



1 SITE LOCATION

SITE DETAILS		PROPOSED PROJECT	
CURRENT ZONING	AR	ADAPTIVE RE-USE	
		METRIC	IMPERIAL
SITE AREA		836.8	9,007.5
SITE WIDTH		22.8	75' "
SITE DEPTH		37.1	121' 10"
SITE COVERAGE			
BUILDINGS	25.0%	2,254.0	
DRIVEWAYS AND PARKING	30.7%	2,771.0	
BUILDINGS, DRIVEWAYS, PARKING	55.7%	5,025.0	
TOTAL NUMBER OF UNITS		3 (2 residential + 1 commercial)	

BUILDING HEIGHT		METRES	FEET
DUPLEX		6.8	22'-7"
EXISTING BUILDING		4.8	15'-10"
BUILDING SETBACKS		METRES	FEET
FRONT		4.5	14' 9"
SIDE FLANKING STREET		1.2	3' 11"
SIDE		2.3	7' 7"
REAR		2.0	6' 7"
PARKING STALLS - UNIT COUNT			
DUPLEX HOUSING		3.0	
COMMERCIAL		3.0	
TOTAL		6.0	

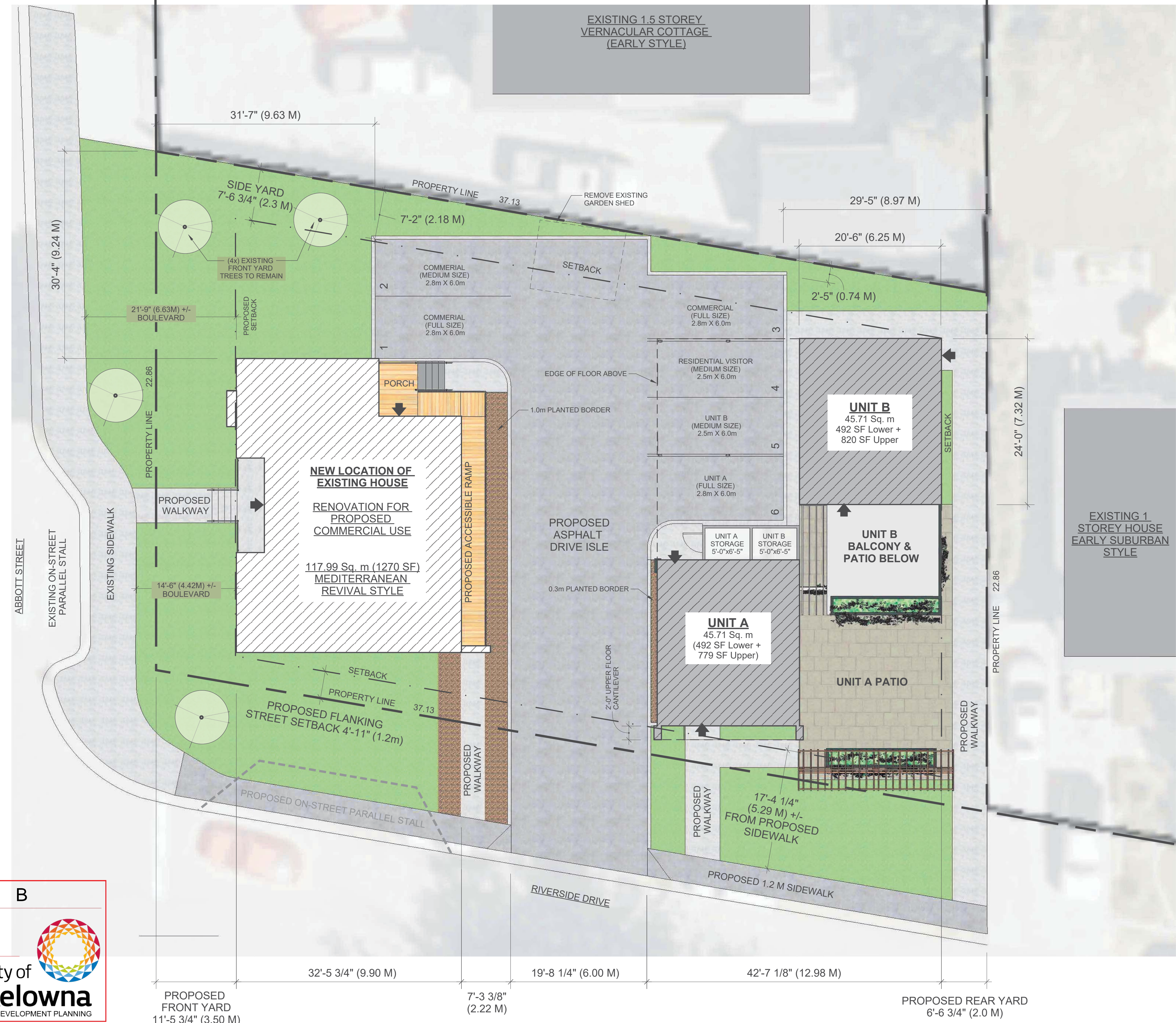
2 ZONING ANALYSIS

SCHEDULE B

This forms part of application
HRA18-0001

Planner Initials **BC**

3 SITE PLAN
1/8" = 1'-0"



GENERAL CONDITIONS
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DATE	ISSUED FOR
2018-03-01	PRELIMINARY SITE PLANNING
2018-07-20	PRELIMINARY FLOOR PLANNING
2018-10-01	HERITAGE REVITALIZATION APPLICATION
2019-05-07	REVITALIZATION D.P. REVIEW

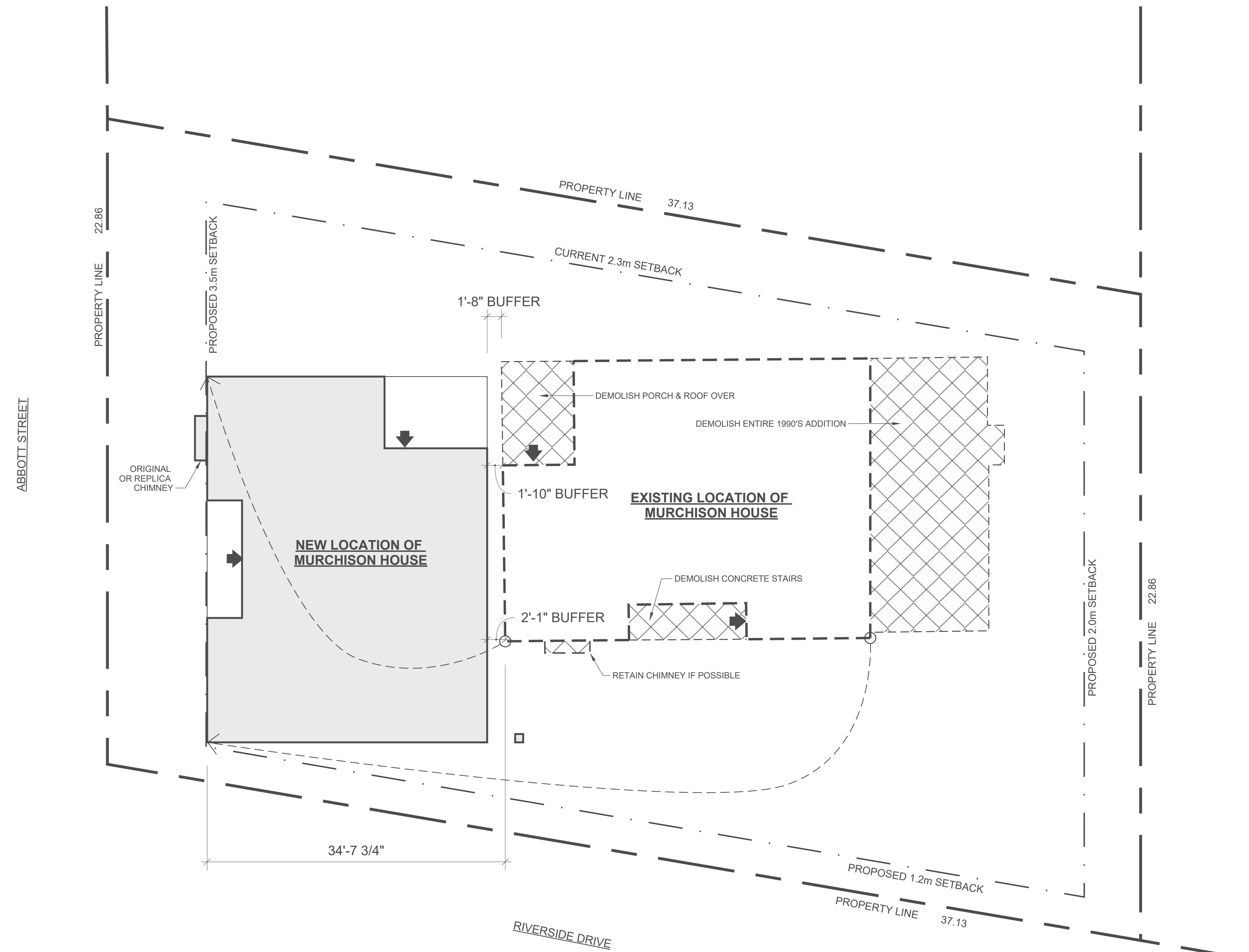
PROJECT TITLE
Murchison House & New Duplex
1781 Abbott Street
Kelowna, BC

SHEET TITLE

Site Plan

SCALE AS NOTED

DRAWING NUMBER



1 HOUSE RELOCATION PLAN
1/8" = 1'-0"

SEQUENCE OF DEMOLITION AND HOUSE MOVING

- 1) DISCONNECT SERVICES TO EXISTING BUILDING
- 2) DEMOLISH 2 SECTIONS OF EXISTING BUILDING, IDENTIFIED ON PLANS
- 3) GUT INTERIOR OF EXISTING BUILDING (EXTERIOR WALL DRYWALL, INSULATION, ELECTRICAL, PLUMBING)
- 4) IF NEEDED, PARTIALLY BACKFILL EXISTING HOUSE BASEMENT TO FORTIFY AGAINST NEW FOUNDATIONS AT THE NEW LOCATION
- 5) EXCAVATE AND PLACE NEW FOUNDATIONS AT THE NEW LOCATION
- 6) STRUCTURALLY PREPARE & FORTIFY EXISTING BUILDING FOR MOVING
- 7) MOVE & ROTATE EXISTING BUILDING CLOCKWISE ON TO NEW FOUNDATION
- 8) DEMOLISH EXISTING FOUNDATIONS AND BACKFILL WITH SUITABLE MATERIAL FOR FUTURE SITE WORK
- 9) REMEDIATE & RENOVATE EXISTING BUILDING TO NEW USE, IDENTIFIED ON PLANS

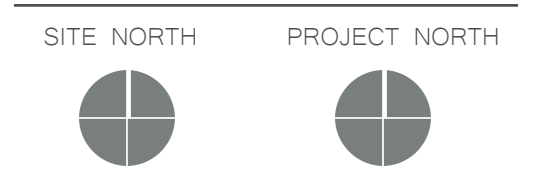
SCHEDULE B

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HRA18-0001

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2018-07-20	PRELIMINARY FLOOR PLANNING
2018-10-01	HERITAGE REVITALIZATION APPLICATION
2019-05-07	REVITALIZATION D.P. REVIEW

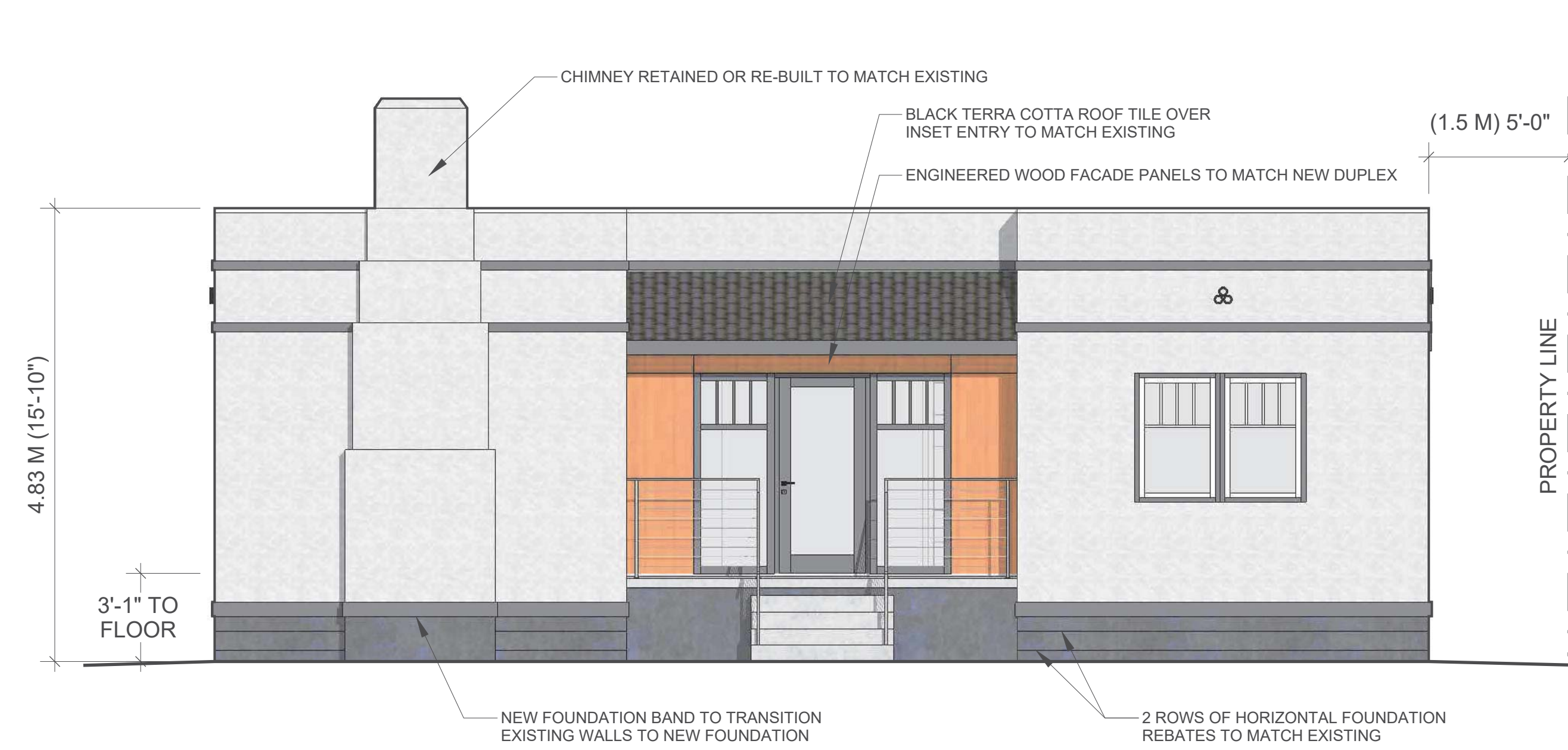
PROJECT TITLE 1802
Murchison House & New Duplex
1781 Abbott Street
Kelowna, BC

SHEET TITLE

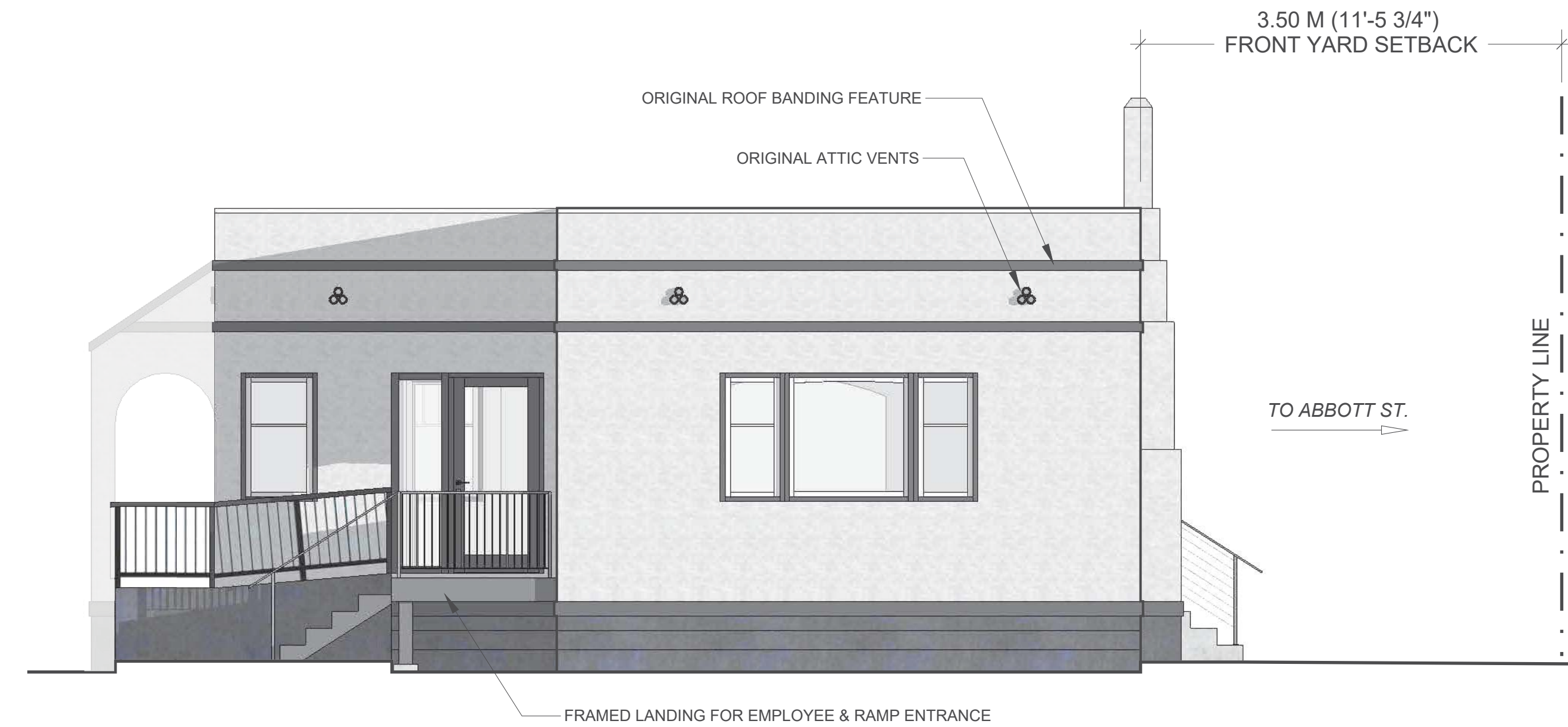
House Relocation Plan

SCALE

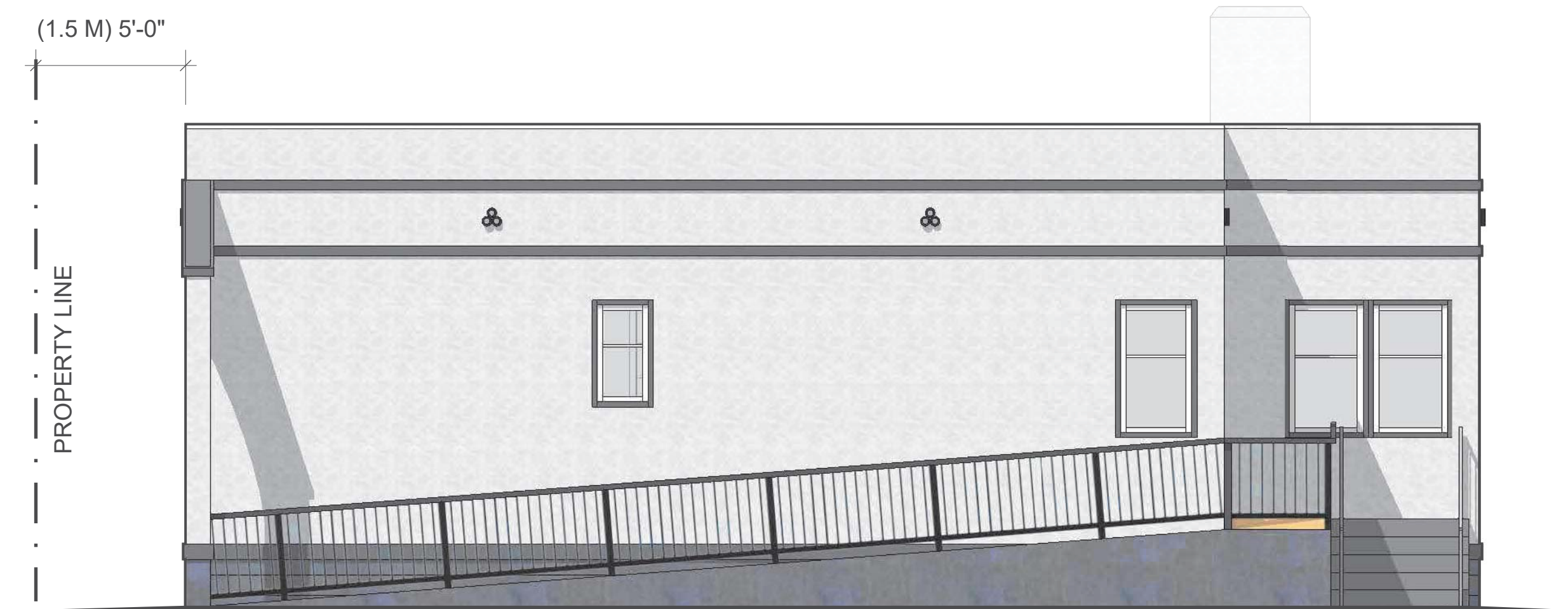
DRAWING NUMBER



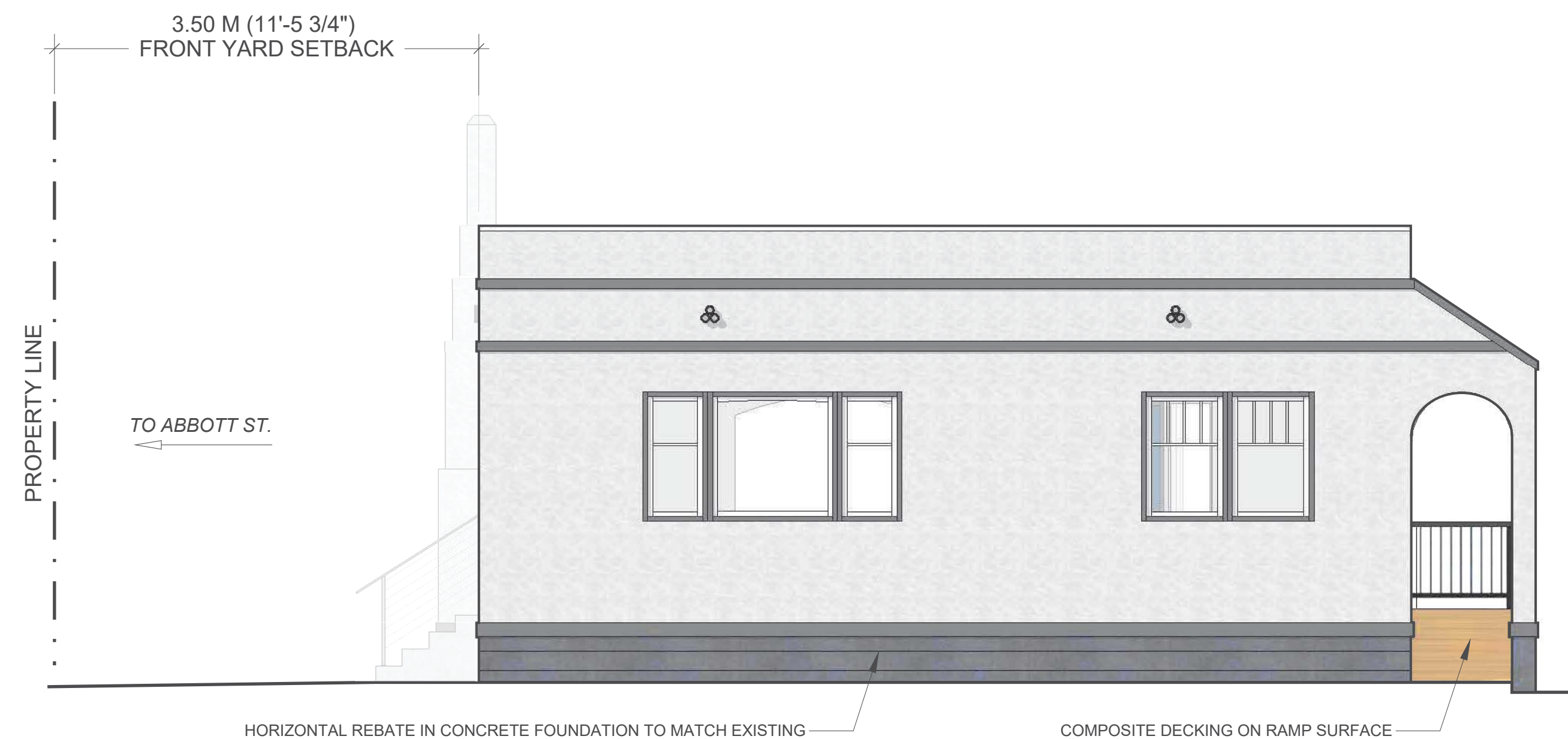
1 WEST ELEVATION
1/4" = 1'-0"



2 NORTH ELEVATION
1/4" = 1'-0"



3 EAST ELEVATION
1/4" = 1'-0"



4 SOUTH ELEVATION
1/4" = 1'-0"

SCHEDULE C

This forms part of application
HRA18-0001

Planner Initials **BC**

CLADDING LEGEND

- EXPOSED ARCHITECTURAL CONCRETE STAIRS
- EXISTING or RECREATED STUCCO TO MATCH ORIGINAL COLOUR & TEXTURE
- FOUNDATION PARGING, PAINTED CHARCOAL COLOUR TO MATCH EXISTING

*ALL PREFINISHED METAL FLASHING IN BLACK, TYPICAL. PARAPET FLASHING TO MATCH STUCCO
*NEW WINDOW COLOUR AND STYLE TO MATCH EXISTING

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2018-03-01	PRELIMINARY SITE PLANNING
2018-10-01	HERITAGE REVITALIZATION APPLICATION
2019-05-07	REVITALIZATION D.P. REVIEW

PROJECT TITLE 1802
Heritage House Renovation
1781 Abbott Street
Kelowna, BC

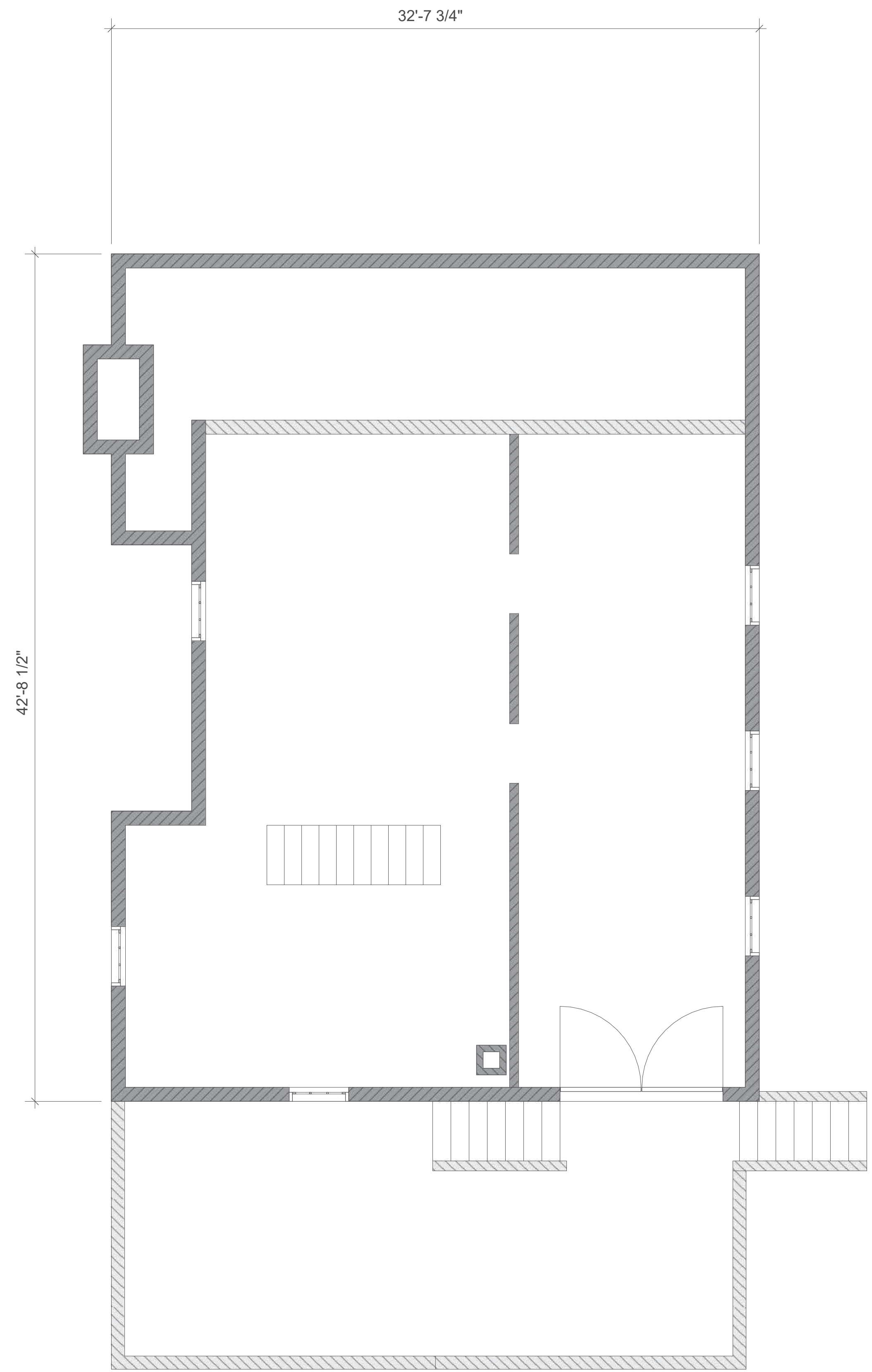
SHEET TITLE

Elevations

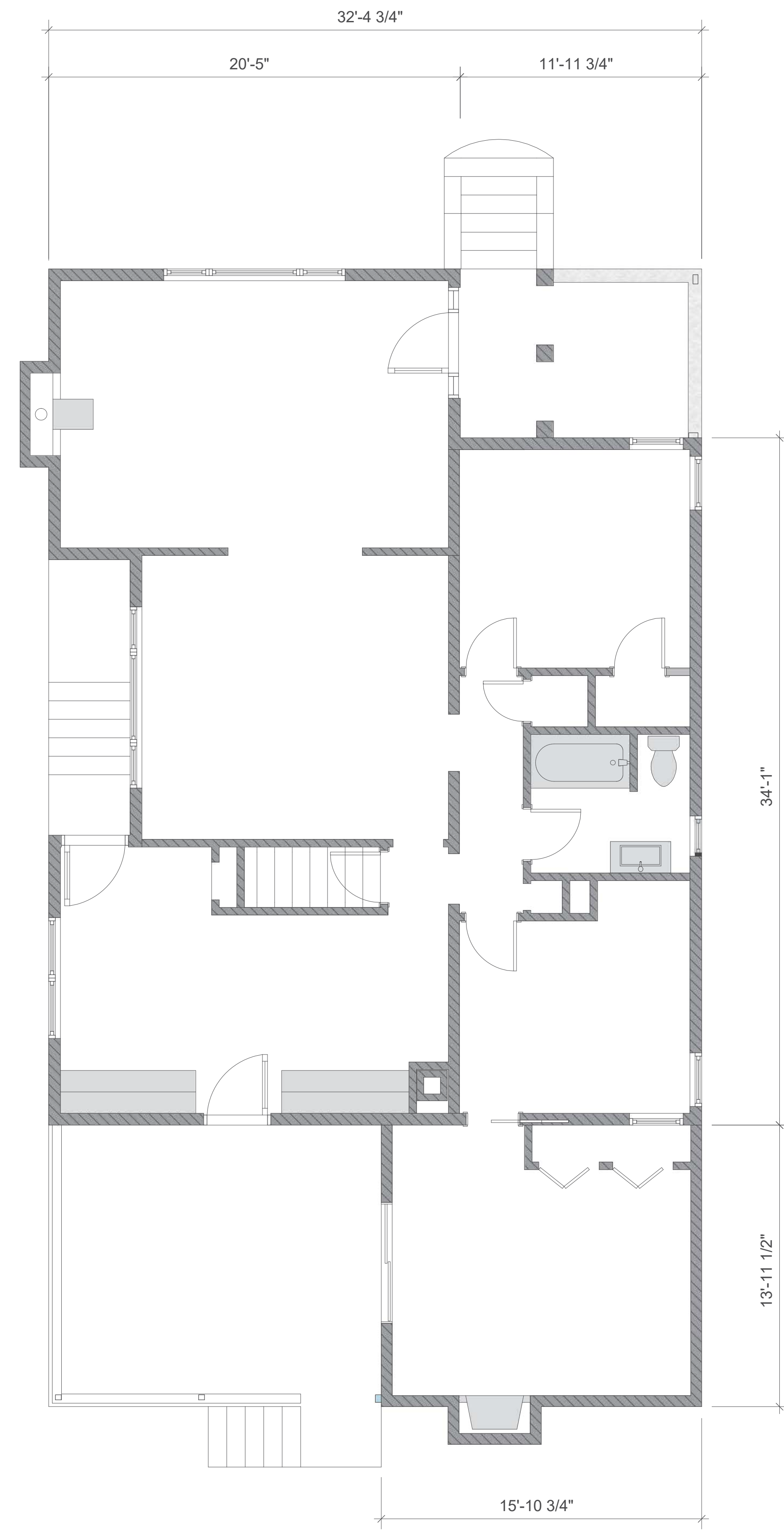
SCALE AS NOTED

DRAWING NUMBER

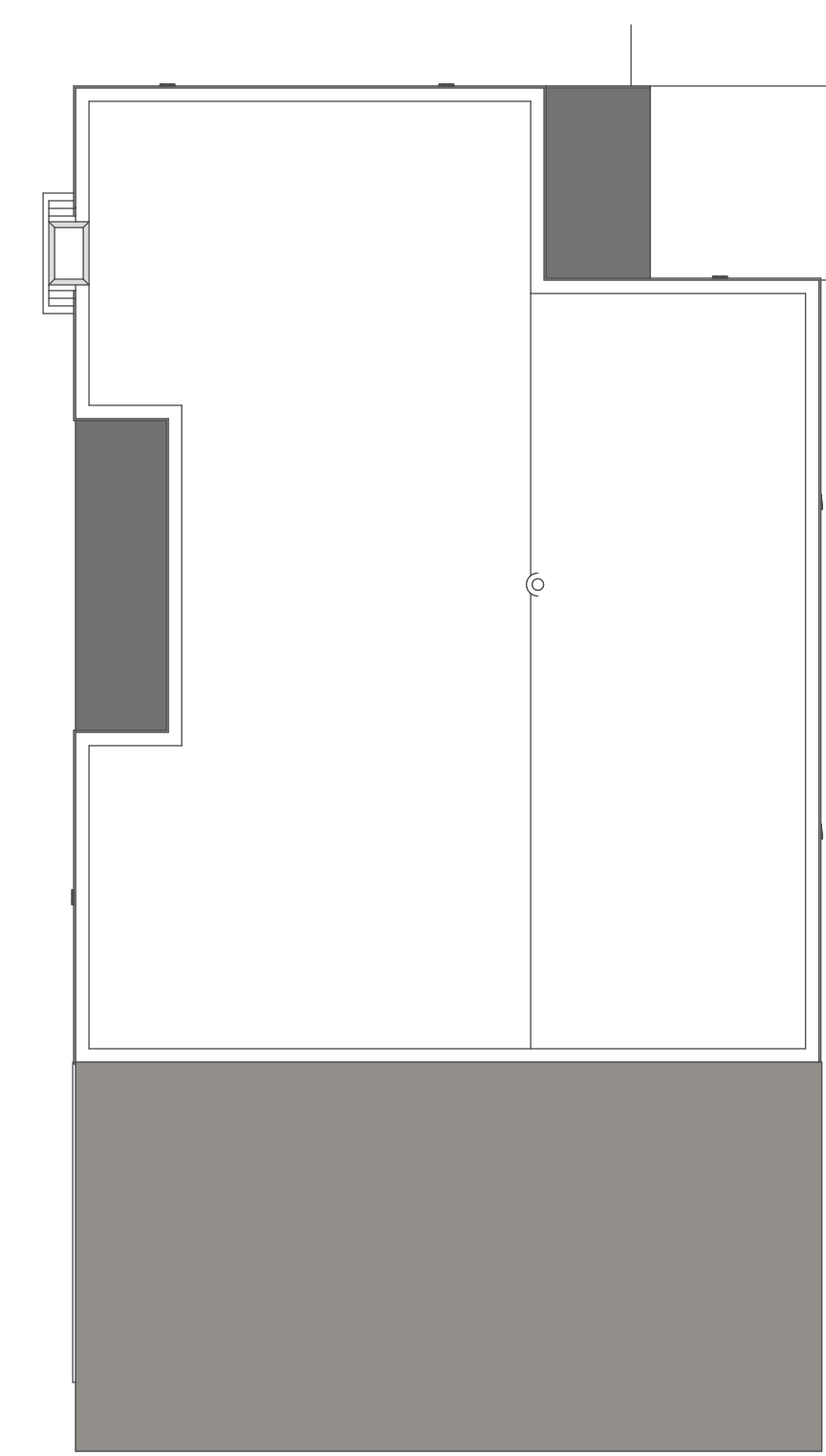
A3.0



1 LOWER FLOOR / FOUNDATION PLAN
1/4" = 1'-0"



2 MAIN FLOOR PLAN
1/4" = 1'-0"



3 ROOF PLAN
1/8" = 1'-0"

SCHEDULE C

This forms part of application
HRA18-0001

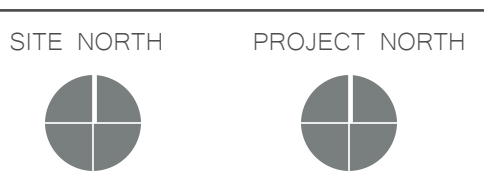
Planner Initials **BC**

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2018-10-01	HERITAGE REVITALIZATION APPLICATION
2019-05-07	REVITALIZATION D.P. REVIEW

PROJECT TITLE 1802
Heritage House Renovation
1781 Abbott Street
Kelowna, BC

SHEET TITLE

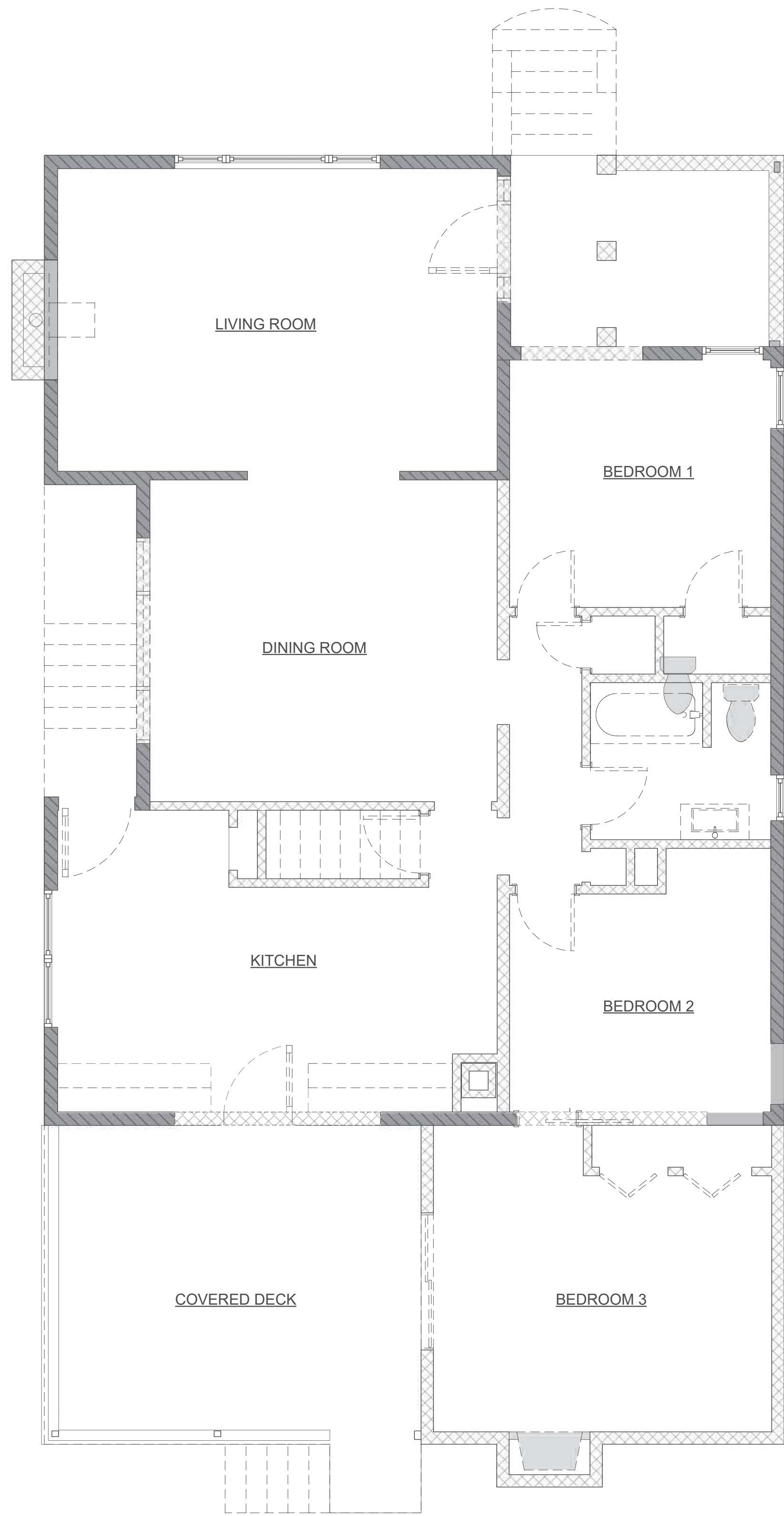
Existing Floor Plans

SCALE AS NOTED

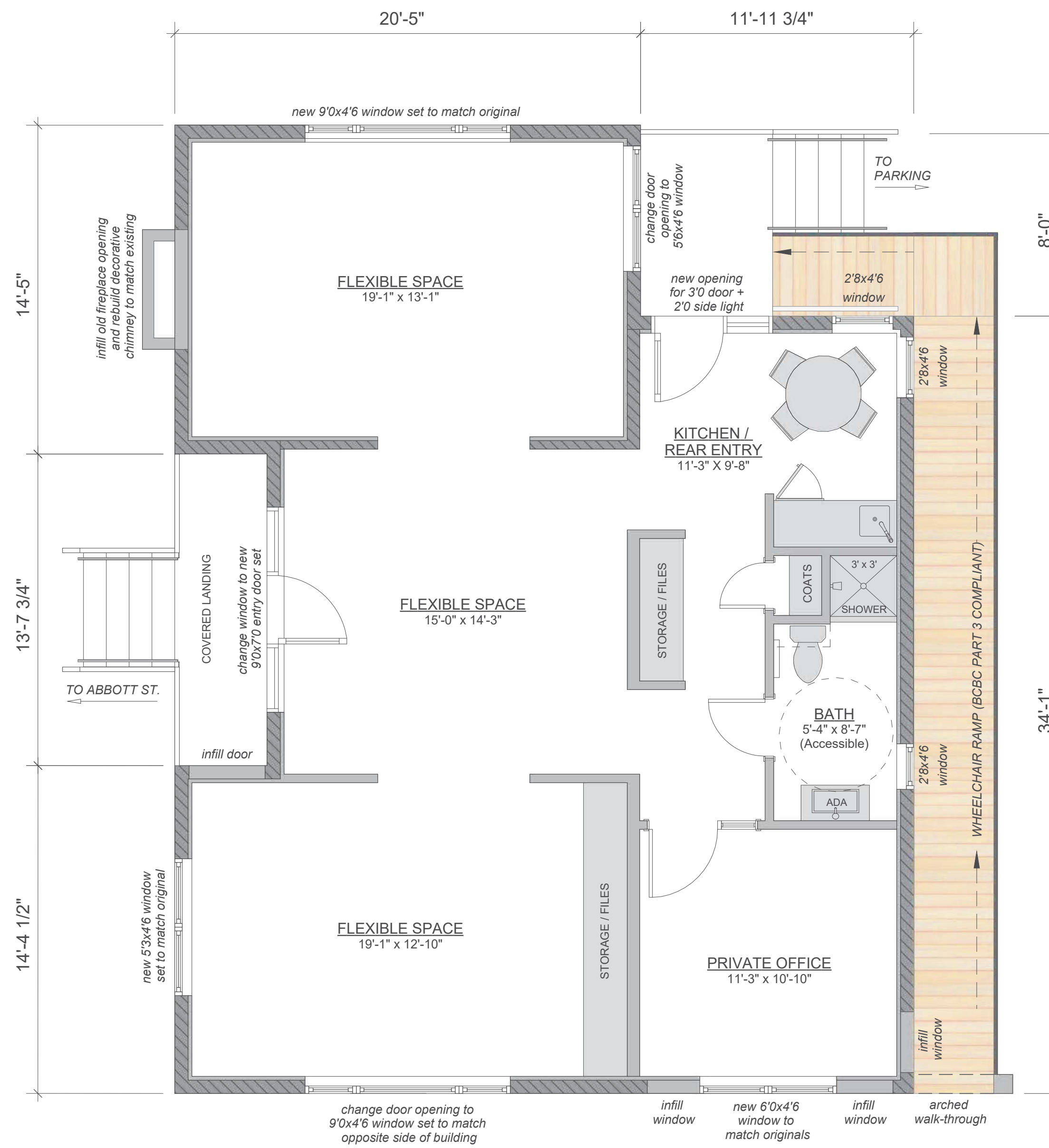
DRAWING NUMBER

A. Main Floor Living	1270 SF
B. Lower Floor (CrawlSpace)	3 SF
Total Living (A+B)	1,270 SF
C. Exterior Stairs/Ramps	242 SF

A2.0

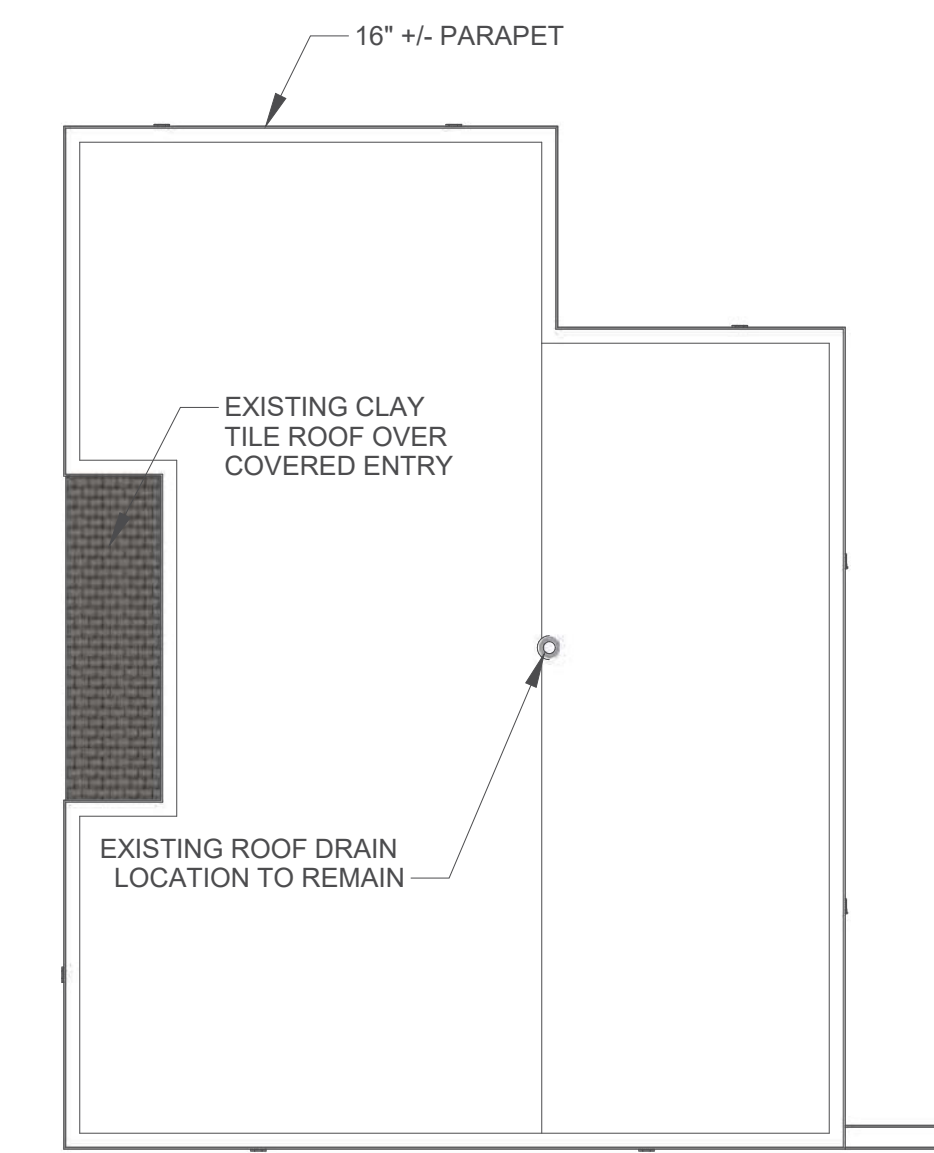


1 MAIN FLOOR - EXISTING / DEMOLITION
1/4" = 1'-0"



EXISTING WALLS / PARTITIONS TO REMAIN
WALLS TO DEMOLISH
NEW PARTITIONS

2 MAIN FLOOR - PROPOSED
1/4" = 1'-0"



3 ROOF PLAN - PROPOSED
1/8" = 1'-0"

SCHEDULE C

This forms part of application
HRA18-0001

Planner Initials **BC**

City of Kelowna
DEVELOPMENT PLANNING

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SITE NORTH PROJECT NORTH



DATE	ISSUED FOR
2018-03-01	PRELIMINARY SITE PLANNING
2018-10-01	HERITAGE REVITALIZATION APPLICATION
2019-05-07	REVITALIZATION D.P. REVIEW

PROJECT TITLE 1802

Heritage House
Renovation
1781 Abbott Street
Kelowna, BC

SHEET TITLE

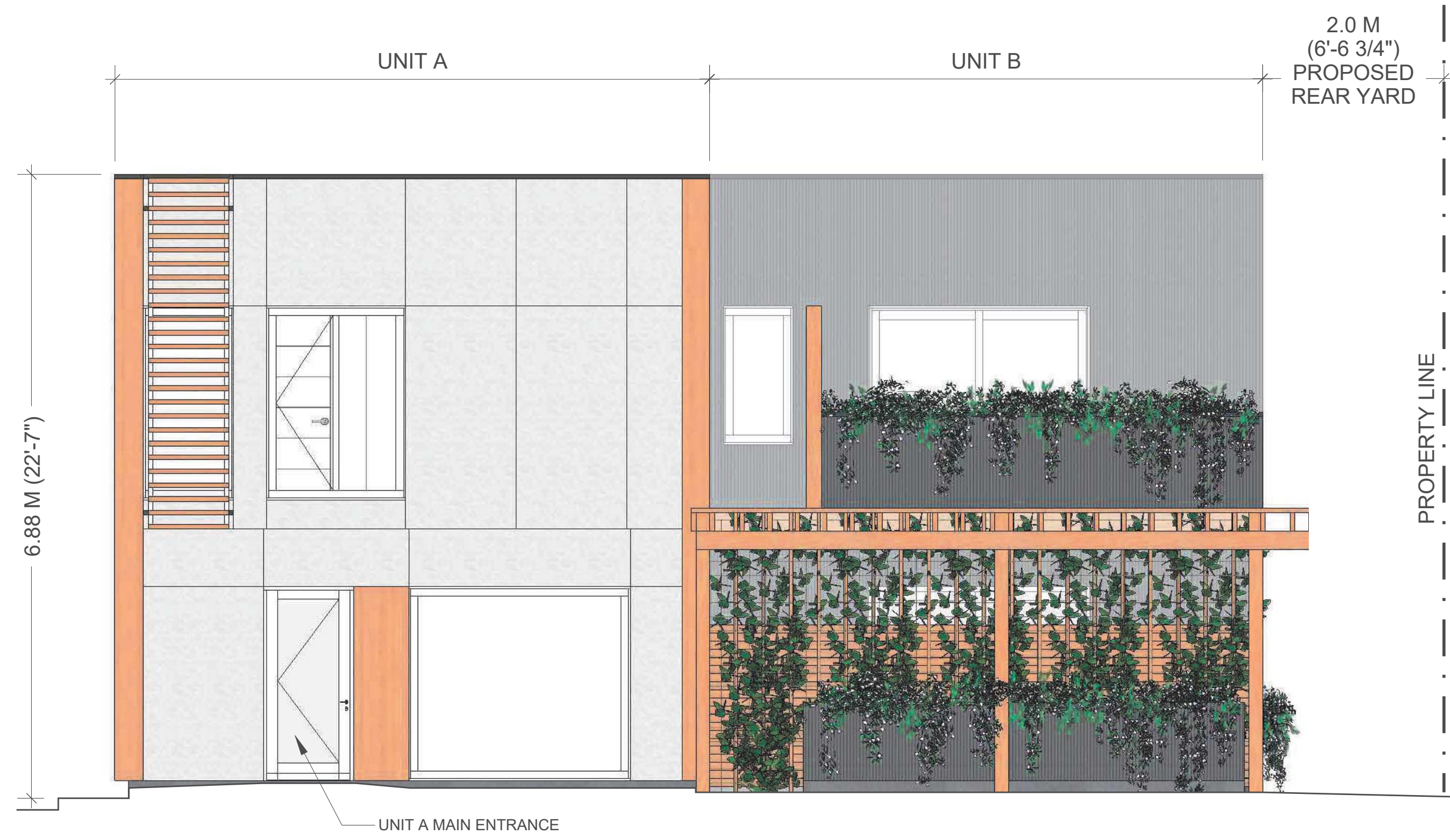
Renovation Floor
Plans

SCALE

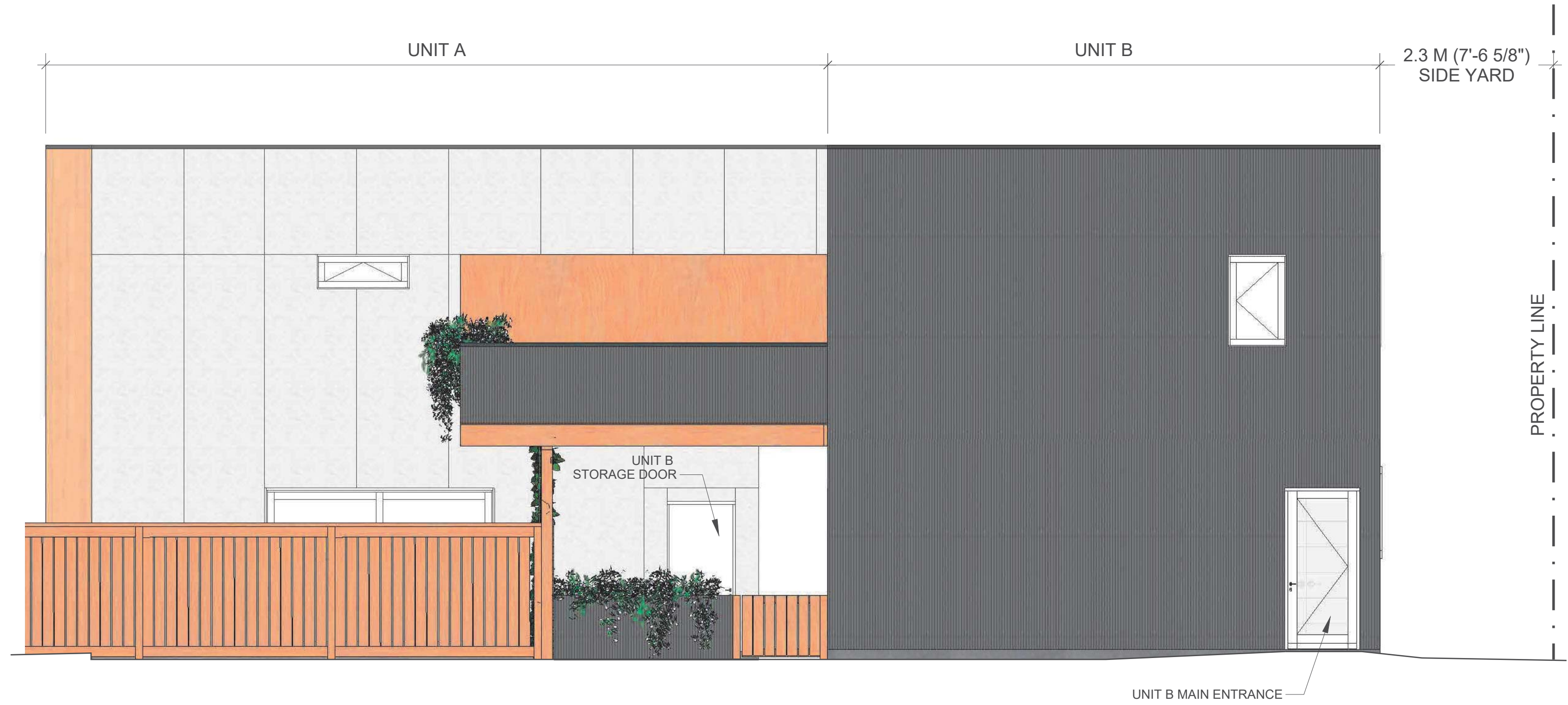
DRAWING NUMBER

A. Main Floor Living	1270 SF
B. Lower Floor (Crawl-space)	5 SF
Total Living (A+B)	1275 SF
C. Exterior Stairs/Ramps	242 SF

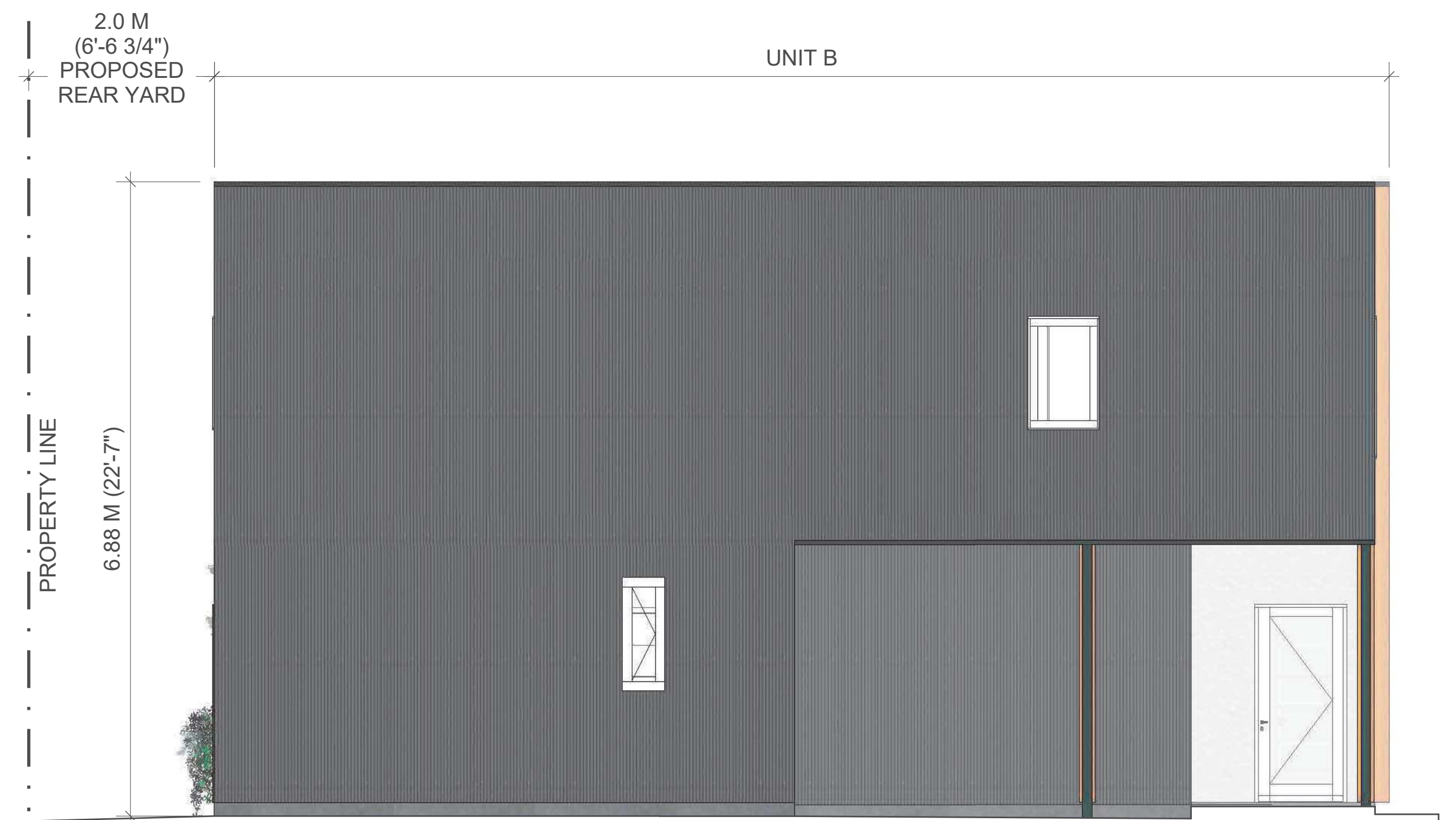
A2.1



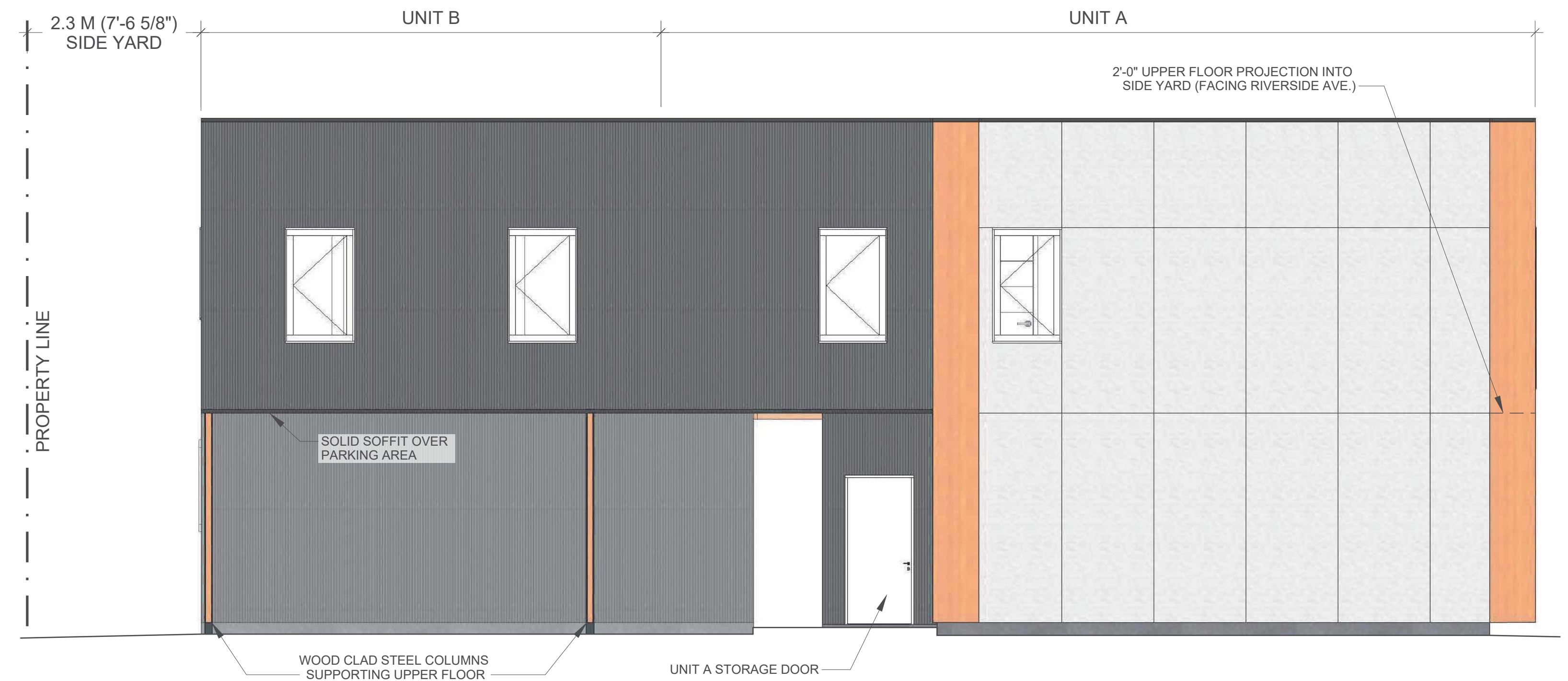
1 SOUTH ELEVATION
1/4" = 1'-0"



2 EAST ELEVATION
1/4" = 1'-0"



3 NORTH ELEVATION
1/4" = 1'-0"



4 WEST ELEVATION
1/4" = 1'-0"

CLADDING LEGEND

- COMPOSITE WOOD PANEL
- STUCCO TO MATCH HERITAGE BUILDING (OR HARDIE SMOOTH PANEL)
- VERTICAL CORRUGATED METAL, CHARCOAL

*ALL PREFINISHED METAL FLASHING IN BLACK
*WINDOW COLOUR TO BE DETERMINED
*TIMBER FENCING / SCREENING AROUND OUTDOOR PRIVATE SPACES NOT SHOWN ON THIS DRAWING - REFER TO 3D RENDERINGS & SITE PLAN

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DATE	ISSUED FOR
2018-03-01	PRELIMINARY SITE PLANNING
2018-06-28	FLOOR PLANNING
2018-07-20	FLOOR PLANNING
2018-10-31	HERITAGE REVITALIZATION APPLICATION
2019-05-07	REVITALIZATION D.P. REVIEW

PROJECT TITLE 1802

New Duplex

1781 Abbott Street
Kelowna, BC

SHEET TITLE

Elevations

SCALE AS NOTED

DRAWING NUMBER

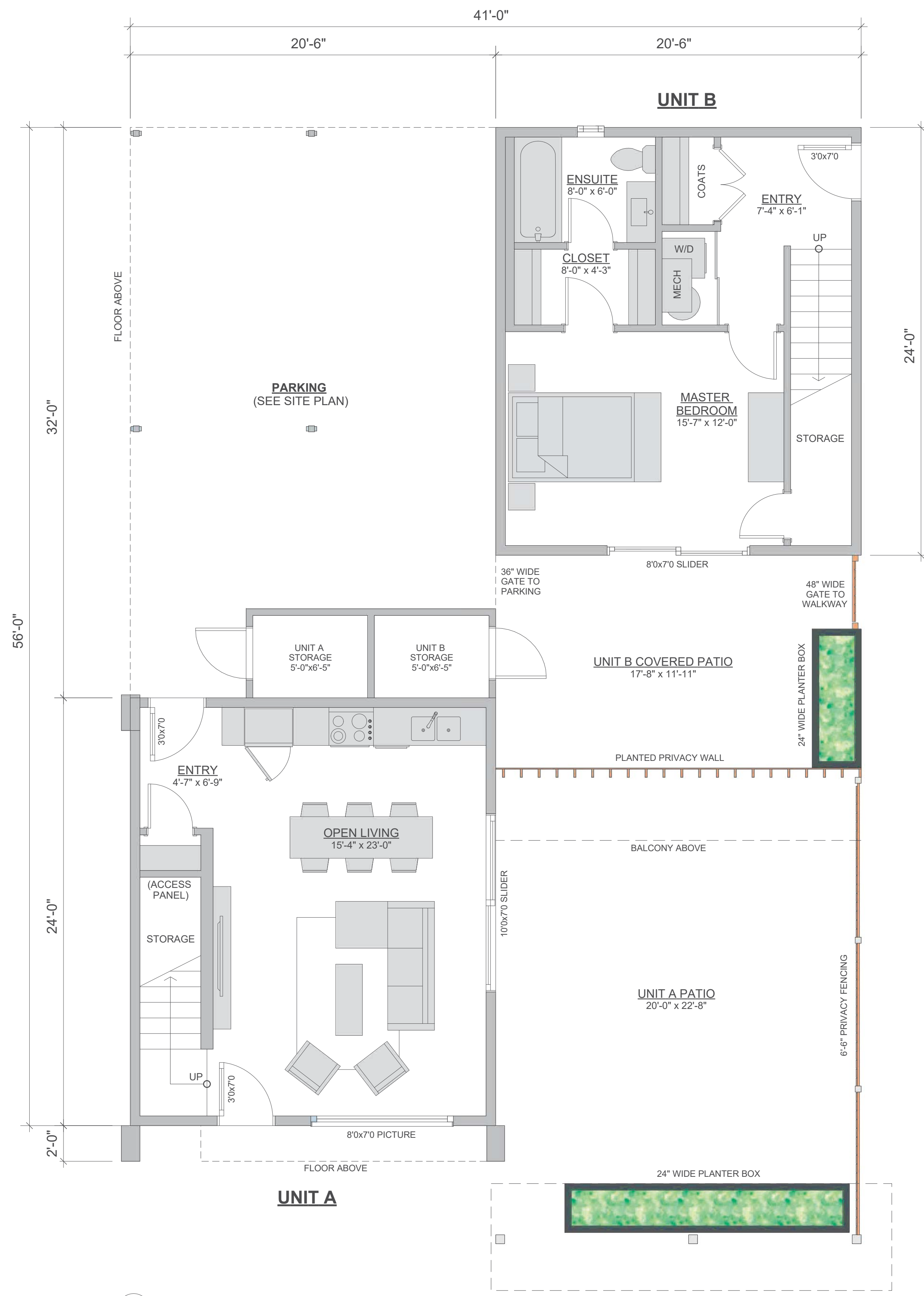
A3.0

SCHEDULE C

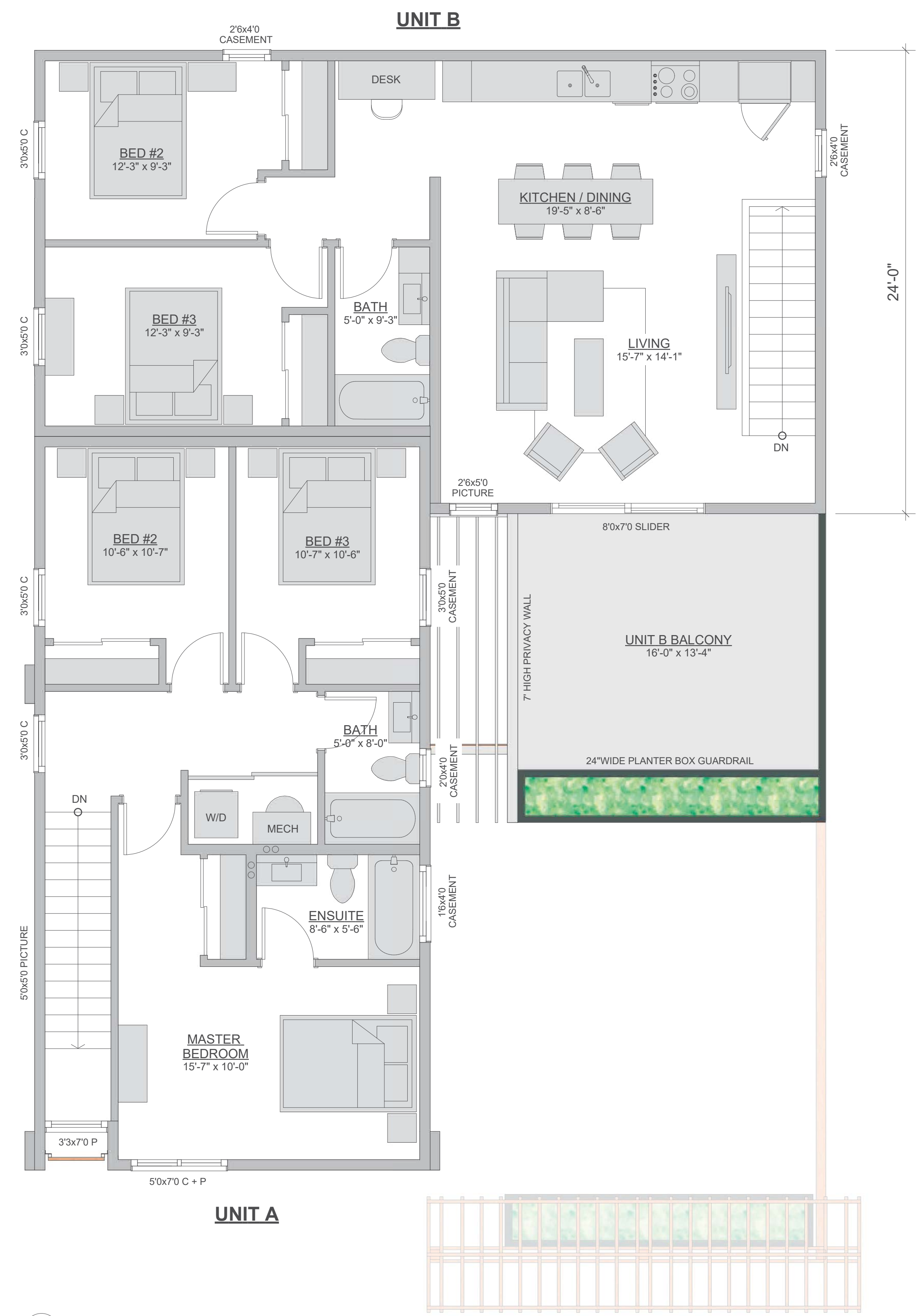
This forms part of application
HRA18-0001

Planner Initials BC


City of Kelowna
DEVELOPMENT PLANNING



1 LOWER FLOOR PLAN
 1/4" = 1'-0"



2 UPPER FLOOR PLAN
 1/4" = 1'-0"

SCHEDULE C

This forms part of application
 # HRA18-0001

City of
Kelowna
 DEVELOPMENT PLANNING

Planner Initials BC

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2018-03-01	PRELIMINARY SITE PLANNING
2018-06-28	FLOOR PLANNING
2018-07-20	FLOOR PLANNING
2018-10-31	HERITAGE REVITALIZATION APPLICATION
2019-05-07	REVITALIZATION D.P. REVIEW

PROJECT TITLE 1802
New Duplex

1781 Abbott Street
 Kelowna, BC

SHEET TITLE

Floor Plans

SCALE 1/4" = 1'-0"

DRAWING NUMBER

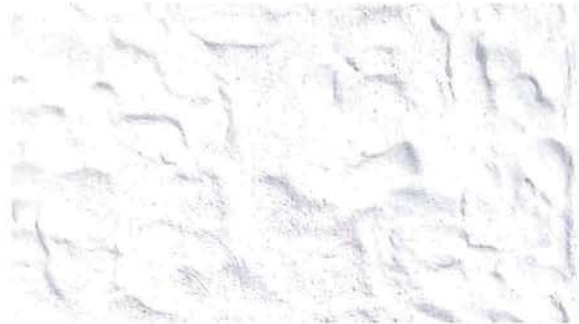
	UNIT A	UNIT B
A. Lower Floor Living (Each Unit)	492 SF	492 SF
B. Upper Floor Living (Each Unit)	779 SF	820 SF
Total Living (A+B)	1,271 SF	1,312 SF
Patio Area	584 SF	352 SF

A2.1

Heritage Building Colour Board

Existing Materials on Heritage Building to be retained or matched

- 1) Existing Heritage Stucco
Colour: White / Off White
Texture: Heavy Plaster



- 2) Existing Painted Concrete Foundation
Colour: Black / Charcoal
Texture: Trowelled smooth with 2 shallow thin bands around perimeter




- 3) Existing Terra Cotta Roof
(over main entry only)
Colour: Black



- 4) New Windows / Doors
Colour: White, with black trim
Frame: Round top



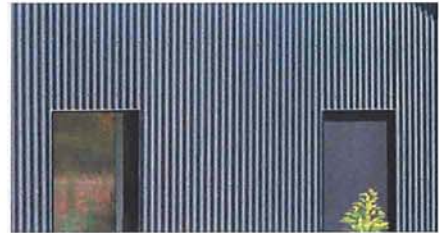
SCHEDULE	C
This forms part of application # HRA18-0001	
Planner Initials	BC
 City of Kelowna DEVELOPMENT PLANNING	

New Duplex Colour Board

- 1) Stucco: Cement with Acrylic top coat
Colour: Match Heritage house
Texture: Less exaggerated
OR
James Hardie Smooth Panel Cladding with
Annodized Aluminum trims



- 2) Metal Cladding: Vertical Corrugated
Colour: Charcoal, Powder coated
Texture: 7/8" corrugated




- 3) Wood Paneling:
High density wood veneer with resin core
Colour: Wood species TBD
Texture: Smooth, minimal fasteners



- 4) Fencing: Horizontal Wood Slats
Colour: Stain TBD

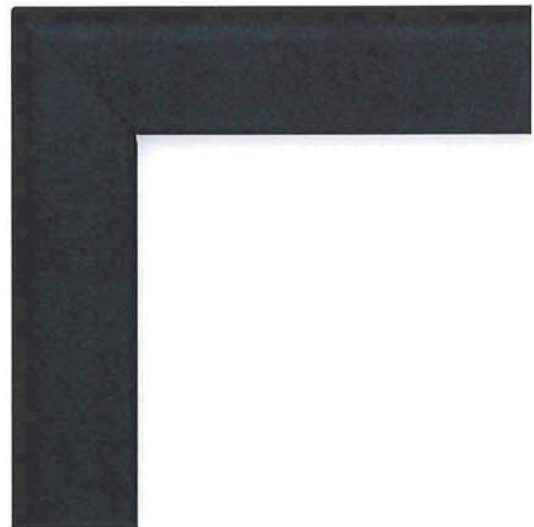


SCHEDULE	C
This forms part of application # HRA18-0001	
Planner Initials	BC
 City of Kelowna DEVELOPMENT PLANNING	


- 5) Trellis over Private patios: Timber Frame & Slats
Colour: Stains TBD, to match wood fence

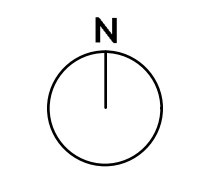
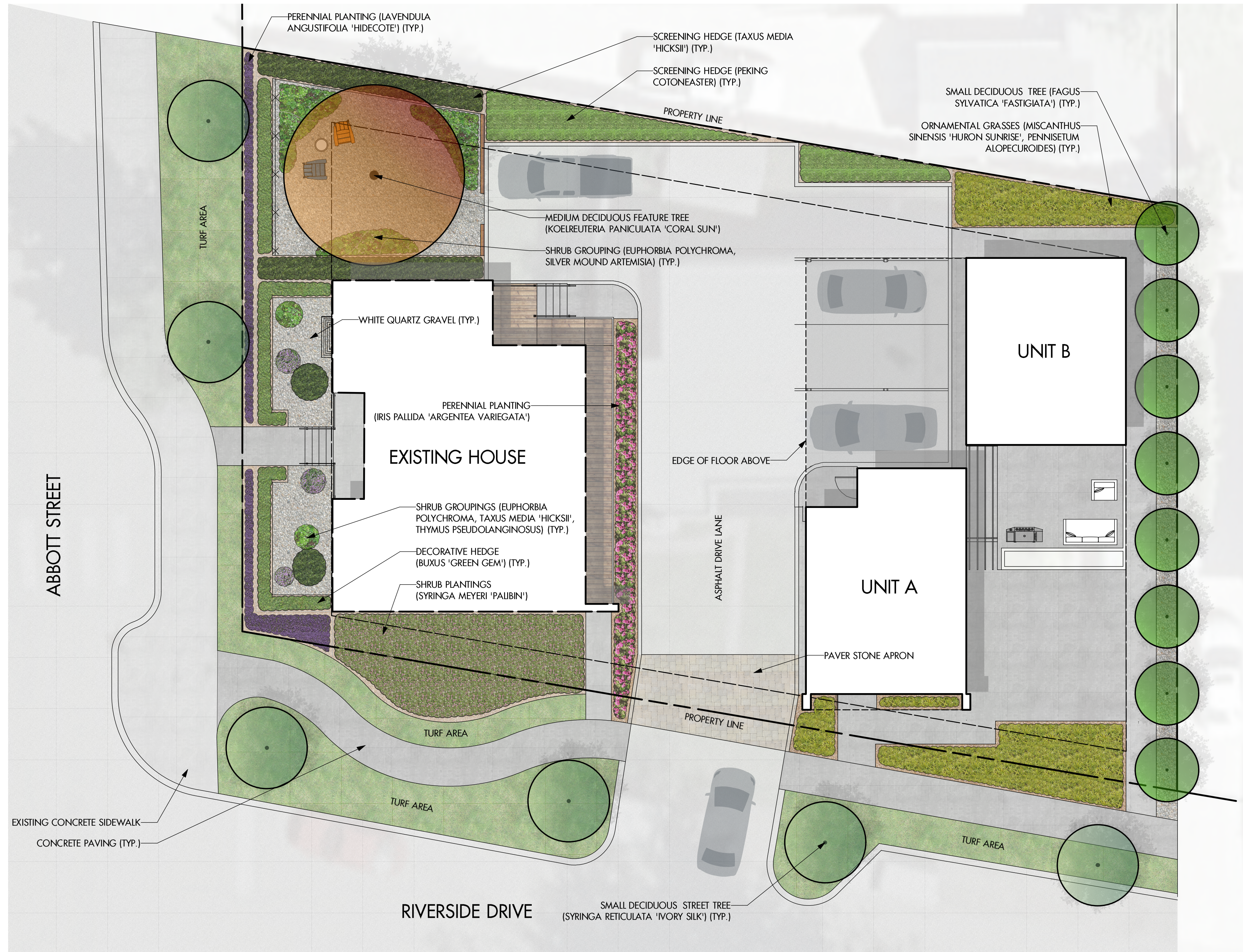


- 6) Windows / Doors: Fibreglass
Colour: Black



- 7) Roof: 2-ply Torch on SBS
Not visible to public, Both Buildings

SCHEDULE	C
This forms part of application # HRA18-0001	
Planner Initials	BC
 City of Kelowna DEVELOPMENT PLANNING	



PROJECT TITLE
MURCHISON HOUSE
1781 ABBOTT STREET

Kelowna, BC

DRAWING TITLE
**CONCEPTUAL
LANDSCAPE PLAN**

SCHEDULE D

This forms part of application
HRA18-0001

Planner Initials **BC**

City of Kelowna
DEVELOPMENT PLANNING

- NOTES**
1. PLANT MATERIAL AND CONSTRUCTION METHODS SHALL MEET OR EXCEED THE CANADIAN LANDSCAPE STANDARD. ALL OFF-SITE LANDSCAPE WORKS TO MEET CITY OF KELOWNA BYLAW 7900 STANDARDS.
 2. ALL SOFT LANDSCAPE AREAS SHALL BE WATERED BY A FULLY AUTOMATIC TIMED UNDERGROUND IRRIGATION SYSTEM.
 3. TREE AND SHRUB BEDS TO BE DRESSED IN A MINIMUM 50mm WOOD MULCH. DO NOT PLACE WEED MAT UNDERNEATH TREE AND SHRUB BEDS.
 4. TREE AND SHRUB BEDS TO RECEIVE A MINIMUM 300mm DEPTH TOPSOIL PLACEMENT.
 5. TURF AREAS FROM SOD SHALL BE NO. 1 GRADE GROWN FROM CERTIFIED SEED OF IMPROVED CULTIVARS REGISTERED FOR SALE IN B.C. AND SHALL BE TOLERANT OF DROUGHT CONDITIONS. A MINIMUM OF 100mm DEPTH OF GROWING MEDIUM IS REQUIRED BENEATH TURF AREAS. TURF AREAS SHALL MEET EXISTING GRADES AND HARD SURFACES FLUSH.

ISSUED FOR / REVISION

1	19.06.20	Development Permit
2		
3		
4		
5		

PROJECT NO. 19063

DESIGN BY FB

DRAWN BY WVC

CHECKED BY FB

DATE JUN. 20, 2019

SCALE 1:100

PAGE SIZE 24x36"

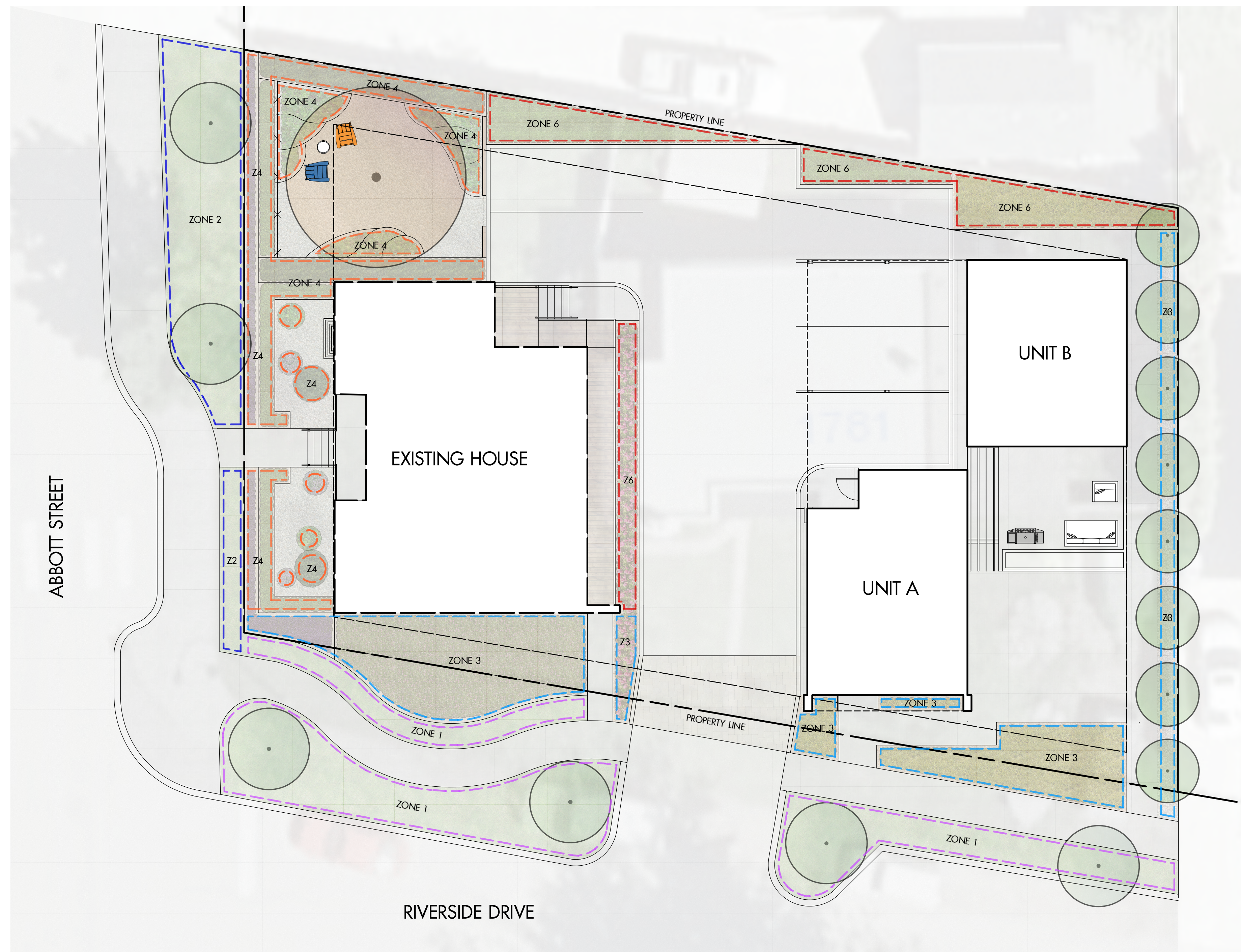
SEAL

PLANT LIST

BOTANICAL NAME	COMMON NAME	QTY	SIZE / SPACING & REMARKS
TREES			
FAGUS SYLVATICA 'FASTIGIATA'	FASTIGIATE BEECH	8	5cm CAL
KOELREUTERIA PANICULATA 'CORAL SUN'	CORAL SUN GOLDEN RAIN TREE	1	5cm CAL
SYRINGA RETICULATA	IVORY SILK JAPANESE MAPLE	6	5cm CAL
SHRUBS, PERENNIALS & GRASSES			
ARTEMISIA SCHNIDTIANA 'SILVER MOUND'	SILVER MOUND ARTEMISIA	13	#01 CONT. /1.0M O.C. SPACING
BUXUS 'GREEN GEM'	GREEN GEM BOXWOOD	36	#01 CONT. /0.6M O.C. SPACING
COTONEASTER ACUTIFOLIA	PEKING COTONEASTER	16	#01 CONT. /2.0M O.C. SPACING
EUPHORBIA POLYCHROMA	CUSHION SPURGE	36	#01 CONT. /0.6M O.C. SPACING
IRIS PALLIDA 'ARGENTEA VARIEGATA'	SILVER VARIEGATED SWEET IRIS	36	#01 CONT. /0.6M O.C. SPACING
LAVENDULA ANGUSTIFOLIA 'HIDECOTE'	HIDECOTE ENGLISH LAVENDER	36	#01 CONT. /0.6M O.C. SPACING
MISCANTHUS SINENSIS 'HURON SUNRISE'	HURON SUNRISE MAIDEN GRASS	11	#01 CONT. /1.2M O.C. SPACING
PENNISETUM ALOPECUROIDES	FOUNTAIN GRASS	13	#01 CONT. /1.0M O.C. SPACING
SYRINGA MEYERI 'PALIBIN'	DWARF KOREAN LILAC	11	#01 CONT. /1.25M O.C. SPACING
TAXUS MEDIA 'HICKSII'	HICK'S YEW	13	#01 CONT. /1.0M O.C. SPACING
THYMUS PSEUDOLANGINOSUS	WOOLY THYME	36	#01 CONT. /0.6M O.C. SPACING



DRAWING NUMBER
L1/2



SCHEDULE D

This forms part of application # HRA18-0001

Planner Initials BC

City of Kelowna DEVELOPMENT PLANNING

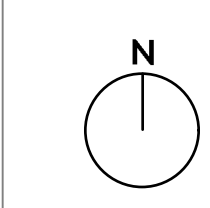
IRRIGATION LEGEND

	ZONE #1: LOW VOLUME POP-UP SPRAYHEADS FOR TURF AREA TOTAL AREA: 89 sq.m. MICROCLIMATE: SOUTH EXPOSURE, PARTIALLY SHADED BY TREES ESTIMATED ANNUAL WATER USE: 127 cu.m.
	ZONE #2: LOW VOLUME POP-UP SPRAYHEADS FOR TURF AREA TOTAL AREA: 52 sq.m. MICROCLIMATE: EAST EXPOSURE, PARTIALLY SHADED BY TREES ESTIMATED ANNUAL WATER USE: 74 cu.m.
	ZONE #3: HIGH EFFICIENCY SUBSURFACE DRIP IRRIGATION FOR MODERATE WATER USE PLANTING AREAS TOTAL AREA: 91 sq.m. MICROCLIMATE: SOUTH EAST EXPOSURE, PARTIALLY SHADED BY TREES ESTIMATED ANNUAL WATER USE: 51 cu.m.
	ZONE #4: HIGH EFFICIENCY SUBSURFACE DRIP IRRIGATION FOR MODERATE WATER USE PLANTING AREAS TOTAL AREA: 68 sq.m. MICROCLIMATE: EAST EXPOSURE, PARTIALLY SHADED BY TREES & BUILDING ESTIMATED ANNUAL WATER USE: 38 cu.m.
	ZONE #5: HIGH EFFICIENCY SUBSURFACE DRIP IRRIGATION FOR MODERATE WATER USE PLANTING AREAS TOTAL AREA: 44 sq.m. MICROCLIMATE: SOUTH EXPOSURE, PARTIALLY SHADED BY TREES ESTIMATED ANNUAL WATER USE: 24 cu.m.

- IRRIGATION NOTES**
- IRRIGATION PRODUCTS AND INSTALLATION METHODS SHALL MEET OR EXCEED THE REQUIREMENTS OF THE WATER USE REGULATION BYLAW NO. 10480 AND THE SUPPLEMENTARY SPECIFICATIONS IN THE CITY OF KELOWNA BYLAW 7900 (PART 6, SCHEDULE 5).
 - THE IRRIGATION SYSTEM SHALL MEET THE REQUIREMENTS, REGULATIONS, AND BYLAWS OF THE WATER PURVEYOR.
 - THE IRRIGATION SYSTEM SHALL BE EQUIPPED WITH AN APPROVED BACKFLOW PREVENTION DEVICE, WATER METER, AND SHUT OFF VALVE LOCATED OUTSIDE THE BUILDING ACCESSIBLE TO THE CITY.
 - AN APPROVED SMART CONTROLLER SHALL BE INSTALLED. THE IRRIGATION SCHEDULING TIMES SHALL UTILIZE A MAXIMUM ET VALUE OF 7" / MONTH (KELOWNA JULY ET), TAKING INTO CONSIDERATION SOIL TYPE, SLOPE, AND MICROCLIMATE.
 - DRIP LINE AND EMITTERS SHALL INCORPORATE TECHNOLOGY TO LIMIT ROOT INTRUSION.
 - IRRIGATION SLEEVES SHALL BE INSTALLED TO ROUTE IRRIGATION LINES UNDER HARD SURFACES AND FEATURES.
 - IRRIGATION PIPE SHALL BE SIZED TO ALLOW FOR A MAXIMUM FLOW OF 1.5m /SEC.
 - A FLOW SENSOR AND MASTER VALVE SHALL BE CONNECTED TO THE CONTROLLER AND PROGRAMMED TO STOP FLOW TO THE SYSTEM IN CASE OF AN IRRIGATION WATER LEAK.

WATER CONSERVATION CALCULATIONS

LANDSCAPE MAXIMUM WATER BUDGET (WMB) = 395 cu.m. / year
 ESTIMATED LANDSCAPE WATER USE (WU) = 314 cu.m. / year
 WATER BALANCE = 81 cu.m. / year
 *REFER ATTACHED IRRIGATION APPLICATION FOR DETAILED CALCULATIONS



PROJECT TITLE

MURCHISON HOUSE
1781 ABBOTT STREET

Kelowna, BC

DRAWING TITLE

CONCEPTUAL LANDSCAPE PLAN

ISSUED FOR / REVISION

1	19.06.20	Development Permit
2		
3		
4		
5		

PROJECT NO. 19063

DESIGN BY FB

DRAWN BY WVC

CHECKED BY FB

DATE JUN. 20, 2019

SCALE 1:100

PAGE SIZE 24x36"

SEAL



DRAWING NUMBER

L2/2

ISSUED FOR REVIEW ONLY

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OUTLAND DESIGN
LANDSCAPE ARCHITECTURE

SCHEDULE		D
This forms part of application		
# HRA18-0001		
Planner Initials	BC	 City of Kelowna DEVELOPMENT PLANNING

Thursday, June 6 2019

Murchison House, 1781 Abbott Street
Davara Holdings Limited
911 Borden Avenue
C/o Dave Sargent, Development Manager
Via email to: dave.sargent@davara.ca

Re: Murchison House, 1781 Abbott Street – Preliminary Cost Estimate for Bonding

Dear Dave:

Please be advised of the following preliminary cost estimate for bonding of the proposed landscape works shown in the Project Name Center conceptual landscape plan dated 19.06.20;

- On-site Improvements: 133 square metres (1,432 square feet) = \$26,175.00
- Off-site Improvements: 230 square metres (2,476 square feet) of = \$14,984.00

This preliminary cost estimate is inclusive of trees, shrubs, turf, mulch, topsoil & irrigation.

You will be required to submit a performance bond to the City of Kelowna in the amount of 125% of the preliminary cost estimate. Please do not hesitate to contact me with any questions about the landscape plan.

Best regards,

Fiona Barton, MBCSLA, CSLA
as per
Outland Design Landscape Architecture

Heritage Revitalization Agreement Application for “Murchison House” Adaptive Re-Use

Subject Property: 1781 Abbott Street



History of the property

Currently listed on the City of Kelowna Heritage Register, The Murchison House was built in 1939 for prominent businessman Earle A. Murchison. It was designed and built in the Moderne style to reflect the essence of the owner who made his name opening Orchard City Motors, located in the 400 block of Bernard Avenue.

This house was built at a time when the Abbott Street neighbourhood was mostly filled in with earlier residences, making one of the first to adapt the non-conforming yet simple aesthetic of white stucco, black banding and a flat roof.

Mr. Murchison was a resident in this house until 1966, A later owner constructed an addition in 1994, but the house retains its integrity as seen from the street and is in great condition.

Some of the house’s character defining elements include:

- Semi-circular door opening at the entrance off the raised landing
- Simple design with two projecting bands of trim below the roof parapet
- Large textured stucco finish throughout unifies the design
- Symmetrical windows with a central fixed, four component unit and double hung windows on both sides
- Original features appear unaltered
- A decorative, repeated motif runs between the two projecting bands

Adaptive Re-Use Overview

Adaptive re-use is the process of reusing an old site or building for a purpose other than which it was built or designed for. The proposed project is roughly based on the existing zoning of RU1 with a fresh take on “mixed-use” design conventions for residential and commercial uses on a shared property. The goals of adaptive re-use for the Murchison Property are as followed, in phases:

1) Reposition, rehabilitate and change the use of the existing house to a commercial occupancy

This component of the proposed project ensures the original house continues to contribute to the Abbott Street Heritage conservation area. The elevation of the house currently facing riverside will be switched to face Abbott Street by means of repositioning the house on site to a new foundation. The exterior appearance of the house will not change since upgrades will be made from the interior to bring the building up to date with the BC Building Code.

2) Introduce a second structure on the site for residential duplex use

Once the original building has been repositioned, this opens enough space in the rear yard for a duplex, using the RU7 zoning bylaws as a rough guideline for setbacks, height, form and private outdoor space. This proposed duplex also takes a page from the City of Kelowna’s Official Community Plan (OCP) for Ground-Oriented Housing. The residential units will utilize Riverside Ave. as their front yard, accessed from living spaces (living room, kitchen, dining room) located on the ground floors. Private outdoor living spaces between the units and Riverside Ave. will act as a buffer and setback for one of the duplex units, breaking up the building’s street elevation.

3) Utilize better access and on-site parking for both uses of the property

The proposed position of all site structures allows for 6 parking stalls on site, accessed from Riverside Avenue. Section 8 of Kelowna’s zoning bylaw outlines requirements for parking and loading. The residential duplex will have parking based on RU7 requirements for 1 medium stall per dwelling unit, with an additional 1 shared visitor stall. The commercial building will have 3 parking stalls, which conform to the parking bylaw requirement under “Offices” use (2.5 stalls per 100 Sq. M. GFA). Street parking is also available in this area.

Pedestrian access to all buildings will be improved with level access from the street to the Duplex units and a wheelchair ramp serving the existing building. With the existing building in its new position the primary pedestrian entrance will face Abbott street, more familiar to an office layout.

4) Improve landscaping

Landscaping work is part and parcel with this calibre of project. Landscaping on the property will reflect elements seen in the Abbott Corridor streetscaping and planted areas. 3-4 mature trees can be retained in place or substituted for similar mature seedlings.

With one foot in the downtown core and the other foot in the city's most interesting heritage neighbourhood, a special opportunity has come up for Davara Holdings Ltd. to conserve a listed heritage building while introducing 2 new residential units on the same site. This type of project will attract residents who want to live close to their place of work and a business who wants to be in the downtown core, but in a quieter setting. This proposed project is in keeping with a densifying urban centre and decreasing the dependence for vehicles close to the downtown core.

Site Specific Criteria

1. *Neighbourhood Resident Concerns*

The immediate neighbours to the North and East have been made aware of the proposed adaptive re-use and are in favour. Discussions with neighbours will take place pending review of this proposal from the City of Kelowna.

2. *Residential Component*

As described in the adaptive re-use overview, a new duplex is proposed for this property to minimize impacts on the residential character of the neighbourhood.

3. *Concentration of Adaptive Re-Uses*

The density of adaptive re-uses in this area of the Abbott Street Heritage Conservation area appears to accommodate this type of development given that it is on the North edge of Abbott before crossing Harvey Ave.

4. *Design Standards*

Exterior features undergoing changes, such as windows, doors, foundation banding, stairs and landings will be matched as closely as possible to the original palette of materials. All other aspects of the exterior will remain as existing with new paint and minor stucco patching.

5. *Scale*

The size and height of the building will not be affected, except for removal of the addition from 1994. The floor area of the adaptive re-use component will be decreased because the existing basement will become a crawlspace, thus rendering it unusable. The proposed office space will be suitable for about 4-5 occupants during business hours only. The non-residential floor area will become (116 sq. m) 1250 sq. ft, which is within the recommended maximum for adaptive re-use along local roads.

6. *Signage*

Project signage has not been discussed yet but will be comprised of a non-illuminated nameplate not to exceed 0.23 sq. m (2.5 sq. ft) in area and shall be paced within, flat against or hanging from the dwelling unit.

7. *Parking Access*

As described in the adaptive re-use overview, on-site parking is provided based on section 8 of the zoning bylaw "parking & loading requirements". Proposed access to on-site parking will be from Riverside Avenue to keep Abbott Street free of driveways for a better pedestrian corridor.

8. Hours of Operation

The non-residential component of this adaptive re-use will be operational during regular daytime business hours, Monday through Friday.

9. Screening

Outdoor storage, parking, and private outdoor living spaces will not be directly visible from the Abbott street or Riverside frontages in the proposed site plan scheme of this adaptive re-use. The ground floor patio spaces serving the duplex will be screened with timber fencing and shrub plantings.

Preliminary Zoning Analysis

	METRIC	IMPERIAL
SITE AREA	836.8	9,007.6
SITE WIDTH	22.9	75' "
SITE DEPTH	37.1	121' 10"

SITE COVERAGE

BUILDINGS	25.0%	2,254.0
DRIVEWAYS AND PARKING	30.8%	2,771.0
BUILDINGS, DRIVEWAYS, PARKING	55.8%	5,025.0

TOTAL NUMBER OF UNITS

3 (2 residential + 1 commercial)

BUILDING HEIGHT

	METRES	FEET
DUPLEX	6.9	22'-7"
EXISTING BUILDING	4.8	15'-10"

BUILDING SETBACKS

	METRES	FEET
FRONT	4.5	14' 9"
SIDE (FLANKING STREET*)	1.2	3' 11"
SIDE	2.3	7' 7"
REAR	2.0	6' 7"

PARKING STALLS - UNIT COUNT

DUPLEX HOUSING		3.0
COMMERCIAL		3.0
TOTAL		6.0

*Proposed side yard on flanking street also has a boulevard width of approximately 4.1m to proposed sidewalk.

NIDO

ATTACHMENT **A**

This forms part of application
HRA18-0001

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Initials **BC**

City of
Kelowna
DEVELOPMENT PLANNING



Murchison House Adaptive Re-Use Proposal
2018-09-11

Appendix A - Proposed Site Renderings



ATTACHMENT A

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Initials **BC**





ATTACHMENT A

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City of **Kelowna**
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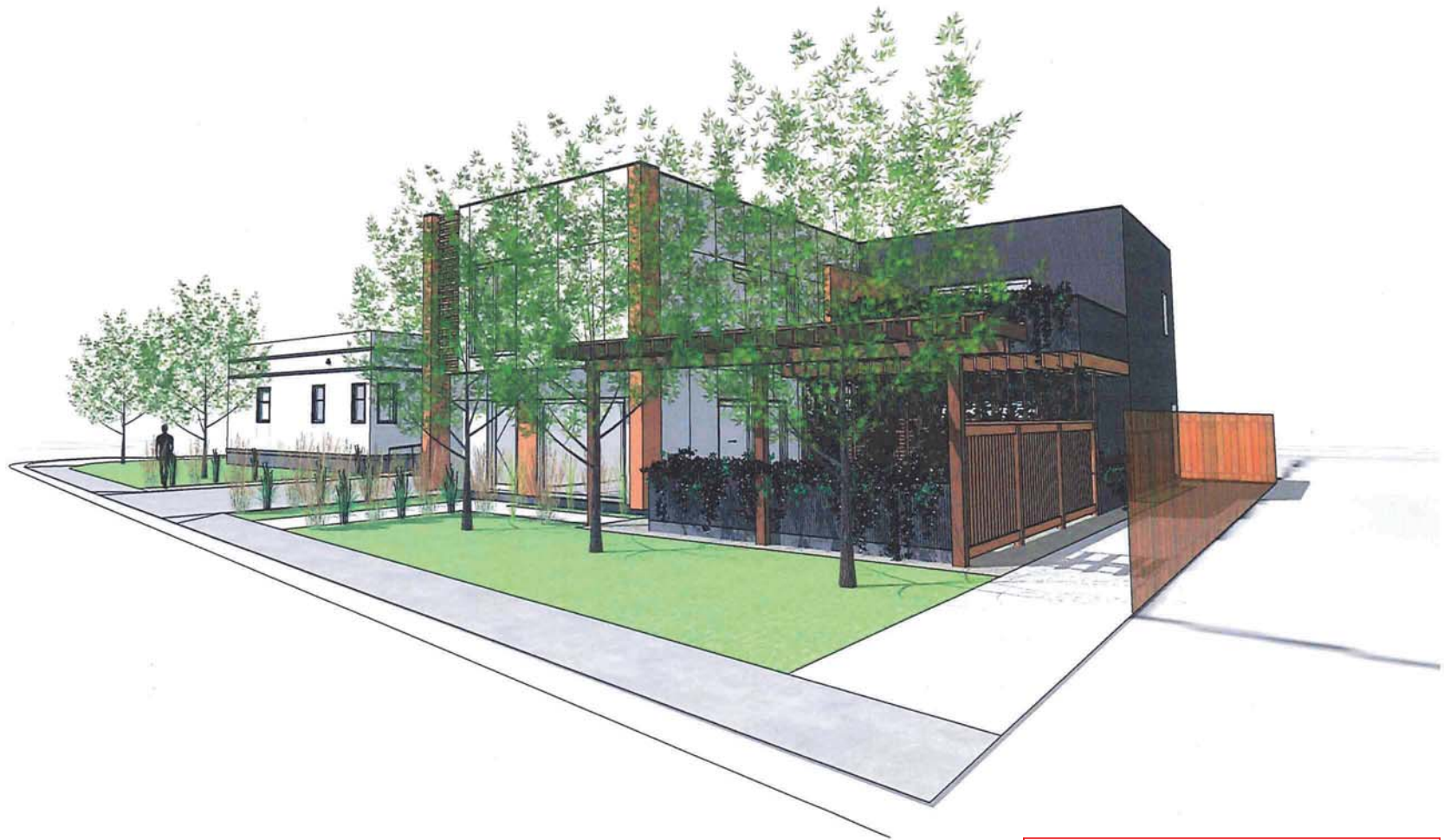


ATTACHMENT A

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HRA18-0001

Planner
Initials **BC**





ATTACHMENT **A**

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ATTACHMENT **A**

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ATTACHMENT A

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City of Kelowna
Planning Department
1435 Water Street
Kelowna BC, V1Y 1J4

March 29, 2019

To whomever it may concern,

RE: Davara Holdings Ltd. Rehabilitation Proposal at 1781 Abbott Street - Kelowna

This report is to comment on the appropriateness of the proposed heritage rehabilitation at 1781 Abbott Street, a property within the Abbott Street Heritage Conservation Area. The below observations consider the proposal's alignment with both the HCA's Guidelines for new development as well as with the Standards & Guidelines for the Conservation of Historic Places in Canada.



Rendering of the proposed rehabilitated Murchison House with new infill house at rear.
source: NIDO Design Inc.

Brief history of development

The subject house is a unique heritage asset on Kelowna’s Heritage Register. It represents the interwar development period in Kelowna when undeveloped residential lots near Kelowna’s downtown were being infilled with houses, introducing new architectural styles to the city including Revival styles.

The subject house is noted as a ‘Mediterranean Revival’ style house on the Style Register list the Abbott Street & Marshall Street Heritage Conservation Areas Development Guidelines (Appendix D - 1997). Within the Mediterranean Revival family, it is a Mission/Pueblo Revival design with Moderne elements. The architectural trend for Mission Revival houses in the 1930s came from California, where desert-based Spanish mission buildings were influencing residential architecture and were featured in Hollywood films and popularized through house design catalogues.

Evaluating heritage values and significance

The subject house was “built for Earle A. Murchison in 1939, at a time when the Abbott Street neighbourhood was mostly filled in with earlier residences, and so its non-conforming Moderne design contributes to the eclectic character of the area¹.” The Statement of Significance for the property goes on to describe Earle Murchison is as “a man who sold the essence of modernity - the automobile.” The heritage value of the property lies in the building’s unique design, its association with Murchison and his business Orchard City Motors, as a long-term home for Murchison (1939 until his death in 1972) and for its unaltered exterior.



The Murchison House and its immediate area in the winter of 1949. The modern house stands out as the only flat roofed, single-storey house in the area. source: Kelowna Public Archives #7119

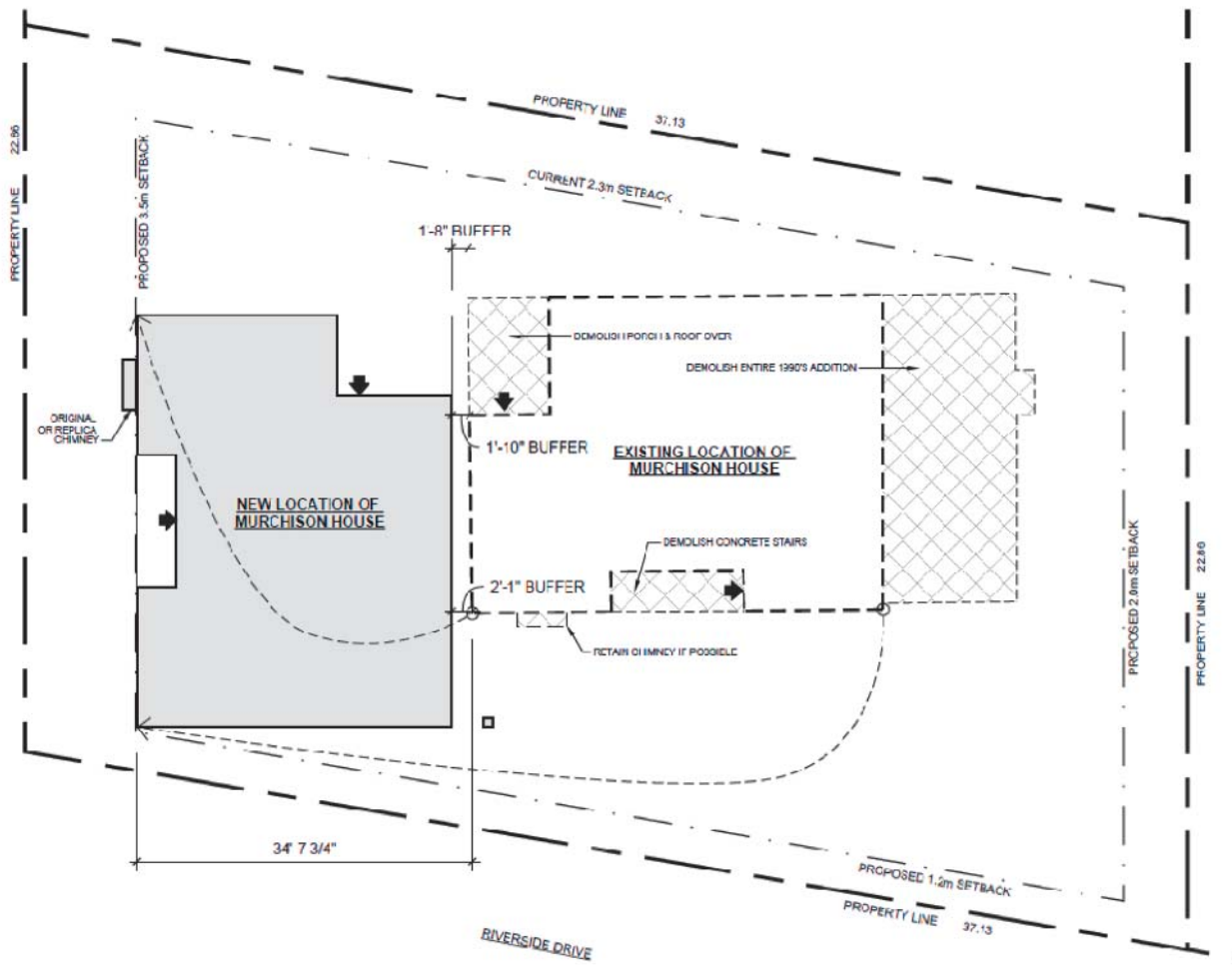
¹ Direct quote from the Murchison House Statement of Significance on kelowna.ca

Recommendations and strategies to inform the rehabilitation

Siting

The proposed relocation and reorientation of the building on its property, retains a residential siting with front and side yards. The new siting is closer to both Riverside and Abbott streets, but aligns with both street's average setbacks. The proposed siting will make the historic house more visible and the restoration efforts appreciated, especially with its new commercial/office use which will bring a constant flow of visitors and users onto the property and inside the building. The relocation plan (below) shows the current footprint outlined in a dashed black line and the proposed new siting and orientation in grey.

The proposal involves the Riverside facing entrance reoriented to face Abbott Street and the entire building shifted 34'-7" west and 11'-9" south.



1 HOUSE RELOCATION PLAN
1/8" = 1'-0"

Conservation Treatments

Given the close proximity of this property to Kelowna’s downtown and the relatively generous size of the property, an overall conservation approach of rehabilitation and restoration is a fitting combination of treatments to apply here. **Rehabilitation** *“involves the sensitive adaptation of an historic place... for a continuing or compatible contemporary use, while protecting its heritage value.”* **Restoration** *“involves accurately revealing, recovering or representing the state of an historic place or individual component as it appeared at a particular period in its history, while protecting its heritage value.”*

Rehabilitation measures - The proposed adaptive reuse of the historic building to a commercial/office space and the introduction of a new dwelling building ‘behind’ the historic building to its east will help to:

1. finance the repair and restoration of the historic building’s character defining elements
2. convert a rather small house (in contemporary standards) to a highly-used, accessible work space, thus taking the pressure off the original single-storey design to be altered
3. alter the Abbott Street entrance to a more public-friendly and practical office entry
4. densify the large property by adding a new duplex behind the historic house, making the property more sustainable and economically viable into the future
5. through relocation of the historic house closer to the high-visibility corner, make room for the infill and enhance the visibility of the heritage asset

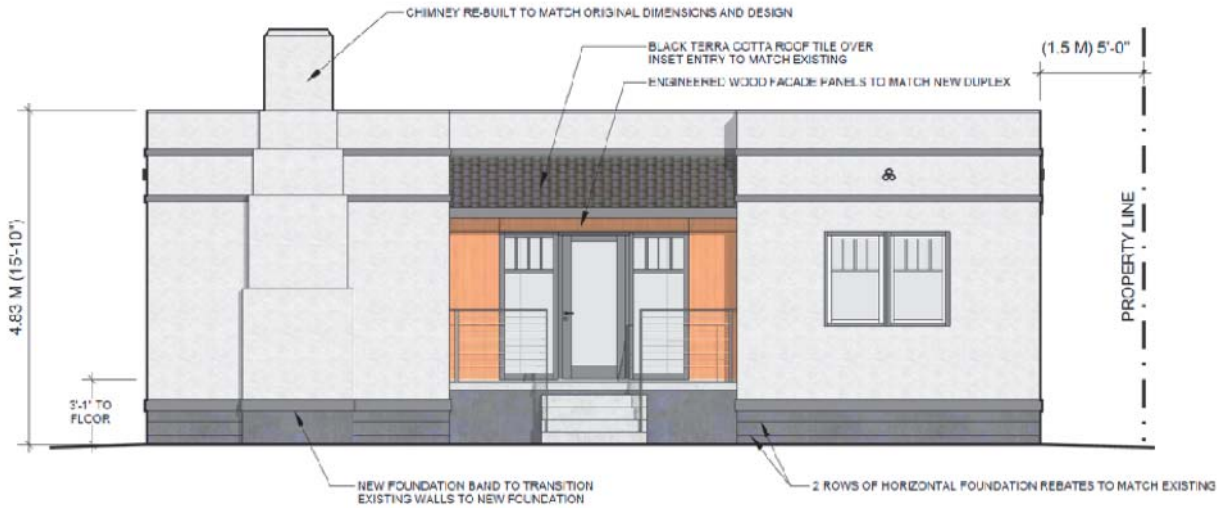
Restoration measures - The two primary facades facing Abbott and Riverside will be restored to their 1939 appearance including the reinstatement of missing wood windows on the Riverside elevation. The restoration will include:

- Historically accurate wood windows
- Historically accurate textured stucco
- Roofline and foundation banding, as per the original design
- Unique tile entrance roof
- Decorative clay pipe drains
- Unique stepped end-wall chimney

The only alterations proposed on the primary elevations are the improving the building entrances and access to accommodate its commercial use. See following page.

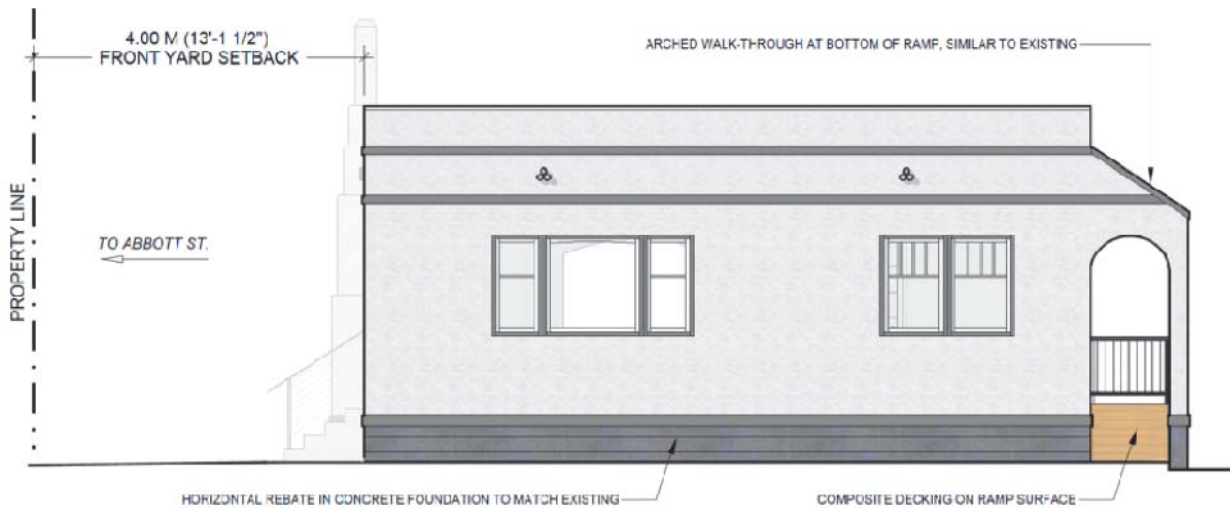
² Standards and Guidelines for the Conservation of Historic Places in Canada - 2nd edition 2010

Proposed west elevation - Abbott Street:



Restore textured stucco cladding, stepped chimney, tiled entrance roof, roofline and foundation banding, double wood window assembly and 1939 black and white colour scheme. **Rehabilitate** entrance to be centred on the facade and accommodate public access and higher traffic. The new entrance design is distinguishable from and compatible with the historic house, as required in Standards & Guidelines for the Conservation of Historic Places.

Proposed south elevation - Riverside Avenue:



Restore textured stucco cladding, 1939 black and white colour scheme and roofline and foundation banding. **Restore** historically accurate wood window assemblies on this facade, currently vinyl. Introduce a historically accurate arched gate, as per the feature on the current west elevation, to seamlessly and discreetly incorporate the new accessible ramp at the rear of the building.

Proposed infill house

In keeping with the heritage value of the Murchison House, as outlined in the Statement of Significance (“non-conforming Moderne design which contributes to the eclectic character of the area), and in keeping with the Standards & Guidelines (standard 11 for rehabilitation - additions to historic places), the proposed infill design is “physically and visually compatible with, subordinate to and distinguishable from the historic place³.” Compatibility, distinguishability and being subordinate are all subjective notions, which can be interpreted differently by people. Distinguishability for example, can be very subtle, achieved in some cases through a simple change in material or colour tone. However in the case of the Murchison property, where a legacy of bold, contemporary, modern design is the core of its heritage value, it is appropriate to enhance the pillar of distinguishability when adding to the historic property.



Rendering of the Murchison House (right) side by side with a new infill house (right).

source: NIDO Design Inc.

Distinguishability - The infill design is a clearly contemporary structure, which is both honest (it doesn’t create confusion about what is historic and what is new) and traditional (architects in the past never imitated traditional design but applied the trending designs of their time, which allows us to easily read and interpret historic and mixed-era streetscapes).

Compatibility - The infill design is compatible in form (square massing and flat roof) and in its black and white colour scheme. It reads like the grandson of the historic house, genetically related but taller and wearing modern clothes. There is a clear relation and dialogue between the two structures.

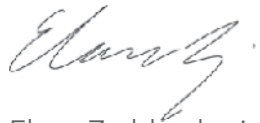
Subordinate - While some may argue that to be subordinate a structure must be smaller, this is not the case. Many additions to historic places includes large additions, even towers. To achieve this relationship the addition must not ‘steal the show’ from the historic house. The infill house is sited at the rear with the bulk of its massing on the north edge of the lot, thus not visible from the street. Its minimalist, restrained design allows the very expressive, textured ornamental features of the historic house to shine.

³ Standards and Guidelines for the Conservation of Historic Places in Canada - page 23

Summary

It is my professional opinion that the thoughtful and creative development proposed here by Nido Design and the property owners, is a good model of conservation and evolution for a historic neighbourhood. Heritage Conservation is a tool for managing change in historic places and Heritage Conservation Areas. Although the infill design may appear bold to some, or unprecedented in Kelowna's HCAs, it reflects the heritage values of the property, follows the national standards for additions to historic places, and meets the Objectives of Kelowna's Heritage Conservation Areas.

Yours Truly,



Elana Zysblat, heritage consultant
BCAHP President



ATTACHMENT C

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HRA18-0001

Planner Initials **BC**

City of **Kelowna**
DEVELOPMENT PLANNING

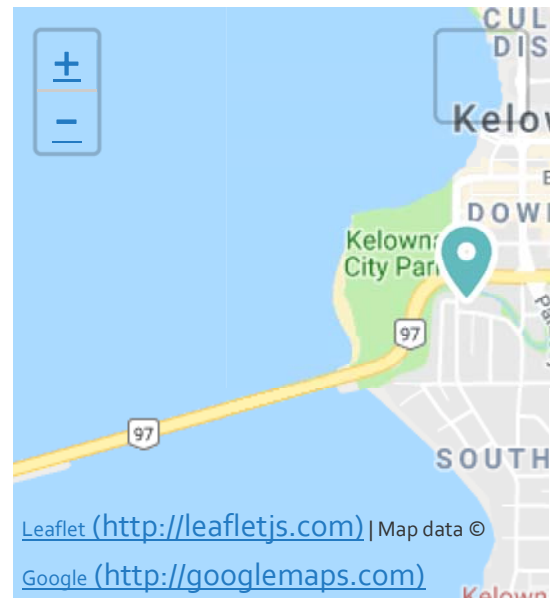
Murchison House



Statement of Significance

Home of Earle A. Murchison, a prominent local businessman through the 1930s, 1940s and 1950s.

take our WEB SURVEY



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# HRA18-0001		
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Place Description

The historic place is the single-storey stucco Murchison House, built in the Moderne style in 1939, located at 1781 Abbott Street in Kelowna's South Central neighbourhood, and within the Abbott Street Heritage Conservation Area.

Heritage Value

The heritage value of the residence is found in its being a rare example for Kelowna of a house in the Moderne style; and for its association with a man who sold the essence of modernity - the automobile.

The house was built for Earle A. Murchison in 1939, at a time when the Abbott Street neighbourhood was mostly filled in with earlier residences, and so its non-conforming Moderne design contributes to the eclectic character of the area. It was built by a Mr. Alton; no architect has been identified with it. The austere simplicity, white stucco, and horizontal banding are features that distinguish the style.

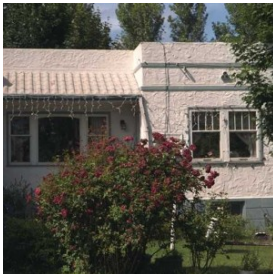
The house has value as well for the association with Murchison, a prominent local businessman. He came to Kelowna after having been a commercial fisherman on the Coast. Murchison and his partner, Harold A. Truswell, purchased Kelowna's Ford dealership in 1927, in the same year that the Model A was introduced. Their business, Orchard City Motors, located in the 400 block of Bernard Avenue, served individual consumers and also the fruit-growing industry, as it also sold Cletrac tractors and Hardy sprayers. After the Ford dealership was acquired by Arena Motors in the 1950s, Murchison and Truswell, together with H.R. McClure, operated Kelowna Tractor-Sprayers Ltd. for some years at 1560 Water Street.

Murchison was resident here until 1966. A later owner constructed an addition in 1994, but the house retains its integrity as seen from the street.

Character Defining Elements

ATTACHMENT	C
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 City of Kelowna DEVELOPMENT PLANNING	

- Yard has mature trees and shrubs
- Good example of Moderne architectural style
- Semi-circular door opening at the entrance off the raised landing
- Simple design with two projecting bands of trim below the roof parapet
- Large textured stucco finish throughout unifies the design
- Straight stepped chimney
- Central symmetrical window faces Abbott Street with a central fixed four component unit and double hung windows on both sides
- Original features appear unaltered
- A decorative, repeated motif runs between the two projecting bands



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CITY OF KELOWNA
MEMORANDUM

ATTACHMENT	D
This forms part of application # HRA18-0001	
Planner Initials	BC
 City of Kelowna DEVELOPMENT PLANNING	

Date: November 14, 2018
File No.: HRA18-0001
To: Community Planning (TA)
From: Development Engineering Manager (JK)
Subject: 1781 Abbott Street Lot 2 Plan 2614

Development Engineering Department have the following comments and requirements associated with this Heritage Revitalization Agreement application.

1. Domestic Water and Fire Protection

- a. Provide an adequately sized domestic water and fire protection system for this property. The water system must be capable of supplying domestic and fire flow demands of the project in accordance with the Subdivision, Development & Servicing Bylaw. Provide water calculations for this property to confirm this. Ensure every building site is located at an elevation that ensures water pressure is within the bylaw pressure limits.

2. Sanitary Sewer

- a. Our records indicate that this property is currently serviced with a 150mm-diameter sanitary sewer service. The applicant's consulting mechanical engineer will determine the requirements of the proposed development and establish the service needs. Only one service will be permitted for this development. If required, the applicant will arrange for the removal and disconnection of the existing service and the installation of one new service at the applicant's cost.

3. Drainage

- a. Provide a detailed Storm Water Management Plan for this development as per the Subdivision, Development and Servicing Bylaw #7900.

4. Road Improvements

- a. Riverside Ave must be upgraded to an urban standard along the full frontage of this proposed development, including curb and gutter, 1.5m sidewalk, drainage system including catch basins, manholes and pavement removal and replacement, street lighting and re-location or adjustment of utility appurtenances if required to accommodate the upgrading construction.
- b. Abbot Street has been fully upgraded. No further upgrades are needed at this time.

5. Development Permit and Site Related Issues

- a. Access to the property will be from Riverside Ave only.



6. Power and Telecommunication Services and Street Lights

- a. All proposed distribution and service connections are to be installed underground. Existing distribution and service connections, on that portion of a road immediately adjacent to the site, are to be relocated and installed underground.
- b. Streetlights must be installed on all roads.

7. Design and Construction

- a. Design, construction supervision and inspection of all off-site civil works and site servicing must be performed by a Consulting Civil Engineer and all such work is subject to the approval of the City Engineer. Drawings must conform to City standards and requirements.
- b. Engineering drawing submissions are to be in accordance with the City's "Engineering Drawing Submission Requirements" Policy. Please note the number of sets and drawings required for submissions.
- c. Quality Control and Assurance Plans must be provided in accordance with the Subdivision, Development & Servicing Bylaw No. 7900 (refer to Part 5 and Schedule 3).
- d. A "Consulting Engineering Confirmation Letter" (City document 'C') must be completed prior to submission of any designs.
- e. Before any construction related to the requirements of this subdivision application commences, design drawings prepared by a professional engineer must be submitted to the City's Development Engineering Department. The design drawings must first be "Issued for Construction" by the City Engineer. On examination of design drawings, it may be determined that rights-of-way are required for current or future needs.

8. Servicing Agreements for Works and Services

- a. A Servicing Agreement is required for all offsite works and services on City lands in accordance with the Subdivision, Development & Servicing Bylaw No. 7900. The applicant's Engineer, prior to preparation of Servicing Agreements, must provide adequate drawings and estimates for the required works. The Servicing Agreement must be in the form as described in Schedule 2 of the bylaw.
- b. Part 3, "Security for Works and Services", of the Bylaw, describes the Bonding and Insurance requirements of the Owner. The liability limit is not to be less than \$5,000,000 and the City is to be named on the insurance policy as an additional insured.

9. Bonding and Levy Summary

- a. Bonding To be Determined

James Kay

James Kay, P. Eng.
 Development Engineering Manager
 JA