

Heritage Alteration Permit

HAP18-0005

ATTACHMENT A	
This forms part of application	
# HAP18-0005	
Planner Initials	BC
City of Kelowna DEVELOPMENT PLANNING	



This permit relates to land in the City of Kelowna municipally known as

2210 Abbott Street

and legally known as

Lot 27, District Lot 14, Osoyoos Division, Yale District, Plan 535

and permits the land to be used for the following development:

Two Dwelling Housing consisting of new single semi-detached dwelling units, and a detached accessory building to be used as garage, storage space and office.

with variances to the following sections of Zoning Bylaw 8000 in accordance with Schedules A and B:

Section 6.5.3(c): General Development Regulations

To vary the maximum height of an accessory building from 4.8m permitted, to 6.88m proposed.

Section 6.5.3(d): General Development Regulations

To vary the minimum front yard of an accessory building from 9.0m permitted, to 1.51m proposed.

Section 13.6.6(g): RU6 – Two Dwelling Housing

To vary the minimum flanking street side yard for the main dwelling from 4.5m permitted, to 2.3m proposed.

The development has been approved subject to any attached terms and conditions, and to full compliance with the approved plans bearing the stamp of approval and the above described development permit number.

The present owner and any subsequent owner of the above described land must comply with any attached terms and conditions.

Date of Decision: **TBD**

Decision By: City Council

Issued Date: **TBD**

Development Permit Area: Abbott Street and Marshall Street Heritage Conservation Area

This permit will not be valid if development has not commenced by **XXXX, 2021.**

Existing Zone: RU6

Future Land Use Designation: S2RES

This is NOT a Building Permit.

In addition to your Development Permit, a Building Permit may be required prior to any work commencing. For further information, contact the City of Kelowna, Development Services Branch.

NOTICE

This permit does not relieve the owner or the owner's authorized agent from full compliance with the requirements of any federal, provincial or other municipal legislation, or the terms and conditions of any easement, covenant, building scheme or agreement affecting the building or land.

Owner: Richard Mohr, Judith L. Mohr and Craig R. Mohr

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		City of Kelowna DEVELOPMENT PLANNING

Terry Barton, Development Planning Department Manager

Date

1. SCOPE OF APPROVAL

This Development Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.

This Development Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this permit, noted in the Terms and Conditions below.

The issuance of a permit limits the permit holder to be in strict compliance with regulations of the Zoning Bylaw and all other Bylaws unless specific variances have been authorized by the Development Permit. No implied variances from bylaw provisions shall be granted by virtue of drawing notations that are inconsistent with bylaw provisions and that may not have been identified as required Variances by the applicant or Municipal staff.

2. CONDITIONS OF APPROVAL

- The dimensions and siting of the building to be constructed on the land be in accordance with Schedules A;
- The exterior design and finish of the building to be constructed on the land be in accordance with Schedule B;
- Landscaping to be provided on the land be in general accordance with Schedule C.

This Development Permit is valid for two (2) years from the date of Development Planning Department Manager approval, with no opportunity to extend.

3. PERFORMANCE SECURITY

As a condition of the issuance of this Permit, Council is holding the security set out below to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Developer and be paid to the Developer or his or her designate if the security is returned. The condition of the posting of the security is that should the Developer fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the Municipality may use enter into an agreement with the property owner of the day to have the work carried out, and any surplus shall be paid over to the property own of the day. Should the Developer carry out the development permitted by this Permit within the time set out above, the security shall be returned to the Developer or his or her designate. There is filed accordingly:

- An Irrevocable Letter of Credit in the amount of **\$80,088.75, or**
- A certified cheque in the amount of **\$80,088.75**

Before any bond or security required under this Permit is reduced or released, the Developer will provide the City with a statutory declaration certifying that all labour, material, workers' compensation and other taxes and costs have been paid.

4. Indemnification

Upon commencement of the works authorized by this Permit the Developer covenants and agrees to save harmless and effectually indemnify the Municipality against:

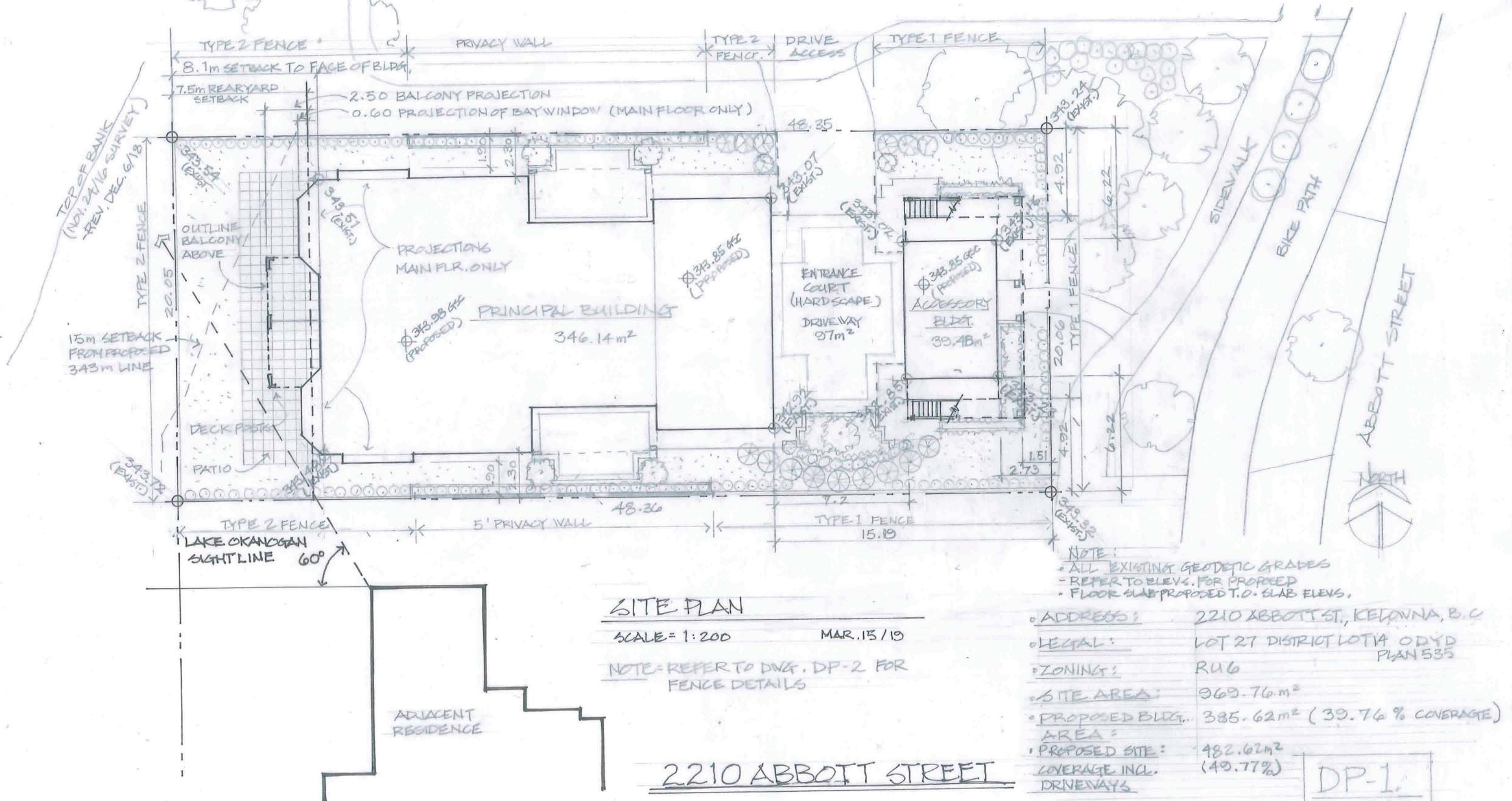
- All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality said Permit.

All costs, expenses, claims that may be incurred by the Municipality where the construction, engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

**The PERMIT HOLDER is the CURRENT LAND OWNER.
Security shall ONLY be returned to the signatory of the
Landscape Agreement or their designates.**



ROYAL AVENUE



SITE PLAN

SCALE = 1:200

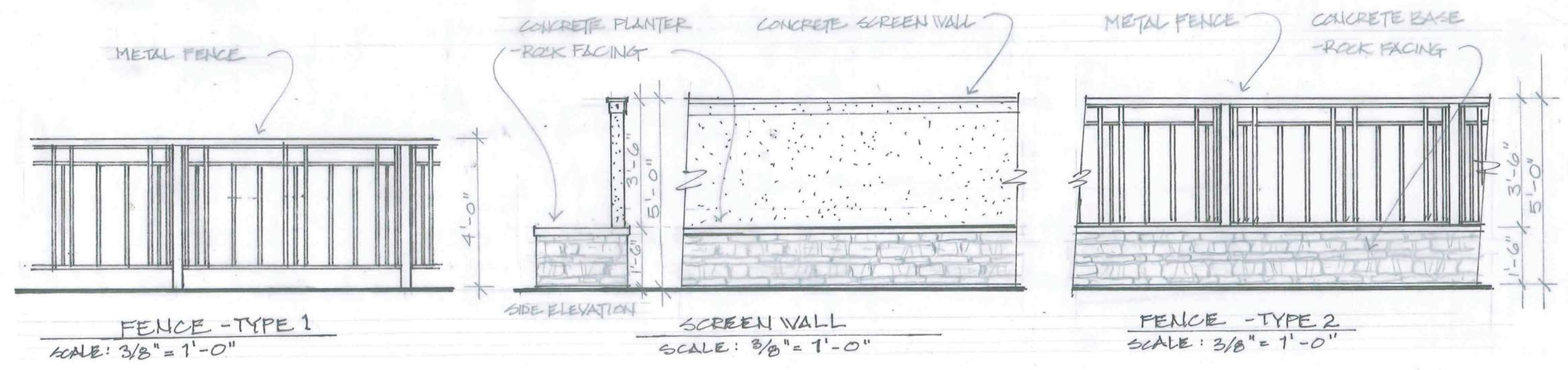
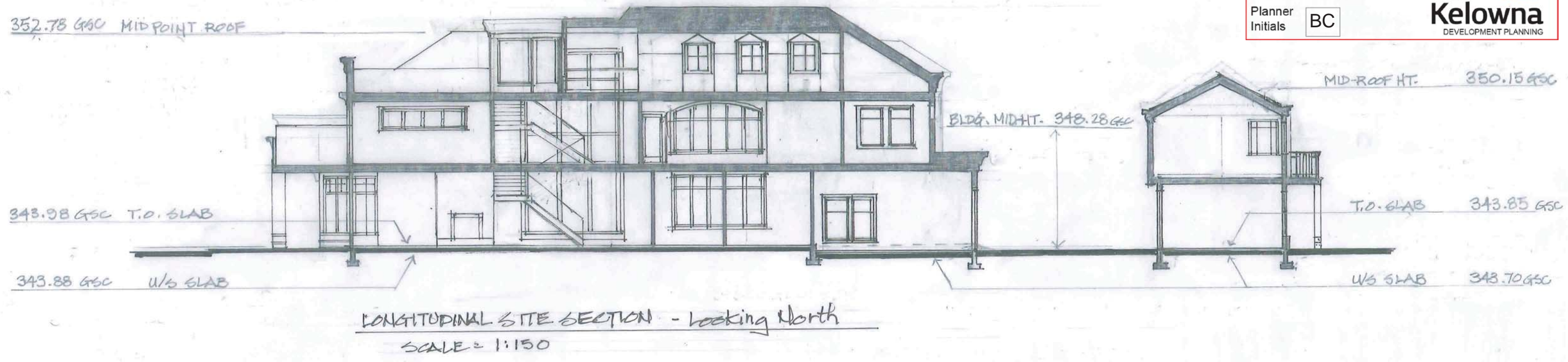
MAR. 15 / 19

NOTE: REFER TO DWG. DP-2 FOR
FENCE DETAILS

2210 ABBOTT STREET

DP-1

MAR. 25 / 19



DP-2

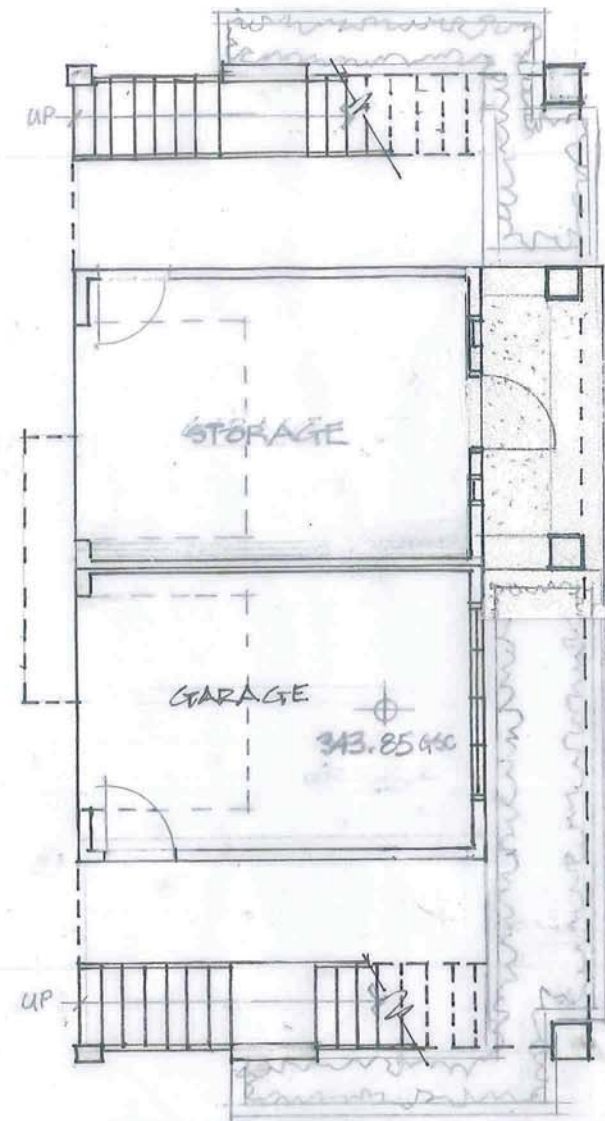
MAR. 25/19

• REV. JUNE 27/19

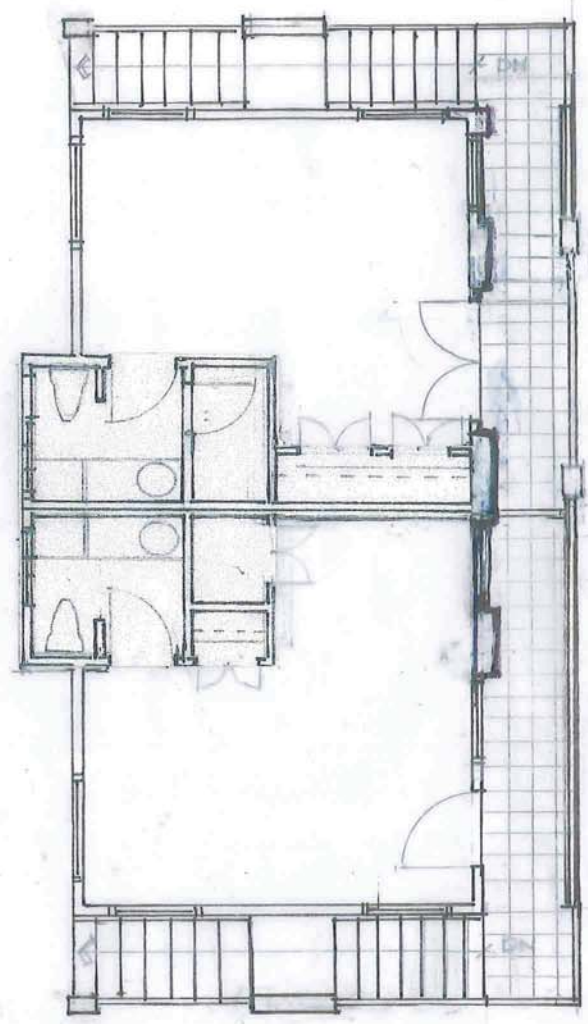
• REV. JUL. 17/19

• REV. AUG. 26/19

• REV. MAR. 26/19



GROUND FLOOR



SECOND FLOOR



ABBOTT STREET ELEVATION (EAST)



ROYAL AVENUE ELEVATION (NORTH)



SOUTH ELEVATION



ENTRANCE COURT ELEVATION (WEST)

ACCESSORY BUILDING
SCALE: 1/8" = 1'-0"

• REV. AUG. 26/19

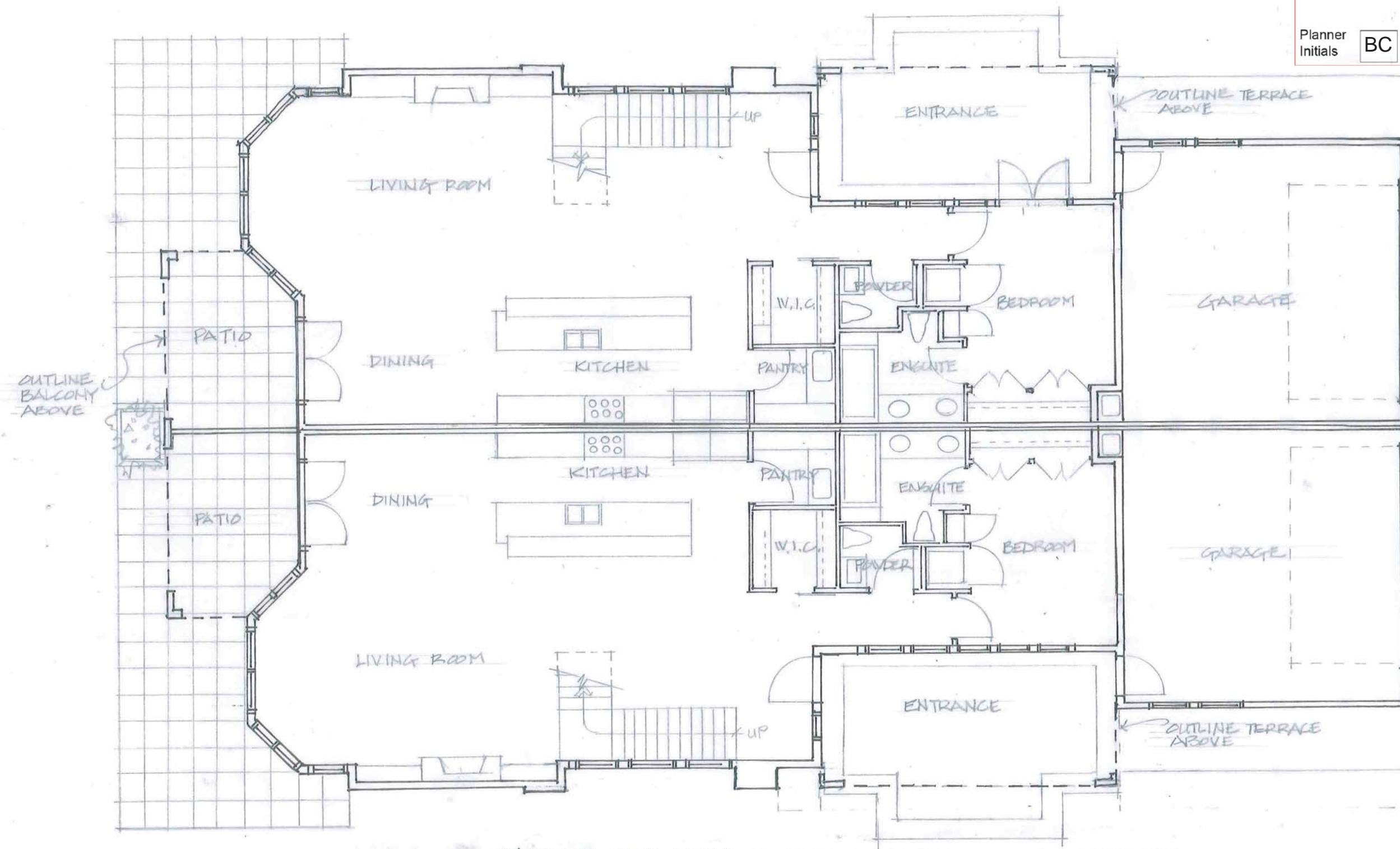
• REV. JUNE 27/19

• REV. JULY 17/19

DP-3

MAR. 25/19

REV. MAR. 30/19 / APR. 1/19



MAIN FLOOR PLAN
 SCALE: 1/8" = 1'-0"

DP-4

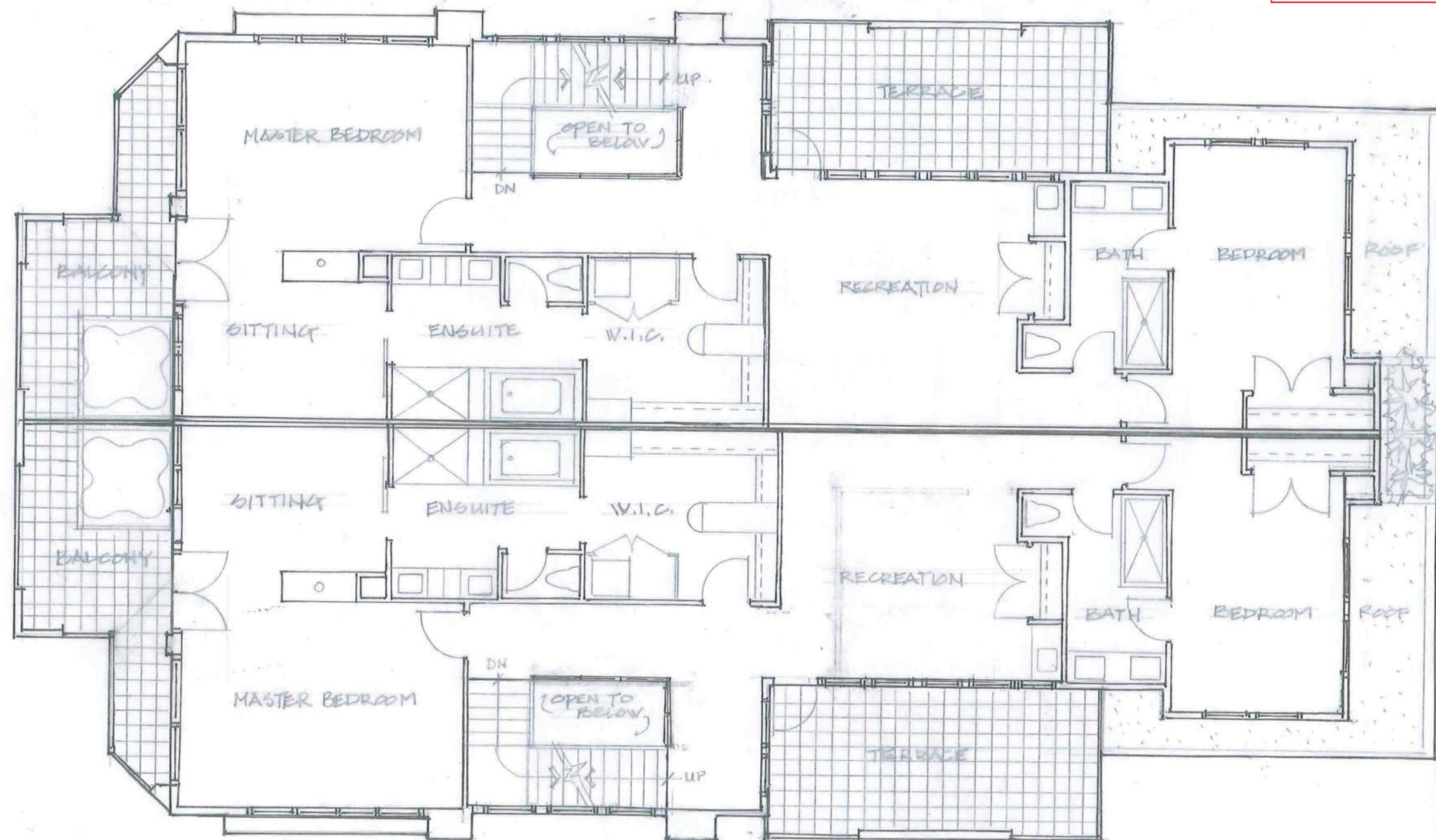
MAR. 25/19

REV. MAR. 27/19

SCHEDULE B

This forms part of application
HAP18-0005

Planner
Initials BC



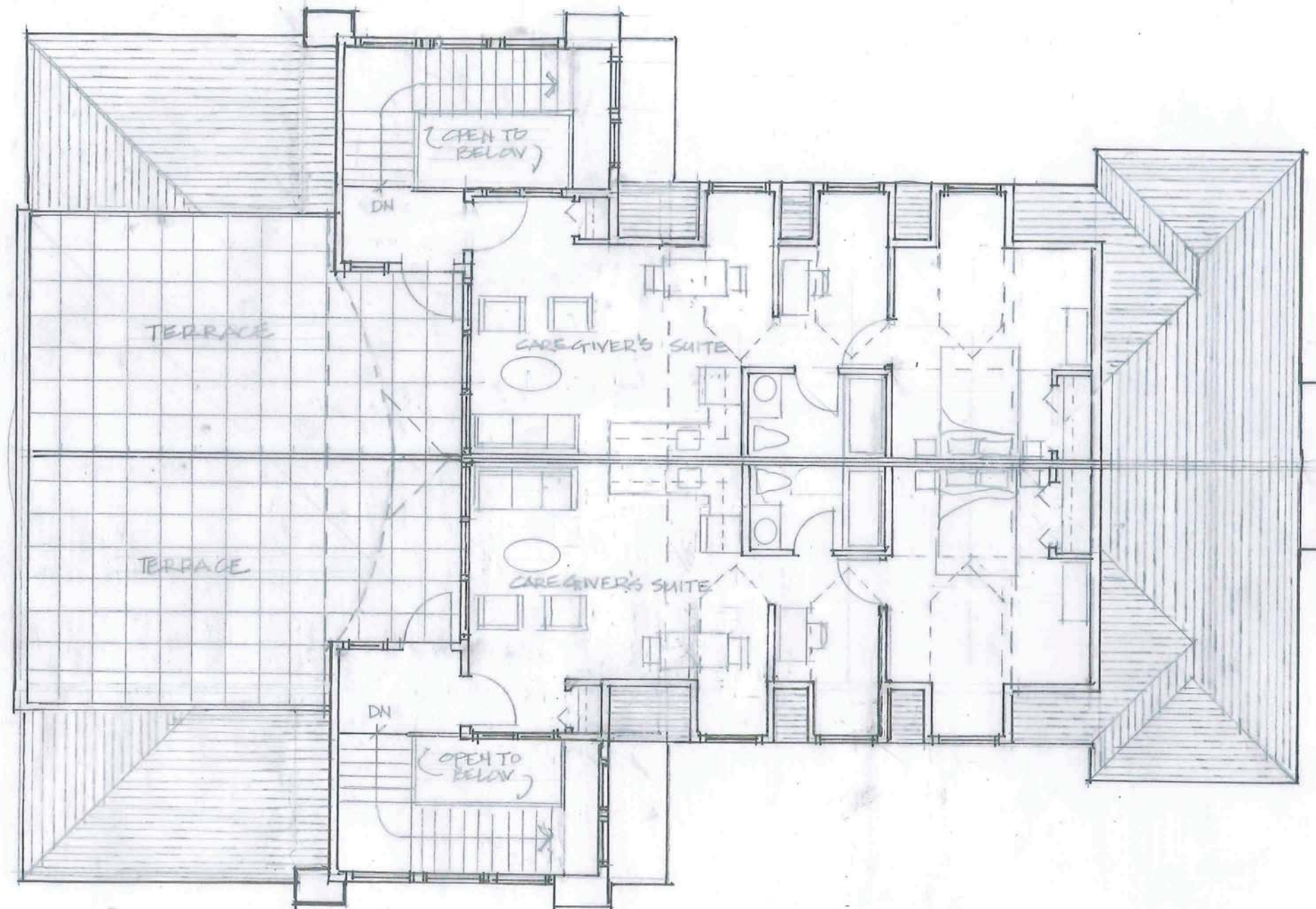
SECOND FLOOR PLAN

SCALE: 1/8" = 1'-0"

DP-5

MAR, 25/19

REV. MAR, 27/19



LOFT PLAN (3RD FLR)
SCALE: 1/8" = 1'-0"

DP-6

MAR. 25/19

REV. MAR. 29/19

REV. APR. 2/19



DP-7

MAR. 31/19

REV. JUNE 27/19

REV. AUG. 26/19

SCHEDULE B

This forms part of application
HAP18-0005

Planner
Initials BC



DP-8

MAR. 31/19

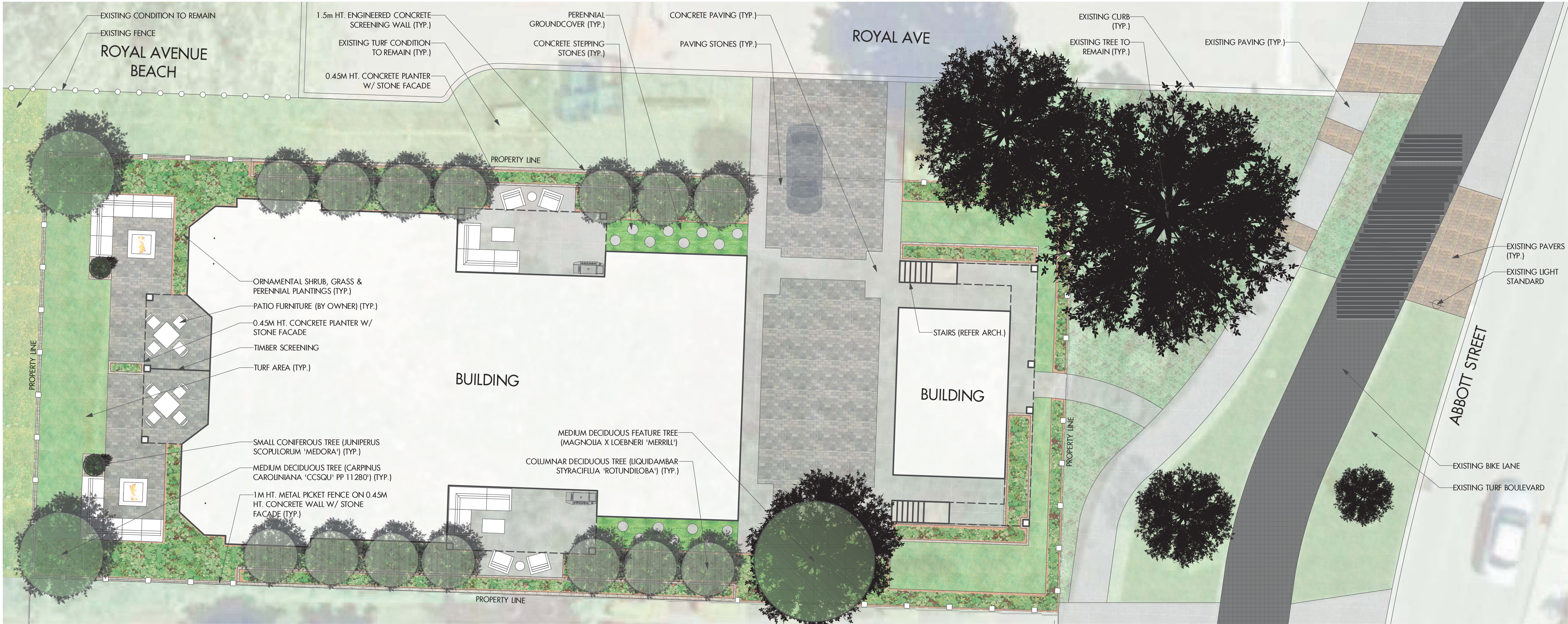
REV. JUNE 27/19
REV. AUG. 26/19



DP-9

MAR. 31/19

REV. JUNE 27/19
REV. AUG. 26/19



OUTLAND DESIGN LANDSCAPE ARCHITECTURE

303 - 590 KLO Road
Kelowna, BC V1Y 7S2
T (250) 868-9270
www.outlanddesign.ca



PROJECT TITLE

2210 ABBOTT STREET

Kelowna, BC

DRAWING TITLE

CONCEPTUAL LANDSCAPE PLAN

ISSUED FOR / REVISION

1	19.07.16	Development Permit
2	19.07.23	Development Permit
3		
4		
5		

PROJECT NO. 19073

DESIGN BY KF

DRAWN BY KF

CHECKED BY FB

DATE JUL 23, 2019

SCALE 1:100

PAGE SIZE 24"x36"

SEAL



DRAWING NUMBER

L1/2

ISSUED FOR REVIEW ONLY

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NOTES

1. PLANT MATERIAL AND CONSTRUCTION METHODS SHALL MEET OR EXCEED CSLA STANDARDS.
2. ALL SOFT LANDSCAPE AREAS SHALL BE WATERED BY A FULLY AUTOMATIC TIMED UNDERGROUND IRRIGATION SYSTEM.
3. TREE AND SHRUB BEDS TO BE DRESSED IN A MINIMUM 75mm WOOD MULCH, AS SHOWN IN PLANS. DO NOT PLACE WEED MAT UNDERNEATH TREE AND SHRUB BEDS.
4. TREE AND SHRUB BEDS TO RECEIVE A MINIMUM 300mm DEPTH TOPSOIL PLACEMENT.
5. SITE GRADING AND DRAINAGE WILL ENSURE THAT ALL STRUCTURES HAVE POSITIVE DRAINAGE AND THAT NO WATER OR LOOSE IMPEDIMENTS WILL BE DISCHARGED FROM THE LOT ONTO ADJACENT PUBLIC, COMMON, OR PRIVATE PROPERTIES.

SCHEDULE C

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Planner
Initials BC





WATER CONSERVATION CALCULATIONS

LANDSCAPE MAXIMUM WATER BUDGET (WB) = 271 cu.m. / year
ESTIMATED LANDSCAPE WATER USE (WU) = 220 cu.m. / year
WATER BALANCE = 51 cu.m. / year
*REFER ATTACHED IRRIGATION APPLICATION FOR DETAILED CALCULATIONS

IRRIGATION NOTES

1. IRRIGATION PRODUCTS AND INSTALLATION METHODS SHALL MEET OR EXCEED THE REQUIREMENTS OF THE WATER USE REGULATION BYLAW NO. 10480 AND THE SUPPLEMENTARY SPECIFICATIONS IN THE CITY OF KELOWNA BYLAW 7900 (PART 6, SCHEDULE 5).
2. THE IRRIGATION SYSTEM SHALL MEET THE REQUIREMENTS, REGULATIONS, AND BYLAWS OF THE WATER PURVEYOR.
3. THE IRRIGATION SYSTEM SHALL BE EQUIPPED WITH AN APPROVED BACKFLOW PREVENTION DEVICE, WATER METER, AND SHUT OFF VALVE LOCATED OUTSIDE THE BUILDING ACCESSIBLE TO THE CITY.
4. AN APPROVED SMART CONTROLLER SHALL BE INSTALLED. THE IRRIGATION SCHEDULING TIMES SHALL UTILIZE A MAXIMUM ET VALUE OF 7" / MONTH (KELOWNA JULY ET), TAKING INTO CONSIDERATION SOIL TYPE, SLOPE, AND MICROCLIMATE.
5. DRIP LINE AND EMITTERS SHALL INCORPORATE TECHNOLOGY TO LIMIT ROOT INTRUSION.
6. IRRIGATION SLEEVES SHALL BE INSTALLED TO ROUTE IRRIGATION LINES UNDER HARD SURFACES AND FEATURES.
7. IRRIGATION PIPE SHALL BE SIZED TO ALLOW FOR A MAXIMUM FLOW OF 1.5m /SEC.
8. A FLOW SENSOR AND MASTER VALVE SHALL BE CONNECTED TO THE CONTROLLER AND PROGRAMMED TO STOP FLOW TO THE SYSTEM IN CASE OF AN IRRIGATION WATER LEAK.

SCHEDULE C

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Planner Initials BC



IRRIGATION LEGEND

- ZONE #1: HIGH EFFICIENCY SUBSURFACE DRIP IRRIGATION FOR MODERATE WATER USE PLANTING AREAS
TOTAL AREA: 76 sq.m.
MICROCLIMATE: WEST EXPOSURE, PARTIALLY SHADED BY TREES & BUILDING
ESTIMATED ANNUAL WATER USE: 42 cu.m.
- ZONE #2: HIGH EFFICIENCY SUBSURFACE DRIP IRRIGATION FOR MODERATE WATER USE PLANTING AREAS
TOTAL AREA: 32 sq.m.
MICROCLIMATE: EAST EXPOSURE, PARTIALLY SHADED BY TREES & BUILDING
ESTIMATED ANNUAL WATER USE: 18 cu.m.
- ZONE #3: HIGH EFFICIENCY SUBSURFACE DRIP IRRIGATION FOR MODERATE WATER USE PLANTING AREAS
TOTAL AREA: 63 sq.m.
MICROCLIMATE: SOUTH EXPOSURE, PARTIALLY SHADED BY TREES & BUILDING
ESTIMATED ANNUAL WATER USE: 46 cu.m.
- ZONE #4: LOW VOLUME POP-UP SPRAYHEADS FOR TURF AREA
TOTAL AREA: 41 sq.m.
MICROCLIMATE: WEST EXPOSURE, PARTIALLY SHADED BY TREES
ESTIMATED ANNUAL WATER USE: 59 cu.m.
- ZONE #5: LOW VOLUME POP-UP SPRAYHEADS FOR TURF AREA
TOTAL AREA: 39 sq.m.
MICROCLIMATE: EAST EXPOSURE, PARTIALLY SHADED BY TREES & BUILDING
ESTIMATED ANNUAL WATER USE: 56 cu.m.



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LANDSCAPE ARCHITECTURE

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PROJECT TITLE
2210 ABBOTT STREET

Kelowna, BC

DRAWING TITLE

WATER CONSERVATION PLAN

ISSUED FOR / REVISION		
1	19.07.16	Development Permit
2	19.07.23	Development Permit
3		
4		
5		

PROJECT NO.	19073
DESIGN BY	FB
DRAWN BY	KF
CHECKED BY	FB
DATE	JUL 23, 2019
SCALE	1:100
PAGE SIZE	24"x36"

SEAL



DRAWING NUMBER

L2/2

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OUTLAND DESIGN
LANDSCAPE ARCHITECTURE

SCHEDULE		C
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# HAP18-0005		
Planner Initials	BC	 City of Kelowna DEVELOPMENT PLANNING

July 23, 2019

2210 Abbott Street

Vineyard Developments
562 101-1865 Dilworth Drive
Kelowna, BC V1Y 9T1
C/o Craig Mohr
Via email to: craig@vineyarddevelopments.com

Re: 2210 Abbott Street – Preliminary Cost Estimate for Bonding

Dear Craig:

Please be advised of the following preliminary cost estimate for bonding of the proposed landscape works shown in the 2210 Abbott Street conceptual landscape plan dated 19.07.16;

- 512 square metres (5,511 square feet) = \$64,071.00

This preliminary cost estimate is inclusive of trees, shrubs, turf, mulch, topsoil, irrigation and hardscape.

You will be required to submit a performance bond to the City of Kelowna in the amount of 125% of the preliminary cost estimate. Please do not hesitate to contact me with any questions about the landscape plan.

Best regards,



Fiona Barton, MBCSLA, CSLA
as per
Outland Design Landscape Architecture

303-590 KLO Road, Kelowna, BC, V1Y 7S2P 250.868.9270
outlanddesign.ca

SCHEDULE	C
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Example of columnar trees being proposed for the landscaping along Royal Avenue streetscape

