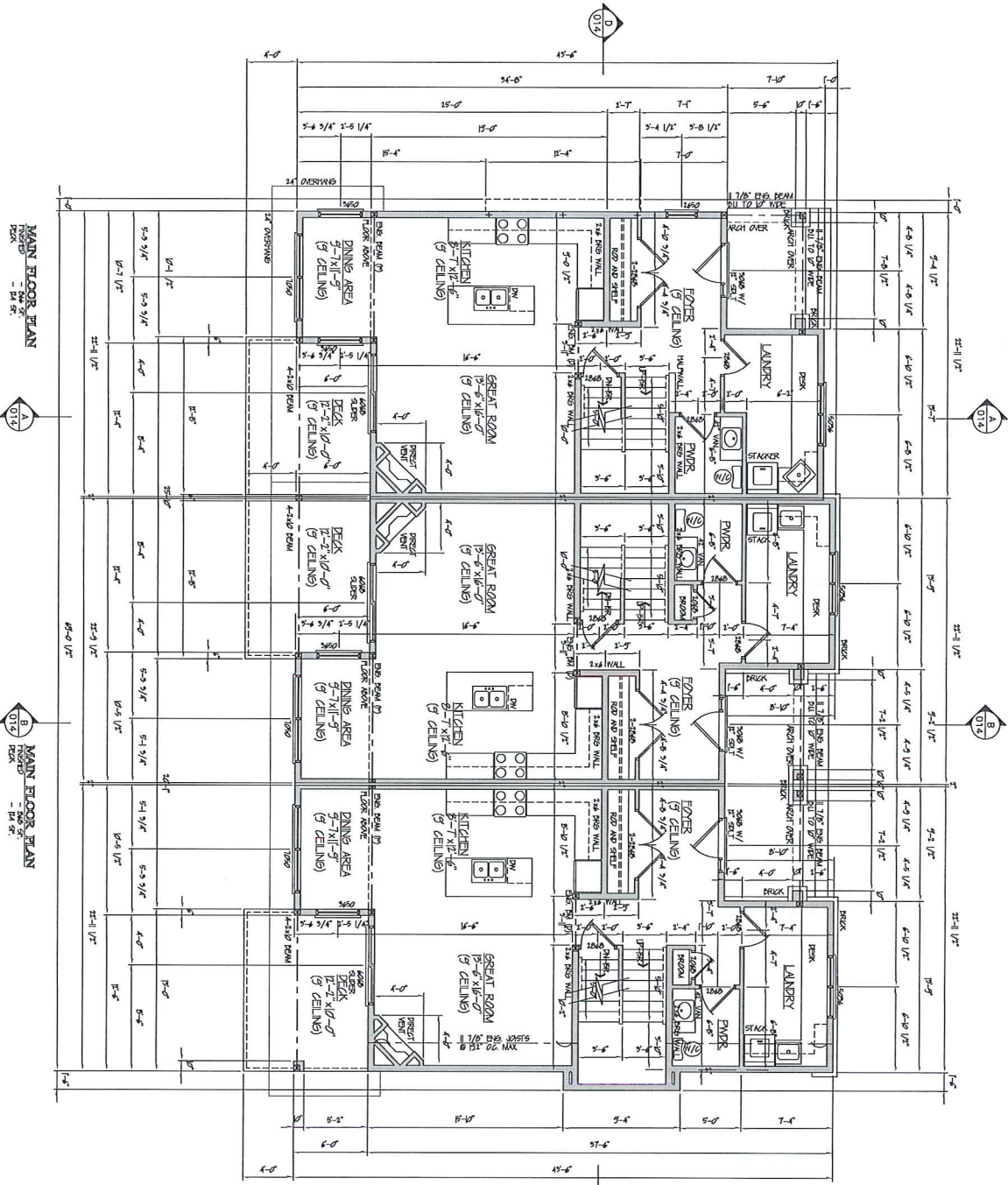
**DEERHURST
 TOWNHOMES**

OASIS DESIGN
 888-225-2275 KILGORE, TEXAS 75142
 DESIGNED BY: JAMES W. HAASDYK

DATE: FEBRUARY 28, 2016

**FOUNDATION PLAN
 FOUR FLEX BUILDINGS
 LOT 18 - ACADEMY WAY**

SCALE: 1/4" = 1'-0" | DRAWING NUMBER: 15-975-005 | REVISION:



MAIN FLOOR PLAN
UNIT A
- 14 ST.

MAIN FLOOR PLAN
UNIT B
- 14 ST.

FOR PERMIT - FEBRUARY 28, 2016

SCHEDULE A
This forms part of development
Permit # DPI6-0099

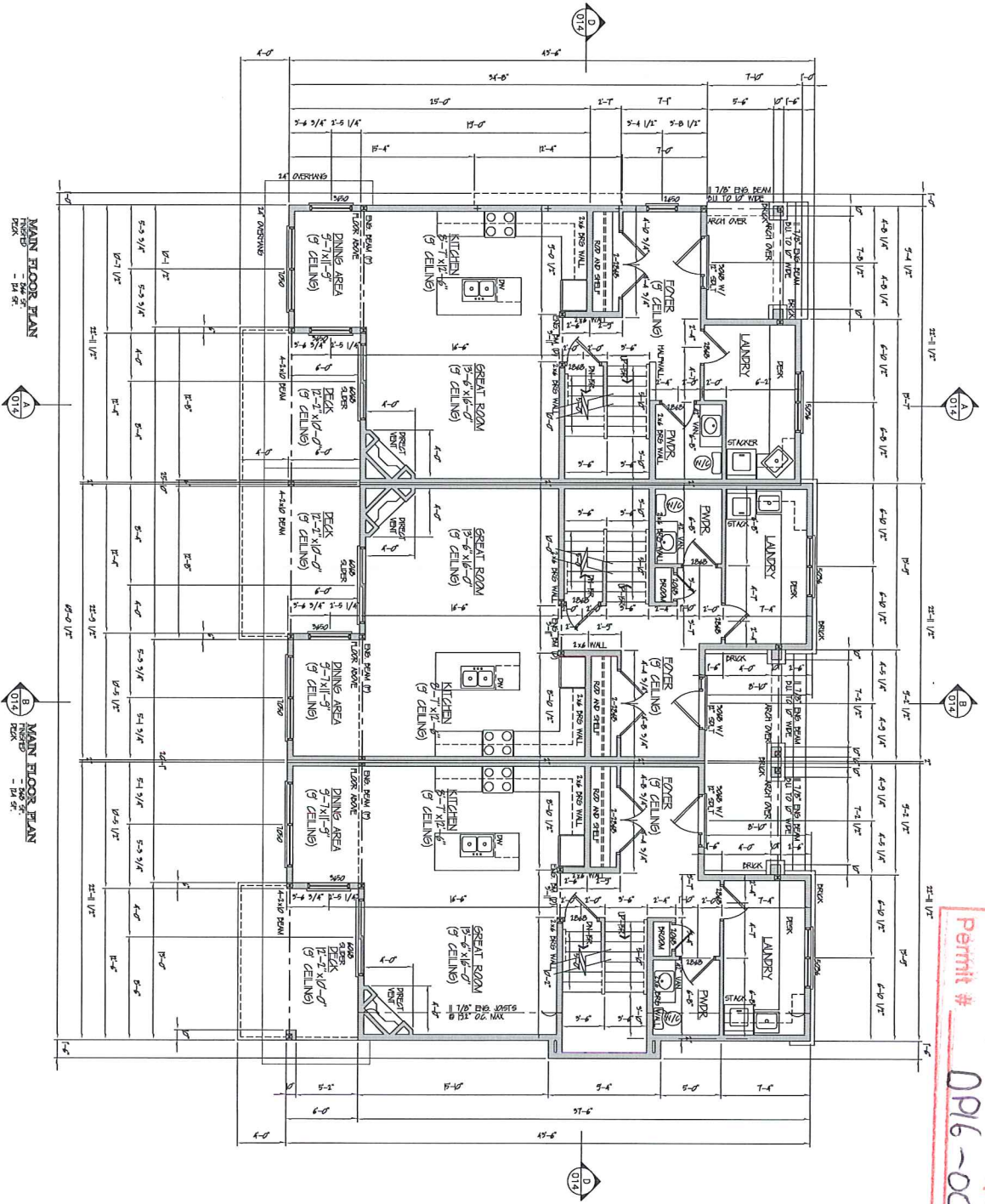
DEERHURST TOWNHOMES

OASIS DESIGN
868-2275 KILGORE, NORTH CAROLINA, US 28129
DESIGNED BY: JAMES W. HASDYK
DATE: FEBRUARY 28, 2016

MAIN FLOOR PLAN
THREE FLEX BUILDING D
LOT 18 - ACADEMY WAY

SCALE: 1/4" = 1'-0" | DRAWING NUMBER: 15-975-000 | REVISION:

SCHEDULE A
 This forms part of development
 Permit # **DP16-0099**



MAIN FLOOR PLAN
 UNIT 1
 - 114 SF.

MAIN FLOOR PLAN
 UNIT 2
 - 114 SF.

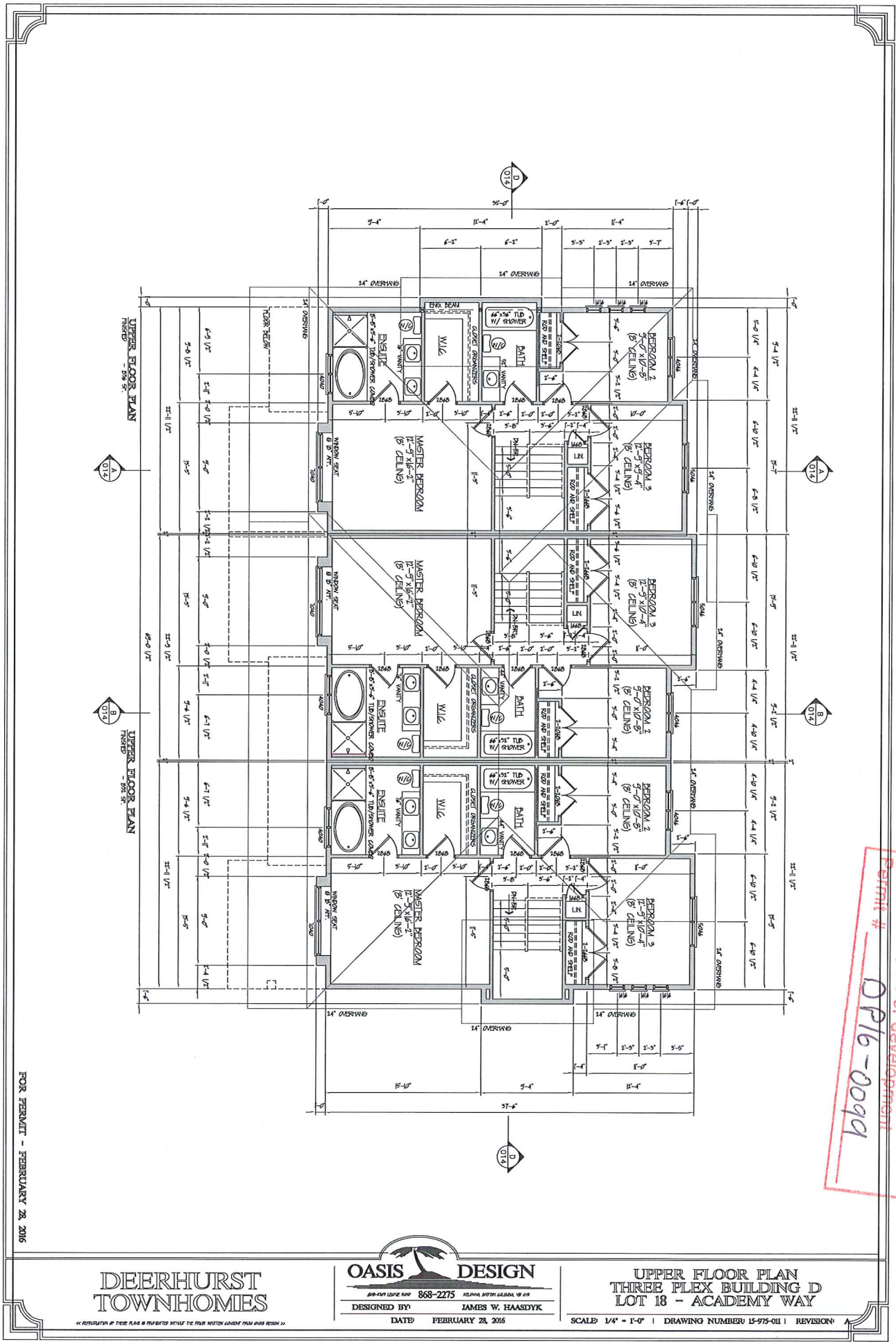
FOR PERMIT - FEBRUARY 28, 2016

DEERHURST TOWNHOMES

OASIS DESIGN
 868-2275 KILPAT, NORTH ATLANTA, GA 30329
 DESIGNED BY: JAMES W. HASDYK
 DATE: FEBRUARY 28, 2016

**MAIN FLOOR PLAN
 THREE FLEX BUILDING D
 LOT 18 - ACADEMY WAY**

SCALE: 1/4" = 1'-0" | DRAWING NUMBER: 15-975-001 | REVISION: A



SCHEDULE A
This forms part of development
Permit # DP16-00991

FOR PERMIT - FEBRUARY 28, 2016

DEERHURST TOWNHOMES

OASIS DESIGN
868-2275 KALPA, BETHI GARDH, W. 10
DESIGNED BY: JAMES W. HAASDYK
DATE: FEBRUARY 28, 2016

**UPPER FLOOR PLAN
THREE PLEX BUILDING D
LOT 18 - ACADEMY WAY**

SCALE: 1/4" = 1'-0" | DRAWING NUMBER: 15-975-011 | REVISION:

SCHEDULE
This forms part of development
Permit #

A

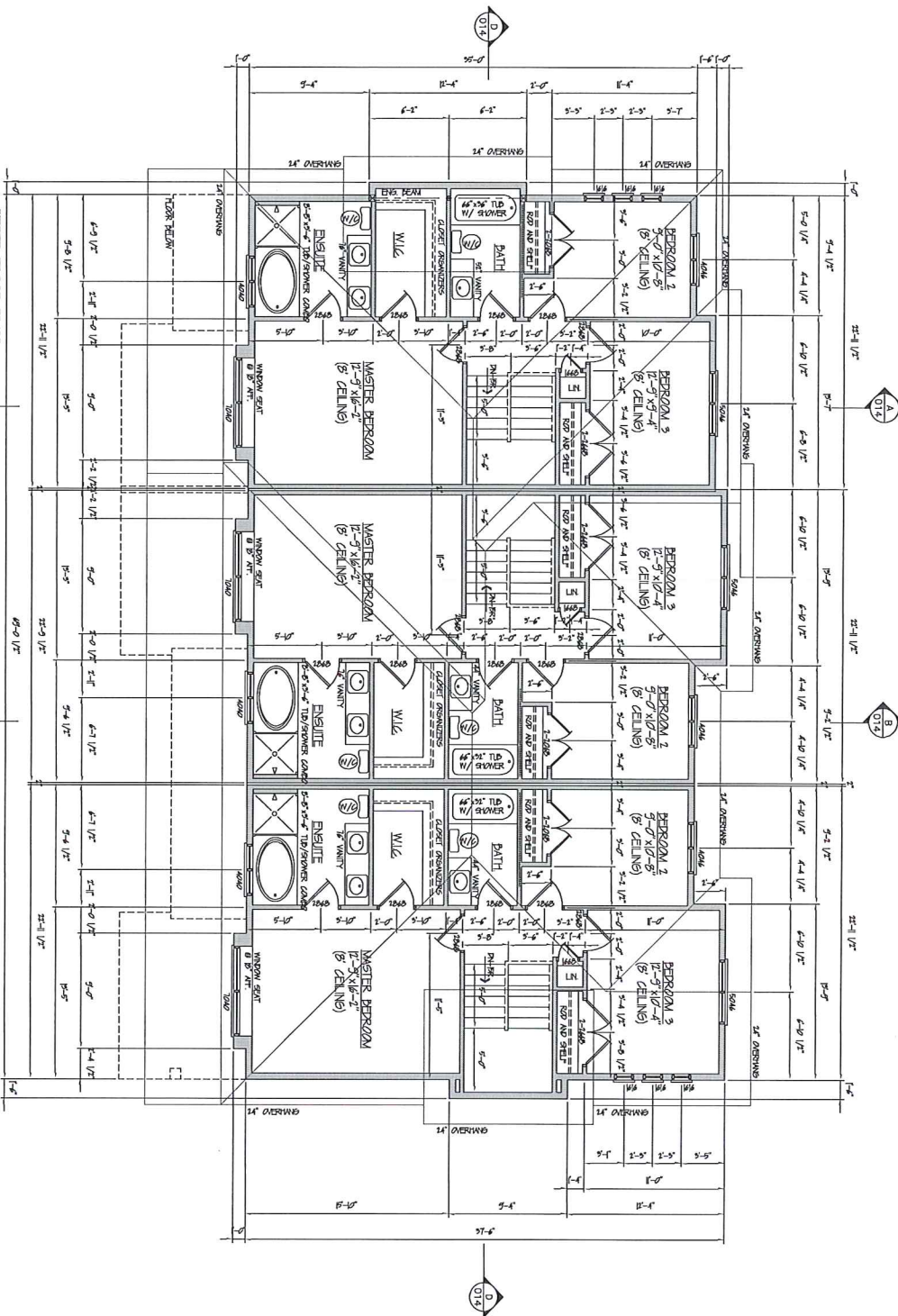
DP16-0079

UPPER FLOOR PLAN
FMSD - 2015

A
014

UPPER FLOOR PLAN
FMSD - 2015

B
014



FOR PERMIT - FEBRUARY 28, 2015

**DEERHURST
TOWNHOMES**

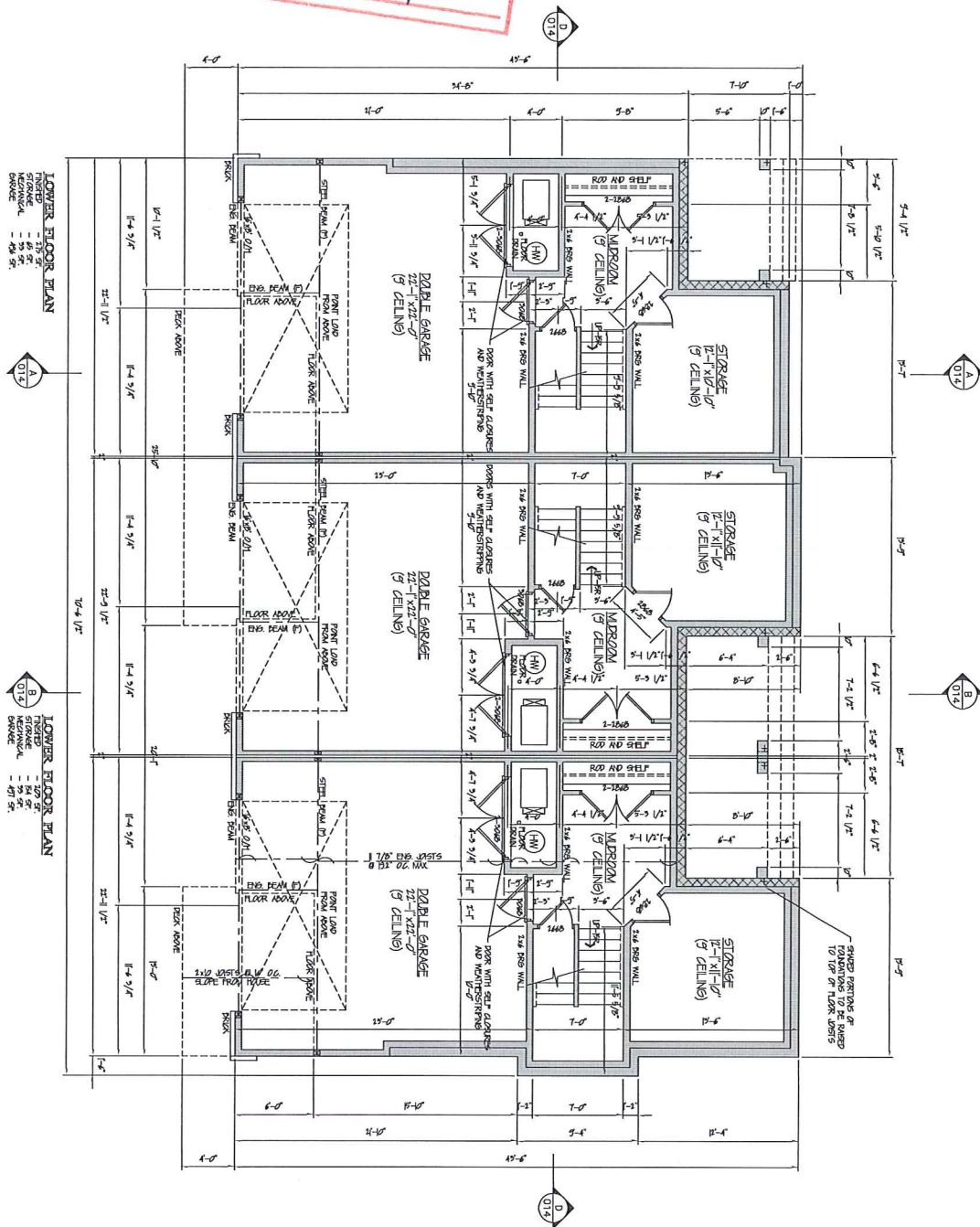
OASIS DESIGN

DESIGNED BY: JAMES W. HAASDYK
DATE: FEBRUARY 28, 2015

UPPER FLOOR PLAN
THREE PLEX BUILDING D
LOT 18 - ACADEMY WAY

SCALE: 1/4" = 1'-0" | DRAWING NUMBER 15-975-011 | REVISION: A

SCHEDULE A
 This forms part of development
 Permit # **DP16-0099**



LOWER FLOOR PLAN
 FINISHED FLOOR - 48'-0"
 FINISHED CEILING - 10'-0"
 FINISHED BASE - 48'-0"
 FINISHED ROOF - 48'-0"

LOWER FLOOR PLAN
 FINISHED FLOOR - 48'-0"
 FINISHED CEILING - 10'-0"
 FINISHED BASE - 48'-0"
 FINISHED ROOF - 48'-0"

FOR PERMIT - FEBRUARY 28, 2016

DEERHURST TOWNHOMES

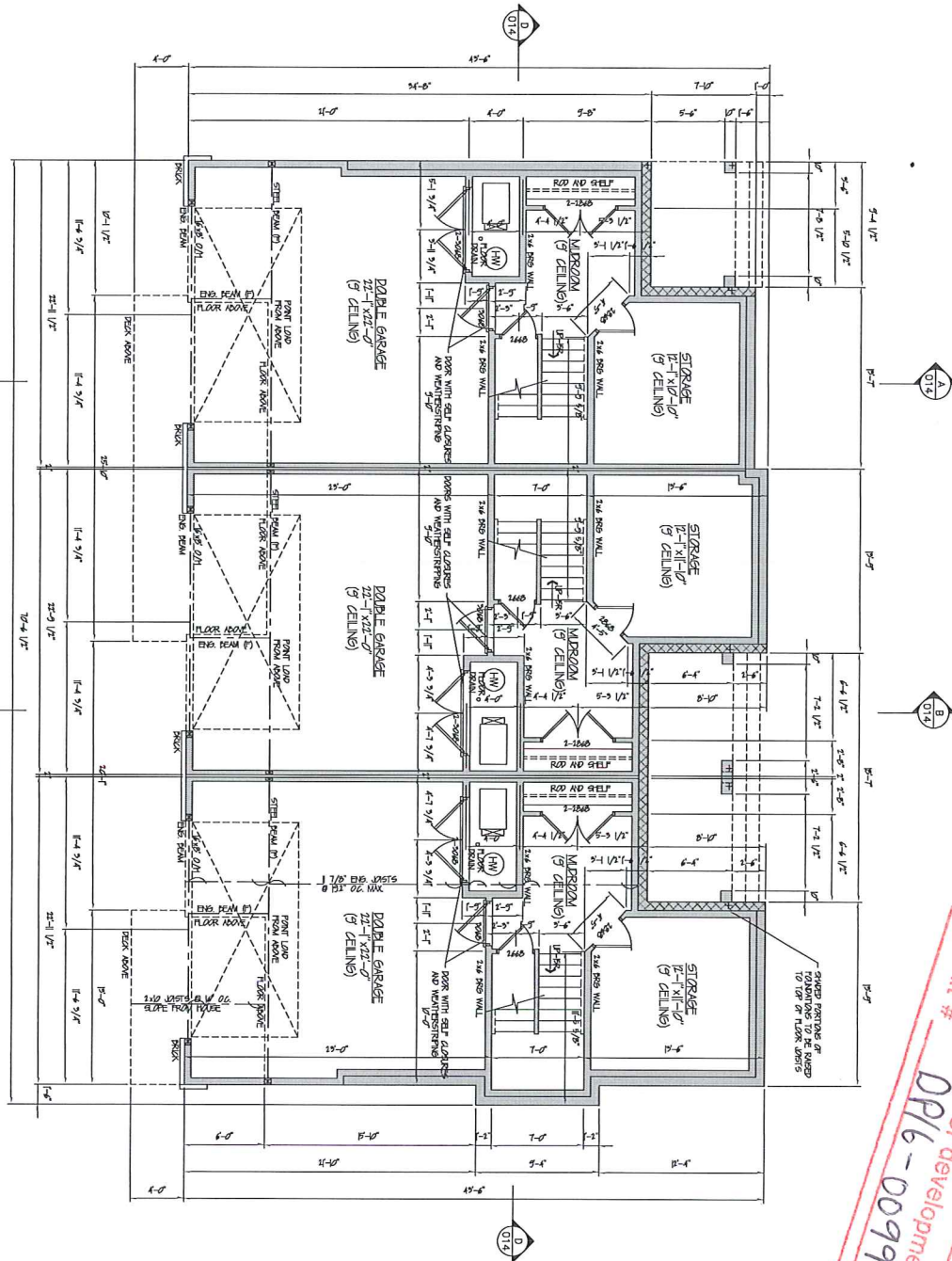
OASIS DESIGN
 868-2275
 DESIGNED BY: JAMES W. HASDYK
 DATE: FEBRUARY 28, 2016

**LOWER FLOOR PLAN
 THREE FLEX BUILDING D
 LOT 18 - ACADEMY WAY**

SCALE: 1/4" = 1'-0" | DRAWING NUMBER: 15-975-012 | REVISION: A

LOWER FLOOR PLAN
 FINISHED
 STORAGE - 44 sq. ft.
 UNFINISHED - 35 sq. ft.
 GARAGE - 44 sq. ft.
 PORCH - 44 sq. ft.

LOWER FLOOR PLAN
 FINISHED
 STORAGE - 44 sq. ft.
 UNFINISHED - 35 sq. ft.
 GARAGE - 44 sq. ft.
 PORCH - 44 sq. ft.



SCHEDULE
 This forms part of development
 Permit # **DP16-0099**
A

FOR PERMIT - FEBRUARY 28, 2016

DEERHURST TOWNHOMES

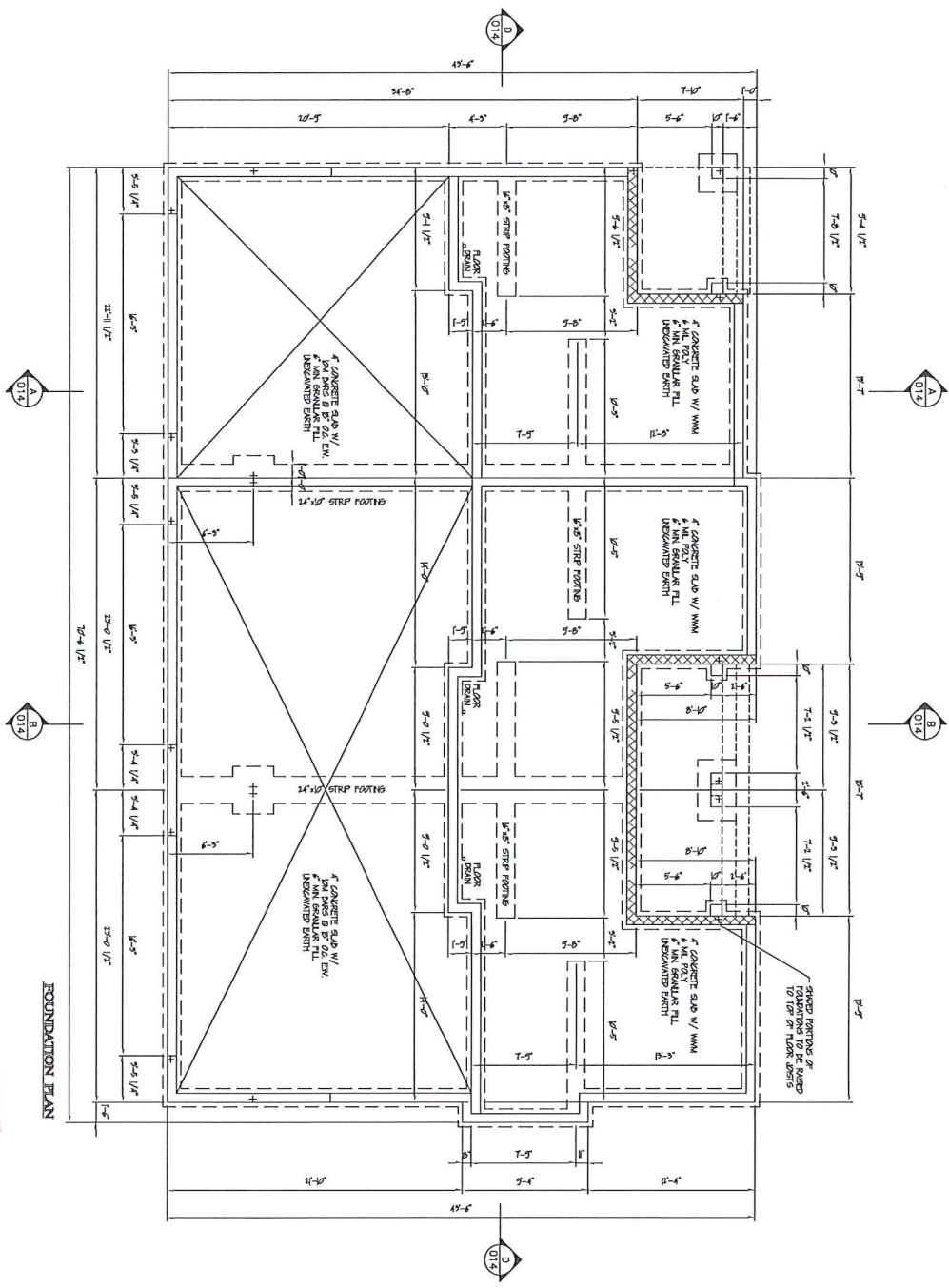
OASIS DESIGN

DESIGNED BY: JAMES W. HASDYK
 DATE: FEBRUARY 28, 2016

**LOWER FLOOR PLAN
 THREE PLEX BUILDING D
 LOT 18 - ACADEMY WAY**

SCALE: 1/4" = 1'-0" | DRAWING NUMBER: 15-975-012 | REVISION: A

SCHEDULE A
 This forms part of development
 Permit # **DP16-0099**



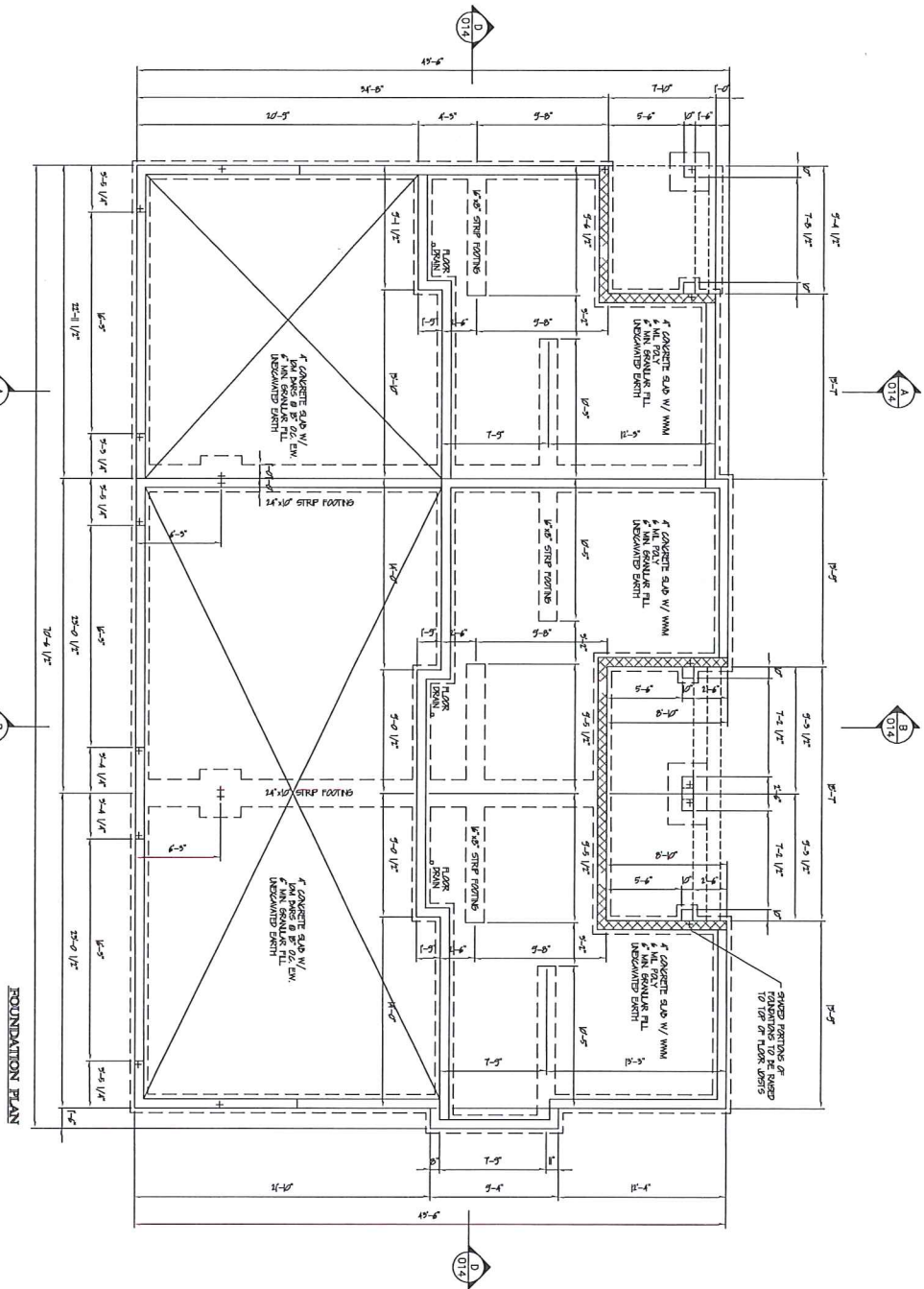
FOR PERMIT - FEBRUARY 28, 2016

DEERHURST TOWNHOMES

OASIS DESIGN
 868-2275
 DESIGNED BY: JAMES W. HAASDYK
 DATE: FEBRUARY 28, 2016

**FOUNDATION PLAN
 THREE PLEX BUILDING D
 LOT 18 - ACADEMY WAY**
 SCALE: 1/4" = 1'-0" | DRAWING NUMBER 15-975-03 | REVISION:

SCHEDULE A
 This forms part of development
 Permit # **DP16-0099**



FOR PERMIT - FEBRUARY 28, 2016

DEERHURST TOWNHOMES

OASIS DESIGN
 868-2275 KALPA, BARRY GILSON, JR. P.E.
 DESIGNED BY: JAMES W. HAASDYK
 DATE: FEBRUARY 28, 2016

**FOUNDATION PLAN
 THREE PLEX BUILDING D
 LOT 18 - ACADEMY WAY**

SCALE: 1/4" = 1'-0" | DRAWING NUMBER: 15-975-03 | REVISION: A

Permit # DP6-0099

FOR PERMIT - APRIL 15, 2016

SCHEDULE B
 This forms part of development
 Permit # **DP16-0044**

FRONT AND REAR ELEVATIONS
 FOUR FLEX BUILDING B
 3075 VINT ROAD

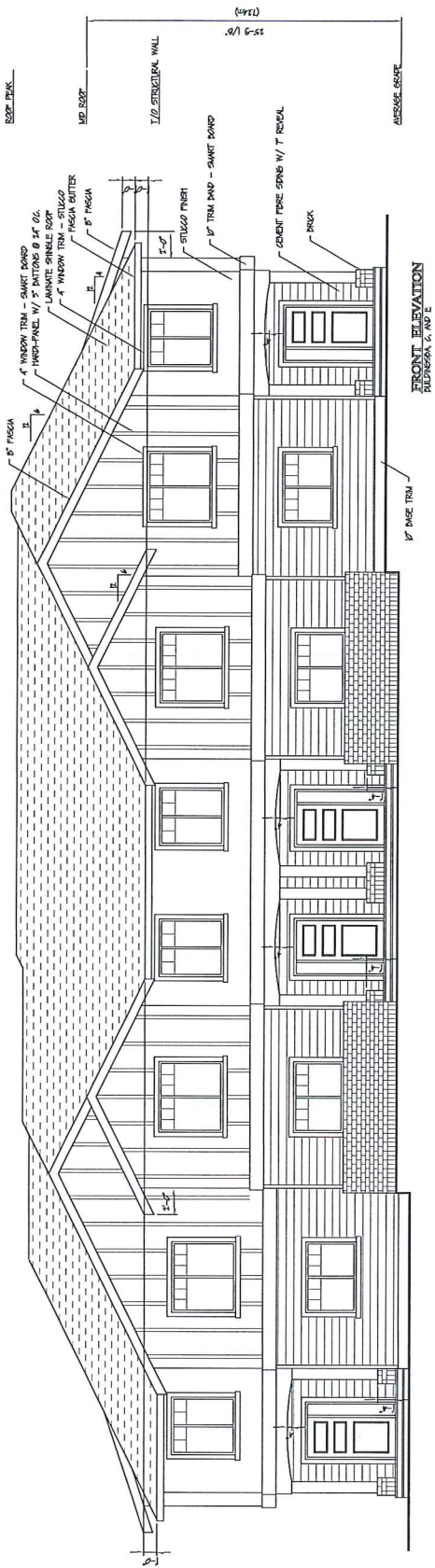
DESIGN
 OASIS

DEERHURST
 TOWNHOMES

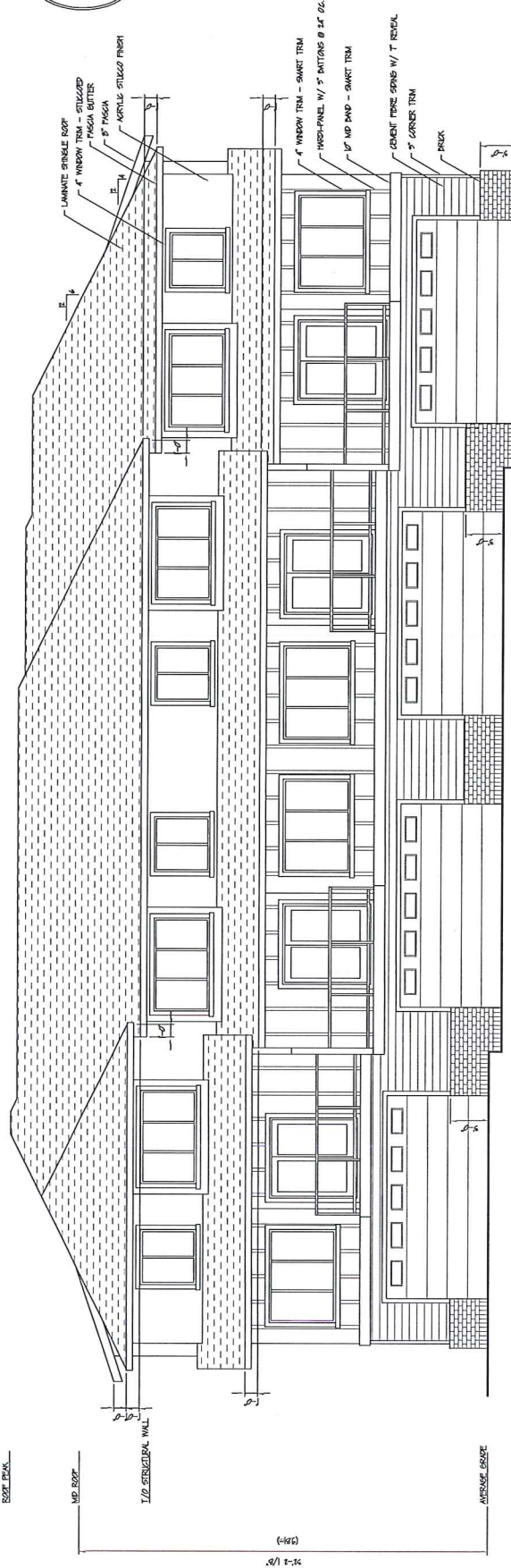
DESIGNED BY
 JAMES W. HAASDYK

DATE
 APRIL 15, 2016

SCALE: 1/4" = 1'-0" | DRAWING NUMBER: 15-975-001 | REVISION: B



FRONT ELEVATION
 BUILDING A, C, AND E



REAR ELEVATION
 BUILDING D

FOR PERMIT - APRIL 15, 2016

SCHEDULE B
 This forms part of development
 Permit # **DP16-0099**

DEERHURST TOWNHOMES

DESIGNED BY: JAMES W. HAASDYR
 868-2275
FOR THE LAND AND

OASIS DESIGN

DATE: FEBRUARY 28, 2016
REVISION: 1

SCALE: 1/4" = 1'-0"
FOR ALL BUILDINGS
LOT 18 - ACADEMY WAY

FOR PERMIT - FEBRUARY 28, 2016

SIDE ELEVATION BUILDING A

SIDE ELEVATION BUILDING B

SIDE ELEVATION BUILDING C

SIDE ELEVATION BUILDING D

SCHEDULE B
This forms part of development
Permit # DP16-0099

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FOR PERMIT - FEBRUARY 28, 2016

SCHEDULE B
This forms part of development
Permit # DP16-0699

DEERHURST TOWNHOMES

OASIS DESIGN

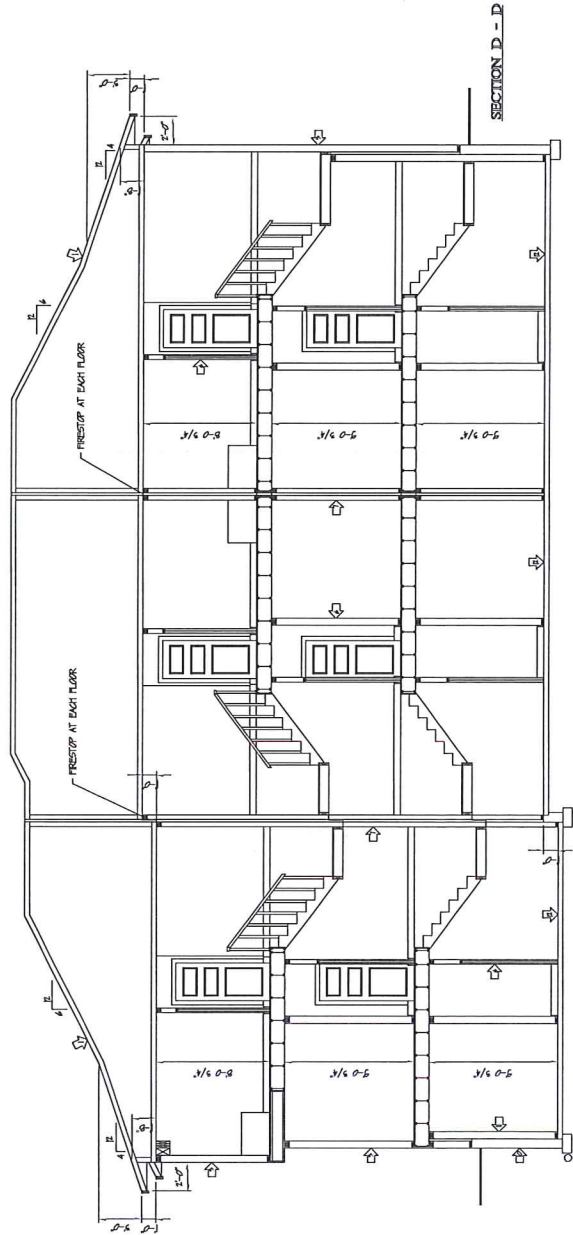
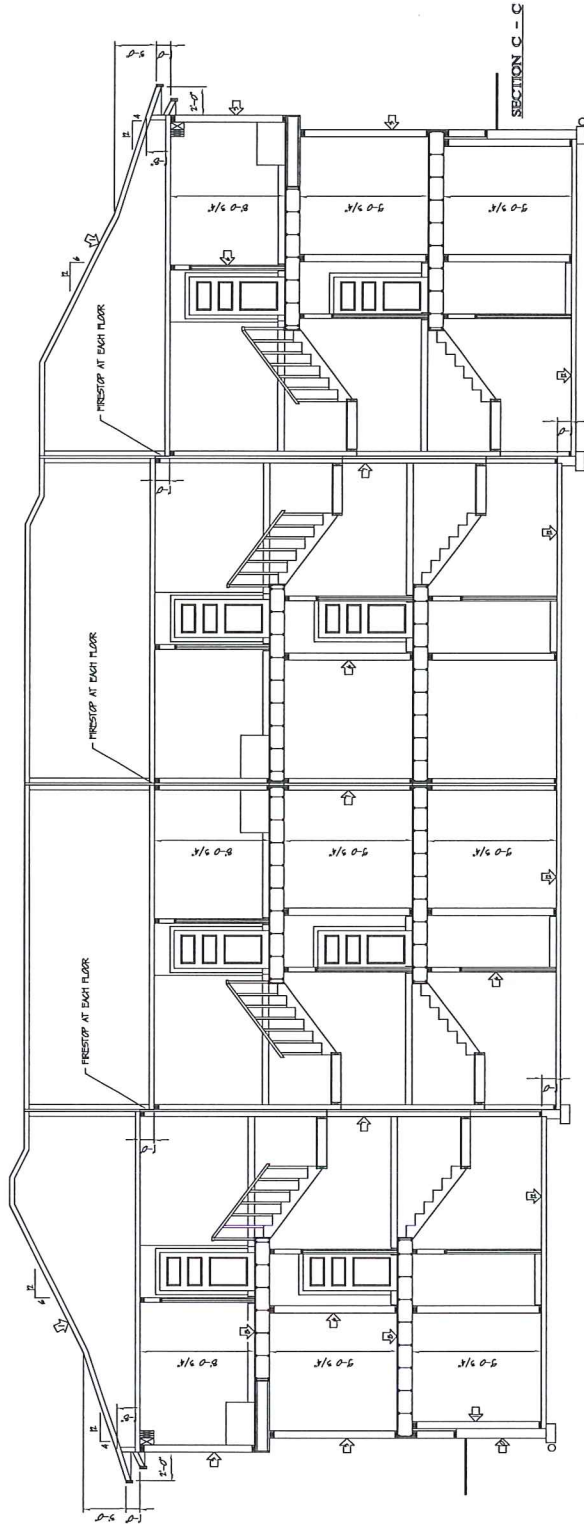
DESIGNED BY: JAMES W. HAASDYK
868-2275

DATE: FEBRUARY 28, 2016

CROSS SECTIONS
LOT 18 - ACADEMY WAY

SCALE: 1/4" = 1'-0" | DRAWING NUMBER IS-975-05 | REVISION:

FOR PERMIT - FEBRUARY 28, 2016



SCHEDULE B
This forms part of development
Permit # DP16-0099

SCHEDULE B
This forms part of development Permit # DP16-0099

ACCESSORY BUILDING DETAILS

LOT 18 - ACADEMY WAY

SCALE: 1/4" = 1'-0" | DRAWING NUMBER: 15-975-001 | REVISION:

OASIS DESIGN

DESIGNED BY: JAMES W. HAASDYK

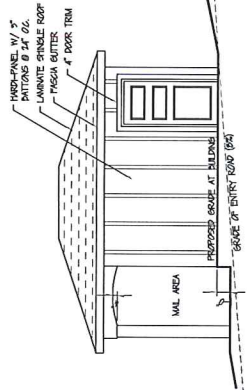
DATE: FEBRUARY 23, 2015

DEERHURST TOWNHOMES

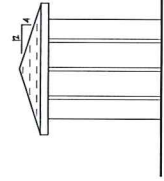
OR REGISTRATION OF THESE PLANS IN THE PROVINCE OF ONTARIO, THE TOWN OF MISSISSAUGA SHALL BE REQUIRED.

FOR PERMIT - FEBRUARY 23, 2015

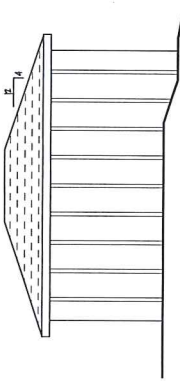
STRATA COMMON BUILDING



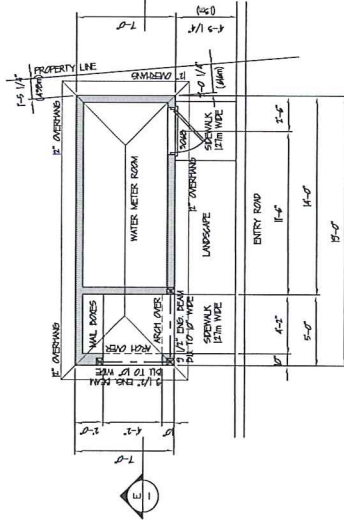
FRONT ELEVATION
1/4" = 1'-0"



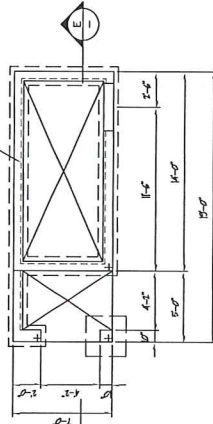
RIGHT ELEVATION
1/4" = 1'-0"



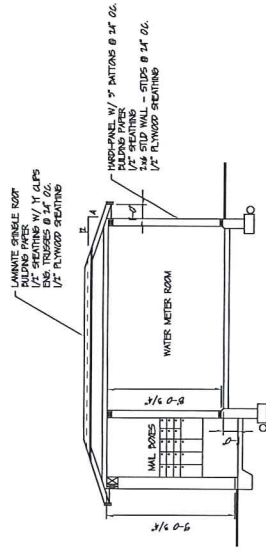
REAR ELEVATION
1/4" = 1'-0"



FLOOR PLAN
1/4" = 1'-0"



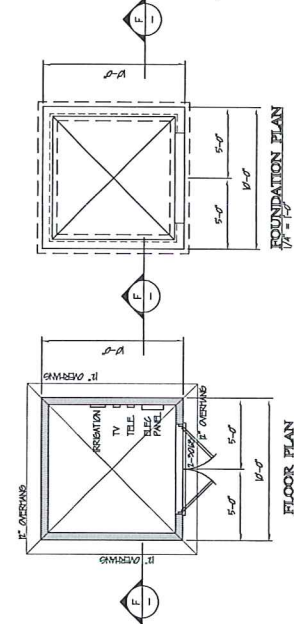
FOUNDATION PLAN
1/4" = 1'-0"



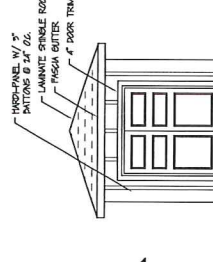
SECTION E - E
1/4" = 1'-0"

MAIL AREA/WATER METER ROOM

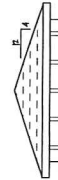
SCHEDULE A/B
This forms part of development
Permit # DP16-0099



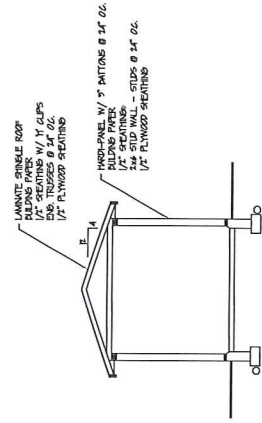
FLOOR PLAN
1/4" = 1'-0"



FRONT ELEVATION
1/4" = 1'-0"



SIDE ELEVATIONS
1/4" = 1'-0"



SECTION F - F
1/4" = 1'-0"

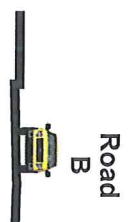


CONTEXT

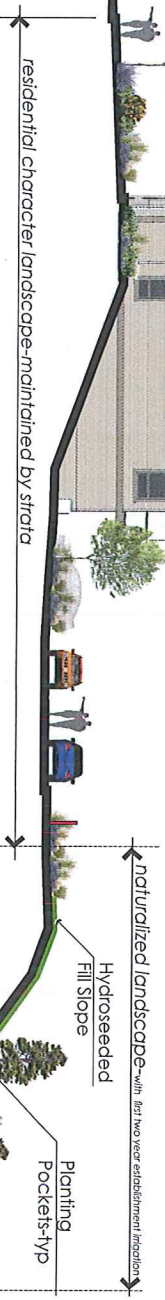


Existing Fill Slope

Proposed Multi-Family Townhomes



Road B

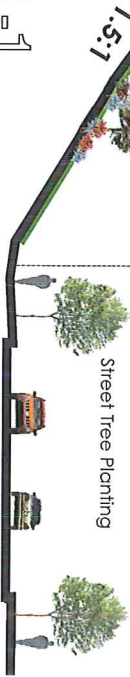


SCHEMATIC SECTION



DEERHURST ESTATES

CONCEPTUAL SITE RESTORATION PLAN 1-1



Academy Way

SCHEDULE C

This forms part of development

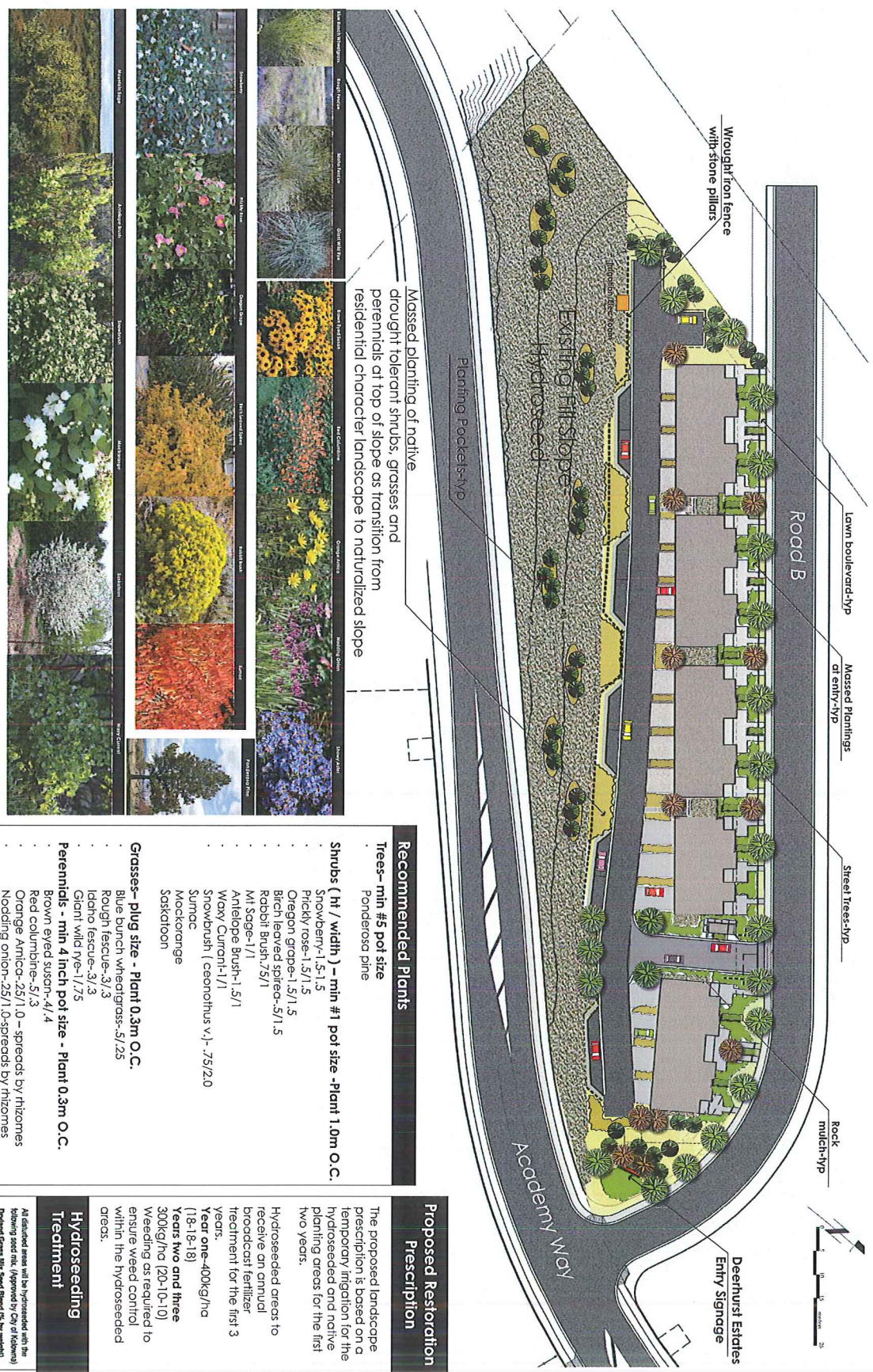
Permit # **DE16-0099**

Notes

- All plants, material and planting practices to conform to the BCNA 8C Landscape Standard - Current Edition
- Contractor to provide a warranty and maintenance period of 1 year on all plants and materials. Plants and materials that fail before and of the warranty period shall be replaced by the contractor.
- The illustrated landscape plan is conceptual only..not for construction.
- Massed planting area to receive 450mm of topsoil, pocket plantings 10mm of topsoil, hydroseeded slope 100mm of topsoil
- Prior to delivery to site, a representative sample and test results of topsoil should be made available to the consultant for approval.
- No plant species substitution will be accepted without the written consent of the consultant.
- All planting beds to receive 50 mm depth of Ogo-Growth.
- Plant material selections are conceptual only. Final planting selections may vary depending on availability.
- Reconstruct and grade planting/hydroseeding time of late September to November in the fall



DEERHURST ESTATES CONCEPTUAL SITE RESTORATION PLAN 1-2



Massed planting of native drought tolerant shrubs, grasses and perennials at top of slope as transition from residential character landscape to naturalized slope



Recommended Plants

- Trees- min #5 pot size**
 - Ponderosa pine
- Shrubs (ht / width) - min #1 pot size - Plant 1.0m O.C.**
 - Snowberry-1.5/1.5
 - Prickly rose-1.5/1.5
 - Oregon grape-1.5/1.5
 - Bitch leaved spirea-5/1.5
 - Rabbit brush-75/1
 - MT Sage-1/1
 - Antelope brush-1.5/1
 - Woxy Currant-1/1
 - Snowbush (ceonothus v.)- 75/20
 - Sumac
 - Mockorange
 - Saskatoon
- Grasses- plug size - Plant 0.3m O.C.**
 - Blue bunch wheategrass-5/25
 - Rough fescue-3/3
 - Idaho fescue-3/3
 - Giant wild rye-1/75
- Perennials - min 4 inch pot size - Plant 0.3m O.C.**
 - Brown eyed susan-4/4
 - Red columbine-5/3
 - Orange Amica-25/1.0 - spreads by rhizomes
 - Nodding onion-25/1.0-spreads by rhizomes
 - Showy Aster

Proposed Restoration Prescription

The proposed landscape prescription is based on a temporary irrigation for the hydroseeded and native planting areas for the first two years.

Hydroseeded areas to receive an annual broadcast fertilizer treatment for the first 3 years.

Year one-400kg/ha (18-18-18)

Years two and three 300kg/ha (20-10-10)

Weeding as required to ensure weed control within the hydroseeded areas.

Hydroseeding Treatment

All restored areas will be hydroseeded with the following seed mix (Approved by City of Kelowna)

Dryland Grass (aka Seed Blend 1% by weight)

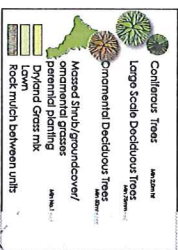
Application Rate 1500g/ha	Seed Type	Rate
20	Perennial Ryegrass	15
15	Annual Ryegrass	10
10	Hard Fescue	10
10	Creeping Red Fescue	10
10	Annual Ryegrass	10
15	Fall Type	15

Seed mix to be certified at Grade.

SCHEDULE C

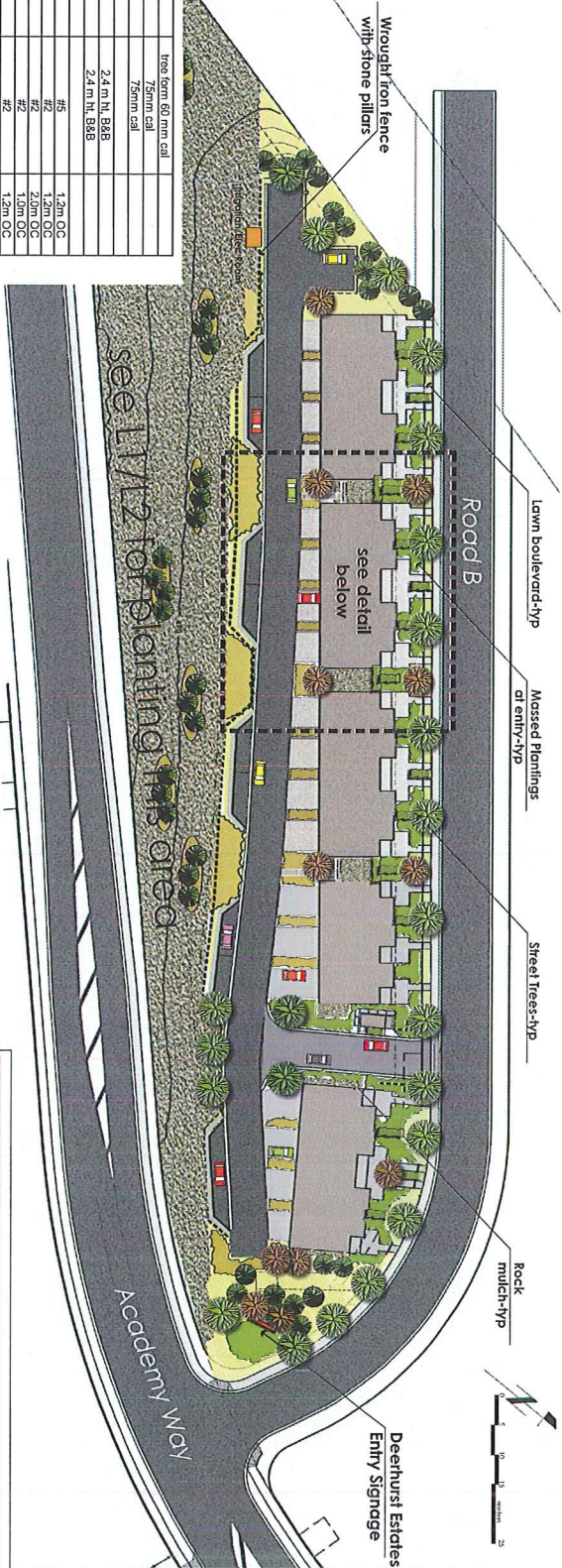
This forms part of development Permit # **DP16-0099**

Legend

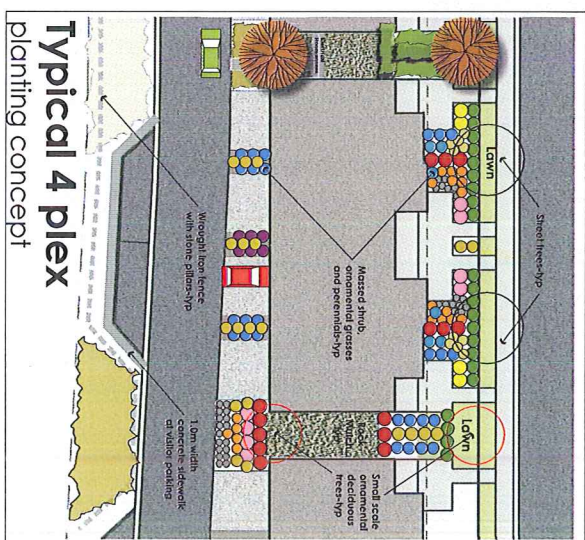


Recommended Plant Material

10	Metrosideros	Star Margale	tree form 60 mm cal	
22	Pinus aristata	Luxor Blue Tree	75mm cal	
6	Pyrus calleryana 'Chanticleer'	Chanticleer Pear	75mm cal	
12	Pinus ponderosa	Ponderosa Pine	2.4 m H. B&B	
13	Pseudotsuga menziesii	Douglas Fir	2.4 m H. B&B	
30	Eucalyptus alba compacta	Dwarf Burning Bush	#5	1.2m OC
30	Forsetia x courroisi 'Gold Tiger' (yellow)	Gold Tiger Forsythia	#2	1.2m OC
30	Juniperus sabina 'Marina'	Clarity Juniper	#2	2.1m OC
30	Ribes rapids	Virens Rapids	#2	1.2m OC
30	Rhus typhina	Sharon Sumac	#2	1.2m OC
30	Rhus typhina	Sharon Sumac	#8	1.5m OC
30	Calamagrostis 'Karl Foerster'	Karl Foerster Reed grass	#3	1.0m OC
30	Festuca ovina 'Elijah Blue'	Elijah Blue Fescue	#1	0.6m OC
30	Helictotrichon sempervirens	Blue Oak Grass	#2	1.0m OC
30	Miscanthus sinensis purpureus	Orange Flame grass	#2	1.2m OC
30	Pennisetum alopecuroides	Fountain Grass	#2	1.0m OC
30	Pennisetum orientale 'Tall Tails'	Oriental fountain grass	#2	1.0m OC
30	Arenaria ludoviciana 'Valerie Finnis'	White Sage	#1	1.2m OC
60	Hermocallis 'Autumn Red' (red)	Autumn Red Daisy	#1	0.6m OC
60	Hermocallis 'Gentle Sheperd' (white)	Gentle Sheperd Daisy	#1	0.6m OC
60	Hermocallis 'Purple Wines' (purple)	Purple Wines Daisy	#1	0.6m OC
60	Hermocallis 'Shila O'Do' (yellow)	Shila O'Do Daisy	#1	0.6m OC
60	Leucanthemum 'Maidenhead' (white)	Maidenhead Daisy	#1	1.5m OC
60	Perovskia arborescens	Russian Sage	#1	1.5m OC
60	Ruscacantha hirta 'Goldsturm' (yellow)	Goldsturm Clematis Daisy	#1	0.6m OC
60	Leucanthemum x superbum 'Snow Lady' (white)	Snow Lady Shasta Daisy	#1	0.6m OC
60	Arctostaphylos uva ursi 'Vancouver Jade'	Vancouver Jade Kermack	#1	0.6m OC



Wrought iron fence with stone pillars



Deerhurst
ESTATES

CONCEPTUAL RESIDENTIAL
LANDSCAPE PLAN L-3

NOVEMBER 2015

CTO

CHARTERED PLANNERS ASSOCIATION OF CANADA

SCHEDULE

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This forms part of development

Permit #

OP16-0099