

HERITAGE ALTERATION PERMIT GUIDELINES*Heritage Conservation Area*

Consideration has been given to the following guidelines as identified in Chapter 16 of the City of Kelowna Official Community Plan relating to Heritage Conservation Areas:

HERITAGE CONSERVATION AREA	YES	NO	N/A
Site Layout and Parking			
Are established front yard setbacks maintained within 10% of neighbouring building setbacks?		✓	
Are parking spaces and garages located in the rear yard?		✓	
Are established building spacing patterns maintained?	✓		
Does the carriage house complement the character of the principal dwelling?			✓
Are accessory buildings smaller than the principal building?	✓		
Building Massing			
Is the established streetscape massing maintained?		✓	
Is the massing of larger buildings reduced?		✓	
Roof Forms, Dormers and Chimneys			
Is the roof pattern in keeping with neighbouring buildings?		✓	
Are skylights hidden from public view?			✓
Are high quality, low maintenance roofing materials being used?	✓		
Are the roofing materials similar to traditional materials?		✓	
Are the soffit, overhang and rain water drainage features in keeping with the building's architectural style?	✓		
Do secondary roof elements have a similar pitch as the principal roof?		✓	
Are chimneys in keeping with the building's architectural style?			✓
Cladding Materials			
Are low maintenance building materials being used?	✓		
Are the building materials similar to traditional materials?		✓	
Are exterior colours in keeping with the traditional colours for the building's architectural style?	✓		
Doors and Windows			
Are established window placement, style and window-to-wall area ratios maintained?		✓	

HERITAGE CONSERVATION AREA	YES	NO	N/A
Are established door placement, style and door-to-wall area ratios maintained?		✓	
Is the main entrance a dominant feature visible from the street?	✓		
Is the main entrance in keeping with the building's architectural style?		✓	
Are the door and window design details consistent with the building's architectural style?		✓	
Landscaping, Walks and Fences			
Are existing healthy mature trees being retained?	✓		
Is the front yard landscaping consistent with neighbouring properties?	✓		
Is street facing fencing or screening landscaping no more than 1 m in height?	✓		
Privacy and Shadowing Guidelines			
Are there clear sightlines from the street to the front yard and dwelling?	✓		
Does the building location minimize shadowing on the private open space of adjacent properties?	✓		

Intensive Residential – Two Dwelling Housing

Consideration has been given to the following guidelines as identified in Section 14.C. of the City of Kelowna Official Community Plan relating to Intensive Residential – Carriage House / Two Dwelling Housing Development Permit Areas:

INTENSIVE RESIDENTIAL – TWO DWELLING HOUSING	YES	NO	N/A
General Considerations			
Does the dwelling complement the character of the neighbourhood and the principal dwelling?		✓	
Is private outdoor space maximized for each dwelling unit?	✓		
Does lighting placement ensure safety and reduce light pollution?			✓
Are parking spaces and garages located in the rear yard?		✓	
Are impermeable surfaces minimized?	✓		
Do all street facing elevations have a high quality of design?	✓		
Are entrances a dominant feature visible from the street or lane?	✓		
Does the design consider the scale and placement of windows on building faces, projections and dormers?		✓	

INTENSIVE RESIDENTIAL – TWO DWELLING HOUSING	YES	NO	N/A
Is utility and mechanical equipment screened from view?	✓		
Do windows and outdoor areas respect the privacy of adjacent properties?		✓	
Does the building location minimize shadowing on the private open space of adjacent properties?	✓		
Does fencing or landscaping screen views of private open space on adjacent properties?	✓		
Is fencing material in keeping with that of abutting properties?	✓		
Are existing healthy mature trees and vegetation being retained?	✓		
Does the front yard landscaping use drought tolerant native plants?	✓		
Two Dwelling Housing and Accessory Building			
Does the design create a "lanescape" with a main entrance, massing towards the lane and landscaping?		✓	
Do all street facing elevations have an equal level and quality of design?	✓		
Does the exterior design and finish complement the principal dwelling?	✓		
Do the roofline, windows and façades incorporate variation to establish individual character?	✓		
Does the massing next to private open space of adjacent properties reduce the sense of scale?		✓	

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This forms part of application		
# HAP18-0005		
Planner Initials	BC	 City of Kelowna DEVELOPMENT PLANNING

Abbott Street Heritage District

Design Rationale for 2210 Abbott Street

Overview

There exists a wide variety of housing styles in the district from Victorian Revival to Moderne. Despite the diversity, there exists a commonality in the richness of styles.

The treatment of windows, expressed with vertical proportions and multiple panes created a sense of scale, in contrast with the large picture windows of today.

Architectural elements like gabled dormers and period detailing create a sense of historical provenance.

The proposed character for the duplex residence at 2210 Abbott St., is Georgian Revival. The Maclean House (1869 Maple St.) is a fine Colonial Georgian Revival example of a story and a half home. The Georgian Manor Home character more appropriately suits the proposed 2 storey facade. The Georgian Revival Manor Home is characterized by orderly and symmetrical fenestration, differing from the Colonial primarily with the cornice feature at the eaves. The style includes tall vertical, multi-paned windows and occasionally dormer windows above the cornice line.

Proposed Design

The proposed design features a 2 storey facade with the orderly and symmetrical fenestration, typical of Georgian Revival. This is evident on the lake side, and highlighted with a Georgian-style Conservatory bay, with tall, vertical, multi-paned windows.

On the Royal Avenue side, the same orderly symmetry is proposed with the inset porch at the base and the gabled dormers above. The length of the facade features a glazed stairwell - tall vertical multi-paned windows with wide mullions and casings. This feature is clad in stone much like the JoeAnna's House, to break-up the length of the facade.

The house features a strong rusticated base, to "ground" the building and to provide scale to the 2 storey facade, much like the ground floor of the Strathcona Building.

The architectural detailing is a critical element of the design:

- The style and character of the windows harkens to the past with multiple panes, vertical proportions, structural mullions and wide casings.
- The proportions of the cornice are significant, to be in scale with the building.
- Balconies and terraces feature decorative, historical styled metal railings, broken-up with solid wainscot-style panels.
- Individual gabled dormers feature mullion windows create a more intimate scale than a single large dormer.
- While Georgian Manor Homes often have a shallow roof, the steeper and more prominent roof element is more in keeping with this historical district.
- The use of transom and sidelight windows, as exemplified in the Maclean House.
- An arched multi-paned window is featured on Royal Ave., typical of many craftsman style homes on Abbott St.

Attached are proposed elevations with the above comments noted.

Urban Context: Scale, Massing & Streetscape

OVERVIEW

The Abbott Street historical provenance is a key factor directing the design. The urban context and streetscape are also important considerations.

This site has 2 such characteristics to consider in contextually fitting into the neighbourhood.

MASSING

The larger massing of 2 homes should fit in with the scale of the neighbourhood. While referencing Georgian Revival, specifically the style of the Georgian Manor Home (see example), which combines larger massing with a historical character, was the inspiration for this design.



The distinctive roof cornice, hip roof, dormers and symmetrical fenestration are defining features. The 'blocky' massing, however, would be contextually over-scaled for this location.

The building should be in-scale with the street, however, articulation of the facade requires a departure from the traditional style,. Articulation of the mass includes setting back part of the second floor, projection with a covered entry and focal architectural elements.

STREETSCAPE

This site is unique in that it has 2 street-fronts - Abbott Street and Royal Avenue. While Abbott Street is the principal street-front, Royal Avenue is the larger frontage and has the dominant building exposure. (Refer to attached Streetscape illustrations)

Abbott Street

The Accessory building, as noted in the historical report (by ANCE) follows the 'average building setback' from Abbott Street. While this is not the principle residence, it should address the street with a visual 'front door' to Abbott Street. This important as the principal residence is not as visible front Abbott Street and has its entrance fronting Royal Avenue.

Royal Avenue

This can be considered the principal elevation. While a typical elevation along Abbott Street may be 40 ft.+ in width, this facade is double that width. The passerby should not be visually over-whelmed by the length and scale.

The length of the building is visually scaled-down with articulation of the mass and introducing architectural elements and composition. The 82 ft. length of cornice at the roof is visually interrupted with the stairwell, which provides a vertical architectural element to balance the long facade. The double height arrangement of windows provide a visual 'lightness' to the facade, breaking up the solid wall.

The adjacent symmetrical composition of entrance, 2nd floor terrace, curved window-head and dormers create a focal point and order to the elevation. As one proceeds towards the lake, the corner bay window visually 'wraps-around' to the lake front elevation.

OVERVIEW

New homes in this district need to complement its historical provenance. While there is a wide range of styles, representing different eras, there is a sense of individuality to the homes.

Styles of historical revival depart from the original styles they mimic by reflecting regional differences, local materials, and personal tastes of the home owners. A Georgian revival may contain craftsman features or Victorian elements. Though not historically accurate, the resulting designs are reflective of the local residents and create unique neighbourhoods.

The quality of construction, materials and attention to details are equally important in maintaining the character of the Abbott Street Historical District.

The importance of streetscape, scale and massing are critical to a pleasant, walkable environment. While maintaining a historical character, scale, massing and articulation of a building also strongly contributes to how it fits into the neighbourhood.



← ABBOTT STREET

ROYAL AVENUE STREETSCAPE (WITH FENCING & SCREENWALL)
SCALE = 1:200

LAKE →



ABBOTT STREET STREETSCAPE

→ ROYAL AVENUE

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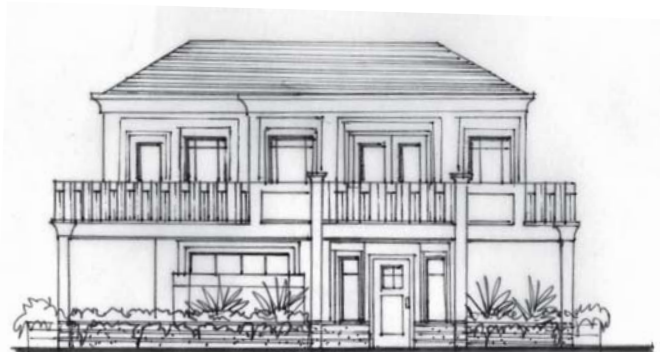
Incorporation of the Heritage Report Recommendations

*This addition to the design rationale should be reviewed in concert with the original **Design Rationale for 2210 Abbott Street** document.*

The Heritage Report provides recommended strategies and design options on the last page of the report. They address the Abbott Street and Royal Avenue elevations. The design will be adapted to incorporate these recommendations:

Abbott Street Elevation

Abbott Street is the primary street and the elevation will be revised to adopt **all of the recommended strategies**. These include introducing symmetry, scaling down entrance pilasters, and removing elements that disrupt the roofline.



Royal Avenue Elevation

The Abbott Street Heritage District is characterized with abundant trees and landscaping, which creates a sense of place and integrates the homes into their sites.

There is a concerted effort to provide symmetry on the principal portion of this elevation at the entrance. The dormers, 2nd floor glazing and terrace are aligned to provide this. The enhancement of the landscaping with more trees to frame this symmetry will provide a focus on this elevation, and provide a visual calming of the stairwell.

On a typical site, the depth of the home would not be seen from the street. As this is a corner site, this becomes visible and important. The landscaping provides a human scale to this long elevation, while also providing a visual focus and integration with the site..





VINEYARD
DEVELOPMENTS

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City of Kelowna DEVELOPMENT PLANNING		

City of Kelowna
Planning Department
1435 Water Street
Kelowna BC, V1Y 1J4

March 29, 2019

To whomever it may concern,

RE: Vineyard Developments Ltd. Rebuild Proposal at 2210 Abbott Street - Kelowna

This report is to comment on the appropriateness of the proposed rebuild at 2210 Abbott Street, a property within the Abbott Street Heritage Conservation Area. The below observations consider the proposal's alignment with both the HCA's Guidelines for new development as well as with the Standards & Guidelines for the Conservation of Historic Places in Canada.



left: Architectural drawing of the proposed new carriage house - Abbott Street elevation.

Below: Architectural drawing of the proposed new carriage house and main house - Royal Avenue elevations.

source: Richard Chow Architect

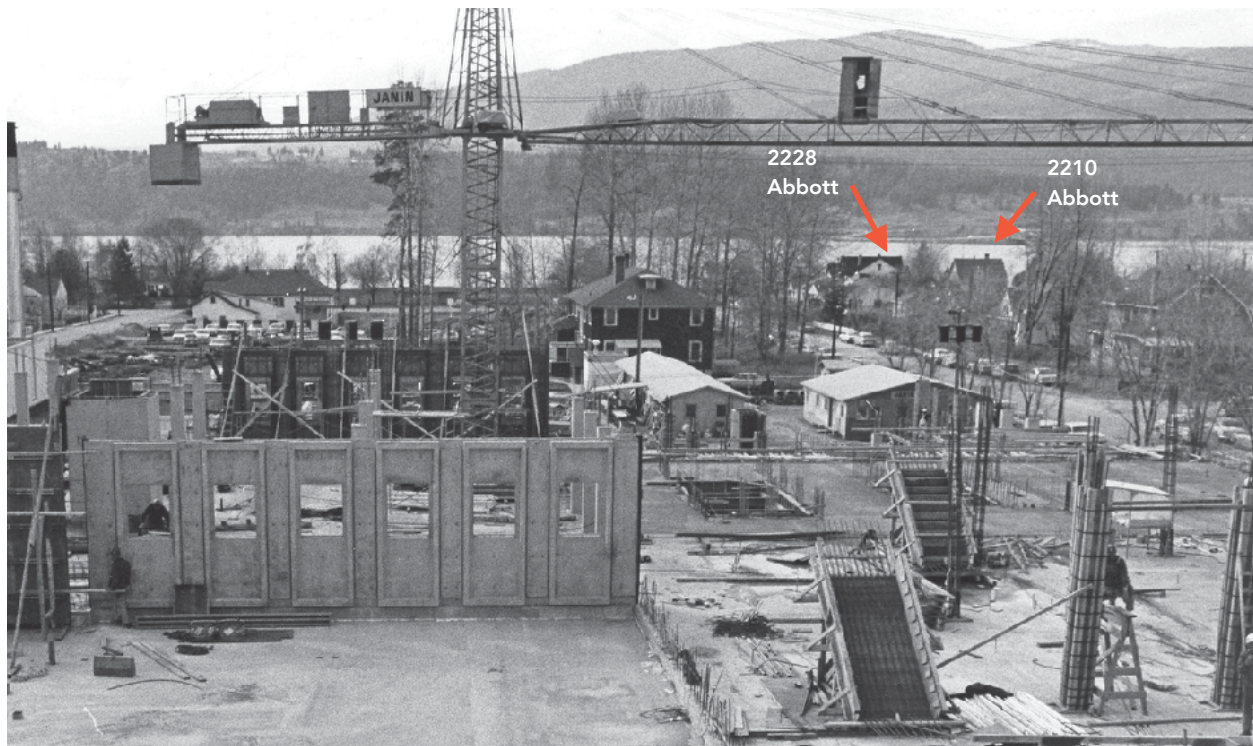


Brief history of development

The lower area of Abbott Street, from Park Avenue south, was first developed in the 1920s. This was part of the expansion of Kelowna's residential district south from Mill Creek during Kelowna's 1920s construction boom. The expansion included the extension of Abbott Street, which on the eve of World War I, essentially ended at Park Avenue. By the 1930s, the southern blocks of Abbott were gaining a reputation as an exclusive, lakefront area and continued to be filled out into the early 1940s.

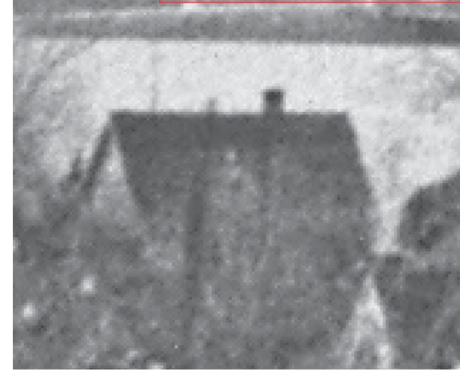
The first two properties in the 2200 block were constructed in the 1930s at 2210 and 2228 Abbott. These houses presented a uniquely small block, as they were the only two homes in the 2200 block of Abbott flanked by Royal and Strathcona Avenues in the 30s and 40s. The third house at 2248 Abbott was added in the 1950s.

The below photograph, of the construction of Block B of the Kelowna General Hospital in 1968, shows a glimpse of the original house built in the 1930s on the subject property, alongside its neighbour which still stands today at 2228 Abbott.



Kelowna Public Archives # 2767, March 1968

The original 1930s house on the subject property, its roofline visible in a crop from the 1968 photo (right), was demolished in 1985. It appears to have faced Royal Avenue and to have had a small detached garage accessed by a curved driveway from Royal Avenue (see aerial on page 6).



Right: partial view of 2210 Abbott Street, constructed in 1930s.
 Source KPA #2767

The house that replaced it, (pictured below), was constructed that same year and was considered an 'early suburban' style house on the Style Register list the Abbott Street & Marshall Street Heritage Conservation Areas Development Guidelines (Appendix D - 1997). This second house to be built on the property was demolished in 2015.



2210 Abbott Street, 1985-2015, Royal Avenue elevation. Source: Google Streetview 2014



2210 Abbott Street, 1985-2015, Abbott Street elevation. Source: Google Streetview 2014

The property next door at 2228 Abbott Street, the only adjacent building, was constructed in the 1930s on a double lot, and is considered a 'late arts & crafts' style on the above mentioned Style Register list. From a historic architecture perspective however, its style aligns more with the English Cottage Revival design of the 1930s with its informal character, multiple low-pitched gable roofs, deep set back on the lot and curved driveway. Although we only have a very partial view of it, the first 1930s house at 2210 Abbott with its side-gabled roof, tall chimney, large front yard and curved driveway, was also most likely a Revival style house.



Above: current photographs of 2228 Abbott Street, constructed in the 1930s.
Source: Google Streetview

Evaluating heritage values and significance

From the late 1930s to the 1960s, 2210 Abbott was the home of Stan A. and Joyce F. Underhill. Dr. Ambrose Stanley "Stan" Underhill was one of the pioneer doctors of Kelowna. He arrived in Kelowna in 1927 to join Dr. B.F. Boyce, the Okanagan's first doctor. In 1934, he opened his own office at 463 Bernard Avenue and this eventually became the Underhill Clinic which had a new building constructed at 1635 Abbott St. in 1956 where it remained until 1994.

Born in Moline, Manitoba, in 1897, Stan Underhill grew up and went to school there. His father had originally homesteaded there, and the farm still remains with the Underhill descendants. Dr. Underhill joined the Canadian forces during the First World War, and went overseas early in 1917, transferring to the Royal Flying Corps where he served as a scout pilot. Following the war, he returned to Canada. Dr. Underhill arrived in Kelowna in June of 1927, after completing his medical training. In 1930, he married Joyce McLeod of Grand Forks. Joyce was the employed at P.B. Willits' drug store. She had been encouraged to move to Kelowna by her

brother, Carson McLeod of the Royal Bank. The Underhills had two daughters: Mrs. R. Ensign (Doreen) and Mrs. R.J. Bennett (Lois), Both of Kelowna, and eight grandchildren.

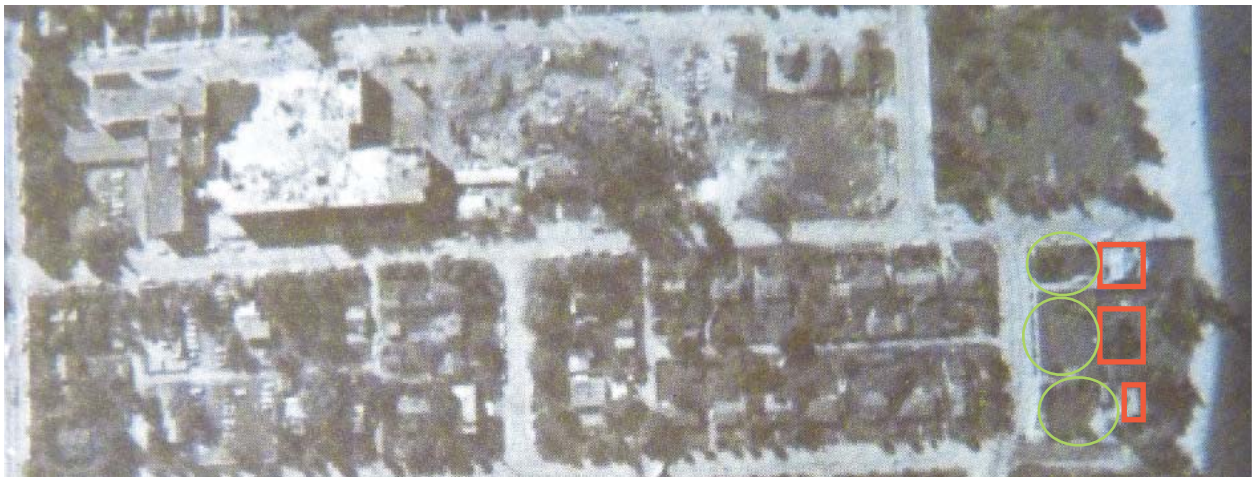
In 1941, Dr. Underhill joined the RCAF as a medical officer, and served at various posts throughout western Canada. Dr. W.F. Anderson had joined him in practice in 1938, and maintained both practices until he returned in 1944. Dr. Underhill retired from practice in 1967.

Stan Underhill was an active member of the community. He served as president of the Kelowna Gyro Club, president and director of the Kelowna Golf and Country Club, director of Calona Wines Ltd. and was a member of St. George's Lodge AF and AM. During the exciting years of Kelowna's hockey team, the famous Kelowna Packers, he was their team doctor, and travelled with them even to the U.S.S.R. In addition, Dr. Underhill was an honorary member of the College of Physicians and Surgeons of British Columbia and served as its president in 1952. Underhill Street in Kelowna is named for this family.

Recommendations and strategies to inform the design of the new build

Siting From the Abbott Street Heritage Conservation Area Guidelines: "Maintain the established front yard setback by placing additions and new constructions within 10% of the adjacent or average building setback."

The historic siting for dwellings along the immediate lake-facing blocks of Abbott Street was deeper set into the property leaving a prominent front yard, as per the only relatively integral property at 2228 Abbott Street and the below 1968 aerial. The houses are outlined in red and the front yards are circled in green.

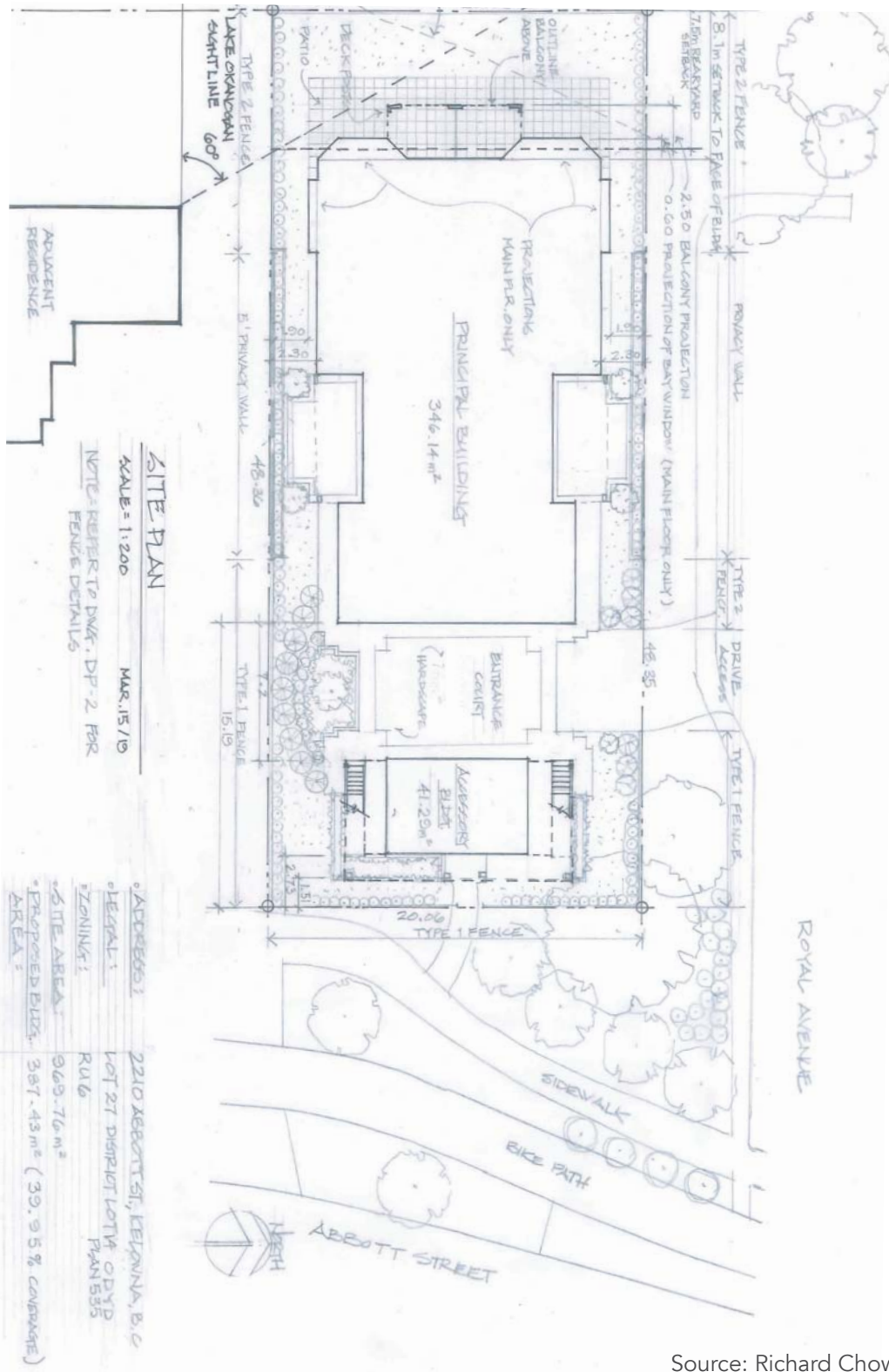


Aerial of Kelowna, September 9, 1968. Source: KPA 2005.042.214

However, development in recent years has allowed for the fronts of the properties to be developed and in many cases, accessory and garage buildings have been constructed on the historic front yards. As this is the case for most of the properties in the 2100 block, and was the case for the subject property from 1985 to 2015, the subject proposal with two buildings and a carriage house sited close to the Abbott Street property line would follow the 'average building setback'.



Proposed site plan



Source: Richard Chow Architect

House style

From the Abbott Street Heritage Conservation Area Guidelines:

"The dominant architectural style for the streetscape should prescribe the style of new buildings while the established patterns prescribe scale, massing and streetscape relationships...compatible with the form and character of the existing context. However, it is not required that the architectural style of new buildings be consistent with the dominant style of the block."

The chosen traditional style which inspires the proposed new build is Georgian Revival. Although this is not a common architectural style within the HCA, the historic development period of the subject block as well as the style of the adjacent house at 2228 Abbott align with the 1930s trend for Revival house styles. A 1930s inspired Revival style design is thus an appropriate reference point for a new build design.



left: Georgian Revival style house illustration. Source: Vancouver Heritage Foundation

The Georgian Revival design is part of the family of the Classical/Colonial Revival designs that were popular in the 1930s; specifically it has a more formal character than the Romantic Revival family (English Cottage, Tudor, Spanish etc.) and tends to feature symmetrical elevations. The above illustration from the [Vancouver Heritage Foundation's](#) Interactive Encyclopedia of Traditional House Styles shows the style's typical hip roof, central entrance and symmetrical fenestration pattern on a typical Georgian Revival facade.

The visible elevations of the proposed new build which would impact the streetscape character in the HCA are the Abbott Street and Royal Avenue elevations of the carriage house, and the Royal Avenue elevation of the main house. Both will be reviewed here for their alignment with the Abbott Street Heritage Conservation Area Guidelines as well as with Canadian Standards & Guidelines for the Conservation of Historic Places,.

Proposed new build - carriage house - Abbott Street elevation



The above proposed elevation will be highly visible to the public and impact the character of the immediate Abbott Street streetscape. There is no question that the design appears inspired by traditional architectural but the elevation composition contains elements from several historic styles, some of which are disproportionate in size or placement - thus resulting in a confusing design statement. These are:

1. The several inconsistent window styles and dimensions on this single elevation, an approach that is not in keeping with the Georgian Revival style which features one consistent window size and style per elevation or storey. Georgian Revival windows would typically be double-hung, rectangular windows. Often the windows would be multi-paned with equal light size and proportions.
2. The columns and pilasters in a variety of dimensions is not used in the Georgian Revival design. The ground level columns are oversized for the style. Entrance columns typically frame the main entrance opening. The upper storey pilasters piercing the roofline is not correct for the style either.
3. Seconds storey balconies are very uncommon in the Georgian Revival style, and if present, are usually contained to the roof above the front entrance.
4. Most importantly, the symmetry typical of Georgian Revival elevations (or other Classical Revival styles) is completely absent here.

Summary - The design of this elevation conflicts with both the HCA Design Guidelines as well as with national standards & guidelines in that additions to historic places (which is what this new build is) should not combine elements from several traditional architectural styles.

Proposed new build - carriage house - Royal Avenue elevation

The below proposed elevation will be highly visible to the public and impact the character of the immediate Abbott Street streetscape. The elevation itself is relatively symmetrical and balanced with both windows and columns in consistent dimensions and a clear, uninterrupted hip roofline - all important features of the Georgian Revival style.



Proposed new build - main house - Royal Avenue elevation



The above proposed elevation will be highly visible to the public and impact the character of the immediate streetscape. The design appears inspired by traditional architectural but the elevation composition contains elements from several historic styles, some of which are disproportionate in size or placement - thus resulting in a confusing design statement:

1. There are several inconsistent window styles and dimensions on this single elevation, an approach that is not in keeping with the Georgian Revival style which features one consistent window size and style per elevation or storey. Georgian Revival windows would typically be double-hung, rectangular windows. Often the windows would be multi-paned with equal light size and proportions.
2. The "Giant order" 2.5 storey pilasters framing a glazed curtain-wall is an overbearing, temple-like motif that has no prescendent in historic Kelowna houses or residential neighbourhoods. It disrupts the potential symmetry of the remaining portions of this elevation and adds a grandiose character to the building's massing which is already taller and denser than the previous buildings on the site.
3. Pilasters disrupting the roofline is not correct for the style.
4. Most importantly, the symmetry typical of Georgian Revival elevations (or other Classical Revival styles) is completely absent here.

Summary - The design of this elevation conflicts with both the HCA Design Guidelines as well as with national conservation standards & guidelines in that additions to historic places (which is what this new build is) should not combine elements from different architectural styles. This elevation illustrates a jumble of historic references that bear little or no resemblance to the Georgian Revival style it purports to be: Colonial Revival dormers, over-scaled Greek Revival elements, and a range of window types and sizes ultimately creating confusion. Lacking is the simple, straight forward symmetry and balance found in the style to which the proposed design supposedly refers to.

Summary of conflicts with HCA and Canadian conservation guidelines

"New development should be compatible with the form and character of the existing context" (HCA) - the current design for the main house, Royal Avenue elevation, is too grandiose for the immediate character of the surrounding blocks in its dense massing and some of its over-scaled architectural elements.

"Larger buildings should use architectural design techniques to reduce the apparent massing and emulate the established neighbouring building massing." (HCA) - Although the Royal Avenue elevation is expressed in sections which could help reduce the overall mass, there is not one focal section which could distract the eye from the rest of elevation. Instead it reads as a collection of competing feature elements.

"Roof form complexity, roof line silhouette, and the use of secondary elements (dormers, gables, chimneys, etc.) should be consistent with the building style." (HCA) - both the Royal and Abbott elevations lack symmetry and do not respect the integrity of the hip roofline in the Georgian Revival (or Colonial Revival) style. The design mixes influences from several traditional styles.

"Make new additions physically and visually compatible with, subordinate to and distinguishable from the historic place." (Canadian Standards for Conservation) - the proposed design is not compatible with nor subordinate to its historic area.

Recommended strategies and design options to better reflect the character defining elements of the subject property's

Tone down the Royal Avenue elevation by removing the three storey curtain wall, reducing the amount and size of window openings and introducing some calming symmetry. Do not interrupt the rooflines.

Adjust the Abbott Street elevation by introducing symmetry, scaling down the entrance pilasters (traditionally to the top of the entrance porch roofline) and removing elements that disrupt the roofline.

The goal is not to imitate a 1930s Georgian Revival house but to take inspiration from traditional architecture proportions, forms and elements while proposing a distinguishably contemporary dwelling. The subject proposal is no doubt distinguishable from authentic historic designs, but misses the mark in being compatible with and subordinate to its historic surroundings for its grandiose scale and features, and for its lack of compatibility or linkage to a single identifiable traditional style.



Elana Zysblat, heritage consultant - BCAHP