



May 06, 2019

City of Kelowna
1435 Water Street,
Kelowna, B.C. V1Y 1G4

Attn: Mr. Adam Cseke, Planner

Re: DEVELOPMENT PERMIT APPLICATION
130 McCurdy Road, Kelowna (Lot 2, Plan 39917)
Rezoning Application Z17-0021, OCP amendment OCP17-0007

Dear Adam;

Further to the above noted Development Permit application Culos Development (1996) Inc. ("Culos 96") is pleased to submit the following "rationale" for the proposed redevelopment of the site at 130 McCurdy Road.

Culos 96 has been working with The Father Delestre Knights of Columbus Council ("K of C"), the property owner at 130 McCurdy Road for over 10 years with the goal of redeveloping the site with an affordable housing development in keeping with the needs of the community. In 2017 a Letter of Intent was entered between K of C and Resurrection Recovery Resource Society (dba "Freedoms Door") for the development of a supportive housing project on the site with the intent of housing graduates of the recovering addicts program facilitated by Freedoms Door. At that time, rezoning and OCP amendment applications noted above were initiated by Freedoms door on behalf of the property owner.

A public hearing was held on September 19, 2017, at which time the Rezoning and OCP amendments were given second and third reading.

Freedoms Door was subsequently unable to obtain the funding required to proceed with the project and in October, 2018 Culos 96 acquired the site from K of C under a "buy back" agreement whereby K of C would have the right to purchase 3 strata lots in the completed project with the balance of strata lots to be sold by Culos 96.

Culos 96 is currently in negotiations with a potential partner to ensure this housing will meet the needs in the community. We anticipate being able to share more information in the near future.



May 06, 2019
City of Kelowna
Page 2

We are not aware of any other changes from the initial presentation of September , 2017 and would ask that the Development Permit, Rezoning and OCP amendment be moved forward at this time.

Please feel free to contact me should you have any questions or concerns.

Best regards

Culos Development (1996) Inc.

Per: _____

Michael A. Culos, President

Development Permit DP17-0052



This permit relates to land in the City of Kelowna municipally known as

130 McCurdy Rd

and legally known as

Lot A, Section 26, Township 26, ODYD, Plan EPP91828

and permits the land to be used for the following development:

Supportive Housing Apartment Building

The present owner and any subsequent owner of the above described land must comply with any attached terms and conditions.

Date of Council Decision June 10 2019

Decision By: COUNCIL

Development Permit Area: Comprehensive

This permit will not be valid if development has not commenced by June 10, 2021.

Existing Zone:

Future Land Use Designation:

This is NOT a Building Permit.

In addition to your Development Permit, a Building Permit may be required prior to any work commencing. For further information, contact the City of Kelowna, Development Services Branch.

NOTICE

This permit does not relieve the owner or the owner's authorized agent from full compliance with the requirements of any federal, provincial or other municipal legislation, or the terms and conditions of any easement, covenant, building scheme or agreement affecting the building or land.

Owner: Culos Development (1996) Inc., No. BC1099204

Applicant: Mike Culos

Terry Barton
Community Planning Department Manager
Community Planning & Strategic Investments

Date

1. SCOPE OF APPROVAL

This Development Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.

This Development Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this permit, noted in the Terms and Conditions below.

The issuance of a permit limits the permit holder to be in strict compliance with regulations of the Zoning Bylaw and all other Bylaws unless specific variances have been authorized by the Development Permit. No implied variances from bylaw provisions shall be granted by virtue of drawing notations that are inconsistent with bylaw provisions and that may not have been identified as required Variances by the applicant or Municipal staff.

2. CONDITIONS OF APPROVAL

- a) The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A";
- b) The exterior design and finish of the building to be constructed on the land be in accordance with Schedule "B";
- c) Landscaping to be provided on the land be in accordance with Schedule "C"; and
- d) The applicant be required to post with the City a Landscape Performance Security deposit in the form of a "Letter of Credit" in the amount of 125% of the estimated value of the landscaping, as determined by a Registered Landscape Architect.
- e) A restrictive covenant registered on title limiting the dwelling units on floors two, three, and four to 'supportive housing'.

This Development Permit is valid for two (2) years **from the date of Council approval**, with no opportunity to extend.

3. PERFORMANCE SECURITY

As a condition of the issuance of this Permit, Council is holding the security set out below to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Developer and be paid to the Developer or his or her designate if the security is returned. The condition of the posting of the security is that should the Developer fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the Municipality may use enter into an agreement with the property owner of the day to have the work carried out, and any surplus shall be paid over to the property own of the day. Should the Developer carry out the development permitted by this Permit within the time set out above, the security shall be returned to the Developer or his or her designate. There is filed accordingly:

- a) An Irrevocable Letter of Credit in the amount of **\$58,418.75** - or
- b) A certified cheque in the amount of **\$58,418.75**

Before any bond or security required under this Permit is reduced or released, the Developer will provide the City with a statutory declaration certifying that all labour, material, workers' compensation and other taxes and costs have been paid.

5. INDEMNIFICATION

Upon commencement of the works authorized by this Permit the Developer covenants and agrees to save harmless and effectually indemnify the Municipality against:

- a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality said Permit.

All costs, expenses, claims that may be incurred by the Municipality where the construction, engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

**The PERMIT HOLDER is the CURRENT LAND OWNER.
Security shall ONLY be returned to the signatory of the
Landscape Agreement or their designates.**

SCHEDULE A & B

This forms part of application

DP17-0052



City of
Kelowna
COMMUNITY PLANNING

2018

Planner
Initials AC

HOUSING DEVELOPMENT FOR CULOS DEVELOPMENT AT 130 McCURDY ROAD, KELOWNA, B.C,



RICHARD HUNTER
ARCHITECT INC.
500 - 153 SEYMOUR ST
KAMLOOPS, BC V2C 2C7
PHONE 250.372.8845
richard@rhunterarchitect.com

Rendering : McCurdy Road, Looking West



2018

HOUSING DEVELOPMENT
FOR
CULOS DEVELOPMENT
AT 130 McCURDY ROAD

KELOWNA, B.C.

TITLE SHEET

Scale: 1/2" = 1'-0"

Date	2016-12-22
Drawn	Author
Checked	Checker
Reviewed	N/A

A-0

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GENERAL NOTES:

ADDRESS: 130 McCURDY ROAD
 LEGAL: K1D 344073 PLAN #39917 LOT #2
 LOT AREA: 0.767 AC (3,105.16 SQM)
 (0.872 AC. PRIOR TO ROAD WIDENING)
 ZONING: CURRENTLY: A1
 PROPOSED: C3

BUILDING AREA: 9869 SQFT (916.8 SQM)
 FLOOR AREA TOTAL: 34,200 SQFT (3177.2 SQM) 4 STOREYS
 FLOOR AREA RATIO (FAR): 1.023
 LOT COVERAGE - BUILDING: 29.5%
 LOT COVERAGE - BUILDING + PARKING: 61.76%
 PRIVATE OPEN SPACE: 7241 SQFT (672 SQM)
 SETBACKS: FRONT (RUTLAND RD.) 10'-0" (3.0m)
 SIDE (NORTH) 23'-0" (7.0m)
 STREET SIDE (McCURDY RD) 6'-6" (2.0m)
 REAR (WEST SIDE) 20'-0" (6.0m)

BUILDING HEIGHT: 48'-0" (14.0m) - 4 STOREYS
 RESIDENTIAL SUITES: 51 TOTAL
 1 BEDROOM 2
 STUDIO (308 SQFT): 47
 1 BEDROOM ACCESSIBLE (537 SQFT): 2
 TOTAL: 51

PARKING:
 RESIDENTIAL (SUPPORTIVE HOUSING):
 2 - 1 BEDROOM SUITE x 1.25 STALL 2.5
 49 SUITES x 1 STALL / 3 SUITES 17
 NON-RESIDENTIAL:
 55 SEATS @ 1 STALL / 5 SEATS 11
 TOTAL REQUIRED: 34
 TOTAL PROVIDED: 35 STALLS

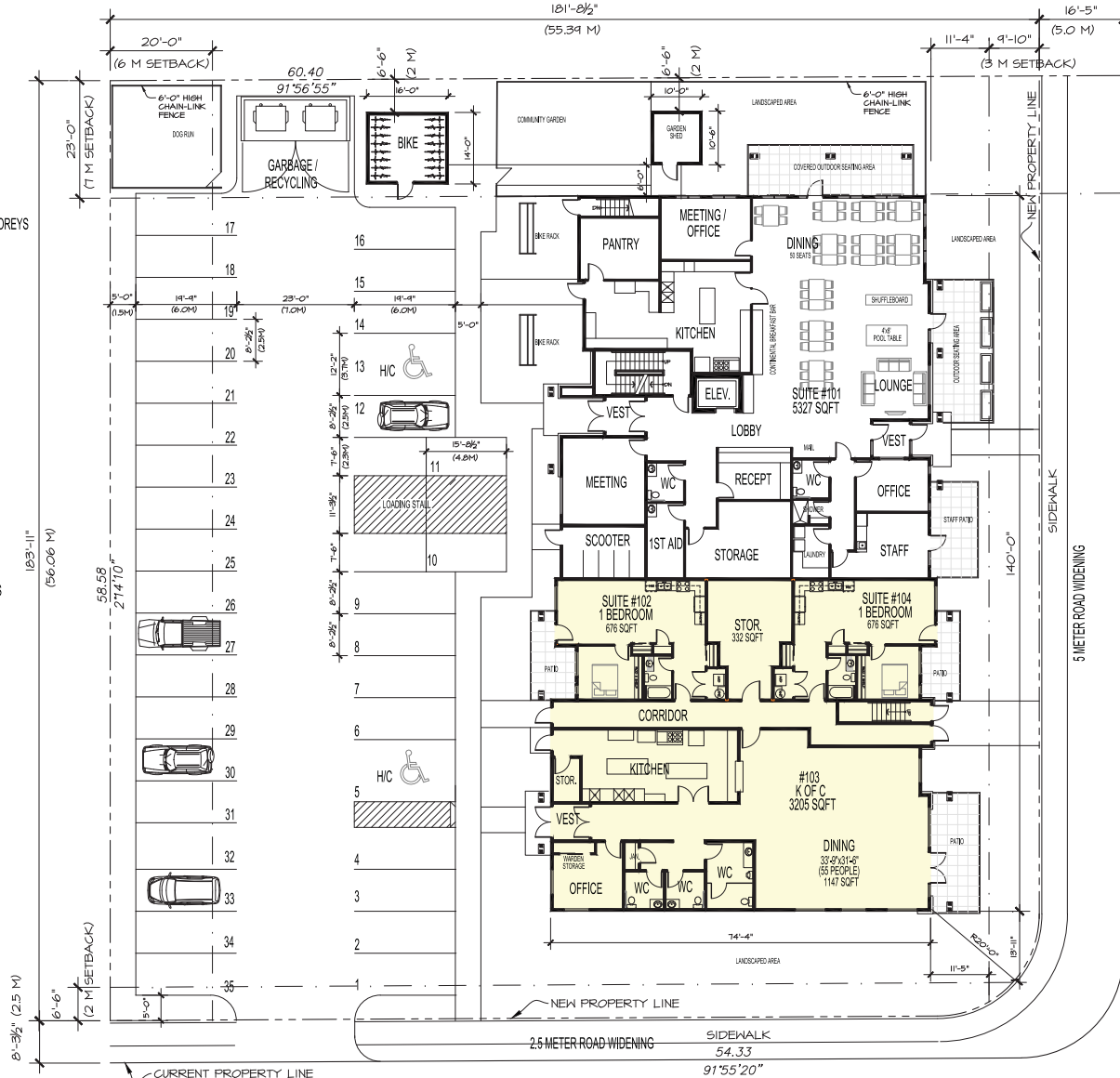
FULL SIZE STALLS (6m x 2.5m): 33 STALLS
 H.C. STALLS (6.0m x 3.7m): 2 STALL
 BICYCLE STALLS (0.6m x 1.8m - Aisle 1.2m):
 LONG TERM - BIKE ROOM STALLS: 16 STALLS
 SHORT TERM - BIKE RACK: 34 BIKES
 LOADING STALLS (4.0m x 3.0m): 1 STALL

BUILDING CODE REVIEW
 B.C. BUILDING CODE: 2012
 BUILDING DESIGNED UNDER: PART 3
 MAJOR OCCUPANCY: C / A2 / D
 CONSTRUCTION CLASS:
 C 3.2.2.50
 D 3.2.2.57
 A2 3.2.2.24

NUMBER OF STREETS FACING: 2
 BUILDING HEIGHT: 4 STOREY
 COMBUSTIBLE CONSTRUCTION: YES

FIRE RESISTANCE RATING:
 FLOOR D / C 1 HR
 FLOOR RES / RES 1 HR
 ROOF 45 MIN
 SUPPORT STRUCTURE 1 HR
 SERVICE ROOM 1 HR
 SPRINKLERED: YES
 STAND PIPE: YES
 FIRE ALARM: YES
 WASHROOMS:
 A2 - 55 SEATS - 2F / 3M
 RESIDENTIAL: 1 WASHROOM PER DWELLING UNIT

NOTE: GEODETIC DATUM - MAIN FLOOR 1341.86 FT (409 M)
 (VERIFY WITH SURVEY)



MAIN FLOOR PLAN
 SCALE: 1/8" = 1'-0"



KNIGHTS OF COLUMBUS

MAIN FLOOR AREAS: KOC 4542 SQ FT
 BC HOUSING / PRHC 5327 SQ FT
 TOTAL 9869 SQ FT

SCHEDULE A & B

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 # DP17-0052

Planner Initials **AC**

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 COMMUNITY PLANNING

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2018
 CULOS DEVELOPMENT
 RUTLAND & McCURDY RD.
 PROJECT

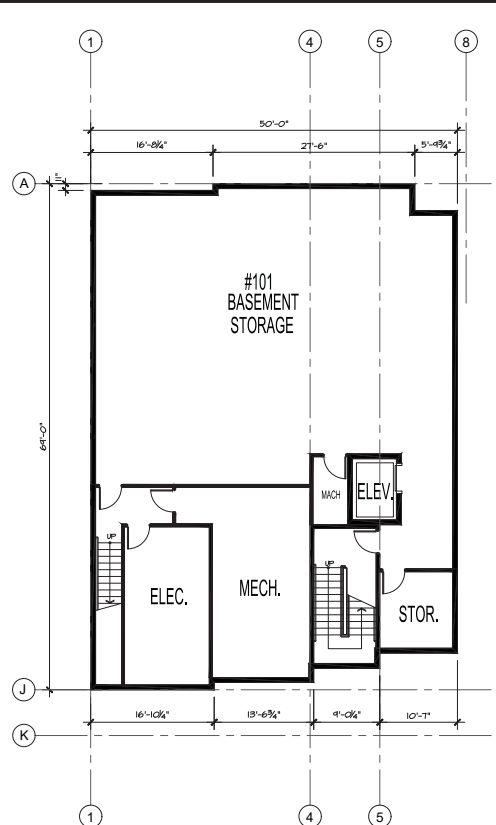
HOUSING PROJECT
 130 McCURDY ROAD
 KELOWNA, BC

REVISION	DATE	BY	DATE
REVISOR			
DESIGNER			
CHECKER			
DATE			

SITE PLAN

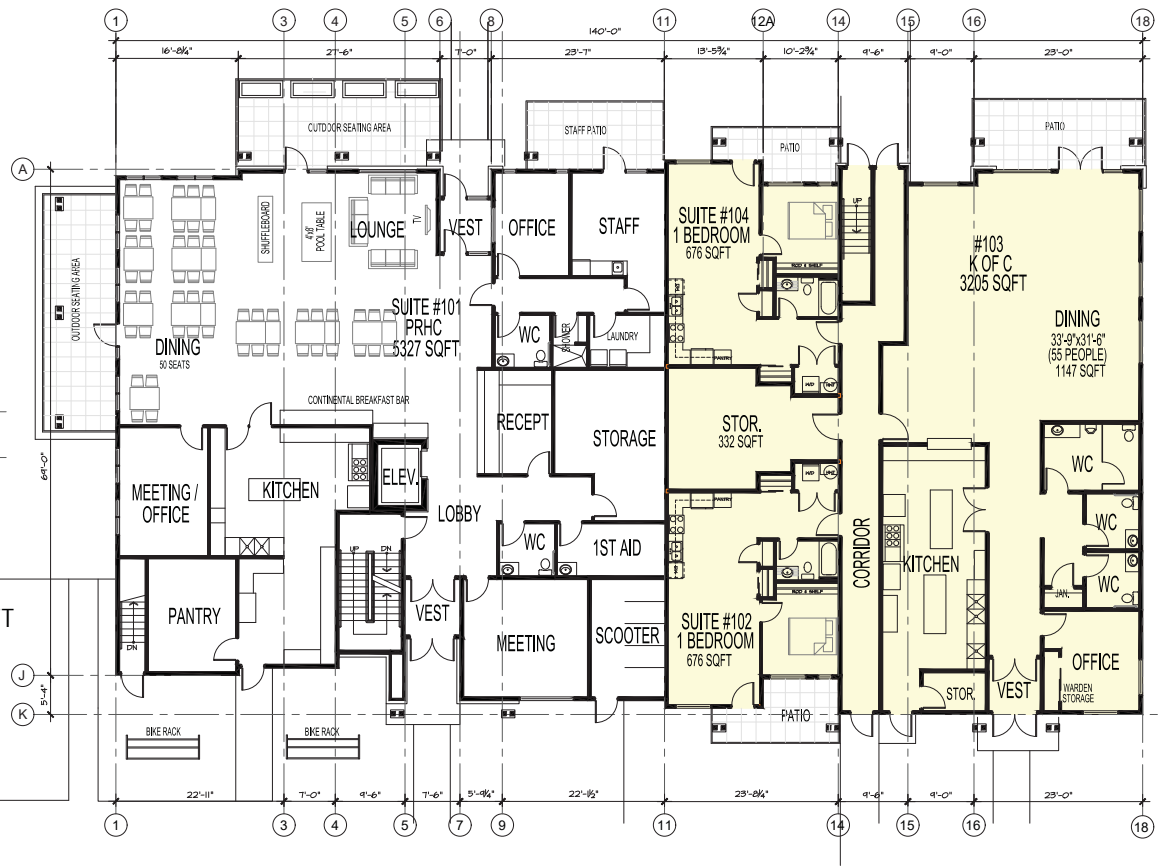
Scale: 1/8" = 1'-0"

Date	Drawn	Checked	Project	Drawing No.
DECEMBER 20, 2016	HAM	RH	10971-17	A-1



BASEMENT FLOOR PLAN
SCALE: 1/8" = 1'-0"

AREA = 3320 SQFT



MAIN FLOOR PLAN
SCALE: 1/8" = 1'-0"

BC HOUSING / PRHC - 5327 SQFT
KNIGHTS OF COLUMBUS - 4542 SQFT
TOTAL FLOOR AREA = 9869 SQFT

■ KNIGHTS OF COLUMBUS

SCHEDULE A & B

This forms part of application
DP17-0052

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2018
CULOS DEVELOPMENT
RUTLAND & McCURDY RD.
PROJECT

HOUSING PROJECT
130 McCURDY ROAD
KELOWNA, BC

No	Revision	By	Date
1	REVISED DP	HAM	25/05/16
2	FEE PROPOSAL	HAM	03/06/16
3	ISSUED FOR REVIEW	HAM	10/06/16
4	ISSUED FOR REVIEW	HAM	04/08/16
5	ISSUED FOR REVIEW	HAM	04/08/16
6	UPDATED DP	HAM	25/05/17
7	ISSUED FOR DP	HAM	11/02/17

Sheet Title:
**BASEMENT PLAN
MAIN FLOOR PLAN**
Scale: 1/8"=1'-0"

Date	MAY 10, 2016
Drawn	HAM
Checked	RH
Project	10971-17
Drawing No.	

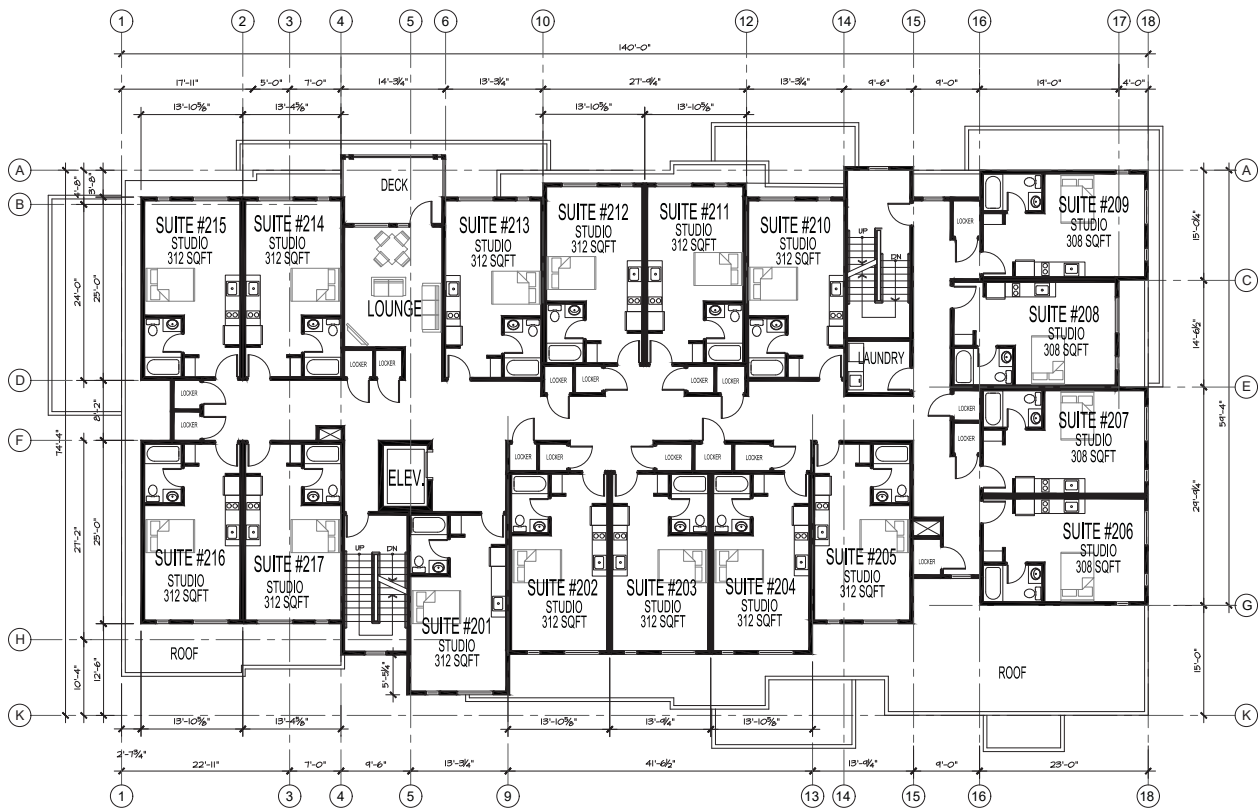
SCHEDULE A & B

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DP17-0052

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2ND FLOOR PLAN
SCALE: 1/8" = 1'-0"

BC HOUSING / PRHC
17 UNITS
STUDIO UNITS = 308 SQFT / 312 SQFT
AREA = 8261 SQFT PER FLOOR



2018
CULOS DEVELOPMENT
RUTLAND & McCURDY RD.
PROJECT

HOUSING PROJECT
130 McCURDY ROAD
KELOWNA, BC

REVISOR	DATE	DESCRIPTION
△	MAY 23/16	REVISED DP
△	MAY 11/16	FREE PROPOSAL
△	MAY 26/16	SITE NO.
△	MAY 10/16	ISSUED FOR REVIEW
△	MAY 10/16	ISSUED FOR REVIEW
△	MAY 25/16	UPDATED DP
△	MAY 11/16	ISSUED FOR DP
No	Revision	By
		Date

Sheet Title:
2ND FLOOR PLAN
Scale: 1/8" = 1'-0"

Date	MAY 10, 2016
Drawn	HAM
Checked	RH
Project	10971-17
Drawing No.	

SCHEDULE A & B

This forms part of application

DP17-0052

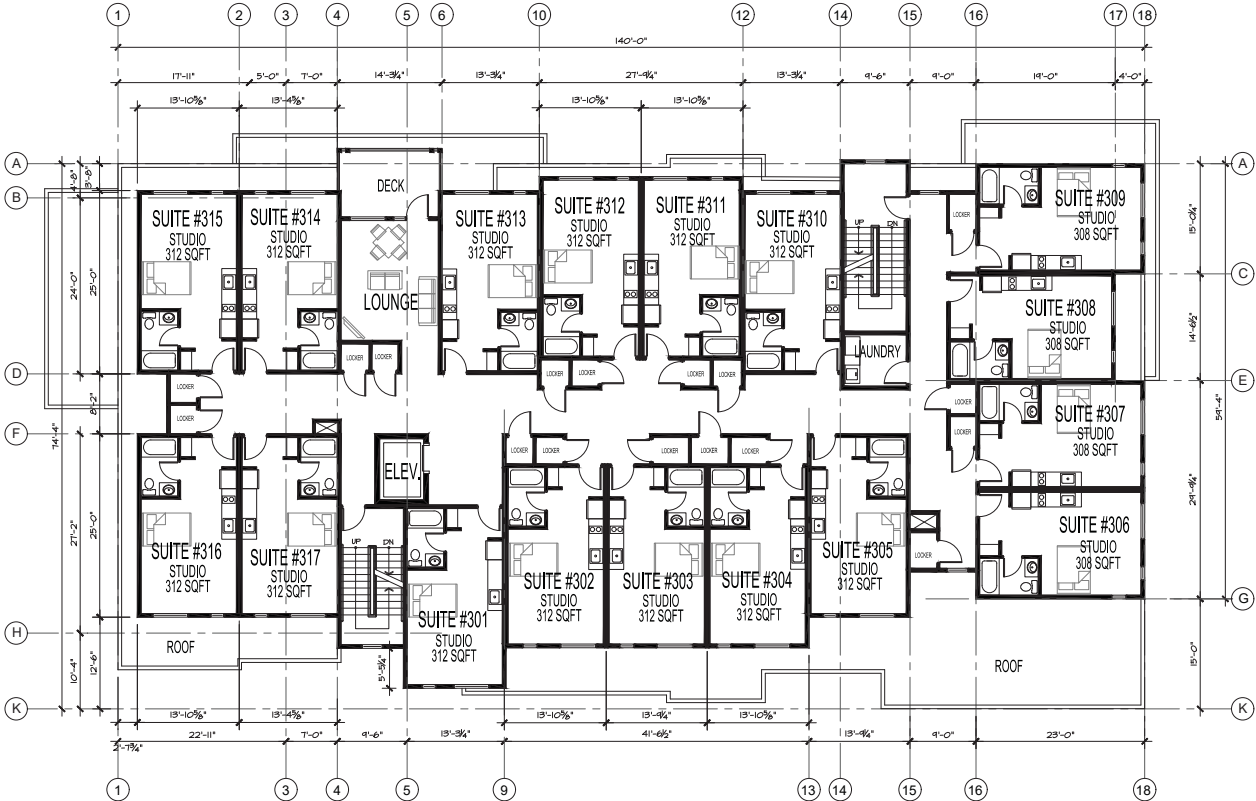
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City of **Kelowna**
COMMUNITY PLANNING



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3RD FLOOR PLAN
SCALE: 1/8"=1'-0"

BC HOUSING / PRHC
17 UNITS
STUDIO UNITS = 308 SQFT / 312 SQFT
AREA = 8261 SQFT PER FLOOR



2018
CULOS DEVELOPMENT
RUTLAND & McCURDY RD.
PROJECT

HOUSING PROJECT
130 McCURDY ROAD
KELOWNA, BC

No	Revision	By	Date

3RD FLOOR PLAN

Scale: 1/8"=1'-0"

Date	MAY 10, 2016
Drawn	HAM
Checked	RH
Project	10971-17
Drawing No.	

SCHEDULE A & B

This forms part of application

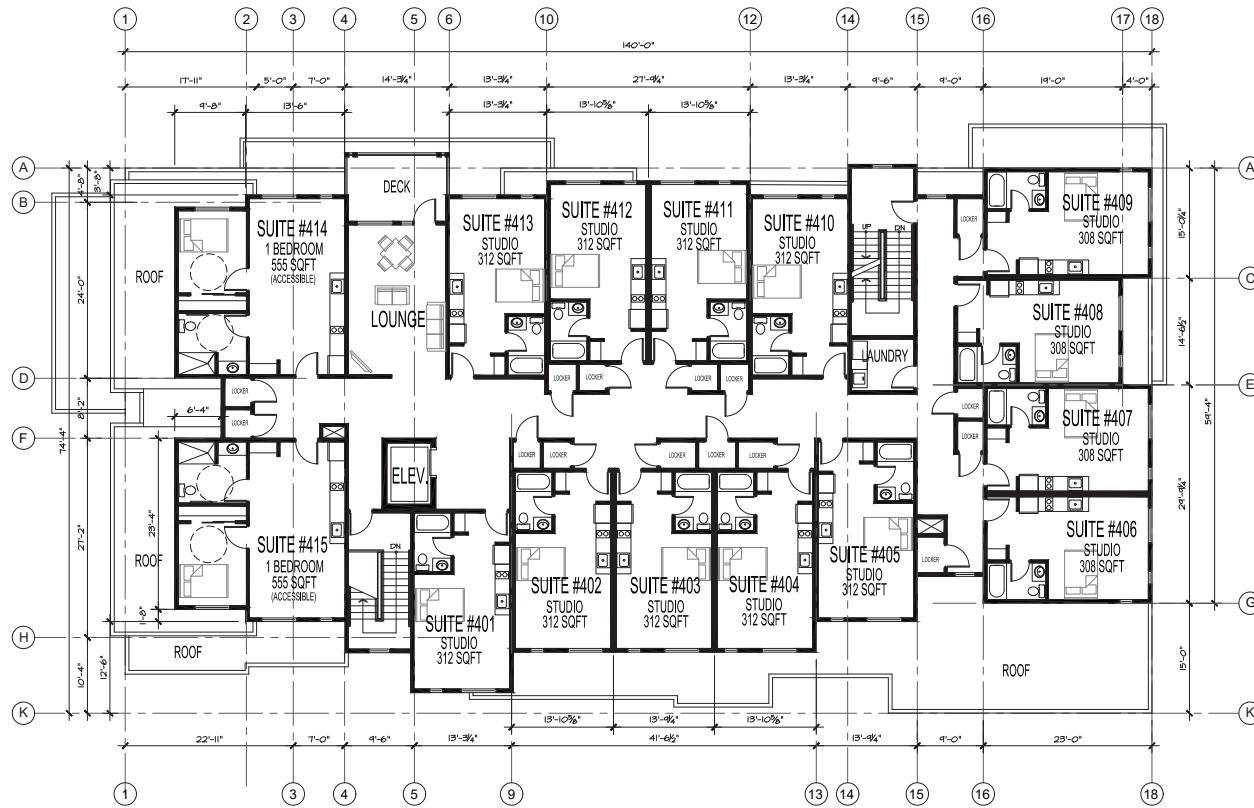
DP17-0052

Planner Initials **AC**



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4TH FLOOR PLAN
SCALE: 1/8"=1'-0"

BC HOUSING / PRHC
15 UNITS
STUDIO UNITS = 308 SQFT / 312 SQFT
ACCESSIBLE 1 BED UNITS = 555 SQFT
AREA = 7971 SQFT PER FLOOR

2018

CULOS DEVELOPMENT
RUTLAND & McCURDY RD.
PROJECT

HOUSING PROJECT
130 McCURDY ROAD
KELOWNA, BC

No	Revision	By	Date
△	REVISED DP	HAM	25/05/16
△	FEE PROPOSAL	HAM	01/05/16
△	SUITE NO.	HAM	01/05/16
△	ISSUED FOR REVIEW	HAM	20/05/16
△	ISSUED FOR REVIEW	HAM	20/05/16
△	ISSUED FOR REVIEW	HAM	20/05/16
△	ISSUED FOR REVIEW	HAM	20/05/16
△	UPDATED DP	HAM	25/05/17
△	ISSUED FOR DP	HAM	11/02/17

Sheet Title:

4TH FLOOR PLAN

Scale: 1/8"=1'-0"

Date	MAY 10, 2016
Drawn	HAM
Checked	RH
Project	10971-17
Drawing No.	

A-5

SCHEDULE **A & B**

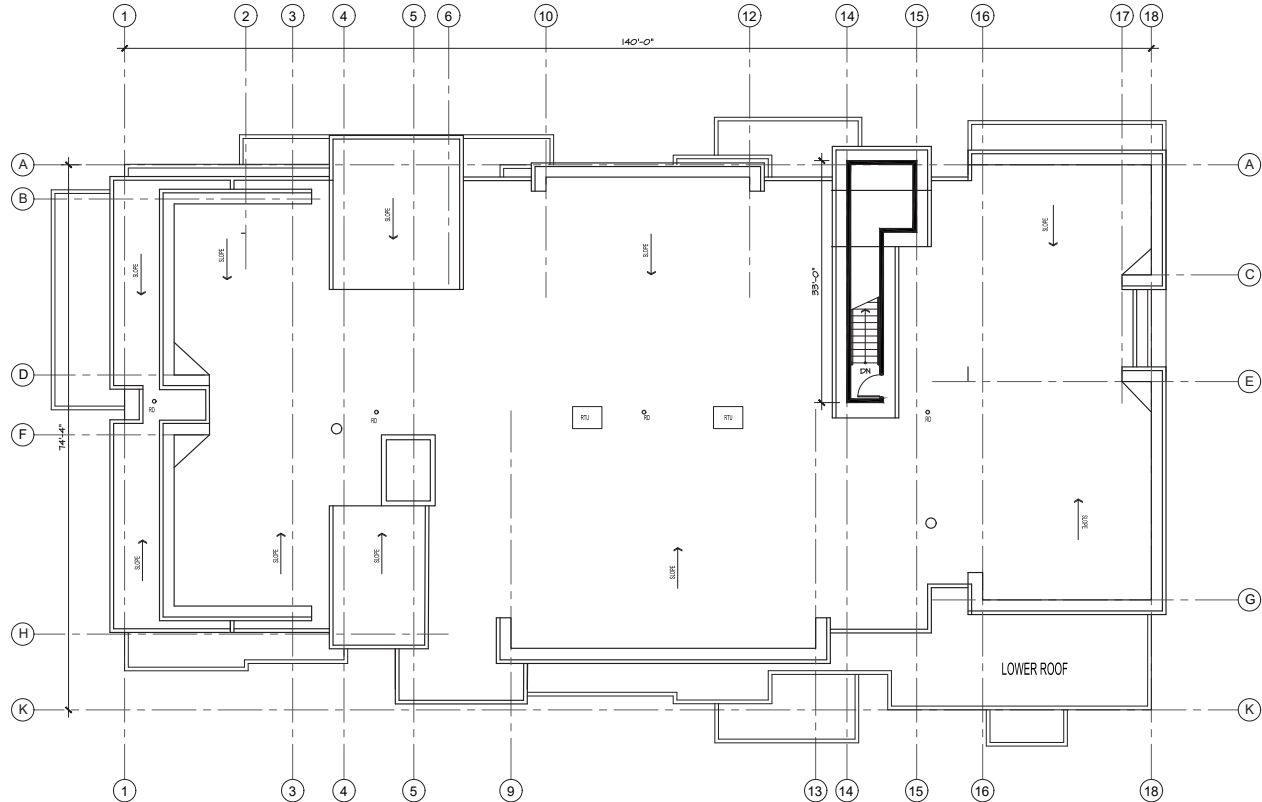
This forms part of application

DP17-0052

Planner Initials AC



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ROOF PLAN
SCALE: 1/8" = 1'-0"

2018
CULOS DEVELOPMENT
RUTLAND & McCURDY RD.
PROJECT

HOUSING PROJECT
130 McCURDY ROAD
KELOWNA, BC

No	Revision	By	Date

Sheet Title:

ROOF PLAN

Scale: 1/8"=1'-0"

Date	MAY 10, 2016
Drawn	HAM
Checked	RH
Project	10971-17
Drawing No.	

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SCHEDULE A & B

This forms part of application
DP17-0052



City of
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COMMUNITY PLANNING

Planner Initials **AC**



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BUILDING ENVELOPE CONSTRUCTION ASSEMBLIES

EXTERIOR (BUILDING ENVELOPE) CONSTRUCTION ASSEMBLIES

ROOF ASSEMBLY

- 2-PLY SBS ROOFING MEMBRANE
- R-50 RIGID INSULATION
- 5/8" T&G PLYWOOD ROOF SHEATHING
- WOOD JOISTS SEE STRUCTURAL
- 5/8" TYPE 'X' GYPSUM WALLBOARD (30 MIN FRR)

EXTERIOR WALL ASSEMBLY

- SIDING / STUCCO OR FACE BRICK (AS PER ELEVATIONS)
- 2" ROXUL COMFORTBOARD INSULATION (R-10) CONTINUOUS
- 2 LAYERS - 30 MIN BUILDING PAPER
- 1/2" PLYWOOD SHEATHING
- 2x6 WOOD STUDS AS PER STRUCTURAL
- RSI 9.5 (R-20) FIBREGLASS BATT INSULATION
- 6 MIL POLY V.B.
- 5/8" TYPE 'X' GYPSUM WALLBOARD

SLAB-ON-GRADE FLOOR ASSEMBLY

- FINISHED FLOORING
- 4" REINFORCED CONCRETE SLAB (SEE STRUCTURAL)
- 10 MIL POLY VAPOUR BARRIER
- GRANULAR BASE (SEE STRUCTURAL DRAWINGS)
- UNDISTURBED NATURAL SOIL

INTERIOR CONSTRUCTION ASSEMBLIES

INTERIOR WALL ASSEMBLIES

TYPICAL PARTY WALL BETWEEN SUITES

- 1HR FRR - BCBG #1113c STC54
- 5/8" TYPE 'X' GYPSUM WALLBOARD
 - 2x4 WOOD STUDS - SEE STRUCTURAL
 - 3-1/2" ACOUSTIC BATT INSULATION
 - 1" AIR SPACE
 - 3-1/2" ACOUSTIC BATT INSULATION
 - 2x4 WOOD STUDS - SEE STRUCTURAL
 - 5/8" TYPE 'X' GYPSUM WALLBOARD
 - SEE STRUCT. DWGS FOR SHEARWALL LOCATION

TYPICAL CORRIDOR WALL

- 1HR FRR - BCBG #1113c STC52
- 5/8" TYPE 'X' GYPSUM WALLBOARD
 - 2x6 WOOD TOP & BTM PLATES
 - STAGGERED 2x4 WOOD STUDS
 - 3-1/2" ACOUSTIC BATT INSULATION
 - 2 LAYERS 5/8" TYPE 'X' GYPSUM WALLBOARD
 - SEE STRUCT. DWGS FOR SHEARWALL LOCATION

TYPICAL INTERIOR WALL

- 5/8" TYPE 'X' GYPSUM WALLBOARD
- 2x4 WOOD STUDS - SEE STRUCTURAL
- 5/8" TYPE 'X' GYPSUM WALLBOARD
- AQUA BOARD AROUND TUB

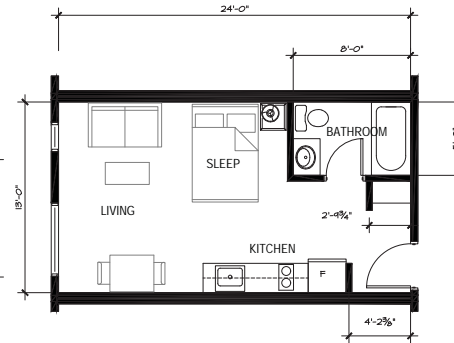
INTERIOR FLOOR ASSEMBLIES

TYPICAL 1HR FRR FLOOR ASSEMBLY

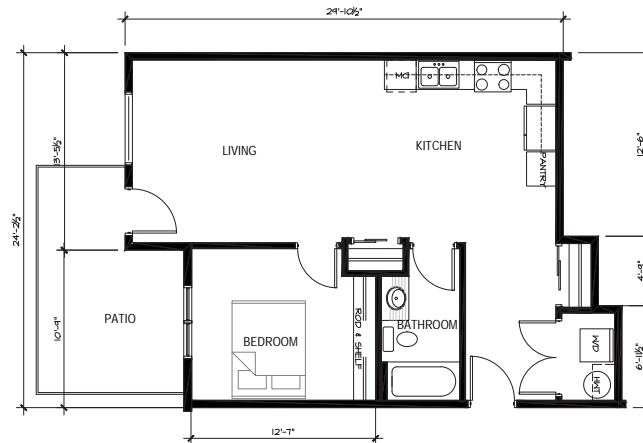
- 1HR FRR - BCBG #F114c STC51
- FINISHED FLOORING
 - UNDERLAY
 - 1-1/2" CONCRETE TOPPING
 - 5/8" T&G PLYWOOD SUB FLOOR
 - MANUFACTURED WOOD JOISTS
 - 6" MINERAL WOOL BATT
 - 3" RESILIENT METAL CHANNELS @ 16" o.c.
 - 2 LAYERS - 5/8" TYPE 'X' GYPSUM WALLBOARD



UNIT A FLOOR PLAN
SCALE: 1/4" = 1'-0"
AREA = 308 SQFT

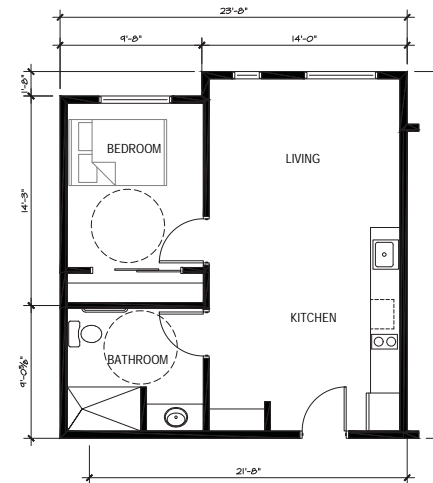


UNIT B FLOOR PLAN
SCALE: 1/4" = 1'-0"
AREA = 312 SQFT



1 BEDROOM UNIT 1 FLOOR PLAN
SCALE: 1/4" = 1'-0"
AREA = 676 SQFT
KNIGHTS OF COLUMBUS

1 BEDROOM ACCESSIBLE UNIT
SCALE: 1/4" = 1'-0"
AREA = 555 SQFT



2018

CULOS DEVELOPMENT
RUTLAND & McCURDY RD.
PROJECT

HOUSING PROJECT
130 McCURDY ROAD
KELOWNA, BC

No	Revision	By	Date
1	REVISED DP	HAM	28/11/16
2	FEE PROPOSAL	HAM	30/11/16
3	ISSUED FOR REVIEW	HAM	28/05/17
4	UPDATED DP	HAM	28/05/17
5	ISSUED FOR DP	HAM	11/02/17

Sheet Title:
UNIT PLANS
AND
CONSTRUCTION ASSEMBLIES
Scale: AS NOTED

Date	JUNE 3, 2016
Drawn	HAM
Checked	RH
Project	10971-17
Drawing No.	A-7

SCHEDULE A & B

This forms part of application
DP17-0052



Planner Initials AC



RICHARD HUNTER
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1 NORTH ELEVATION
SCALE: 3/16" = 1'-0"



- JAMES HARDI SIDING: COBBLESTONE
- JAMES HARDI SIDING: KHAKI BROWN
- JAMES HARDI PANEL: ARCTIC WHITE
- MASONRY BRICK: Mutual Materials - Inca Red
- STUCCO FINISH: Countrylane Red
- STUCCO FINISH: AGED PEWTER

- ROOF SHINGLES: COBBLESTONE
- SMARTSTART FASCIAS & TRIMS: IRON GRAY
- METAL FLASHINGS AND SHEET METAL: IRON GRAY
- DOOR AND WINDOW FRAMES: BLACK
- DOOR AND WINDOW FRAMES: BLACK
- METAL DOOR PANELS: AGED PEWTER

- ALUMINUM EZY TRIMS: COLOR MATCHED TO ARCTIC WHITE
- ALUMINUM RAILINGS: BLACK
- GLULAM BEAMS AND POSTS: NATURAL CLEAR STAIN
- EXPOSED CONCRETE PARKING: NATURAL GREY

Color Legend
1/4" = 1'-0"

NOTE:
ALL COLORS REFERENCE THE JAMES HARDI COLOR PALETTE

- MATERIAL LEGEND**
- 1.1 ASPHALT SHINGLES
 - 1.3 HARDI-PLANK SIDING
 - 1.4 HARDI PANEL WITH HORIZ. & VERT. EZY TRIMS
 - 1.5 STUCCO FINISH
 - 1.6 BRICK MASONRY FINISH
 - 1.7 5/4" X 6" PTD. SMARTSIDE TRIM
 - 1.8 5/4" X 4" PTD. SMARTSIDE FASCIA BOARD
 - 1.9 5/4" X 8" PTD. SMARTSIDE FASCIA BOARD
 - 1.10 5/4" X 10" PTD. SMARTSIDE FASCIA BOARD
 - 1.11 5/4" X 12" PTD. SMARTSIDE FASCIA BOARD
 - 1.12 CONCRETE ROOF CAP
 - 1.13 PRE-FINISHED METAL FLASHING
 - 1.14 WOOD POSTS
 - 1.15 WOOD BEAMS
 - 1.16 CONCRETE COLUMN
 - 2.1 8" CONC. FND. WALL
 - 2.2 EXTERIOR 2"x6" WOOD WALL (R17.5)
 - 2.3 CONC MASONRY BLOCK WALL
 - 2.5 8" CONC. S.O.G.
 - 2.7 ENGINEERED JOIST FLOOR
 - 2.9 PRE-ENGINEERED TRUSS (R5)
 - 2.10 PARALLEL CHORD TRUSS (R28)
 - 2.11 WOOD FRAME ROOF
 - 2.12 PRE-ENG ROOF TRUSS



2 EAST ELEVATION - RUTLAND RD.
SCALE: 3/16" = 1'-0"

2018

HOUSING DEVELOPMENT FOR CULOS DEVELOPMENT AT 130 MCCURDY ROAD

KELOWNA, B.C.

BUILDING ELEVATIONS

Scale: As Indicated

Date:	2016-12-22
Drawn:	KBT
Checked:	KBT
Client:	N/A

H:\projects\current\0071-170\ngs\plans\A&B\LAND PROJECT - DP NOV 2016.rvt

SCHEDULE A & B

This forms part of application
DP17-0052



Planner Initials AC

- JAMES HARDI SIDING: 'COBBLESTONE'
- JAMES HARDI SIDING: 'KHAKI BROWN'
- JAMES HARDI PANEL: 'ARCTIC WHITE'
- MASONRY BRICK: 'Mutual Materials - Inca Red'
- STUCCO FINISH: 'Courtylane Red'
- STUCCO FINISH: 'AGED PEWTER'

- ROOF SHINGLES: 'COBBLESTONE'
- SMARTSTART FASCIAS & TRIMS: 'IRON GRAY'
- METAL FLASHINGS AND SHEET METAL: 'IRON GRAY'
- DOOR AND WINDOW FRAMES: 'BLACK'
- DOOR AND WINDOW FRAMES: 'BLACK'
- METAL DOOR PANELS: 'AGED PEWTER'

- ALUMINUM EZY TRIMS: 'COLOR MATCHED TO ARCTIC WHITE'
- ALUMINUM RAILINGS: 'BLACK'
- GLULAM BEAMS AND POSTS: 'NATURAL CLEAR STAIN'
- EXPOSED CONCRETE PARGING: 'NATURAL GREY'

Color Legend
1/4" = 1'-0"

NOTE:
ALL COLORS REFERENCE THE
JAMES HARDI COLOR PALETTE

MATERIAL LEGEND

- ASPHALT SHINGLES
- HARDI-PANK SIDING
- HARDI-PANEL WITH HORIZ. & VERT. EZY TRIMS
- STUCCO FINISH
- BRICK MASONRY FINISH
- 5/4" X 6" PTD. SMARTSIDE TRIM
- 5/4" X 4" PTD. SMARTSIDE FASCIA BOARD
- 5/4" X 6" PTD. SMARTSIDE FASCIA BOARD
- 5/4" X 10" PTD. SMARTSIDE FASCIA BOARD
- 5/4" X 12" PTD. SMARTSIDE FASCIA BOARD
- CONCRETE ROOF CAP
- PRE-FINISHED METAL FLASHING
- WOOD POSTS
- WOOD BEAMS
- CONCRETE COLLUMN
- 8" CONG. FND. WALL
- EXTERIOR 2"x6" WOOD WALL (R17.5)
- CONG MASONRY BLOCK WALL
- 9" CONG. S.O.G.
- ENGINEERED I-JOIST FLOOR
- PRE-ENGINEERED TRUSS (R50)
- PARALLEL CHORD TRUSS (R28)
- WOOD FRAME ROOF
- PRE-ENG ROOF TRUSS



1 SOUTH ELEVATION - McCURDY RD.
SCALE: 3/16" = 1'-0"



2 WEST ELEVATION
SCALE: 3/16" = 1'-0"

RICHARD HUNTER
ARCHITECT INC.

500 - 153 SEYMOUR ST
KAMLOOPS, BC V2C 2C7
PHONE 250.372.8845
richard@hunterarchitect.com

2018

HOUSING DEVELOPMENT
FOR
CULOS DEVELOPMENT
AT 130 McCURDY ROAD

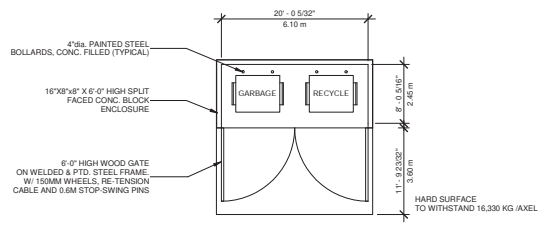
KELOWNA, B.C.

NO.	DESCRIPTION	DATE

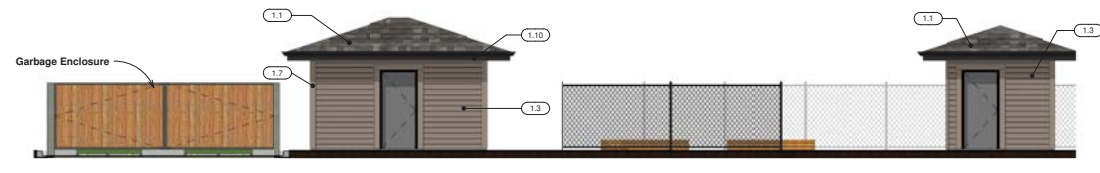
BUILDING ELEVATIONS

Scale: As Indicated

Date	2018-12-22
Drawn	KMT
Checked	KMT
Project	N/A



4 GARBAGE ENCLOSURE
SCALE: 1/8" = 1'-0"









1 BIKE STORAGE & GARDEN SHED
SCALE: 3/16" = 1'-0"



2 BIKE STORAGE - SIDE ELEVATION
SCALE: 3/16" = 1'-0"



3 GARDEN SHED - SIDE ELEVATION
SCALE: 3/16" = 1'-0"

- | | | | |
|---|--|--|--|
|  | JAMES HARDI SIDING:
"COBBLESTONE" | ROOF SHINGLES:
"COBBLESTONE" | ALUMINUM EZZY TRIMS:
"COLOR MATCHED TO ARCTIC WHITE" |
|  | JAMES HARDI SIDING:
"KISAKI BROWN" | SMARTSTART FASCIAS & TRIMS:
"IRON GRAY" | ALUMINUM RAILINGS:
"BLACK" |
|  | JAMES HARDI PANEL:
"ARCTIC WHITE" | METAL FLASHINGS AND SHEET METAL:
"IRON GRAY" | GLULAM BEAMS AND POSTS:
"NATURAL CLEAR STAIN" |
|  | MASONRY BRICK:
"Mutual Materials - Inca Red" | DOOR AND WINDOW FRAMES:
"BLACK" | EXPOSED CONCRETE PAVING:
"NATURAL GREY" |
|  | STUCCO FINISH:
"Countrylane Red" | DOOR AND WINDOW FRAMES:
"BLACK" | |
|  | STUCCO FINISH:
"AGED PEWTER" | METAL DOOR PANELS:
"AGED PEWTER" | |

Color Legend
1/4" = 1'-0"

NOTE:
ALL COLORS REFERENCE THE
JAMES HARDI COLOR PALETTE

- MATERIAL LEGEND**
- 1.1 ASPHALT SHINGLES
 - 1.3 HARD PLANK SIDING
 - 1.4 HARDI PANEL WITH HORIZ. & VERT. EZZY TRIMS
 - 1.5 STUCCO FINISH
 - 1.6 BRICK MASONRY FINISH
 - 1.7 5/4" X 6" PTD. SMARTSIDE TRIM
 - 1.8 5/4 X 4" PTD. SMARTSIDE FASCIA BOARD
 - 1.9 5/4 X 6" PTD. SMARTSIDE FASCIA BOARD
 - 1.10 5/4 X 12" PTD. SMARTSIDE FASCIA BOARD
 - 1.11 5/4 X 12" PTD. SMARTSIDE FASCIA BOARD
 - 1.12 CONCRETE ROOF GAP
 - 1.13 PRE-FINISHED METAL FLASHING
 - 1.14 WOOD POSTS
 - 1.15 WOOD BEAMS
 - 1.16 CONCRETE COLUMN
 - 2.1 8" CONC. FND. WALL
 - 2.2 EXTERIOR 2" WOOD WALL (R17.5)
 - 2.3 CONC MASONRY BLOCK WALL
 - 2.6 5' CONC. S.I.O.G.
 - 2.7 ENGINEERED JOIST FLOOR
 - 2.9 PRE-ENGINEERED TRUSS (R50)
 - 2.10 PARALLEL CHORD TRUSS (R28)
 - 2.11 WOOD FRAME ROOF
 - 2.12 PRE-ENG ROOF TRUSS

SCHEDULE A & B

This forms part of application
DP17-0052

Planner Initials

AC



City of Kelowna
COMMUNITY PLANNING

2018

HOUSING DEVELOPMENT
FOR
CULOS DEVELOPMENT
AT 130 MCCURDY ROAD

KELOWNA, B.C.

NO.	REVISION	DATE

BIKE AND GARDEN SHED ELEVATIONS

Scale: As Indicated

DATE	2016-12-22
DATE	Author
CHECKER	Checker
DATE	N/A

SCHEDULE A & B

This forms part of application
DP17-0052



City of
Kelowna
COMMUNITY PLANNING

Planner Initials AC



RICHARD HUNTER
ARCHITECT Inc.
500 - 153 SEYMOUR ST
KAMLOOPS, BC V2C 2C7
PHONE 250.372.8845
richard@rhunterarchitect.com

Rendering : McCurdy Road, Looking South-West



2018

HOUSING DEVELOPMENT
FOR
CULOS DEVELOPMENT
AT 130 MCCURDY ROAD

KELOWNA, B.C.

COLOUR ILLUSTRATIONS

Scale: 1/2" = 1'-0"

Date:	2018-12-22
Drawn:	Author
Checked:	Checker
Reviewed:	N/A

A-11

Rendering : Rutland Road, Looking North-East



Rendering : Parking Lot, Looking South-East



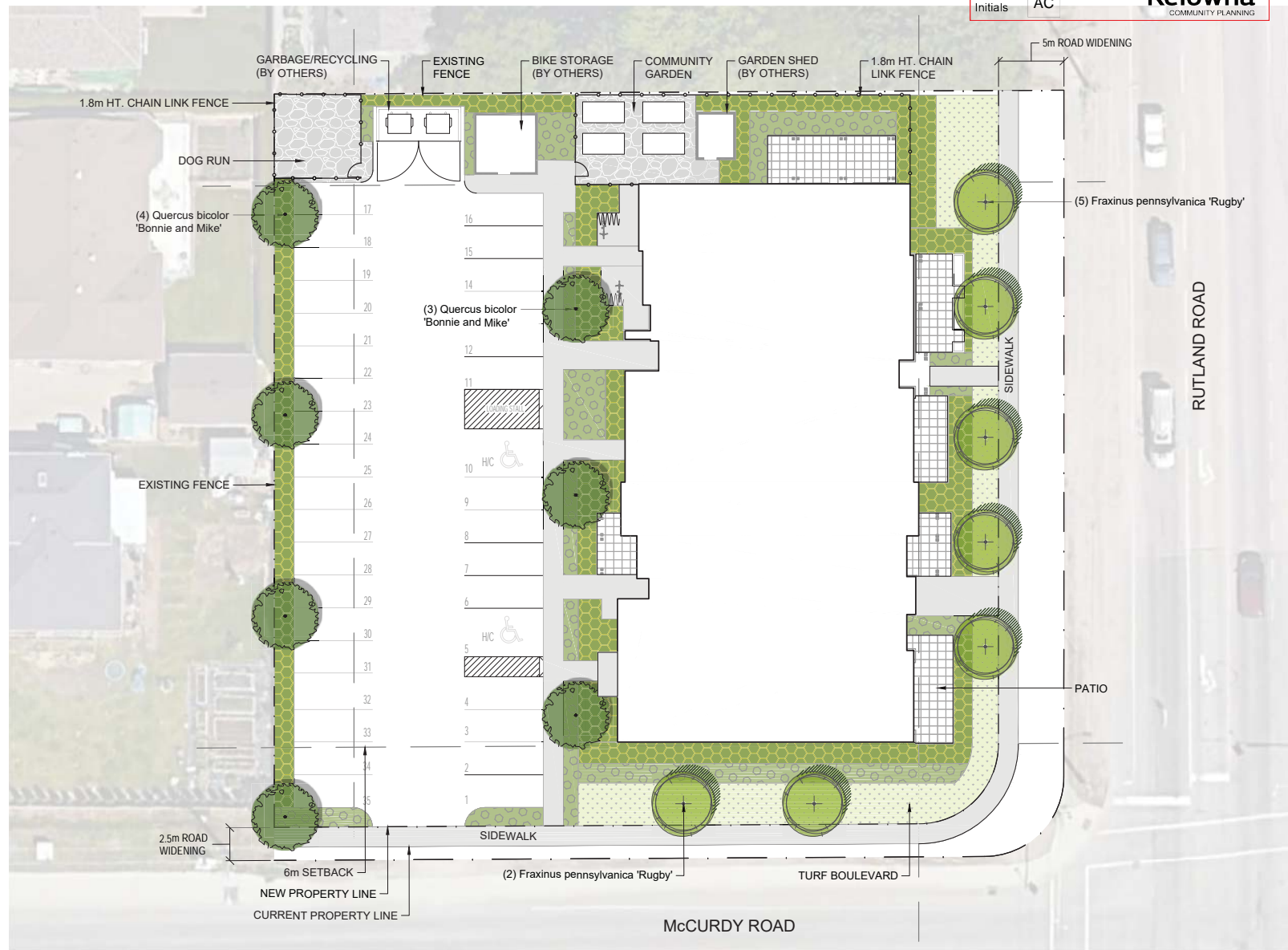
SCHEDULE C

This forms part of application
DP17-0052



City of
Kelowna
COMMUNITY PLANNING

Planner Initials **AC**



LEGEND:

- DECIDUOUS TREES
- PROPERTY LINE
- 1.8m HT. CHAIN LINK FENCE
- GRAVEL MULCH
- SOIL
- ORNAMENTAL GRASSES / PERENNIALS PLANTING BED w/ MULCH
- SHRUBS BED w/ MULCH
- CONCRETE PAVING
- CONCRETE PAVERS
- BIKE RACK

GENERAL NOTES:

1. PLANT MATERIALS AND CONSTRUCTION METHODS SHALL CONFORM TO MINIMUM STANDARDS ESTABLISHED IN THE CANADIAN LANDSCAPE STANDARD (CURRENT EDITION).
2. THE LANDSCAPE DESIGN DESIGNATED HEREIN IS CONCEPTUAL BUT REFLECTS THE MINIMUM ACCEPTABLE QUALITY AND SIZE.
3. PLANT MATERIAL SELECTIONS ARE CONCEPTUAL ONLY. FINAL PLANTING SELECTIONS MAY VARY DEPENDING UPON AVAILABILITY.
4. ALL PLANTING BEDS SHALL HAVE APPROVED MULCH.
5. ALL LANDSCAPE AREAS TO BE IRRIGATED WITH AN EFFICIENT AUTOMATIC IRRIGATION SYSTEM.
6. THIS DRAWING DEPICTS FORM AND CHARACTER AND IS TO BE USED FOR DEVELOPMENT PERMIT SUBMISSION ONLY. IT IS NOT INTENDED FOR USE AS A CONSTRUCTION DOCUMENT.

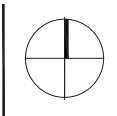
PLANT LIST

QTY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	Mature Plant Size (Ht.xWd.)
Trees Deciduous					
7	<i>Fraxinus pennsylvanica</i> 'Rugby'	Frane Spire Green Ash	6cm Cal	B&B	12.0m x 6.0m
7	<i>Quercus bicolor</i> 'Bonnie and Mike'	Beacon Oak	6cm Cal	B&B	12.0m x 4.5m
Shrubs					
65	<i>Cornus alba</i> 'Bailetho'	Ivory Halo Dogwood	#02	Potted	1.5m x 1.5m
65	<i>Rhus aromatica</i> 'Gro-Low'	Stro-Low Fragrant Sumac	#02	Potted	1.0m x 1.8m
40	<i>Taxus baccata</i>	Common Yew	#02	Potted	2.0m x 1.0m
Grasses					
20	<i>Calamagrostis x acutiflora</i> 'Karl Foerster'	Karl Foerster Reed Grass	#01	Potted	1.5m x 0.9m
20	<i>Pennisetum alpecuroides</i>	Fountain Grass	#01	Potted	1.0m x 1.0m
30	<i>Pennisetum alpecuroides</i> 'Little Bunny'	Miniature Fountain Grass	#01	Potted	0.6m x 0.6m
Perennials					
30	<i>Achillea filipendulina</i> 'Cloth of Gold'	Cloth of Gold Yarrow	#01	Potted	1.0m x 0.75m
20	<i>Bergenia cordifolia</i>	Pigiqueak	#01	Potted	0.5m x 0.5m
20	<i>Echinacea purpurea</i> 'Magnus'	Magnus Coneflower	#01	Potted	0.9m x 0.6m
20	<i>Heuchera micrantha</i>	Coral Bell	#01	Potted	0.6m x 0.5m
30	<i>Nepeta x faassenii</i> 'Walker's Low'	Walker's Low Catmint	#01	Potted	0.9m x 0.9m
20	<i>Perovskia atriplicifolia</i>	Russian Sage	#01	Potted	1.2m x 1.0m
30	<i>Rudbeckia fulgida</i> 'Goldsturm'	Goldsturm Coneflower	#01	Potted	0.6m x 0.6m

REPRESENTATIVE IMAGES:



PROJECT:
130 McCURDY ROAD, KELOWNA, B.C
CLIENT:
CULOS DEVELOPMENT INC.

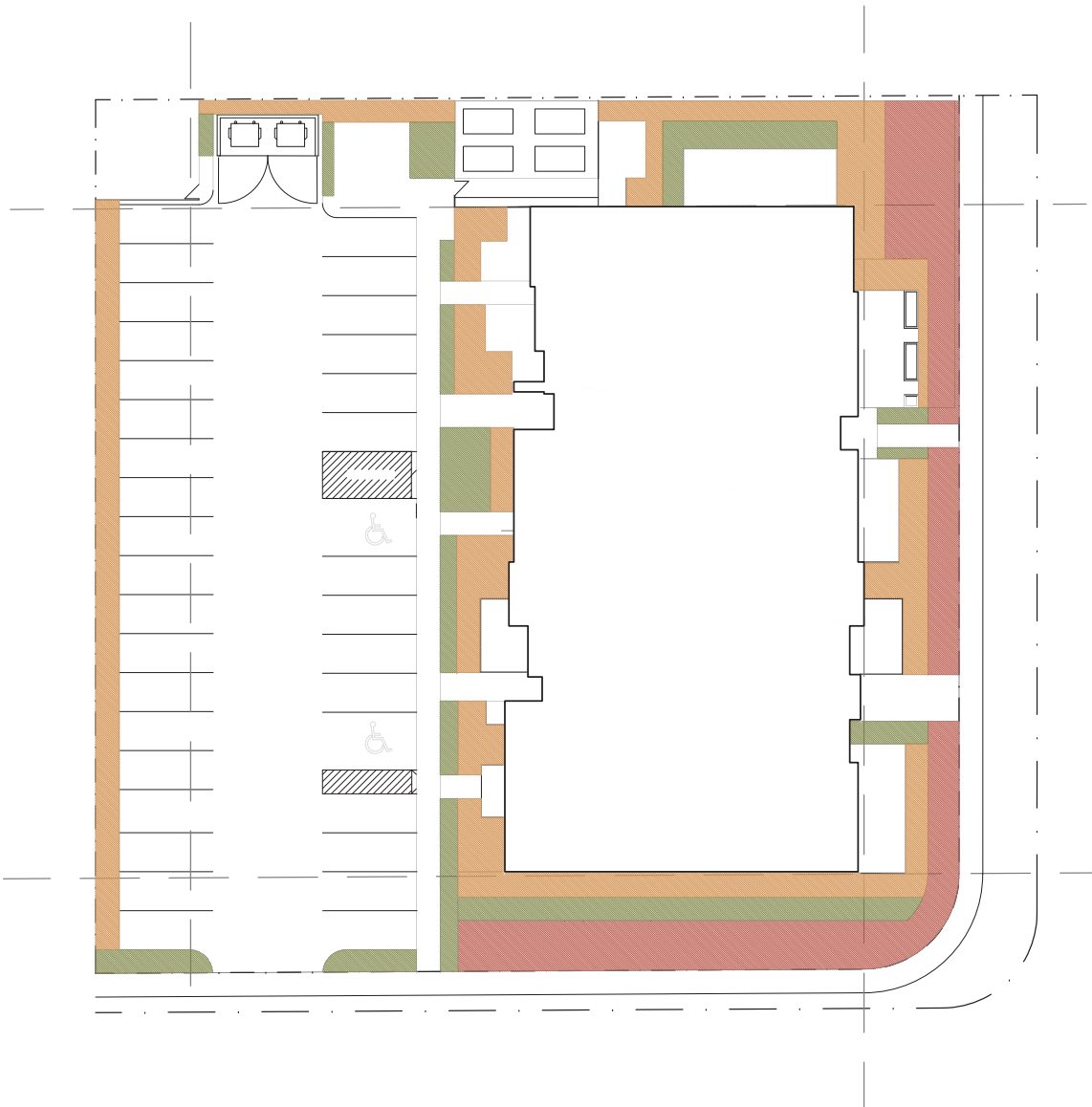


NO.	DATE (MM/DD/YY)	REVISION
1	11/29/18	ISSUED FOR DEVELOPMENT PERMIT

DESIGN: BD
DRAWN: GM
CHKD: BD
DATE: 11/29/18
SCALE: 1:300

SITE PLAN
LDP-1
Project No. LK-18-608

579 LAWRENCE AVE. KELOWNA, B.C. V1Y 6L8
PHONE: 250-469-9757 WWW.ECORA.CA



HYDROZONE LEGEND:

- LOW WATER REQUIREMENTS GRASSES / PERENNIALS
- MEDIUM WATER REQUIREMENTS SHRUBS
- HIGH WATER REQUIREMENTS SOD AREA

SCHEDULE C

This forms part of application
DP17-0052

Planner
Initials

AC



City of Kelowna
COMMUNITY PLANNING

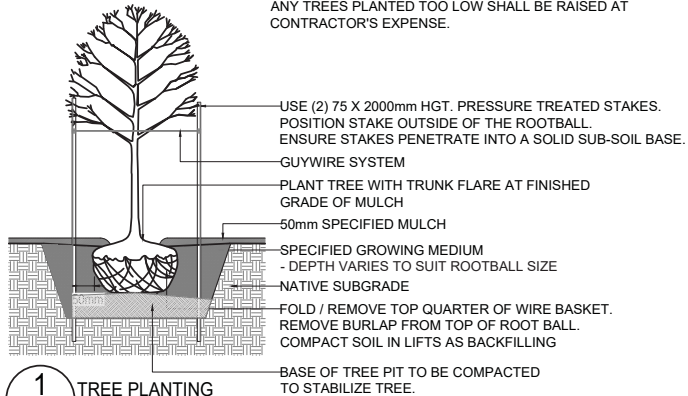


SEAL

NO.	DATE (MM/DD/YY)	REVISION
1	11/20/18	ISSUED FOR DEVELOPMENT PERMIT

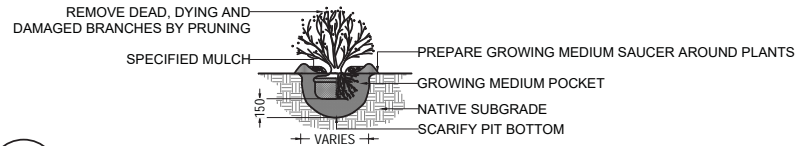
DESIGN: BD
DRAWN: GM
CHKD: BD
DATE: 11/20/18
SCALE: 1:300

NOTES:1. DEPTH OF ROOTBALL TO MATCH ORIGINAL ROOTBALL DEPTH ESTABLISHED IN THE NURSERY. ANY TREES PLANTED TOO LOW SHALL BE RAISED AT CONTRACTOR'S EXPENSE.

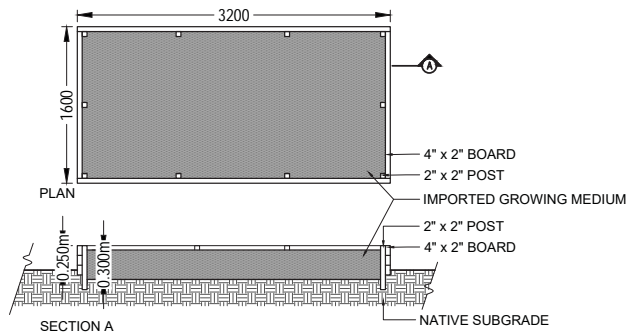


1 TREE PLANTING
L01 1:50

NOTES:1. REMOVE CONTAINER ROOT SYSTEM WITHOUT DISTURBING THE ROOT SYSTEM OF THE PLANT2. CONTRACTOR TO ALLOW FOR SETTLEMENT WHEN PLANTING



2 SHRUB PLANTING
L01 1:50



3 COMMUNITY GARDEN PLANTER
L01 1:50

SCHEDULE C

This forms part of application
DP17-0052

Planner Initials **AC**

City of Kelowna
COMMUNITY PLANNING

DESIGN: BD	DATE: 11/29/18
DRAWN: GM	SCALE: 1:50
CHKD: BD	
ISSUED FOR DEVELOPMENT PERMIT	
REVISION	
1	11/29/18
NO.	DATE (MM/DD/YY)



November 27, 2018

Ecora File No.: LK-18-608-CDI

City of Kelowna
1435 Water Street
Kelowna, BC V1Y 1J4

Attention: **Development Services**

Dear Sir / Madam

Reference: **130 McCurdy Road – Development Permit**

As per our client's request, Ecora Engineering and Resource Group Ltd., estimates a landscape development cost of **\$ 46,735,00**, excluding applicable taxes for the above noted property. This price includes landscape materials and installation (trees, planting, topsoil, mulch, gravel mulch, lawn, and irrigation).


Should you require any explanation of this letter, please contact the undersigned.

Sincerely

Ecora Engineering and Resource Group Ltd.

Byron Douglas, MBCSLA CSLA
Manager – Landscape Architecture
Direct Line: 250.469.9757 Ext. 1089
byron.douglas@ecora.ca

cc: Blake Culos (Culos Development Inc.)

SCHEDULE	C
This forms part of application # DP17-0052	
Planner Initials	AC
 City of Kelowna COMMUNITY PLANNING	

