

Attachment 1: Hilltown Dr, 3220, DP19-0083

Development Permit DP19-0083



This permit relates to land in the City of Kelowna municipally known as:

3220 Hilltown Drive

and legally known as:

Lot 13, Section 28, Township 23, ODYD Plan EPP76020

and permits the land to be used for the following development:

Multiple dwelling housing

The present owner and any subsequent owner of the above described land must comply with any attached terms and conditions.

Date of Council Decision June 10th 2019

Decision By: COUNCIL

Development Permit Area: Comprehensive Development Permit Area

This permit will not be valid if development has not commenced by June 10th, 2021.

Existing Zone: CD18 Future Land Use Designation: MXT – Mixed use Tourism

This is NOT a Building Permit.

In addition to your Development Permit, a Building Permit may be required prior to any work commencing. For further information, contact the City of Kelowna, Development Services Branch.

NOTICE

This permit does not relieve the owner or the owner's authorized agent from full compliance with the requirements of any federal, provincial or other municipal legislation, or the terms and conditions of any easement, covenant, building scheme or agreement affecting the building or land.

Owner: 1186856 B.C LTD.

Applicant: Matthew Isabelle

Terry Barton
Development Planning Department Manager

Date

1. SCOPE OF APPROVAL

This Development Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.

This Development Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this permit, noted in the Terms and Conditions below.

The issuance of a permit limits the permit holder to be in strict compliance with regulations of the Zoning Bylaw and all other Bylaws unless specific variances have been authorized by the Development Permit. No implied variances from bylaw provisions shall be granted by virtue of drawing notations that are inconsistent with bylaw provisions and that may not have been identified as required Variances by the applicant or Municipal staff.

2. CONDITIONS OF APPROVAL

- a) The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A";
- b) The exterior design and finish of the building to be constructed on the land be in accordance with Schedule "B";
- c) Landscaping to be provided on the land be in accordance with Schedule "C"; and
- d) The applicant be required to post with the City a Landscape Performance Security deposit in the form of a "Letter of Credit" in the amount of 125% of the estimated value of the landscaping, as determined by a Registered Landscape Architect.

This Development Permit is valid for two (2) years **from the date of Council approval**, with no opportunity to extend.

3. PERFORMANCE SECURITY

As a condition of the issuance of this Permit, Council is holding the security set out below to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Developer and be paid to the Developer or his or her designate if the security is returned. The condition of the posting of the security is that should the Developer fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the Municipality may use enter into an agreement with the property owner of the day to have the work carried out, and any surplus shall be paid over to the property own of the day. Should the Developer carry out the development permitted by this Permit within the time set out above, the security shall be returned to the Developer or his or her designate. There is filed accordingly:

- a) An Irrevocable Letter of Credit in the amount of **125% of the estimate landscape costs (TBD)**

Before any bond or security required under this Permit is reduced or released, the Developer will provide the City with a statutory declaration certifying that all labour, material, workers' compensation and other taxes and costs have been paid.

5. INDEMNIFICATION

Upon commencement of the works authorized by this Permit the Developer covenants and agrees to save harmless and effectually indemnify the Municipality against:

- a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality said Permit.

All costs, expenses, claims that may be incurred by the Municipality where the construction, engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

**The PERMIT HOLDER is the CURRENT LAND OWNER.
Security shall ONLY be returned to the signatory of the
Landscape Agreement or their designates.**

IS ARCHIT

1010 - 1 AVENUE N
CALGARY, ALBERTA, CANADA T2C 1A1
PHONE: (403) 283-0676

Review

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Jenkins Architect
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INLEY B
DMUN
LOT 1

1708

SITE ECTIONS

| Date | Feb |
|------|-----|
| Date | |
| Plot | 1: |

100

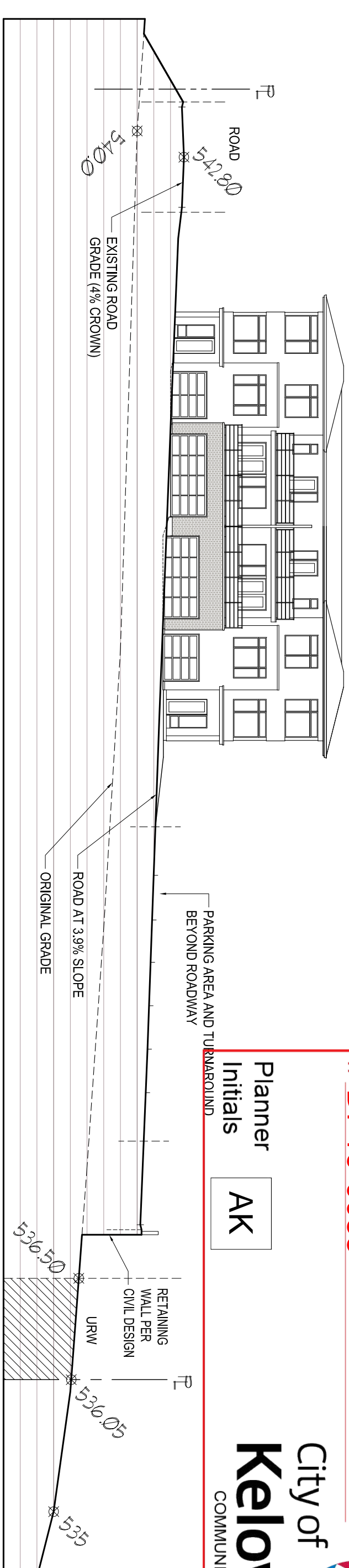
7.

This forms part of application
DP19-0083

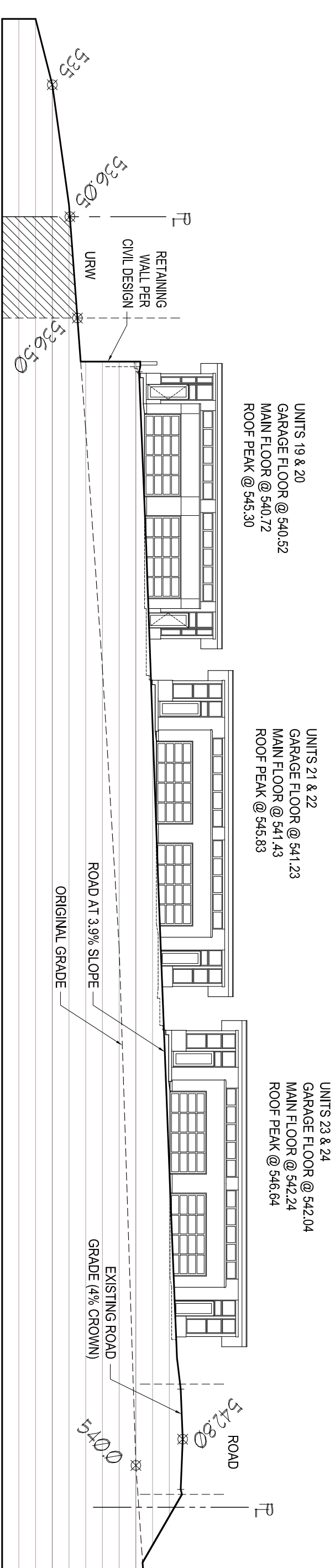
| Planner Initials | AK |
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City of Kelowna
COMMUNITY PLANNING



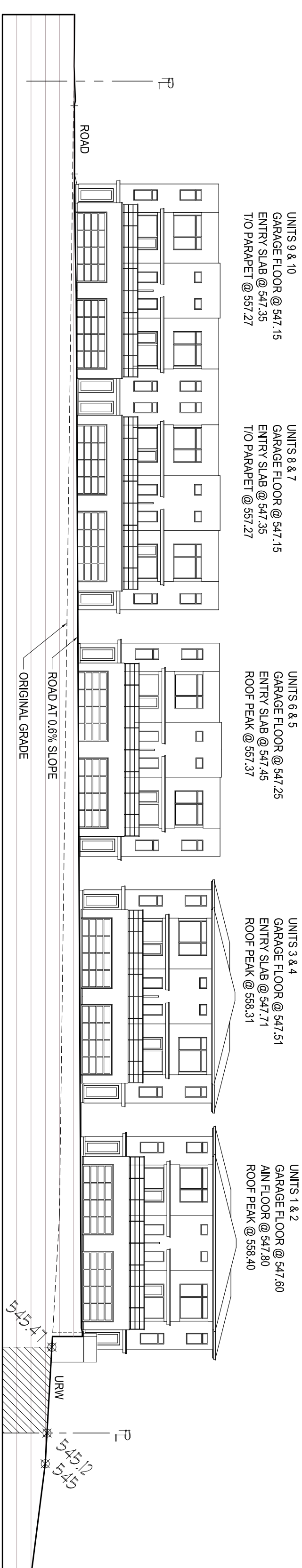
NORTH ROAD - R2 (LOOKING TO THE SOUTH)



NORTH ROAD - R2 (LOOKING TO THE NORTH)

2 SITE SECTIONS THROUGH NORTH ROAD - EAST / WEST

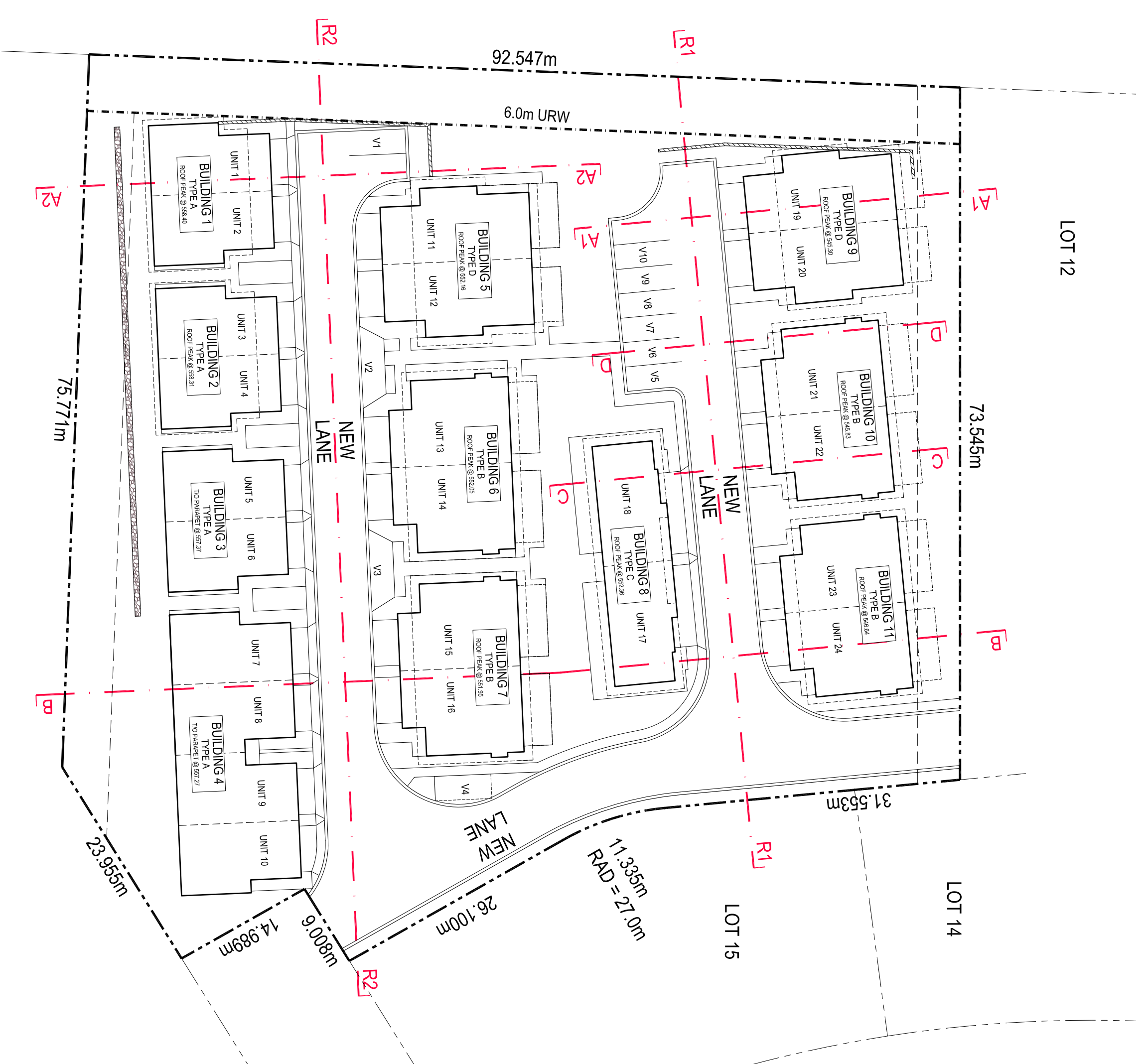
A1.1 SCALE = 1 : 250



SOUTH ROAD - R1 (LOOKING TO THE SOUTH)

1 SITE SECTION KEY PLAN

A1.1 SCALE = 1 : 400



1 SITE SECTION KEY PLAN

A1.1 SCALE = 1 : 400

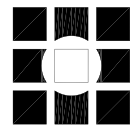
SCHEDULE B

This forms part of application
DP19-0083



Planner Initials AK

City of Kelowna
COMMUNITY PLANNING



JENKINS ARCHITECTURE
200, 100 - 1 AVENUE NE
CALDWAY, ALBERTA, CANADA T2C 1P7
PHONE (403) 255-0605



| | | |
|------------|------|-----------|
| Consultant | | |
| No. | Date | Revisions |

| | | |
|-------|------------|----------------|
| Issue | | |
| 1 | Feb. 28/19 | DP Application |

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Project:
McKINLEY BEACH
COMMUNITY
LOT 13
By MJF Contracting
KELOWNA, BRITISH COLUMBIA

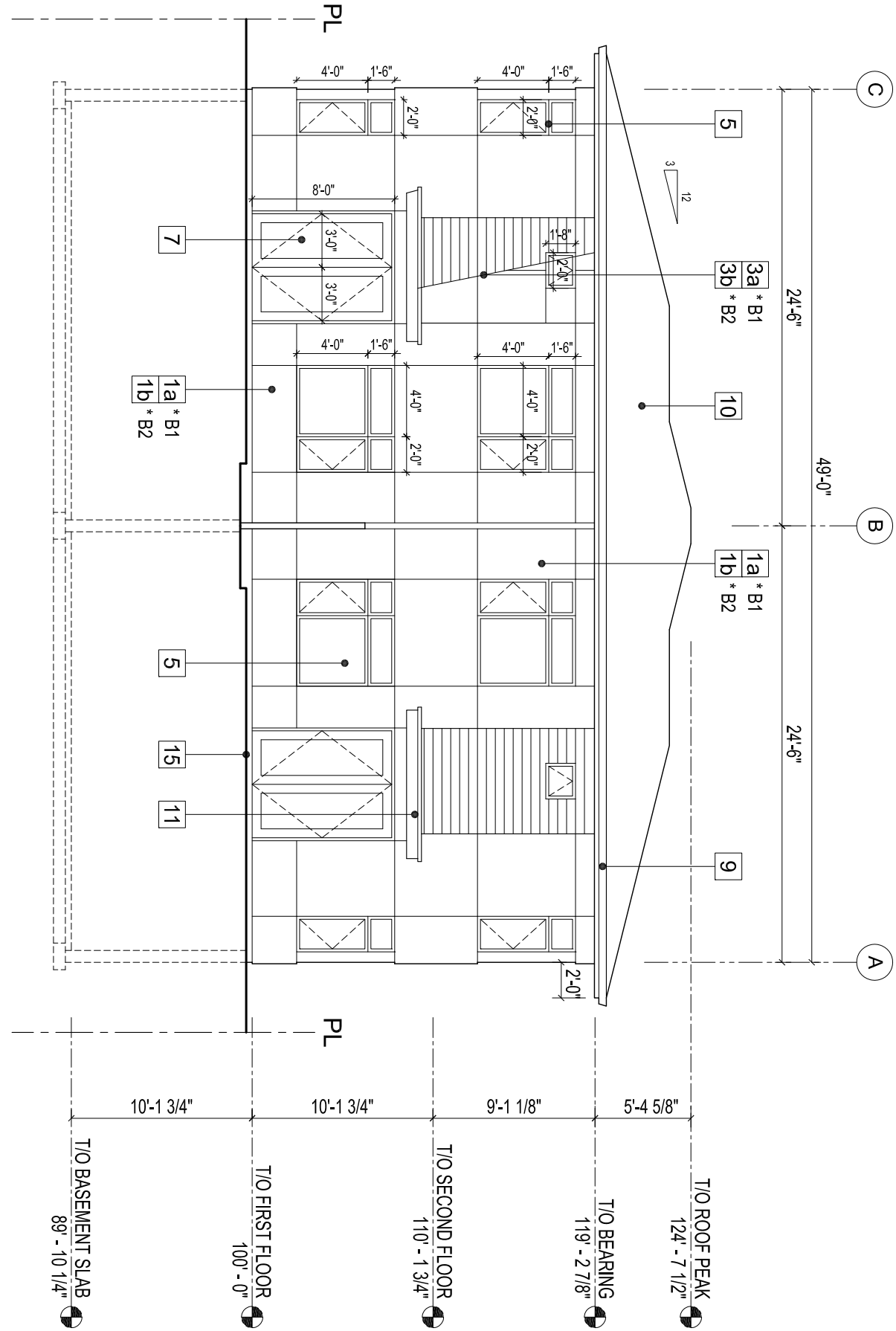
Project Number
1708

Drawing
EXTERIOR
ELEVATIONS
BLDG TYPE A
(SLOPED ROOF)

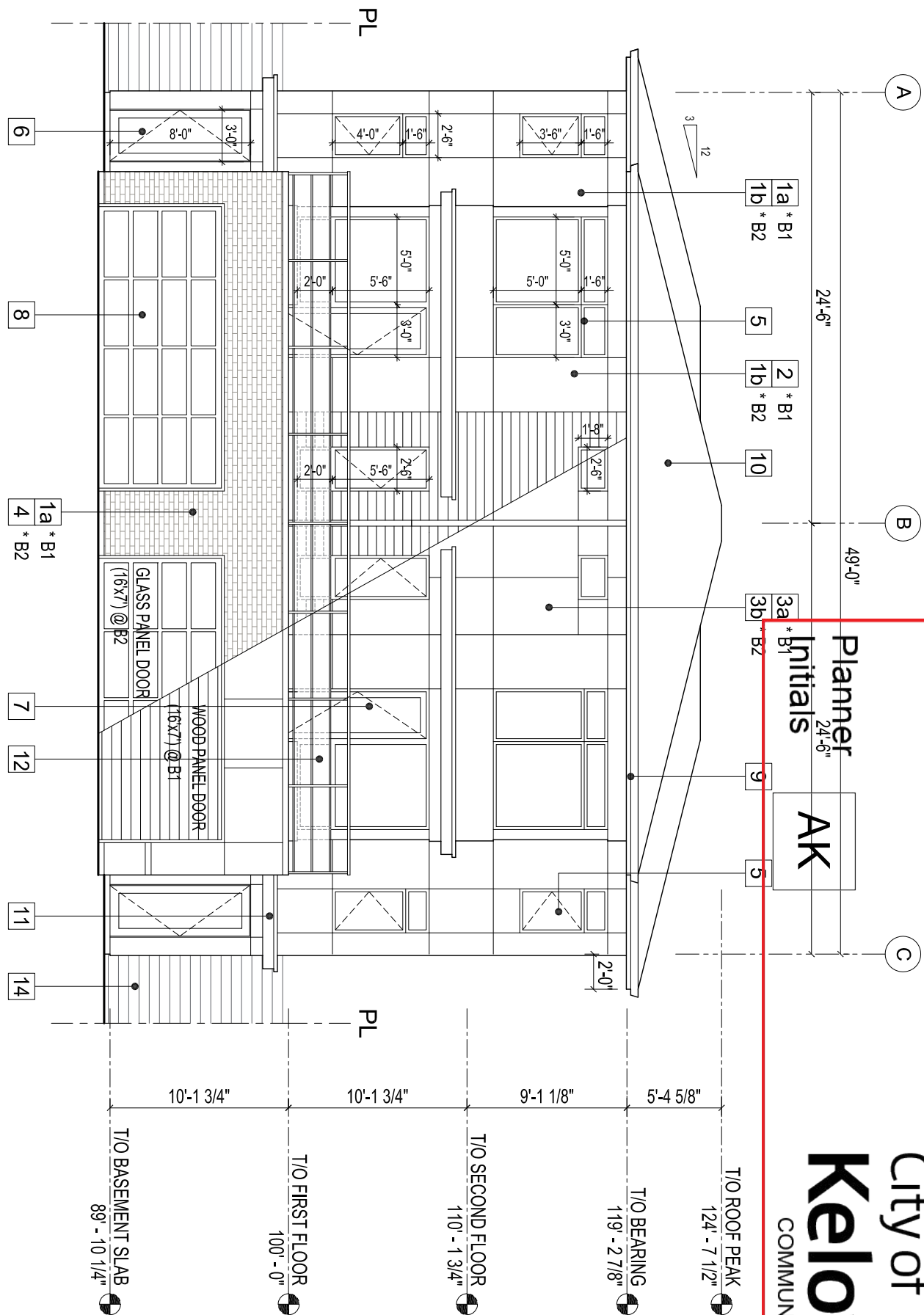
Drawn By: RK Date: Feb. 28, 2019
Checked By: Date:
Scale: Plot Scale:
As Shown 1:1

Drawing No.

A4.1a



2 BLDG TYPE A - SLOPED ROOF
REAR ELEVATION
A4.1a SCALE: 1/8" = 1'-0"



1 BLDG TYPE A - SLOPED ROOF
FRONT ELEVATION
A4.1a SCALE: 1/8" = 1'-0"



BUILDING 1

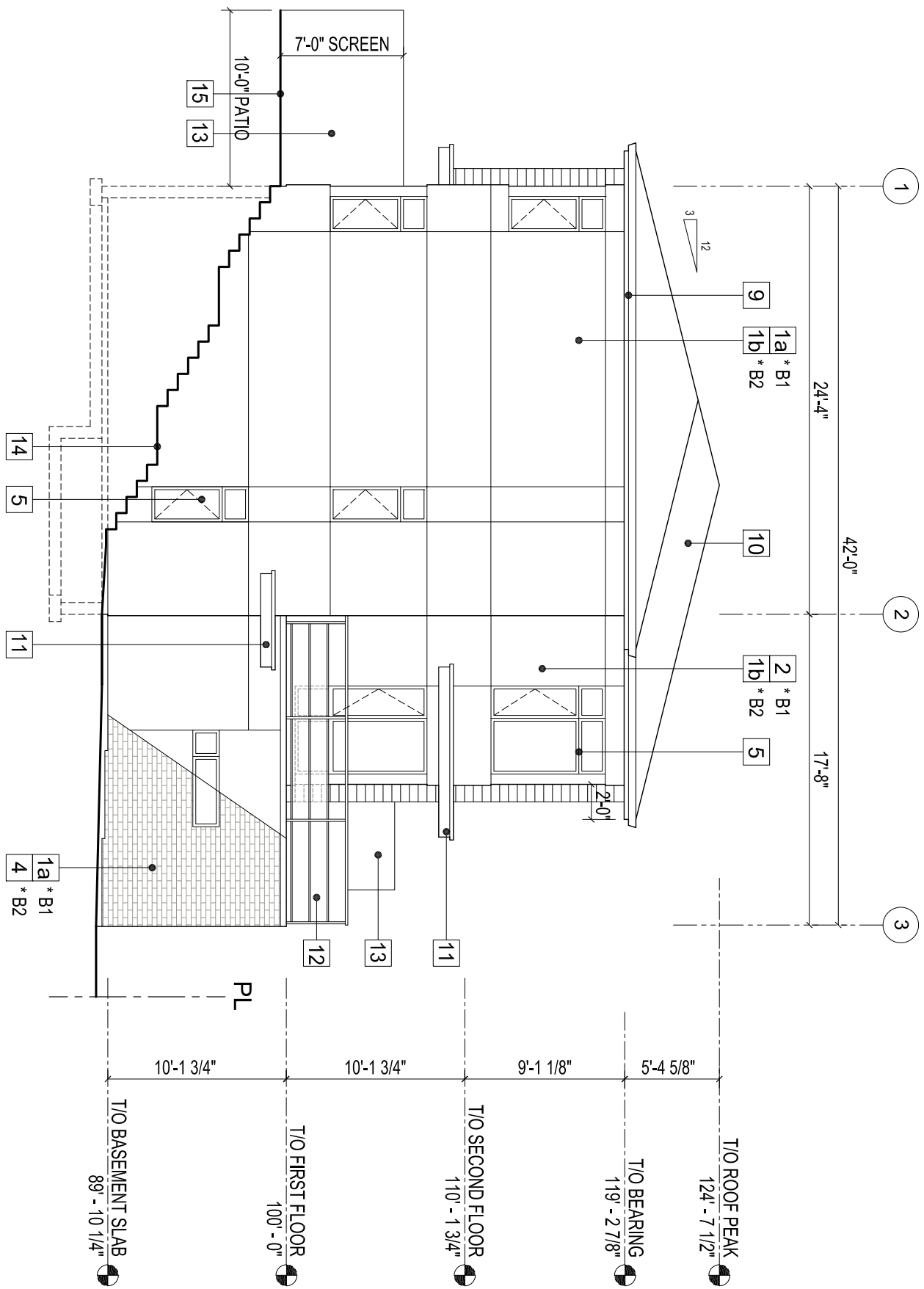


BUILDING 2

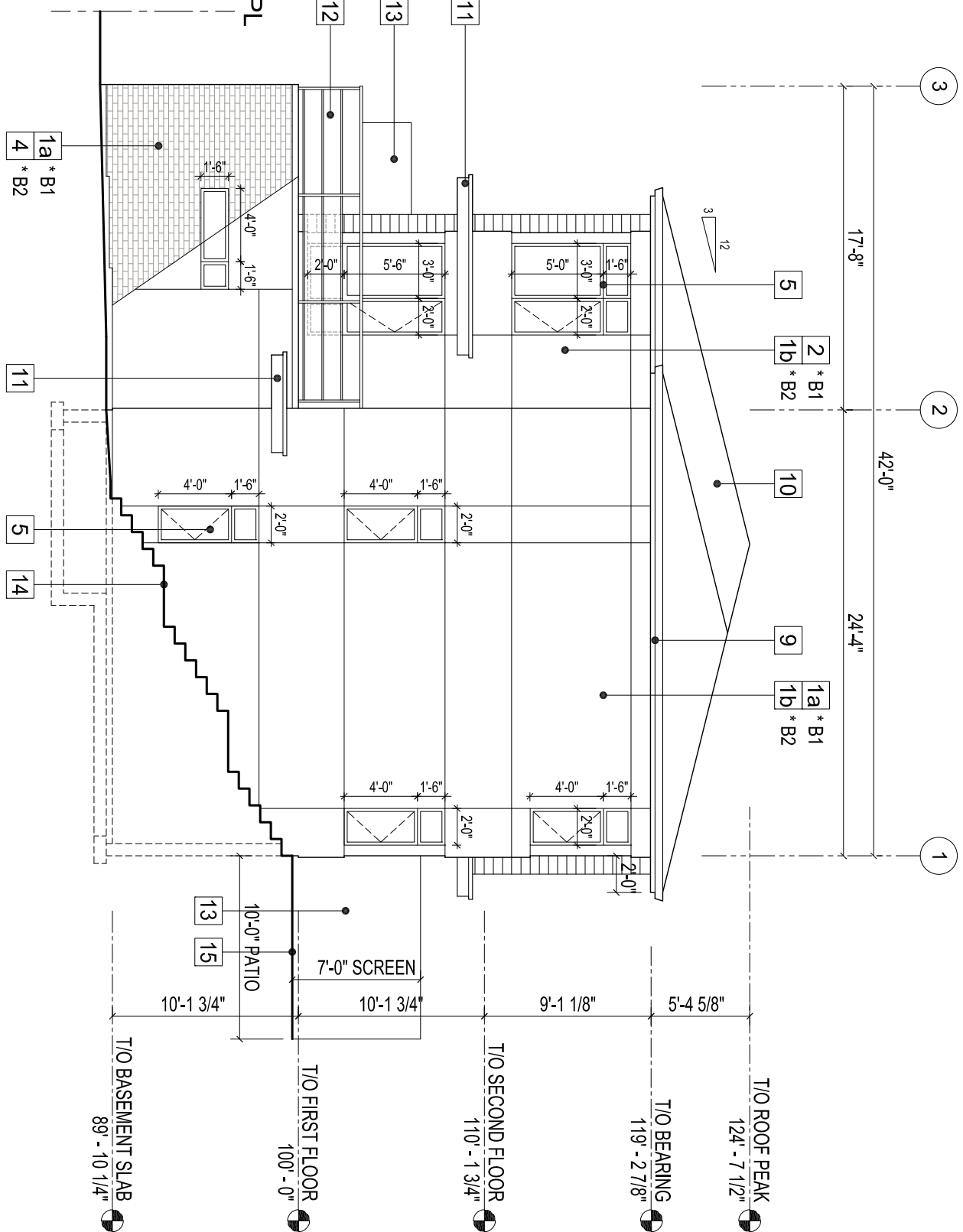
5 BLDG TYPE A - SLOPED ROOF
3D MODELS
A4.1a NTS

| Exterior Finish Schedule | |
|--------------------------|-------------------------------------------------------|
| 1a | PRE-FINISHED CEMENT FIBRE PANELS - AGED PEWTER |
| 1b | PRE-FINISHED CEMENT FIBRE PANELS - COBBLE STONE |
| 2 | ACRYLIC STUCCO - BM 2140-S0 GRAY HORSE |
| 3a | PRE-FINISHED METAL PANELS - DARK CHARCOAL GREY |
| 3b | WOOD FINISHED METAL CLADDING - MEDIUM BROWN |
| 4 | METALLIC WASHED BRICK - HEBRON "OPUS" |
| 5 | METAL CLAD VINYL WINDOWS |
| 6 | INSULATED ENTRY DOOR W/ GLAZING |
| 7 | INSULATED PATIO DOORS W/ GLAZING |
| 8 | INSULATED OVERHEAD DOOR |
| 9 | 8" PRE-FINISHED METAL FASCIA - GREY |
| 10 | ASPHALT SHINGLES - DUAL GREY (SOFFIT TO MATCH SIDING) |
| 11 | ENTRY CANOPY (SOFFIT TO MATCH SIDING) |
| 12 | GLASS GUARD RAIL |
| 13 | WOOD CLAD PRIVACY SCREEN |
| 14 | SITE RISERS PER LANDSCAPE DRAWINGS |
| 15 | AT GRADE PATIO |
| 16 | BALCONY |

* COLOURS PER COLOUR BOARDS



4 BLDG TYPE A - SLOPED ROOF
EAST SIDE ELEVATION
A4.1a SCALE: 1/8" = 1'-0"



3 BLDG TYPE A - SLOPED ROOF
WEST SIDE ELEVATION
A4.1a SCALE: 1/8" = 1'-0"



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| Consultant | | |
| No. | Date | Revisions |
| 1 | Feb. 28/2019 | DP Application |

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| No. | Date | Revisions |
| 1 | Feb. 28/2019 | DP Application |

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Project
McKINLEY BEACH
COMMUNITY

LOT 13

By MJJ Contracting
KELOWNA, BRITISH COLUMBIA

Project Number
1708

Drawing
EXTERIOR
ELEVATIONS
BUILDING
TYPE B

Drawn By: RK
Checked By: RK
Date: Feb. 28, 2019
Scale: 1:1
Plot Scale: 1:1

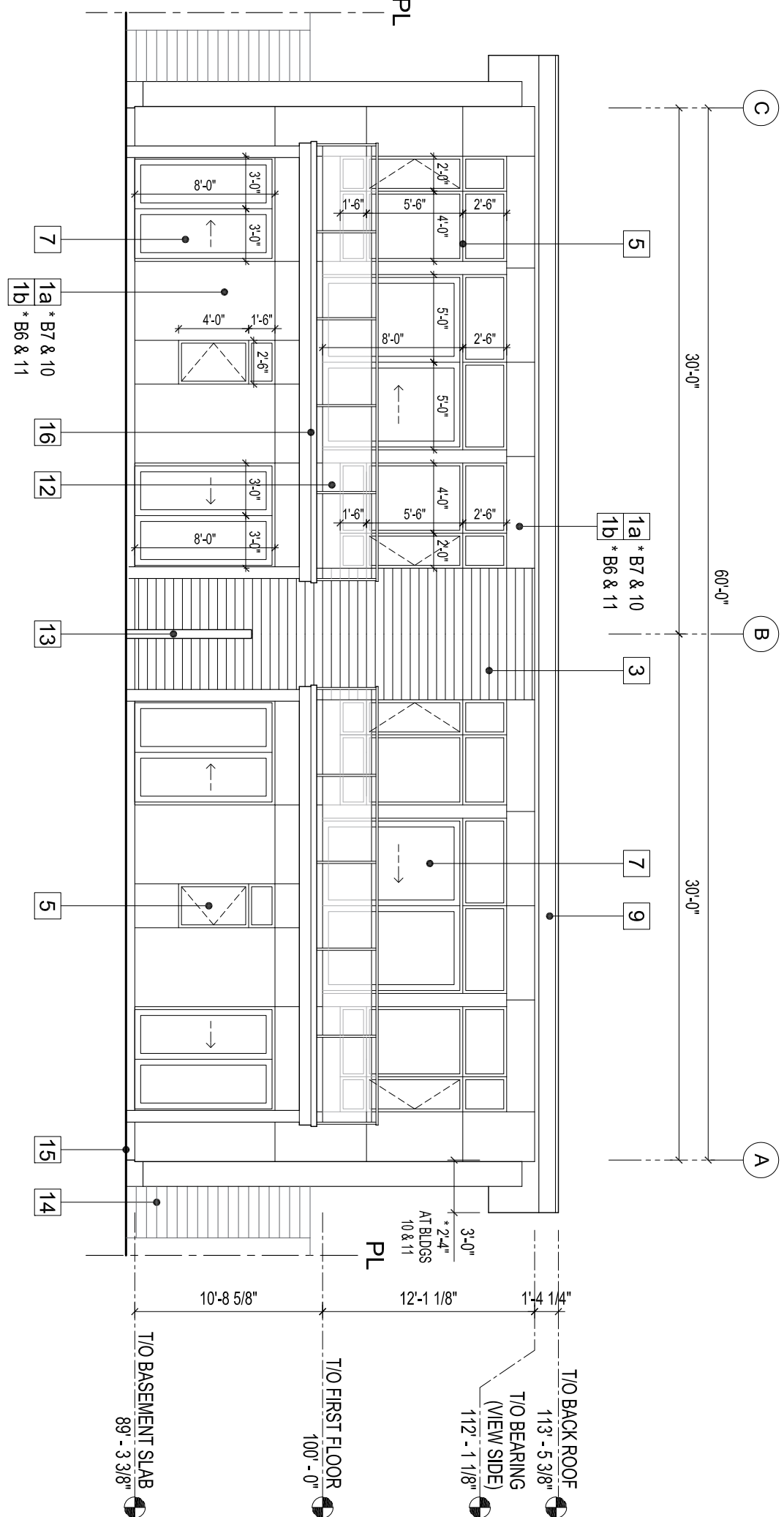
Drawing No.
A4.2



BUILDING TYPE B
3D MODELS

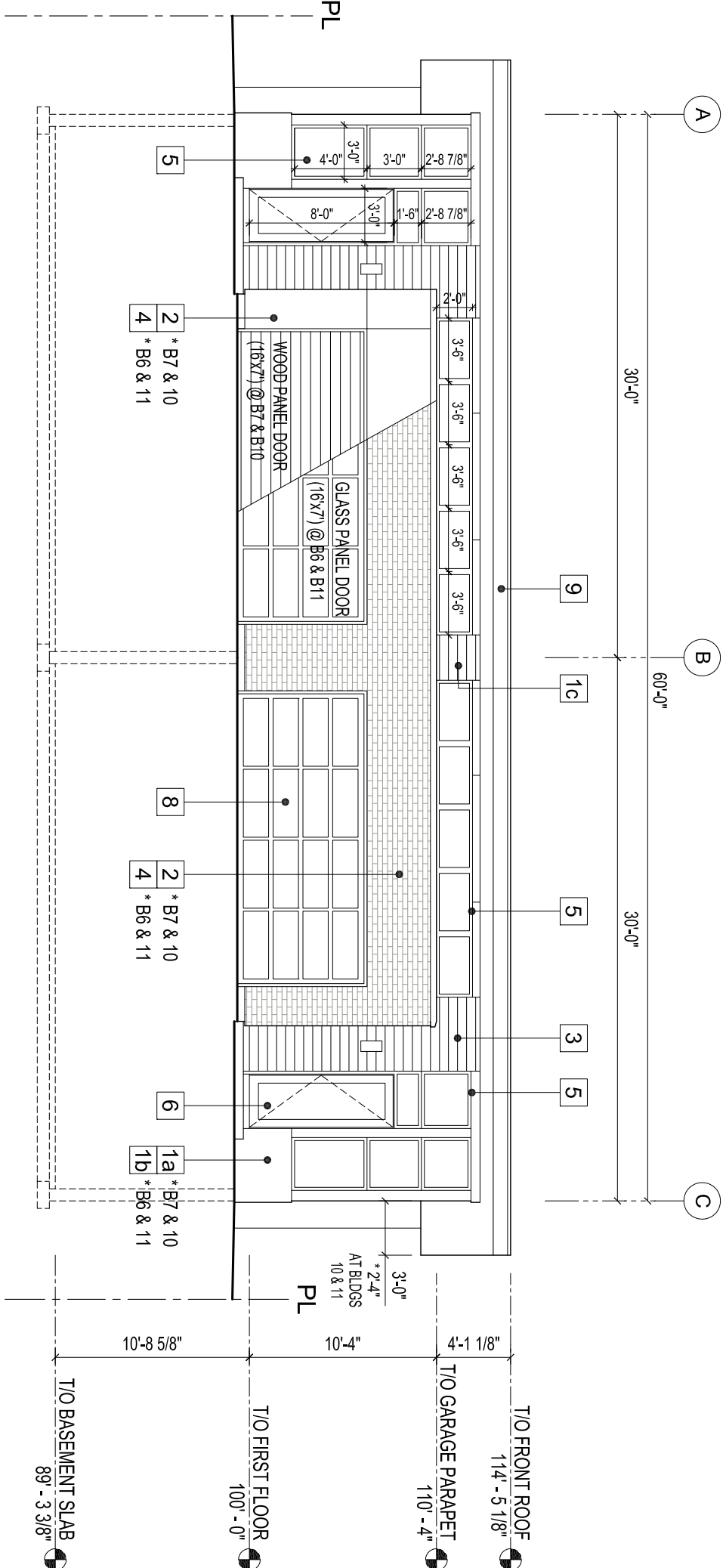
5
A4.2
NTS

| Exterior Finish Schedule | |
|-----------------------------|-------------------------------------------------------|
| 1a | PRE-FINISHED CEMENT FIBRE PANELS - MONTEREY TAUPE |
| 1b | PRE-FINISHED CEMENT FIBRE PANELS - AGED PEWTER |
| 1c | PRE-FINISHED CEMENT FIBRE PANELS - IRON GREY |
| 2 | ACRYLIC STUCCO - BM OC-138 WHITE DRIFTS |
| 3 | WOOD FINISHED METAL CLADDING - MEDIUM BROWN |
| 4 | METALLIC WASHED BRICK - HEBRON "OPUS" |
| 5 | METAL CLAD VINYL WINDOWS |
| 6 | INSULATED ENTRY DOOR W/ GLAZING |
| 7 | INSULATED PATIO DOORS W/ GLAZING |
| 8 | INSULATED OVERHEAD DOOR |
| 9 | 8" PRE-FINISHED METAL FASCOA - GREY |
| 10 | ASPHALT SHINGLES - DUAL GREY (SOFFIT TO MATCH SIDING) |
| 11 | ENTRY CANOPY (SOFFIT TO MATCH SIDING) |
| 12 | GLASS GUARD RAIL |
| 13 | WOOD CLAD PRIVACY SCREEN |
| 14 | SITE RISERS PER LANDSCAPE DRAWINGS |
| 15 | AT GRADE PATIO |
| 16 | BALCONY |
| * COLOURS PER COLOUR BOARDS | |



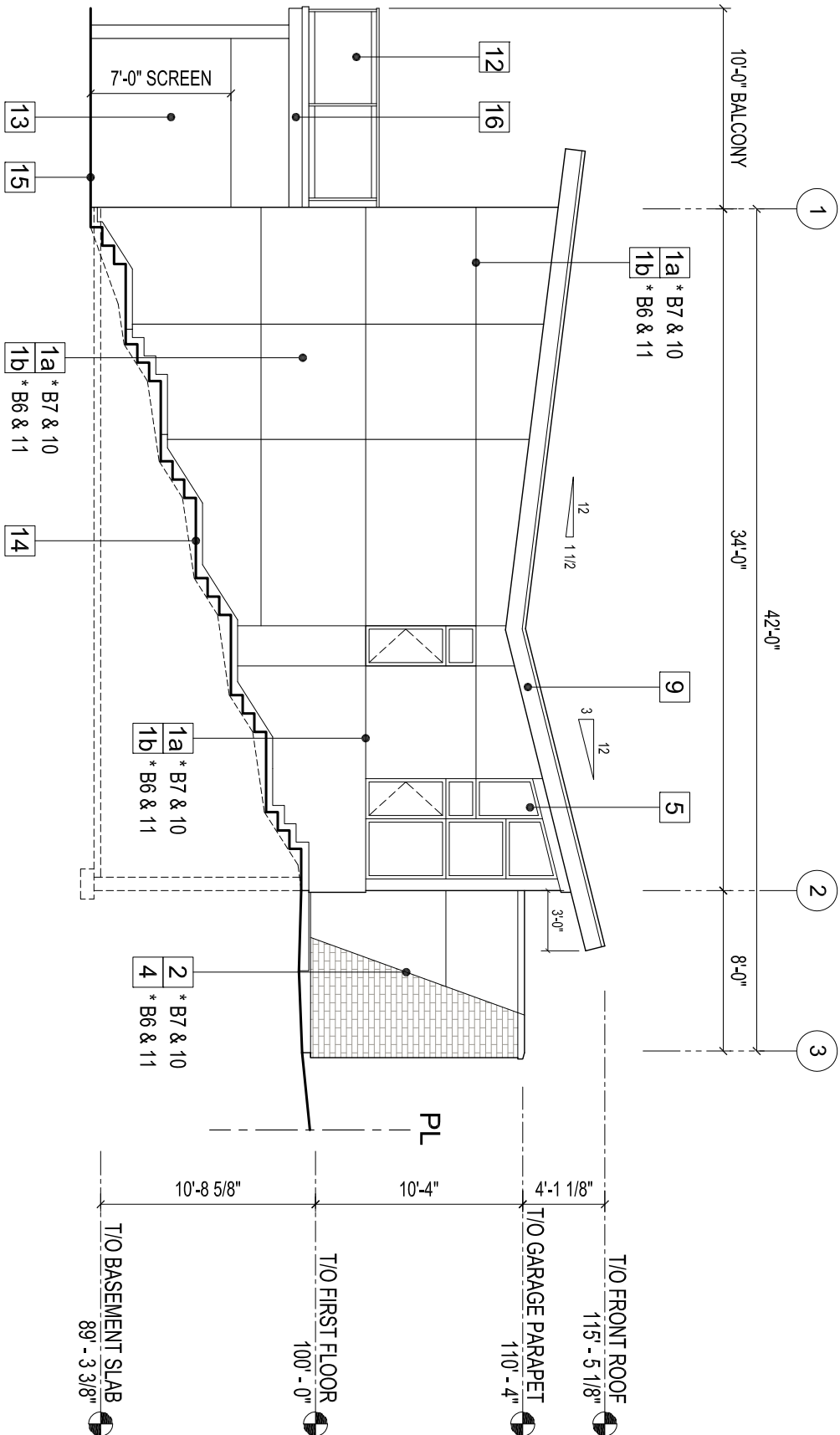
BUILDING TYPE B
REAR ELEVATION

2
A4.2
SCALE: 1/8" = 1'-0"



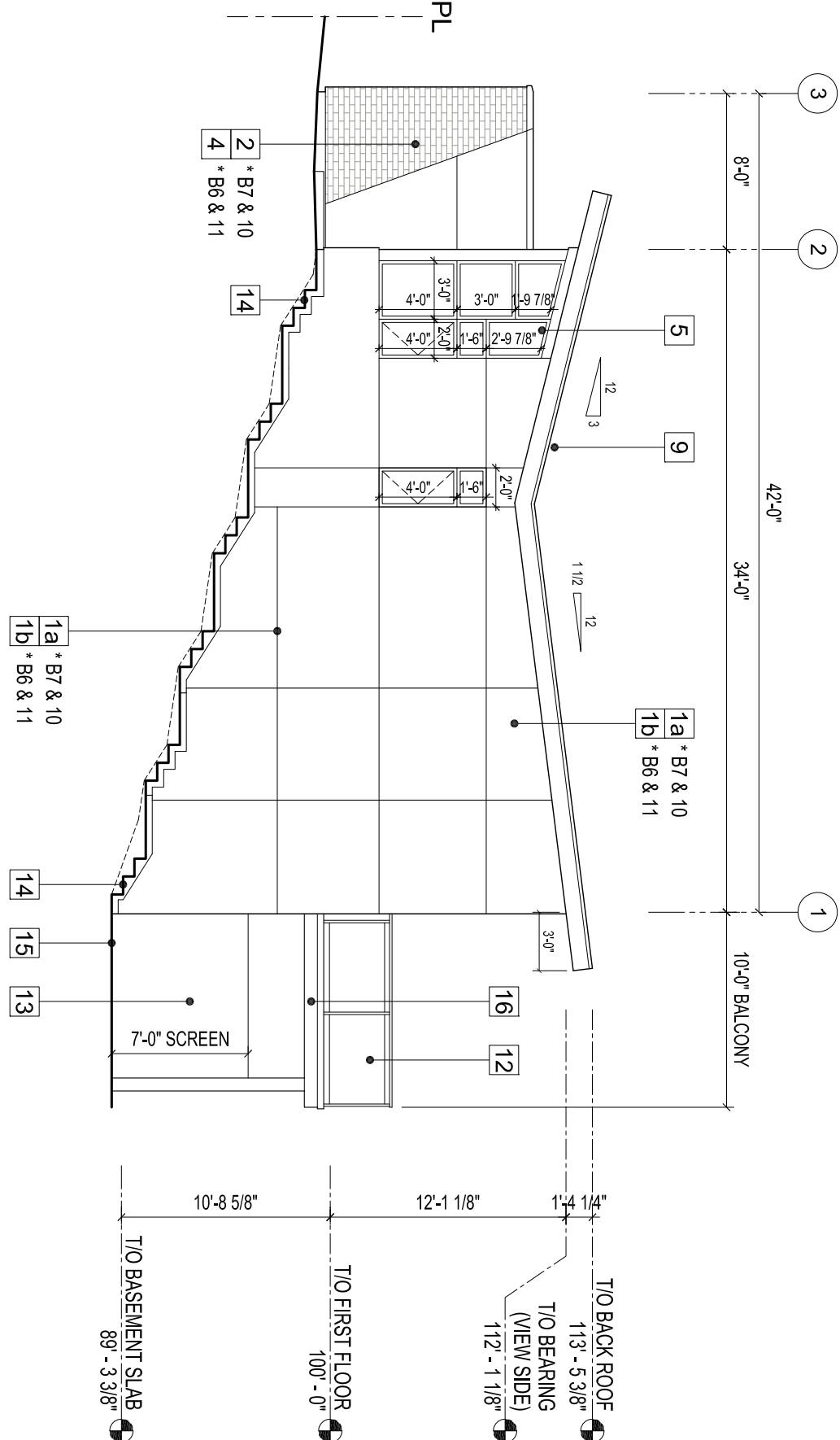
BUILDING TYPE B
FRONT ELEVATION

1
A4.2
SCALE: 1/8" = 1'-0"



BUILDING TYPE B
WEST SIDE ELEVATION

4
A4.2
SCALE: 1/8" = 1'-0"



BUILDING TYPE B
EAST SIDE ELEVATION

3
A4.2
SCALE: 1/8" = 1'-0"

| Issue | | |
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Project
MCKINLEY BEACH
COMMUNITY

By MJJ Contracting
KELOWNA, BRITISH COLUMBIA

Project Number
1708

EXTERIOR
ELEVATIONS
BUILDING
TYPE D

Draw By: Date: Feb. 28, 2019
RK
Checked By: Date:
Scale: Plot Scale:
As Shown 1:1

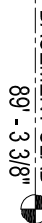
Drawing No.

A.4.4



5 BUILDING TYPE D 3D MODELS

NTS



BUILDING TYPE D REAR ELEVATION

A4.4 SCALE: 1/8" = 1'-0"



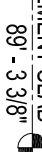
1 BUILDING TYPE D
FRONT ELEVATION

A4.4 SCALE: 1/8" = 1'-0"



4 BUILDING TYPE D
WEST SIDE ELEVATION

A4.4 SCALE: 1/8" = 1'-0"



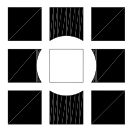
**BUILDING TYPE D
EAST SIDE ELEVATION**

SCALE: 1/8" = 1'-0"

| Exterior Finish Schedule | |
|--------------------------|-------------------------------------------------------|
| 1 | PRE-FINISHED CEMENT FIBRE PANEL-S, COBBLE STONE |
| 2 | ACRYLIC STUCCO - BM CC-544 OVERCOAT |
| 3 | WOOD FINISHED METAL CLADDING - MEDIUM BROWN |
| 4 | METALLIC WASHED BRICK - HEBRON "OPUS" |
| 5 | METAL CLAD VINYL WINDOWS |
| 6 | INSULATED ENTRY DOOR W/ GLAZING |
| 7 | INSULATED PATIO DOORS W/ GLAZING |
| 8 | INSULATED OVERHEAD DOOR |
| 9 | 8" PRE-FINISHED METAL FASCIA - GREY |
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| 12 | GLASS GUARD RAIL |
| 13 | WOOD CLAD PRIVACY SCREEN |
| 14 | SITE RISERS PER LANDSCAPE DRAWINGS |
| 15 | AT GRADE PATIO |
| 16 | BALCONY |

* COLOURS PER COLOUR BOARDS

* COLOURS PER COLOUR BOARDS



JENKINS ARCHITECTURE
204, 1010 - 1 AVENUE NE
CALGARY, ALBERTA, CANADA T2E 7N7
PHONE: (403) 255-0605

Architect



Consultant

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| Issue | Date | Revisions |
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| 1 | Feb. 28/19 | DP Application |

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Project:

McKINLEY BEACH
COMMUNITY
LOT 13

By MJJ Contracting
KELOWNA, BRITISH COLUMBIA

Project Number

1708

Drawing

EXTERIOR
ELEVATIONS
BUILDING
TYPE A 4-PLEX

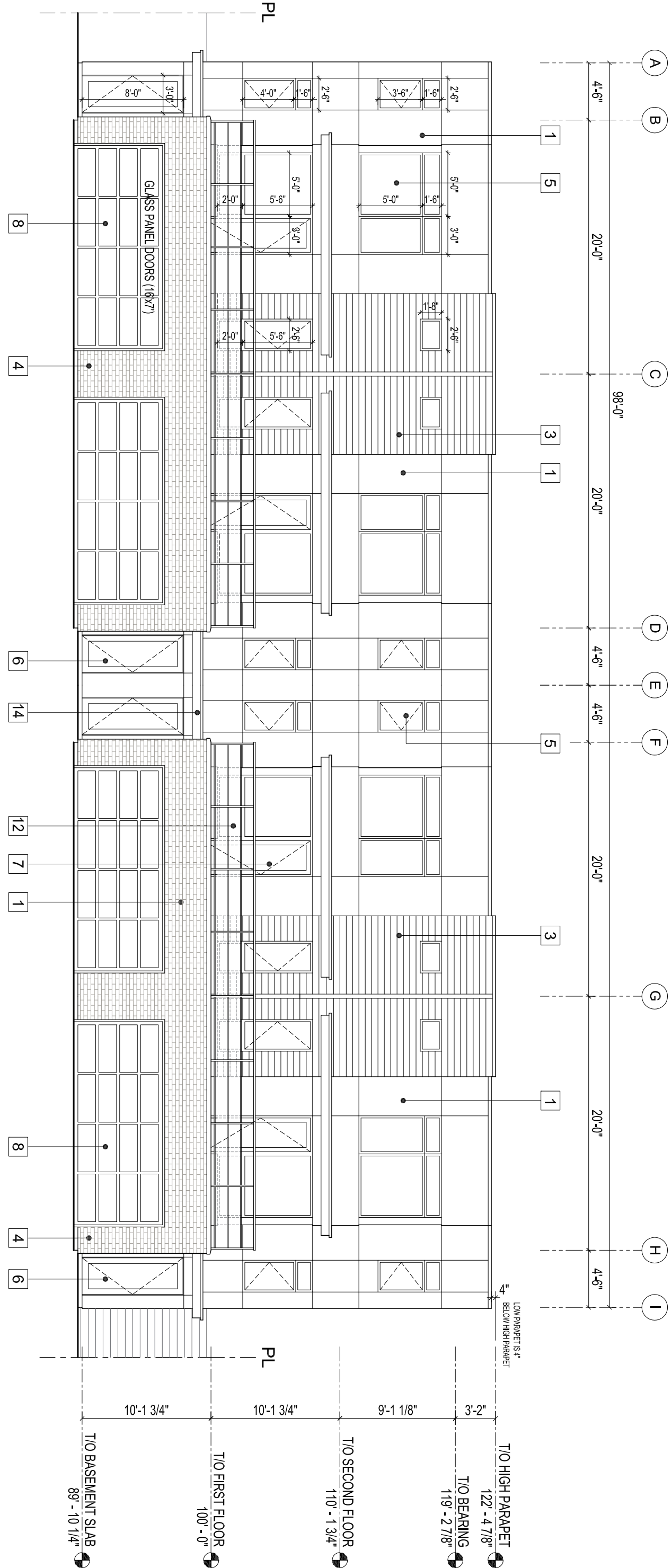
Drawn By: RK Date: Feb. 28, 2019

Checked By: Date:

Scale: Plot Scale: 1:1

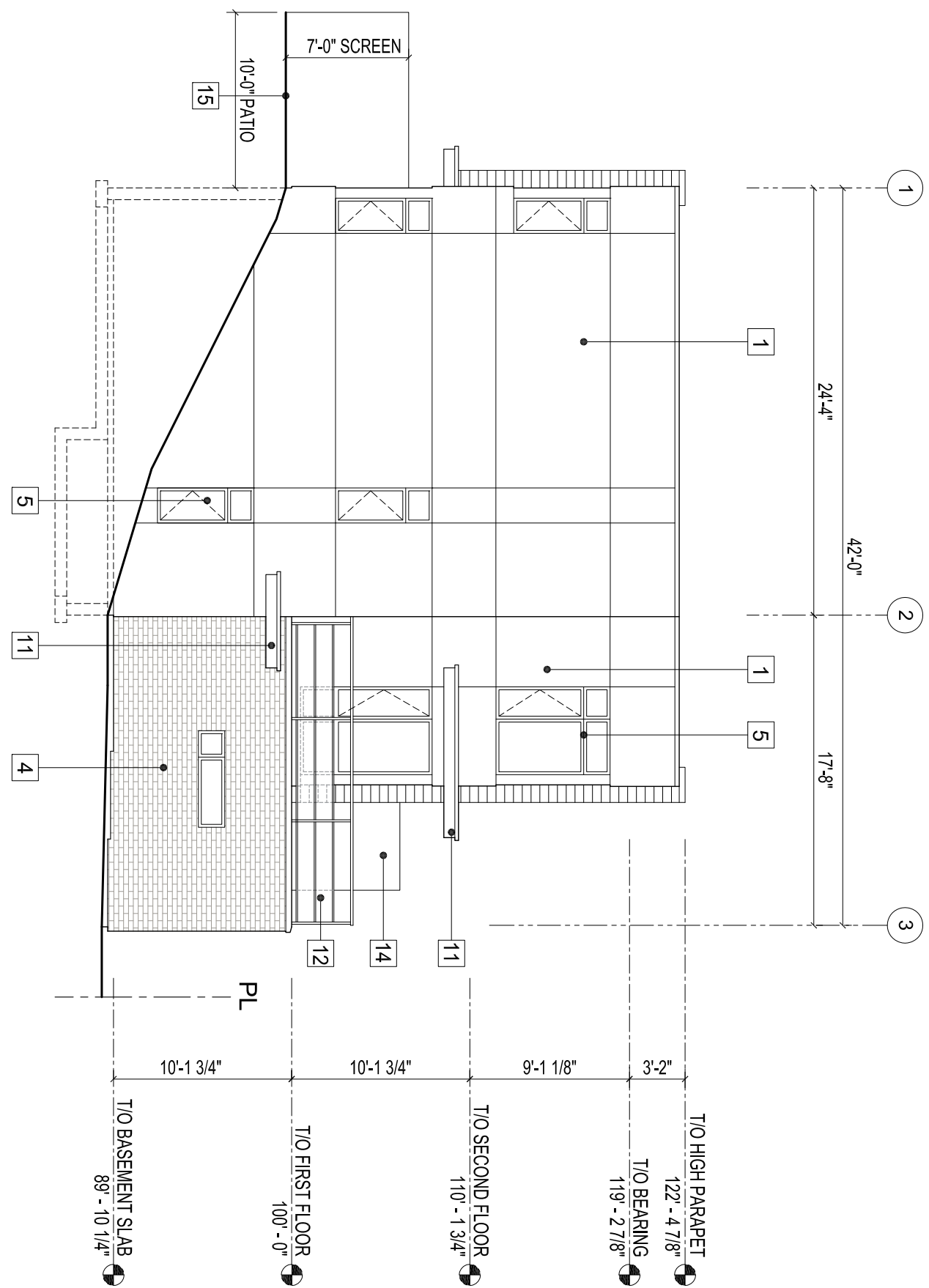
Drawing No.

A4.5



1 BUILDING TYPE A 4-PLEX
FRONT ELEVATION

A4.5 SCALE: 1/8" = 1'-0"



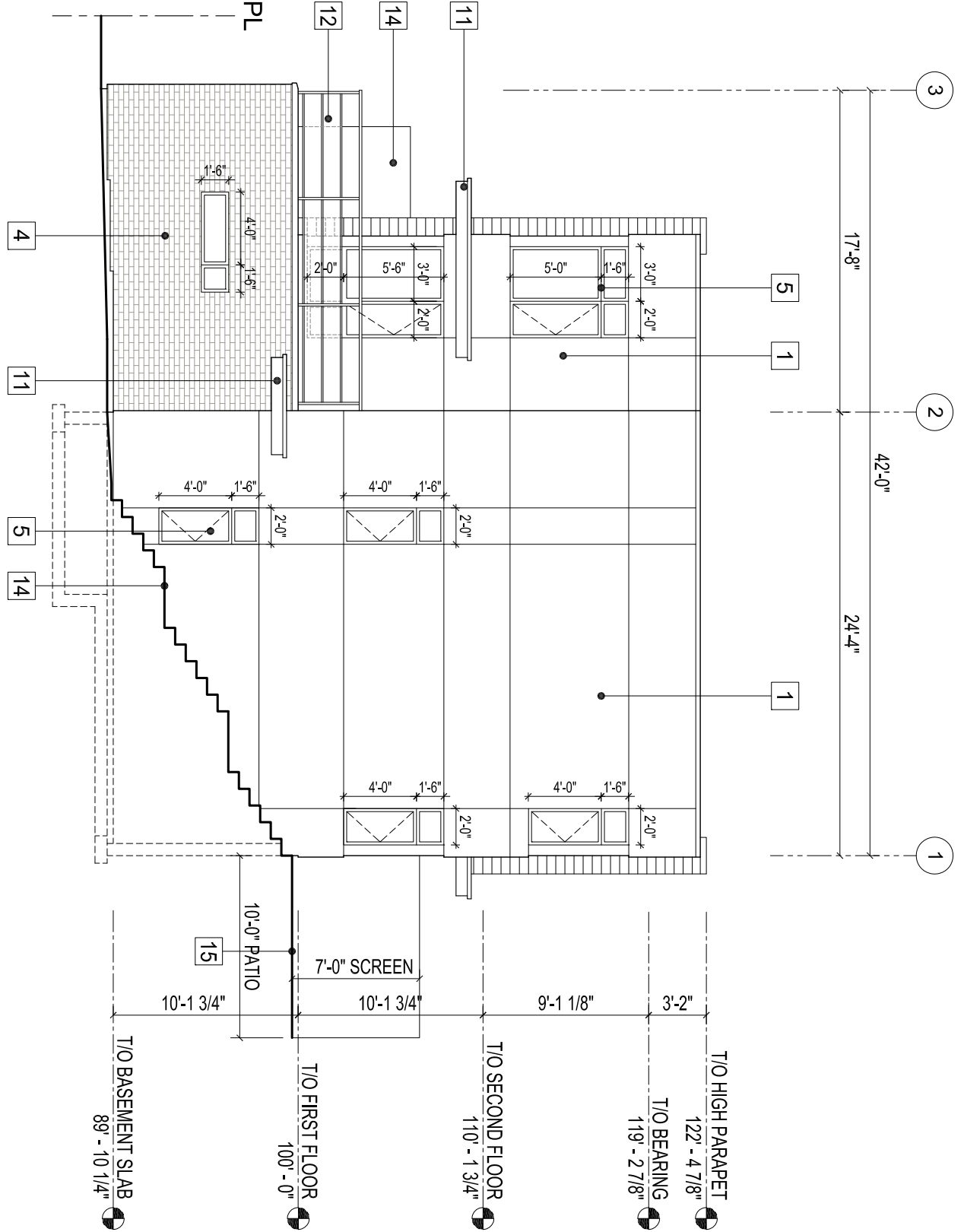
2 BUILDING TYPE A 4-PLEX
EAST SIDE ELEVATION

SCALE: 1/8" = 1'-0"



BLDG TYPE A 4-PLEX
3D MODEL - BUILDING 4

< 5
A4.5 NTS



4 BUILDING TYPE A 4-PLEX
WEST SIDE ELEVATION

A4.5 SCALE: 1/8" = 1'-0"

Exterior Finish Schedule

- 1 PRE-FINISHED CEMENT FIBRE PANELS - COBBLE STONE
- 2 ACRYLIC STUCCO - BM CC-544 OVERCOAT
- 3 WOOD FINISHED METAL CLADDING - MEDIUM BROWN
- 4 METALLIC WASHED BRICK - HEBRON "OPUS"
- 5 METAL CLAD VINYL WINDOWS
- 6 INSULATED ENTRY DOOR W/ GLAZING
- 7 INSULATED PATIO DOORS W/ GLAZING
- 8 INSULATED OVERHEAD DOOR
- 9 8' PRE-FINISHED METAL FASCIA - GREY
- 10 ASPHALT SHINGLES - DUAL GREY (SOFFIT TO MATCH SIDING)
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- 15 AT GRADE PATIO
- 16 BALCONY

* COLOURS PER COLOUR BOARDS



Consular

| Issue | | |
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| No. | Date | Revisions |
| 1 | Feb. 28/19 | DP Application |

1 NORTH ROAD STREETSCAPE - LOOKING NORTH

A4.6 NTS



BLDG 4

BLDG 3

BLDG 2

BLDG

BLDG 5

BLDG 6

BLDG 7

2 NORTH ROAD STREETSCAPE - LOOKING SOUTH

A4.6 NTS

McKINLEY BEACH
COMMUNITY

LOT 13

By MJI Contracting
KELOWNA, BRITISH COLUMBIA

Project Number

1708

Drawing

CONCEPTUAL STREETSCAPE

Draw By:

Feb. 28, 2011
RK

Checked

Scale: Plot Scale

As Shown

Drawing N.

A4.6



LEGEND

- CONCRETE PAVING
FINISH: BROOM
JOINT TYPE: SAW CUT
JOINT LAYOUT: AS SHOWN

CONCRETE PAVING WALKWAY
FINISH: EXPOSED AGGREGATE
JOINT TYPE: SAW CUT
JOINT LAYOUT: AS SHOWN

ROUND ROCK MULCH
SIZE: 6" - 18" Ø

CRUSHED GRANULAR WALKWAY

CONCRETE ENGINEERED RETAINING WALL

CONCRETE WALL WITH GUARDRAIL

BOULDER RETAINING SIZE: Ø 1m
LOCATED FROM SITE

DECORATIVE WOOD PRIVACY
SCREEN W/ GATE HT: 1.8m (6')

CONCRETE STEPS W/ HANDRAIL

C.I.P. CONCRETE STEPPING SLABS
SIZE: 0.9m x 0.9m (3' x 3')
- NATIVE GRASS HYDROSEED

SHEEP FESCUE HYDROSEED

ORNAMENTAL + NATIVE PLANT MATERIAL
SOIL DEPTH: 450mm
IRRIGATION: ALL AREAS
MULCH: ORGANIC 75mm DEPTH

PROPOSED TREES
SOIL DEPTH: 900mm PIT
- XX.XX

XX.XX

tw/bwXX.XX

tc/bcXX.XX

ts/btXX.XX

EXISTING OR GIVEN ELEVATION

PROPOSED ELEVATION

TOP OF WALL/BOTTOM OF WALL

TOP OF CURB/BOTTOM OF CURB

TOP OF STAIR/BOTTOM OF STAIR

WATER DRAINAGE DIRECTION
- GRADING NOTE:
Refer to Civil Engineering Drawing for further site grading. All grades to be read in meters.

LANDSCAPE NOTES

- 1 | Plant material and construction methods shall conform to minimum standards established in the latest edition of the Canadian landscape standards, published by the C.N.L.A. and the C.S.L.A. as well as the city of Kelowna landscape standards.

2 | The landscape design designated herein reflects the minimum city of Kelowna form and character requirements.

3 | Final planting selections may vary depending upon availability at the time of construction. Substitutions to be reviewed and approved by project landscape architect + developer prior to installation.

4 | A high efficiency irrigation system shall be installed for all ornamental + native planting areas and shall conform to the city of Kelowna's irrigation standards in bylaw 7900.

5 | Root barrier to be used if trees are within 1.5m (5') of hardscape, and to have a minimum length of 2m (6.5') on either side of trunk.

6 | Organic mulch, Better Earth Douglas Red Fir or pre-approved equal, shall be used in all shrub beds with a depth of 75mm (3").

7 | Decorative rock mulch used in accent beds as noted on the plan to be 50MM Kettle Valley Granite, at a depth of 75mm (3") with landscape fabric installed below.

8 | Hydroseed shall be a grade 'A' premium seed mix, installed on a soil depth of 150mm, during the spring or fall weather window (march - may, or october - november) to allow for proper establishment and limit the need of temporary irrigation.

9 | Minimum slope of 2% for all hard and soft landscape areas to ensure positive drainage away from buildings. Refer to Geo-technical, and Civil Engineering plans for drainage information. Elevations indicated on landscape plan for reference only.
- SCHEDULE

C

This forms part of application

DP19-0083

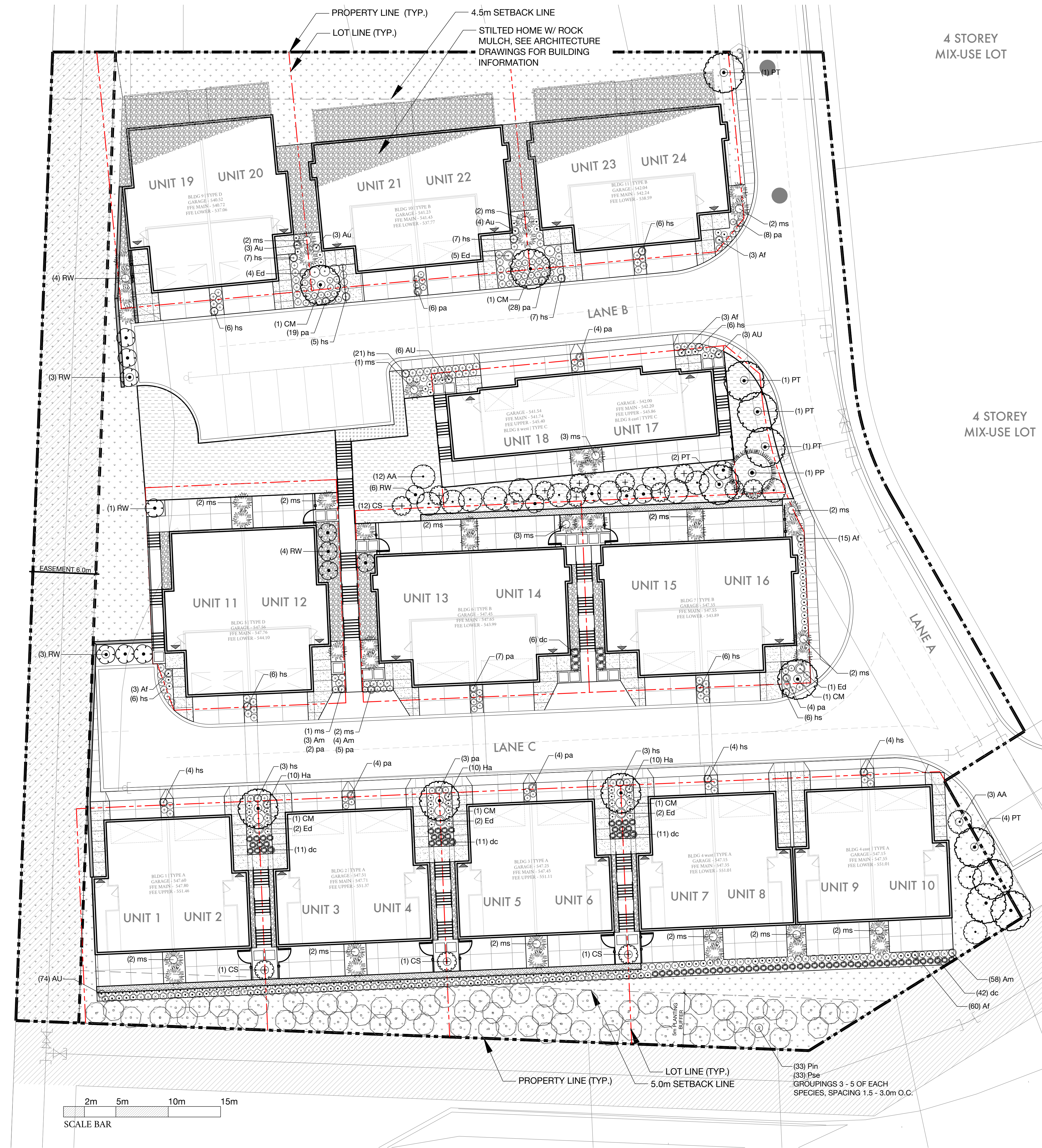
Planner Initials

AK

City of Kelowna

COMMUNITY PLANNING
- the field room

SARAH ENNS
Landscape Designer
250.300.4286
thefieldroom@gmail.com
- | revision . issue | | |
|----------------------|--------|-----|
| revised | Mar 18 | 07 |
| McKinley review | Mar 05 | 06 |
| issued client review | Jan 18 | 05 |
| client meeting | Jan 16 | 04 |
| client meeting | Jan 03 | 03 |
| DESCRIPTION | DATE | NO. |
- | CLIENT | |
|-----------------------------------|---------------------|
| MJI Contracting Inc. | Mathew Isabelle |
| PROJECT | |
| Mckinley Beach Community - Lot 13 | Kelowna BC |
| SHEET TITLE | |
| Landscape Plan | Materials + Grading |
- | Design by . Sarah Enns | |
|------------------------|-------------------|
| Project Number . 18010 | |
| Date . March 2019 | |
| NORTH | SCALE 1: 200 |
| | PAGE 24" x 36" |
| SHEET NUMBER | |
- L-1.0



LEGEND

- CONCRETE PAVING
FINISH: BROOM
JOINT TYPE: SAW CUT
JOINT LAYOUT: AS SHOWN
- CONCRETE PAVING WALKWAY
FINISH: EXPOSED AGGREGATE
JOINT TYPE: SAW CUT
JOINT LAYOUT: AS SHOWN
- ROUND ROCK MULCH
SIZE: 6" - 18" Ø
- CRUSHED GRANULAR WALKWAY
- CONCRETE ENGINEERED RETAINING WALL
- CONCRETE WALL WITH GUARDRAIL
- BOULDER RETAINING SIZE: Ø 1m
LOCATED FROM SITE
- DECORATIVE WOOD PRIVACY
SCREEN W/ GATE HT: 1.8m (6')
- CONCRETE STEPS W/ HANDRAIL
- C.I.P. CONCRETE STEPPING SLABS
SIZE: 0.9m x 0.9m (3' x 3')
- NATIVE GRASS HYDROSEED
- SHEEP FESCUE HYDROSEED
- ORNAMENTAL + NATIVE PLANT MATERIAL
SOIL DEPTH: 450mm
IRRIGATION: ALL AREAS
MULCH: ORGANIC 75mm DEPTH
- PROPOSED TREES
SOIL DEPTH: 900mm PIT

PLANT LIST

TREES

| KEY | QTY | BOTANICAL NAME | COMMON NAME | PLANT SIZE | SPACING |
|-----|-----|----------------------------------|-------------------|-------------|-----------------|
| CM | 6 | Crataegus mordonensis 'Snowbird' | Snowbird hawthorn | 5cm Cal/B+B | As Shown |
| PP | 1 | Pinus ponderosa | Ponderosa pine | 1.5m Ht. | As Shown |
| Pin | 33 | Pinus ponderosa | Ponderosa pine | 2.5m Ht. | 1.5 - 3.0m O.C. |
| PT | 10 | Populus tremuloides | Quacking aspen | #5 Pot | As Shown |
| Pse | 33 | Pseudotsuga menziesii | Douglas fir | 2.5m Ht. | 1.5 - 3.0m O.C. |

SHRUBS

| KEY | QTY | BOTANICAL NAME | COMMON NAME | PLANT SIZE | SPACING |
|-----|-----|-------------------------------|---------------------------|------------|----------------|
| AU | 93 | Arctostaphylos uva-ursi | Kinnickinnick | #1 Pot | 0.6m (2') O.C. |
| AA | 15 | Amelanchier alnifolia | Saskatoon | #5 Pot | 1.8m (6') O.C. |
| CS | 15 | Cornus sericea 'Bud's Yellow' | Bud's yellow twig dogwood | #2 Pot | 1.8m (6') O.C. |
| RW | 21 | Rosa woodsii | Prairie rose | #2 Pot | 1.8m (6') O.C. |

PERENNIALS

| KEY | QTY | BOTANICAL NAME | COMMON NAME | PLANT SIZE | SPACING |
|-----|-----|--------------------------------------|--------------------------|------------|----------------|
| Am | 65 | Achillea millefolium 'Lavender Lady' | Lavender lady yarrow | #1 Pot | 0.6m (2') O.C. |
| Af | 84 | Aster x frikartii 'Monch' | Frikart's aster | #1 Pot | 0.6m (2') O.C. |
| Ed | 16 | Eupatorium dubium 'Little Joe' | Little joe dwarf joe pye | #1 Pot | 0.9m (3') O.C. |
| Ha | 30 | Heuchera americana 'Green Spice' | Green spice coral bells | #1 Pot | 0.6m (2') O.C. |

GRASSES

| KEY | QTY | BOTANICAL NAME | COMMON NAME | PLANT SIZE | SPACING |
|-----|-----|-----------------------------------|----------------------------|------------|----------------|
| dc | 81 | Deschampsia cespitosa 'Goldtau' | Gold dew tufted hair grass | #1 Pot | 0.6m (2') O.C. |
| hs | 107 | Helictotrichon sempervirens | Blue oat grass | #1 Pot | 0.6m (2') O.C. |
| ms | 42 | Miscanthus sinensis 'Gracillimus' | Maiden grass | #2 Pot | 1.8m (6') O.C. |
| pa | 94 | Pennisetum alopecuroides | Fountain grass | #1 Pot | 0.6m (2') O.C. |

revision . issue

| | | |
|----------------------|--------|-----|
| revised | Mar 18 | 07 |
| McKinley review | Mar 05 | 06 |
| issued client review | Jan 18 | 05 |
| client meeting | Jan 16 | 04 |
| client meeting | Jan 03 | 03 |
| DESCRIPTION | DATE | NO. |

CLIENT

MJI Contracting Inc.
Mathew Isabelle

PROJECT

Mckinley Beach
Community - Lot 13
Kelowna BC

SHEET TITLE

Landscape Plan
Planting

Design by . Sarah Enns
Project Number . 18010
Date . March 2019

NORTH
SCALE
1: 200
PAGE
24" x 36"

SHEET NUMBER

L-1.1

Entry Perspective



McKinley Beach Community Renderings
Final Perspectives

SCHEDULE **D**

This forms part of application
DP19-0083

Planner
Initials

AK



Parkland Perspective

