

# DEVELOPMENT PERMIT



## APPROVED ISSUANCE OF DEVELOPMENT PERMIT NO. DP16-0060

**Issued To:** 1017482 BC Ltd Inc. No BC1017482  
**Site Address:** 1775 Chapman Place  
**Legal Description:** Lot 3 DL 139 ODYD Plan KAP92715  
**Zoning Classification:** CD22 - Central Green Comprehensive  
**Development Permit Area:** Central Green Comprehensive

### SCOPE OF APPROVAL

This Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.

This Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this Permit, noted in the Terms and Conditions below.

The issuance of a Permit limits the Permit Holder to be in strict compliance with regulations of the Zoning Bylaw and all other Bylaws unless specific Variances have been authorized by the Permit. No implied Variances from bylaw provisions shall be granted by virtue of drawing notations that are inconsistent with bylaw provisions and that may not have been identified as required Variances by the applicant or Municipal staff.

### 1. TERMS AND CONDITIONS

THAT Development Permit No. DP16-0060 for Lot 3 DL 139 ODYD Plan KAP92715, located at 1775 Chapman Place, Kelowna, BC to allow the construction of a residential building be approved subject to the following:

- a) The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A";
- b) The exterior design and finish of the building to be constructed on the land be in accordance with Schedule "B";
- c) Landscaping to be provided on the land be in accordance with Schedule "C";
- d) The applicant be required to post with the City a Landscape Performance Security deposit in the form of a "Letter of Credit" in the amount of 125% of the estimated value of the landscaping, as determined by a Registered Landscape Architect;

AND FURTHER THAT this Development Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

## 2. PERFORMANCE SECURITY

As a condition of the issuance of this Permit, Council is holding the security set out below to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Permit Holder and be paid to the Permit Holder if the security is returned. The condition of the posting of the security is that should the Permit Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the Municipality may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Permit Holder, or should the Permit Holder carry out the development permitted by this Permit within the time set out above, the security shall be returned to the Permit Holder. There is filed accordingly:

- a) Cash in the amount of \$\_\_\_\_\_ OR
- b) A Certified Cheque in the amount of \$\_\_\_\_\_ OR
- c) An Irrevocable Letter of Credit in the amount of \$ 98,431.25 .

Before any bond or security required under this Permit is reduced or released, the Developer will provide the City with a statutory declaration certifying that all labour, material, workers' compensation and other taxes and costs have been paid.

## 3. DEVELOPMENT

The land described herein shall be developed strictly in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit that shall form a part hereof.

If the Permit Holder does not commence the development permitted by this Permit within two years of the date of this Permit, this Permit shall lapse.

**This Permit IS NOT a Building Permit.**

## 4. APPLICANT'S AGREEMENT

I hereby declare that all of the above statements and the information contained in the material submitted in support of this Permit are to the best of my belief, true and correct in all respects. Upon issuance of the Permit for me by the Municipality, then in such case, I covenant and agree to save harmless and effectually indemnify the Municipality against:

- a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality granting to me the said Permit.
- b) All costs, expenses, claims that may be incurred by the Municipality if the construction by me of engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

I further covenant and agree that should I be granted a Development Permit and/or Development Variance Permit, the Municipality may withhold the granting of any Occupancy Permit for the occupancy and / or use of any building or part thereof constructed upon the hereinbefore referred to land until all of the engineering works or other works called for by the Permit have been completed to the satisfaction of the Municipal Engineer and Divisional Director of Community Planning & Real Estate.

Should there be any change in ownership or legal description of the property, I undertake to notify the Community Planning Department immediately to avoid any unnecessary delay in processing the application.

**I HEREBY UNDERSTAND AND AGREE TO ALL THE TERMS AND CONDITIONS SPECIFIED IN THIS PERMIT.**

\_\_\_\_\_  
Signature of Owner / Authorized Agent

\_\_\_\_\_  
Date

\_\_\_\_\_  
Print Name in Bold Letters

\_\_\_\_\_  
Telephone No.

## 5. APPROVALS

Issued and approved by Council on the \_\_\_\_\_ day of \_\_\_\_\_, 2016.

\_\_\_\_\_  
Ryan Smith, Community Planning Department Manager  
Community Planning & Real Estate

\_\_\_\_\_  
Date

**The PERMIT HOLDER is the CURRENT LAND OWNER.  
Security shall be returned to the PERMIT HOLDER.**



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## CITY OF KELOWNA

# MEMORANDUM

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**Date:** March 18, 2016  
**File No.:** DP16-0060

**To:** Community Planning (RR)

**From:** Development Engineering Manager

**Subject:** 1775 Chapman Place

CD-22

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Development Engineering Department have the following comments and requirements associated with this application. The road and utility upgrading requirements outlined in this report will be a requirement of this development.

The Development Engineering Technologist for this project is Sergio Sartori

1. Domestic Water and Fire Protection

- (a) The developer's consulting mechanical engineer will determine the domestic and fire protection requirements of this proposed development and establish hydrant requirements and service needs.
- (b) The proposed development site is currently serviced with a 200mm service. Only one service will be permitted for this development.

2. Sanitary Sewer

- (a) Our records indicate that this proposed development site is connected with a 150mm diameter sewer service. The developer's consulting mechanical engineer will determine the development requirements of this proposed development and establish the service needs. Only one service will be permitted for this development. The applicant, at his cost, will arrange for the removal and disconnection of the existing service and the installation of one new larger service if necessary.

3. Storm Drainage

- (a) The developer must engage a consulting civil engineer to provide a storm water management plan for these sites which meets the requirements of the City Subdivision, Development and Servicing Bylaw 7900. The storm water management plan must also include provision of lot grading plans, minimum basement elevations (MBE), if applicable, and provision of a storm drainage service and recommendations for onsite drainage containment and disposal systems.
- (b) Only one service will be permitted for this development. The applicant, at his cost, will arrange for the installation of one new overflow service.



4. Road Improvements

- (a) Chapman Place fronting this development must be upgraded to a full urban standard including a sidewalk, curb and gutter, storm drainage system road works, landscaped boulevard street lights and re-location or adjustment of existing utility appurtenances if required to accommodate the upgrading construction.

5. Transportation

- a) These Development Engineering comments/requirements are subject to the review and requirements from the Ministry of Transportation (MOT) Infrastructure Branch.
- b) The existing access to this site is a shared access and is limited to a right turn only in and out onto Richter Street at this time. The consultant must demonstrate how other movements can be accomplished safely and to the satisfaction of the City Transportation & Mobility Manager.

6. Subdivision

- (a) Grant Statutory Rights of Way if required for utility services.
- (b) If any road dedication or closure affects lands encumbered by a Utility right-of-way (such as Hydro, Telus, Gas, etc.) please obtain the approval of the utility. Any works required by the utility as a consequence of the road dedication or closure must be incorporated in the construction drawings submitted to the City's Development Manager.

7. Electric Power and Telecommunication Services

- a) All proposed distribution and service connections are to be installed underground.
- b) Make servicing applications to the respective Power and Telecommunication utility companies. The utility companies are required to obtain the City's approval before commencing construction.

8. Engineering

Road and utility construction design, construction supervision, and quality control supervision of all off-site and site services including on-site ground recharge drainage collection and disposal systems, must be performed by an approved consulting civil engineer. Designs must be submitted to the city engineering department for review and marked "issued for construction" by the city engineer before construction may begin.

9. Design and Construction

- (a) Design, construction supervision and inspection of all off-site civil works and site servicing must be performed by a Consulting Civil Engineer and all such work is subject to the approval of the City Engineer. Drawings must conform to City standards and requirements.
- (b) Engineering drawing submissions are to be in accordance with the City's "Engineering Drawing Submission Requirements" Policy. Please note the number of sets and drawings required for submissions.

- (c) Quality Control and Assurance Plans must be provided in accordance with the Subdivision, Development & Servicing Bylaw No. 7900 (refer to Part 5 and Schedule 3).
- (d) A "Consulting Engineering Confirmation Letter" (City document 'C') must be completed prior to submission of any designs.
- (e) Before any construction related to the requirements of this subdivision application commences, design drawings prepared by a professional engineer must be submitted to the City's Works & Utilities Department. The design drawings must first be "Issued for Construction" by the City Engineer. On examination of design drawings, it may be determined that rights-of-way are required for current or future needs.

10. Servicing Agreements for Works and Services

- (a) A Servicing Agreement is required for all works and services on City lands in accordance with the Subdivision, Development & Servicing Bylaw No. 7900. The applicant's Engineer, prior to preparation of Servicing Agreements, must provide adequate drawings and estimates for the required works. The Servicing Agreement must be in the form as described in Schedule 2 of the bylaw.
- (b) Part 3, "Security for Works and Services", of the Bylaw, describes the Bonding and Insurance requirements of the Owner. The liability limit is not to be less than \$5,000,000 and the City is to be named on the insurance policy as an additional insured.

11. Geotechnical Report

As a requirement of this application the owner must provide a geotechnical report prepared by a Professional Engineer qualified in the field of hydro-geotechnical survey to address the following:

- (a) Area ground water characteristics.
- (b) Site suitability for development, unstable soils, etc.
- (c) Drill and / or excavate test holes on the site and install piezometers if necessary. Log test hole data to identify soil characteristics, identify areas of fill if any. Identify unacceptable fill material, analyse soil sulphate content, identify unsuitable underlying soils such as peat, etc. and make recommendations for remediation if necessary.
- (d) List extraordinary requirements that may be required to accommodate construction of roads and underground utilities as well as building foundation designs.
- (e) Additional geotechnical survey may be necessary for building foundations, etc.

12. Development Permit and Site Related Issues

Access and Manoeuvrability

- (i) An MSU standard size vehicle must be able to manoeuvre onto and off the site without requiring a reverse movement onto public roadways.
- (ii) Indicate on the site, the locations of loading bays as well as the garbage and recycle bins.

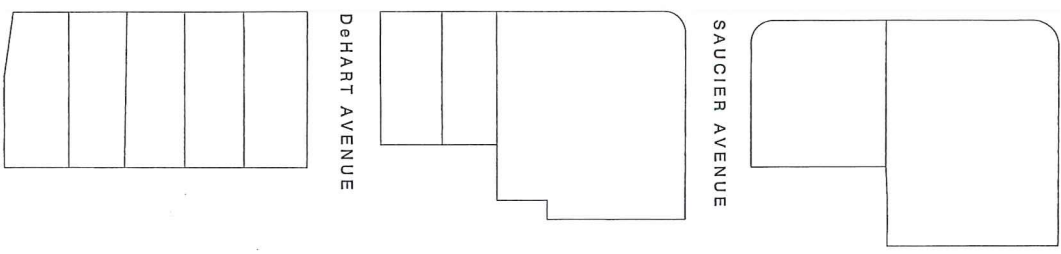
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Steve Muenz, P. Eng.  
Development Engineering Manager

SS



**SCHEDULE A**  
 This forms part of development  
 Permit # **DP16-0060**



**RAYMOND LEREMAN**  
 CONSULTANT  
 200-212 Street 16, Vancouver, B.C. V6A 1A7  
 Tel: 604-261-1881 Fax: 604-261-1881  
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Feb 19, 2016 - Issued for DP Submission

**Central Green**  
 Kelowna, BC  
 By Mission Group  
 Building G

Overall Site Plan  
 February 19, 2016  
 1"=50'

SCHEDULE B

This forms part of development

Permit # P16-0060



**WEST ELEVATION FROM  
NORTH WEST**

**RAYMOND LEREMAN  
ARCHITECTS INC.**  
100-10100 160th Avenue, Suite 100  
Richmond, BC V6V 2G9  
Tel: 604-271-1234 Fax: 604-271-1235  
www.raymondlereman.com

Feb 10, 2016 - Issued for TP Submission

**Central  
Green**  
Kelowna, BC  
By  
Mission Group  
Building G

**3D Renderings**  
February 10, 2016  
1/4" = 1'-0"





**NORTH ELEVATION FROM  
 NORTH WEST**

**RAYMOND LEREMAN**  
 030316014 INC.  
 100-102 Avenue 16, Vancouver, B.C. V6P 4B7  
 Tel: 604-275-1500 Fax: 604-275-1501  
 www.raymondlereman.com

Graphic is a design rendering. It is not a photograph of an existing building. It is not a representation of a building that has been constructed. It is a design rendering of a building that is proposed to be constructed. It is not a representation of a building that has been constructed. It is a design rendering of a building that is proposed to be constructed.

Phase 1  
 Feb 19, 2016 - Issued for DP Submission

**Central  
 Green**  
 Kelowna, BC  
 By  
 Mission Group  
**Building 6**

**3D Renderings**  
 February 19, 2016  
 1/4" = 1'-0"



SCHEDULE 13

This forms part of development  
Permit # DP16-0060



**NORTH ELEVATION FROM  
NORTH EAST**



**RAYMOND LETGEMAN**  
ARCHITECTS  
222-212 JAMES ST. VICTORIA, B.C. V8W 2E7  
TEL: 250.401.1819 FAX: 250.401.1821  
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Revised  
Feb. 19, 2016 - Issued for DP Submission

**Central  
Green**  
Kelowna, BC  
By  
Mission Group  
Building 6

**3D Renderings**  
February 19, 2016  
1/4" = 1'-0"



This forms part of development  
Permit # DP16-0060



Feb 19, 2016 - Issued for DP Submission

**Central  
Green**  
Kelowna, BC  
By  
Mission Group  
**Building G**

### 3D Renderings



SCHEDULE 13

This forms part of development

Permit # DP16-0060



EAST ELEVATION FROM  
SOUTH EAST

**RAYMOND LEKEMAN**  
ARCHITECT  
200-210 Street 16, Vancouver, B.C. V6P 4K9  
Tel: 604-681-1111 Fax: 604-681-1112  
www.raymondlekeman.com

Feb 19, 2016 - Issued for DP Submission

**Central  
Green**  
Kelowna, BC  
By  
Mission Group  
Building 6

3D Renderings  
February 19, 2016  
1/2" = 1'-0"



**SCHEDULE** B

This forms part of development

Permit # DP16 - 0060



**SOUTH ELEVATION FROM  
SOUTH EAST**

**RAYMOND LETKEMAN**  
OF CONSULTANTS INC.  
202-515-1000 / 1-800-387-1000  
www.rletkeman.com

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Revised  
Feb 19, 2016 - Issued for DP Submission

**Central  
Green**  
Kelowna, BC  
By  
Mission Group  
Building 6

3D Renderings  
February 19, 2016  
1/4" = 1'-0"

SCHEDULE D  
This forms part of development  
Permit # DPL6-0060



**SOUTH ELEVATION FROM  
SOUTH WEST**

**RAYMOND LITKEMAN**  
ARCHITECT  
220-222, Avenue 16, Vancouver, B.C. V6P 4K9  
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Feb 19, 2015 - Issued for DP Submission

**Central  
Green**  
Kelowna, BC  
By  
Mission Group  
**Building 6**

**3D Renderings**  
February 19, 2015  
1/8" = 1'-0"



SCHEDULE B

This forms part of development

Permit # DP16-0060



WEST ELEVATION FROM  
SOUTH WEST

**RAYMOND LETKEMAN**  
ARCHITECT INC.  
100-101 Avenue 25, Vancouver, B.C. V6P 6E7  
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www.raymondletkeman.com

RAYMOND

Feb 13, 2016 - Issued for DP Submission

**Central  
Green**  
Kelowna, BC  
By  
Mission Group  
Building 6

3D Renderings

February 13, 2016  
1/4" = 1'-0"



# SCHEDULE B

This forms part of development  
Permit # **DP16-0060**



West Elevation



South Elevation ~ Condo Building G

## Exterior Finish Legend

- |   |   |   |   |  |  |
|---|---|---|---|--|--|
| ① Pitched Roof<br>Metal standing seam roof<br>Weathered Zinc                                    | ② Facets<br>2 x 12 wood, painted<br>Benjamin Moore Iron Mountain 2134-30                | ③ Wall Panels<br>HardPanel Smooth<br>w/ Black Knobsed Aluminum Panel<br>Hesse Colossus DR 40-10 | ④ Siding<br>HardPanel, tan siding, smooth<br>Hesse Iron Gray DR 90-30 | ⑤ Windows<br>Stone Row Windows<br>Aluminum Frame, Black<br>Prestige Concrete | ⑥ Stairs / Arrouns<br>Wood, painted<br>Benjamin Moore Trind White, OC-39   |
| ⑦ Flat Roof<br>2 ply SBS membrane w/ cap sheet,<br>High Mica, Weathered Zinc                    | ⑧ Soffit<br>HardPanel panel vented smooth, painted<br>Benjamin Moore Trind White, OC-39 | ⑨ Wall Panels<br>HardPanel Smooth<br>Benjamin Moore Trind White, OC-39                          | ⑩ Brick<br>HardPanel Smooth<br>Hesse Colossus DR 40-10                | ⑪ Linels / Coping<br>Aluminum Frame, Black<br>Prestige Concrete              | ⑫ Gaze & RNL<br>Pre-finished aluminum<br>Benjamin Moore Trind White, OC-39 |
| ⑪ Canopy/<br>Metal Trim<br>Black and Forest Gray/Metal,<br>Benjamin Moore Iron Mountain 2134-30 | ⑫ Wall Panels<br>HardPanel Smooth<br>Benjamin Moore Trind White, OC-39                  | ⑬ Wall Panels<br>HardPanel Smooth<br>Hesse Iron Gray DR 90-30                                   | ⑭ White Vinyl Frames<br>Black Vinyl Frames in Black Veneer            | ⑮ Trims<br>Aluminum Frame, Black<br>Prestige Concrete                        | ⑯ Guard Rail<br>Aluminum Frame, Black<br>Prestige Concrete                 |
|   |   |   |   |  | ⑰ Finishing<br>Pre-finished aluminum<br>Benjamin Moore Trind White, OC-39  |

**Central  
Green**  
Kelowna, BC  
By  
Mission Group  
Building 6

## Elevations

February 19, 2016  
3022

**RAYMOND LERKEMAN**  
ARCHITECTS  
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SUITE 100  
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February 19, 2016 - Issued for DP Submission



SCHEDULE  
This forms part of development  
Permit # DP16-0060



Feb 19, 2016 - Issued for DP Submission

North Elevation



## SK-4.1

**Central  
Green**  
Kelowna, BC  
By  
Mission Group  
**Building a**

### Elevations North, East & Courtyard

February 19, 2016  
3/32\*



# SCHEDULE B

This forms part of development  
Permit # **DP16-0060**

Trims, Window Trims, Arbours & Struts  
Benjamin Moore, Timid White OC-39

Fascia, & Window Trims  
Benjamin Moore, Iron Mountain 2134-30

HardiePanel c/w Aluminum Reveals  
Cobblestone JH 90-30

HardiePanel c/w Aluminum Reveals  
Timber Bark JH 30-40

HardiePanel and HardieSliding  
Iron Gray JH 90-30

HardiePanel  
Benjamin Moore, Timid White OC-39

Metal Gaudrais  
Railcraft, Black Velvet 68-80012

Brick, 1/3 Running Bond  
Stout City, Sonoma City

Metal Flashing, Gutters  
Geniek Iron Ore

Flat Roof, High Albedo  
Pabco - White Weathered

Metal Works  
Benjamin Moore, Iron Mountain 2134-30

Standing Seam Metal Roof  
Weathered Zinc



Low Slope Roof, SBS  
High Albedo

Aluminum Gutter & RWL  
Geniek Iron Ore

Hardie Softie,  
BM OC-39, Timid White

Wood Struts & Arbours, painted  
BM OC-39, Timid White

Wood Trims, painted,  
BM OC-39, Timid White

Brick Cladding,  
Stout City Brick, Sonoma Valley

Metal Balcony Guardrail, Fence  
Railcraft, Black Velvet 68,80012

Precast Lintels & Copings,  
Architectural Sandblasted Finish

Windows in Vinyl Frames,  
In Hardie - White  
In Brick - Black

HardiePanel c/w Metal Reveal,  
Hardie Cobblestone JH-40-10

HardiePanel c/w Metal Reveal,  
Hardie Cobblestone JH-40-10

Metal Cap Flashing  
Geniek Iron Ore

HardiePanel c/w Metal Reveal,  
Hardie Timber Bark JH 40-30

HardieSliding 6" Exposure  
Hardie Iron Gray JH 90-30

Architectural Concrete  
Sandblasted Finish

Metal & Frosted Glass Canopy  
BM 2134-30 Iron Mountain

Storefront Windows  
Aluminum Frame, Black

**RAYMOND LERKEMAN**  
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Revised  
Feb 15, 2016 - Issued for DP Submission

**Central Green**  
By  
Mission Group  
Building 6

**Materials & Components**  
February 15, 2016  
3032



This forms part of development Permit # DP16-0060



Barcode #	80
CAGE CODE	NS
MFGC NO.	15008
DATE	11-20

QW 1

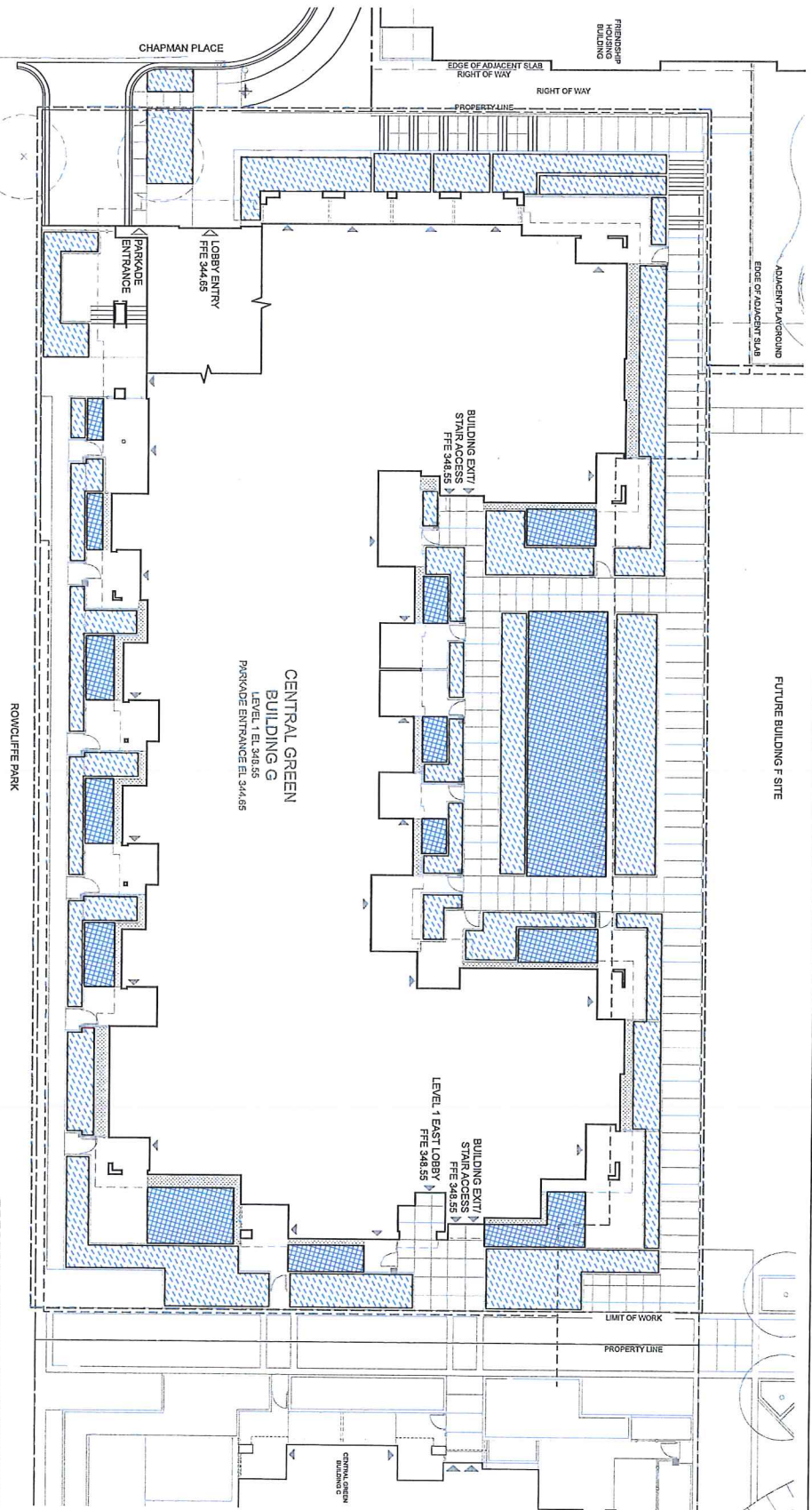
NOT FOR CONSTRUCTION

5

**SCHEDULE C**

This forms part of development  
Permit # **DP16-0060**

VOLUMES/SECTION/400 - PROJECTS/2016/16-003\_CENTRALGREEN\_BUILD02/440 - PRODUCTION/442 - DRAWINGS/00-CURRENT/00\_16-003\_HYDROZONEPLAN.DWG



NO.	DATE	DESCRIPTION
1	10/10/2016	ISSUED FOR PERMIT
2	10/10/2016	ISSUED FOR REVIEW

**BENCH**  
3170 E. 10TH AVE.  
DENVER, CO 80202  
(303) 733-4477

**CONSULTANT**  
**RAYMOND LETKEMAN**  
ARCHITECTS INC.  
MINNEAPOLIS, MN

**OWNER**  
**MERSON GROUP HOMES**  
MILWAUKEE, WI

**PROJECT:**  
**CENTRAL GREEN BUILDING G**  
MELNOM, D.C.

**HYDROZONE PLAN**

DESIGNER	DATE
CHECKED BY	DATE
PROJECT NO.	16-003
SCALE	1"=10'