

Development Permit & Development Variance Permit DP18-0103/DVP19-0088



This permit relates to land in the City of Kelowna municipally known as

1150 Black Mountain Drive

and legally known as

Lot 1 Section 19 Township 27 Osoyoos Division Yale District Plan KAP81890

and permits the land to be used for the following development:

Multi-family Residential Development

The present owner and any subsequent owner of the above described land must comply with any attached terms and conditions.

Date of Council Decision

Decision By: COUNCIL

Issued Date:

Development Permit Area: Comprehensive Development Permit Area

This permit will not be valid if development has not commenced by June, 2021.

Existing Zone: RM3 – Low Density Multiple Housing

Future Land Use Designation: MRL – Multiple Unit Residential (Low Density)

This is NOT a Building Permit.

In addition to your Development Permit, a Building Permit may be required prior to any work commencing. For further information, contact the City of Kelowna, Development Services Branch.

NOTICE

This permit does not relieve the owner or the owner's authorized agent from full compliance with the requirements of any federal, provincial or other municipal legislation, or the terms and conditions of any easement, covenant, building scheme or agreement affecting the building or land.

Owner: 1152712 BC Ltd.

Applicant: Patrick McCusker Architecture Inc.

Terry Barton
Urban Planning Manager
Community Planning & Strategic Investments

Date

1. SCOPE OF APPROVAL

This Development Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.

This Development Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this permit, noted in the Terms and Conditions below.

The issuance of a permit limits the permit holder to be in strict compliance with regulations of the Zoning Bylaw and all other Bylaws unless specific variances have been authorized by the Development Permit. No implied variances from bylaw provisions shall be granted by virtue of drawing notations that are inconsistent with bylaw provisions and that may not have been identified as required Variances by the applicant or Municipal staff.

2. CONDITIONS OF APPROVAL

- a) The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A";
- b) The exterior design and finish of the building to be constructed on the land be in accordance with Schedule "B";
- c) Landscaping to be provided on the land be in accordance with Schedule "C"; and
- d) The applicant be required to post with the City a Landscape Performance Security deposit in the form of a "Letter of Credit" in the amount of 125% of the estimated value of the landscaping, as determined by a Registered Landscape Architect.

This Development Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

3. PERFORMANCE SECURITY

As a condition of the issuance of this Permit, Council is holding the security set out below to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Developer and be paid to the Developer or his or her designate if the security is returned. The condition of the posting of the security is that should the Developer fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the Municipality may use enter into an agreement with the property owner of the day to have the work carried out, and any surplus shall be paid over to the property own of the day. Should the Developer carry out the development permitted by this Permit within the time set out above, the security shall be returned to the Developer or his or her designate. There is filed accordingly:

- a) An Irrevocable Letter of Credit in the amount of **\$354,150**

Before any bond or security required under this Permit is reduced or released, the Developer will provide the City with a statutory declaration certifying that all labour, material, workers' compensation and other taxes and costs have been paid.

5. INDEMNIFICATION

Upon commencement of the works authorized by this Permit the Developer covenants and agrees to save harmless and effectually indemnify the Municipality against:

- a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality said Permit.

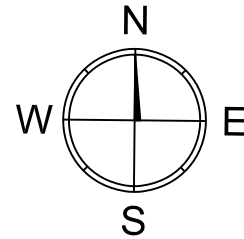
All costs, expenses, claims that may be incurred by the Municipality where the construction, engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

**The PERMIT HOLDER is the CURRENT LAND OWNER.
Security shall ONLY be returned to the signatory of the
Landscape Agreement or their designates.**

ILLUSTRATION 01: (BUILDING 1)



AERIAL CONTEXT PHOTO:



STATISTICS SHEET:

Address:	1150 Black Mountain Drive, Kelowna B.C.
Legal:	KID 6631443 PLAN 81890 LOT 1
Zoning:	RM3
Permitted Use:	Multi Family Housing

Site Area:	6,628.8 sq.m.	
	71,351 sq.ft.	
	1.6380 acres	(C.O.K Property Report)

	ALLOWED	PROPOSED
Min Lot Width	30.0 m	>30 m
Min Lot Depth	30.0 m	>30 m

Setbacks	ALLOWED		PROPOSED	
	Front yard	4.5 m	4.5 m	
	Side yard	4.0 m	4.0 m	
Rear yard	7.5 m	7.5 m		

Front	LANDSCAPE BUFFER		
	Level	3.0 m	
	2	10 ft	
	Level	1.5 m	
	3	5 ft	
	Level	1.5 m	
Side	3	5 ft	
	Level	1.5 m	
Rear	3	5 ft	
	Level	1.5 m	

Site Coverage	Maximum 40% (Building Footprint)
Total Coverage	Maximum 70% (Building + Driveway + Parking)
Floor Area Ratio	(Maximum 0.77) (Proposed FAR of 0.59) (0.75+0.02 Parking Bonus)
Height	Principal buildings 10 m max or 3.0 stories
Private Open Space Area	Required (minimum) 25 sq.m/two bed + unit @ 26

Parking	2.0 stalls per 3 bed x 26 = 52
---------	--------------------------------

Parking Size Breakdown

Visitor Parking	1 per 7 units (Required Minimum)
-----------------	----------------------------------

Bicycle Parking	Class I - 0.5 stalls per unit (26 Units) Class II - 0.1 stalls per unit (26 Units)
-----------------	--

ALLOWED/REQUIRED	PROPOSED
2,651 sq.m.	1,751 sq.m.
28,541 sq.ft.	18,845 sq.ft.
4,640 sq.m.	3,190 sq.m.
49,946 sq.ft.	34,338 sq.ft.
5,104 sq.m.	3,889 sq.m.
54,940 sq.ft.	41,859 sq.ft.
10.0 m	10.0 m
32.8 ft	32.8 ft
650 sq.m.	766 sq.m.
6,997 sq.ft.	8,245 sq.ft.

Required	52 spaces
Provided	10 spaces (surface)
	42 spaces (covered)
	52 spaces (TOTAL)

Size Small	4
Size Regular	48

Required	4
Provided	5

Class I - Required	13.0 spaces
Class II - Required	3.0 spaces
Total Required	16 spaces
Total Proposed	30 spaces

CONSULTANTS:

ARCHITECTURAL:
PATRICK MCCUSKER ARCHITECTURE INC
3430 BENOULIN ROAD
KELOWNA, B.C. V1W 4M5
TEL: 778.484.0223

LANDSCAPE:
OUTLAND DESIGN LANDSCAPE ARCHITECTURE
206-1889 SPALL ROAD
KELOWNA, B.C. V1Y 4R2
CONTACT: FIONA BARTON
TEL: 250.868.9270 e-mail: fiona@outlanddesign.ca

CIVIL:
ECORA ENGINEERING AND RESOURCE GROUP LTD
579 LAWRENCE AVENUE
KELOWNA, B.C. V1Y 6L8
TEL: 250.469.9757

DRAWING INDEX:

DRAWING NO.	DRAWING NAME		
DP0.01	COVER SHEET	DP3.01	ELEVATIONS: BLDG 01
		DP3.02	ELEVATIONS: BLDG 02
		DP3.03	ELEVATIONS: BLDG 03
		DP3.03	ELEVATIONS: BLDG 04
DP1.00	PLAN: SITE TOPOGRAPHIC SURVEY	DP3.11	ELEVATIONS: BLDG 01 (COLOURED)
DP1.01	PLAN: SITE @ LEVEL 01	DP3.12	ELEVATIONS: BLDG 02 (COLOURED)
DP2.01	PLAN: OVERALL BUILDING - BLDG 01 @ LEVEL 01 AND LEVEL 02	DP3.13	ELEVATIONS: BLDG 03 (COLOURED)
DP2.02	PLAN: OVERALL BUILDING - BLDG 01 @ LEVEL 03 AND ROOF	DP3.14	ELEVATIONS: BLDG 04 (COLOURED)
DP2.03	PLAN: OVERALL BUILDING - BLDG 02 @ LEVEL 01 AND LEVEL 02	DP3.20	ELEVATIONS: STREETSCAPE
DP2.04	PLAN: OVERALL BUILDING - BLDG 02 @ LEVEL 03 AND ROOF	DP4.01	SECTION - SITE
DP2.05	PLAN: OVERALL BUILDING - BLDG 03 @ LEVEL 01 AND LEVEL 02		
DP2.06	PLAN: OVERALL BUILDING - BLDG 03 @ LEVEL 03 AND ROOF		
DP2.07	PLAN: OVERALL BUILDING - BLDG 04 @ LEVEL 01 AND LEVEL 02		
DP2.08	PLAN: OVERALL BUILDING - BLDG 04 @ LEVEL 03 AND ROOF		
DP2.11	PLANS: UNIT A		
DP2.12	PLANS: UNIT B1		
DP2.13	PLANS: UNIT B2		
DP2.14	PLANS: UNIT B3		
DP2.15	PLANS: UNIT B4		

1 Building					
Area	UNIT TYPE	count	per unit	total	deck (sf)
Analysis	UNIT A	2	1873	3746	228
(BUILDING 01)	UNIT B1	8	1430	11440	432
SITE COVERAGE	TOTAL	10		15,186	
FOOTPRINT (SF) = 7396					
2 Building					
Area	UNIT TYPE	count	per unit	total	deck (sf)
Analysis	UNIT B2	4	1690	6760	224
(BUILDING 02)	UNIT B3	1	1807	1807	56
SITE COVERAGE	TOTAL	5		8,567	
FOOTPRINT (SF) = 3455					
3 Building					
Area	UNIT TYPE	count	per unit	total	deck (sf)
Analysis	UNIT B2	3	1685	5055	168
(BUILDING 03)	UNIT B3	1	1807	1807	56
SITE COVERAGE	UNIT B4	1	1778	1778	56
FOOTPRINT (SF) = 3485	TOTAL	5		8,640	
4 Building					
Area	UNIT TYPE	count	per unit	total	deck (sf)
Analysis	UNIT A	2	1873	3746	228
(BUILDING 04)	UNIT B1	4	1430	5720	216
SITE COVERAGE	TOTAL	6		9,466	
FOOTPRINT (SF) = 4599					
TOTAL BUILDING FOOTPRINTS			TOTAL UNITS	TOTAL SF	TOTAL DECK SF
18,845		26		41,859	1,664

Notes:
© Copyright Reserved. This drawing and design are, and at all times remain, the property of Patrick McCusker Architecture Inc., and can be reproduced only with written consent.
All drawings shall be read in conjunction with specifications and consultant details.
All work shall be carried out in accordance with Canadian standards, specifications, British Columbia Building Code (Current Edition) and local authority bylaws and regulations.
Tabulated scales refer to Arch D size drawing sheet.
This drawing must not be scaled.
Contractors shall verify all dimensions prior to commencement of work.
Any omissions or discrepancies shall be reported to the architect.

Seal

04	2019.01.23	Re-Issued for Development Permit
03	2018.11.21	Re-Issued for Development Permit
02	2018.09.21	Re-Issued for Development Permit
01	2018.04.30	Issued for Development Permit
No.	Date	Description
Revisions		

PM A
PATRICK MCCUSKER ARCHITECTURE INC.
AAA MAIBC MRAIC
3430 BENOULIN ROAD
KELOWNA B.C. V1W 4M5
~ Phone: 778-484-0223 ~
pat@pmccarch.com
www.pmccarch.com

project title
BLACK MOUNTAIN
MULTI-FAMILY RESIDENTIAL
1150 BLACK MOUNTAIN DRIVE
KELOWNA, B.C.
project no. 3380

drawing title
COVER SHEET
AND STATISTICS

designed	PMC	scale
drawn	PMC/JB	
checked	PMC	
drawing no.		

DP0.01

plotted February 25, 2019 08:49 AM

SCHEDULE A

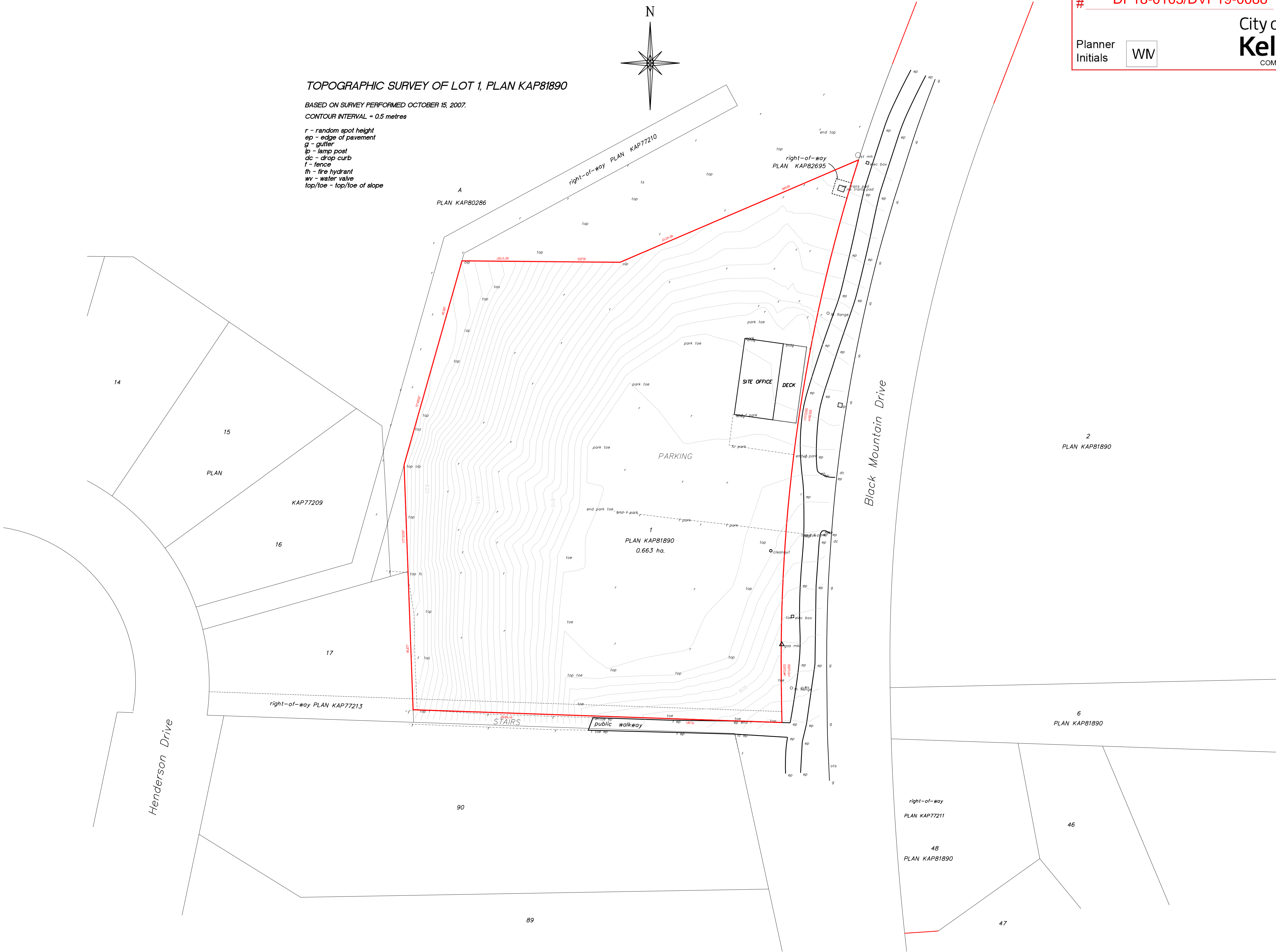
This forms part of application
DP18-0103/DVP19-0088

Planner
Initials WW



Notes:
© Copyright Reserved. This drawing and design are, and at all times remain, the property of Patrick McCusker Architecture Inc., and can be reproduced only with written consent.
All drawings shall be read in conjunction with specifications and consultant details.
All work shall be carried out in accordance with Canadian standards, specifications, British Columbia Building Code (Current Edition) and local authority bylaws and regulations.
Tabulated scales refer to Arch D size drawing sheet.
This drawing must not be scaled.
Contractors shall verify all dimensions prior to commencement of work.
Any omissions or discrepancies shall be reported to the architect.

Seal



04	2019.01.23	Re-Issued for Development Permit
03	2018.11.21	Re-Issued for Development Permit
02	2018.09.21	Re-Issued for Development Permit
01	2018.04.30	Issued for Development Permit
No.	Date	Description

Revisions



PATRICK MCCUSKER
ARCHITECTURE INC.
AAA MAIBC MRAIC
3430 BENOULIN ROAD
KELOWNA B C V1W 4M5
~ Phone: 778-484-0223 ~
pat@pmcarch.com
www.pmcarch.com

project title
BLACK MOUNTAIN
MULTI-FAMILY RESIDENTIAL
1150 BLACK MOUNTAIN DRIVE
KELOWNA, B.C.

project no. 3380

drawing title
SITE TOPOGRAPHIC SURVEY

designed	PMC	scale	AS NOTED
drawn	JB		
checked	PMC		
drawing no.			

DP1.00

plotted January 24, 2019 02:46 PM

D.A. Goddard Land Surveying Inc.
105-1508 ST. PAUL STREET KELOWNA PHONE 785-3733

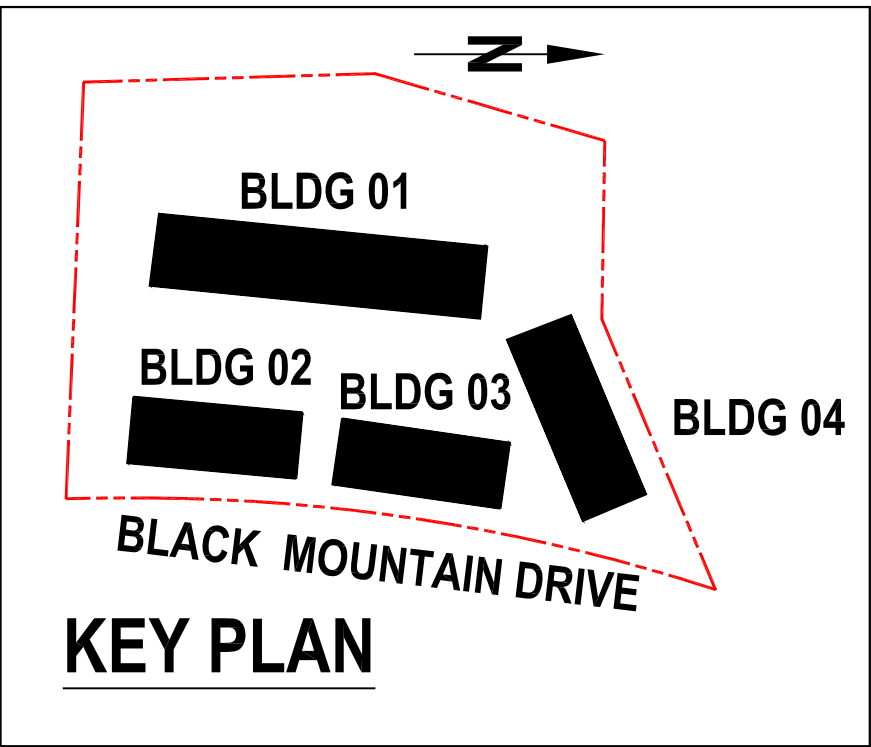
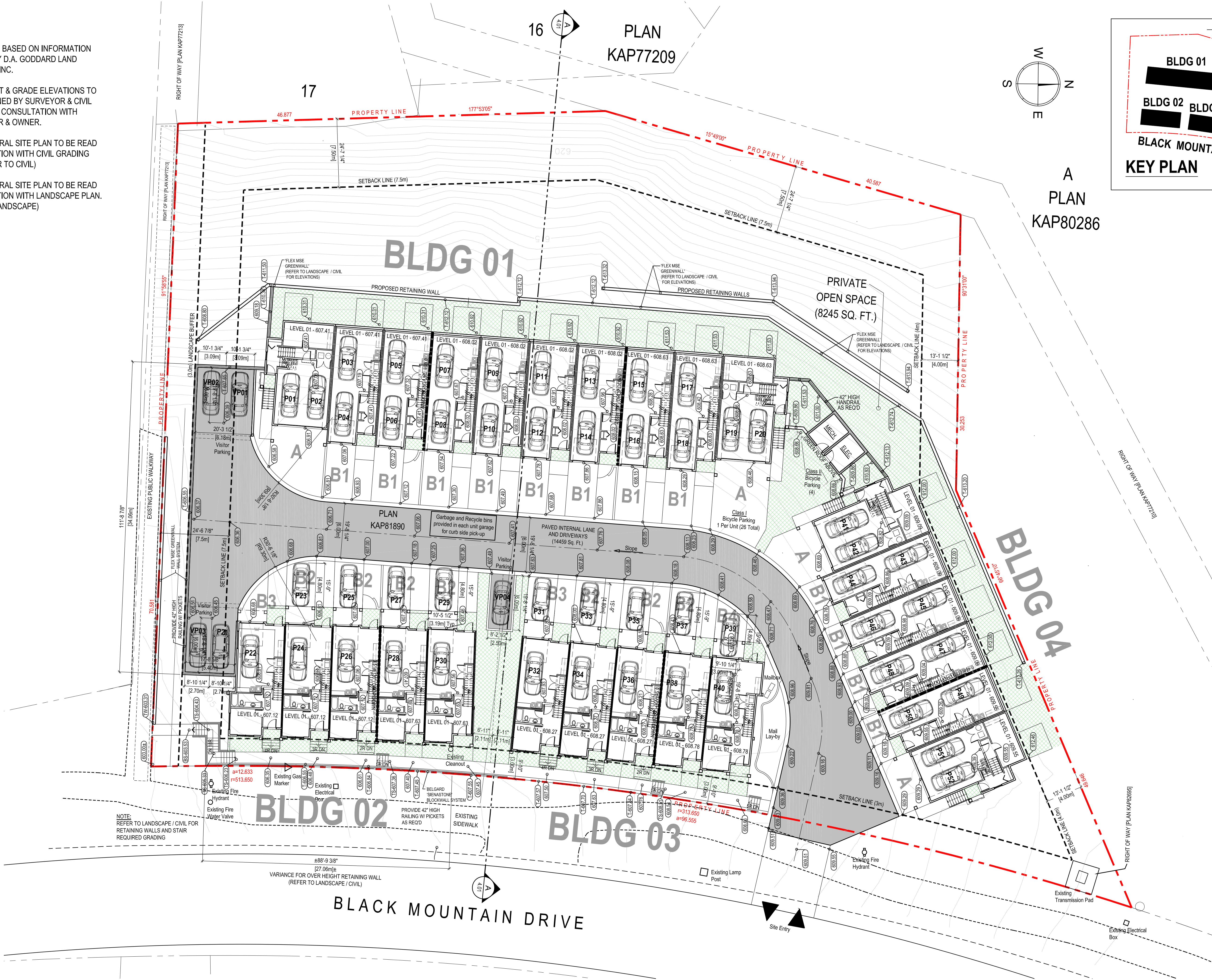
NOTES:

SITE SURVEY BASED ON INFORMATION PROVIDED BY D.A. GODDARD LAND SURVEYING INC.

FINAL LAYOUT & GRADE ELEVATIONS TO BE DETERMINED BY SURVEYOR & CIVIL ENGINEER IN CONSULTATION WITH CONTRACTOR & OWNER.

ARCHITECTURAL SITE PLAN TO BE READ IN CONJUNCTION WITH CIVIL GRADING PLAN. (REFER TO CIVIL)

ARCHITECTURAL SITE PLAN TO BE READ IN CONJUNCTION WITH LANDSCAPE PLAN. (REFER TO LANDSCAPE)



SCHEDULE

A

This forms part of application # DP18-0103/DVP19-0088

Planner Initials

WW



City of Kelowna
COMMUNITY PLANNING

04	2019.01.23	Re-issued for Development Permit
03	2018.11.21	Re-issued for Development Permit
02	2018.09.21	Re-issued for Development Permit
01	2018.04.30	Issued for Development Permit
No.	Date	Description

Revisions



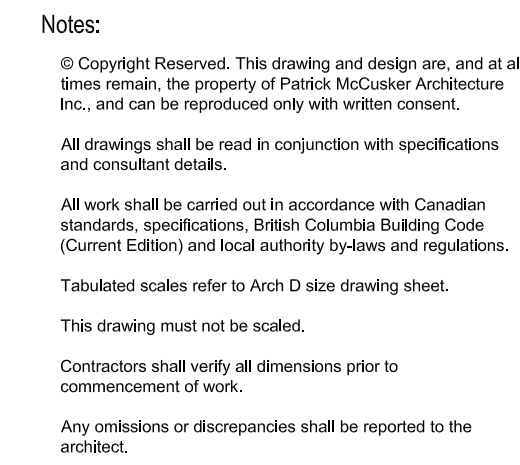
PATRICK McCUSKER
ARCHITECTURE INC.
AAA MAIBC MRAIC
3430 BENOULIN ROAD
KELOWNA BC V1W 4M5
Phone: 778-484-0223
pat@pmcarch.com
www.pmcarch.com


project title
BLACK MOUNTAIN
MULTI-FAMILY RESIDENTIAL
1150 BLACK MOUNTAIN DRIVE
KELOWNA, B.C.
project no. 3380
drawing title
SITE @ LEVEL 01 (GARAGE)

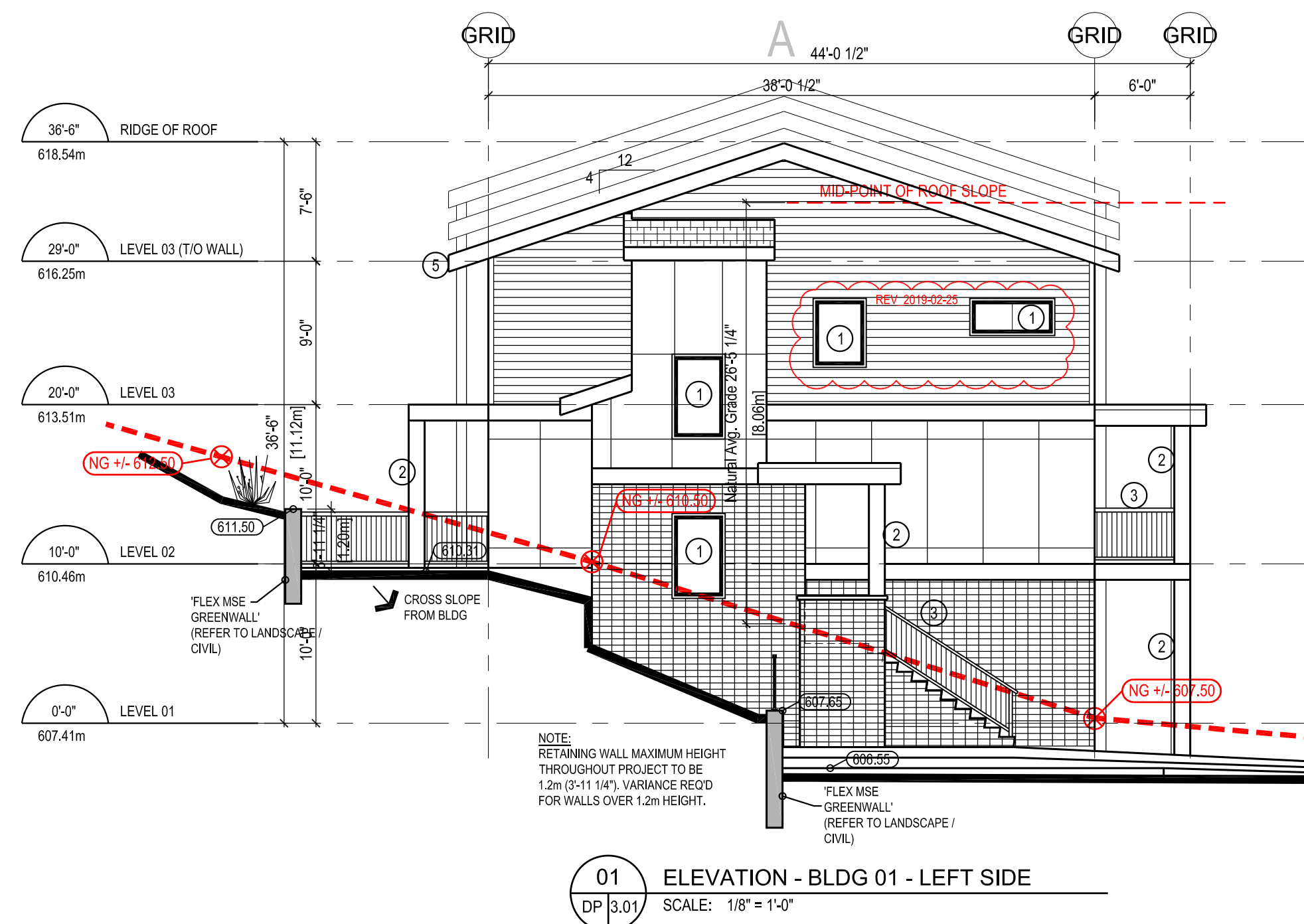
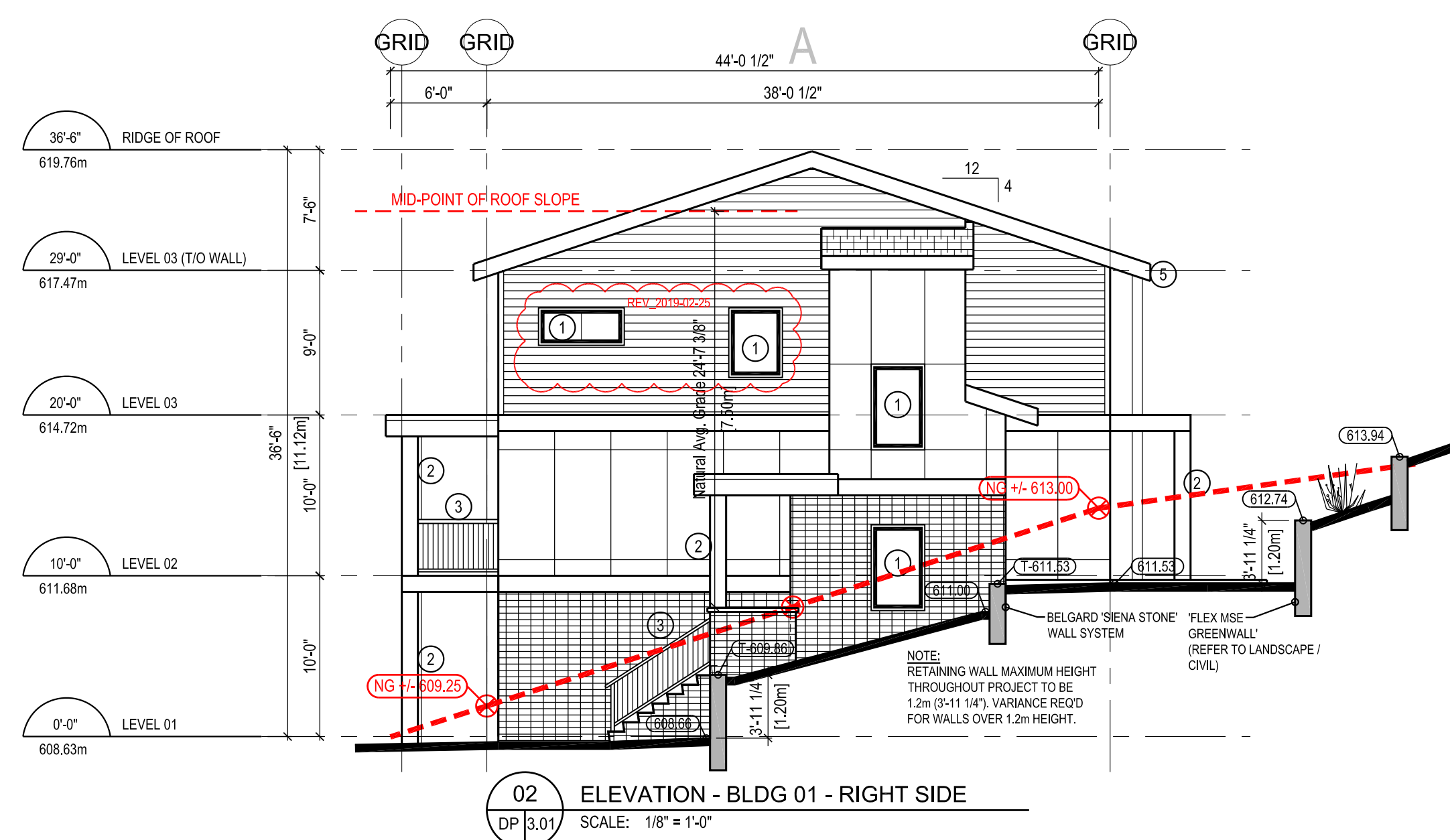
designed	PMC	scale	AS NOTED
drawn	JB		
checked	PMC		
drawing no.			

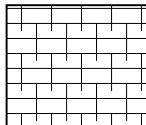
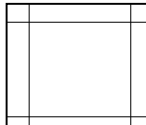
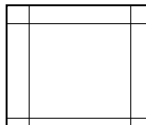
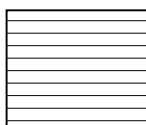
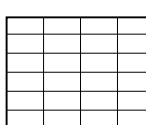
DP1.01

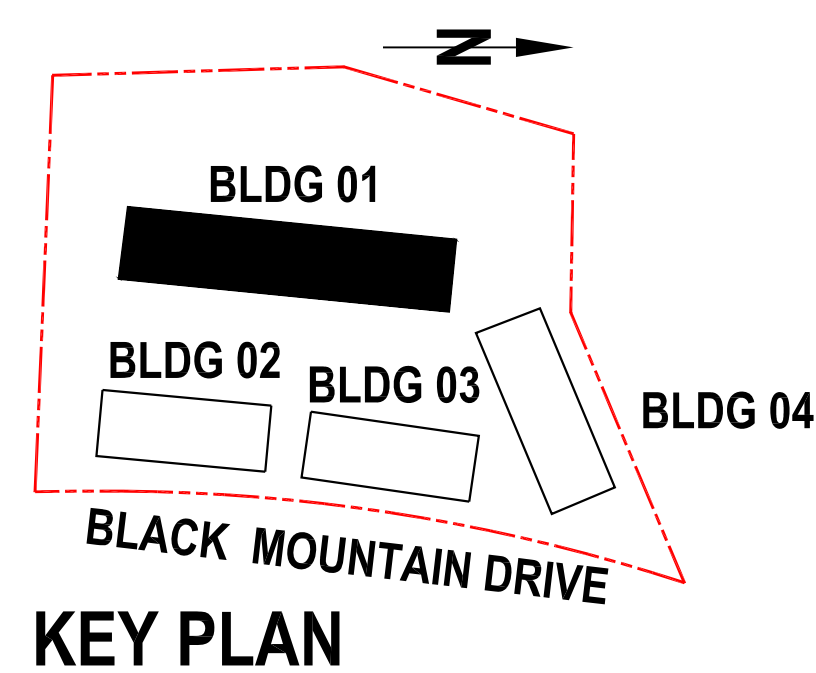
plotted February 25, 2019 08:56 AM



SCHEDULE		B
This forms part of application		
#	DP18-0103/DVP19-0088	
Planner Initials	WM	
		City of Kelowna COMMUNITY PLANNING



- ### MATERIALS LEGEND:
- | | | |
|---|---|--|
|  | FIBREGLASS LAMINATE SHINGLES | ① - DOUBLE GLAZED THERMALLY BROKEN, VINYL WINDOWS (BLACK FRAMES) |
|  | WALL PANEL (HARDIE PRODUCT - 'GRAY SLATE') | ② - BUILT-UP COLUMNS |
|  | WALL PANEL (HARDIE PRODUCT - 'COBBLESTONE') | ③ - ALUMINUM GUARDRAIL AND PICKETS (BLACK) |
|  | HORIZONTAL WOOD TEXTURED COMPOSITE MATERIAL | ④ - INSULATED METAL SECTIONAL OVERHEAD DOOR (STAINED FAUX WOOD) |
|  | BRICK (STACKING BOND) | ⑤ - PRE-FINISHED ALUMINUM FASCIA GUTTER AND DOWN-SPOUTS (BLACK) |



04	2019.01.23	Re-Issued for Development Permit
03	2018.11.21	Re-Issued for Development Permit
02	2018.09.21	Re-Issued for Development Permit
01	2018.04.30	Issued for Development Permit
No.	Date	Description
Revisions		

Notes:

© Copyright Reserved. This drawing and design are, and at all times remain, the property of Patrick McCusker Architecture Inc., and can be reproduced only with written consent.

All drawings shall be read in conjunction with specifications and consultant details.

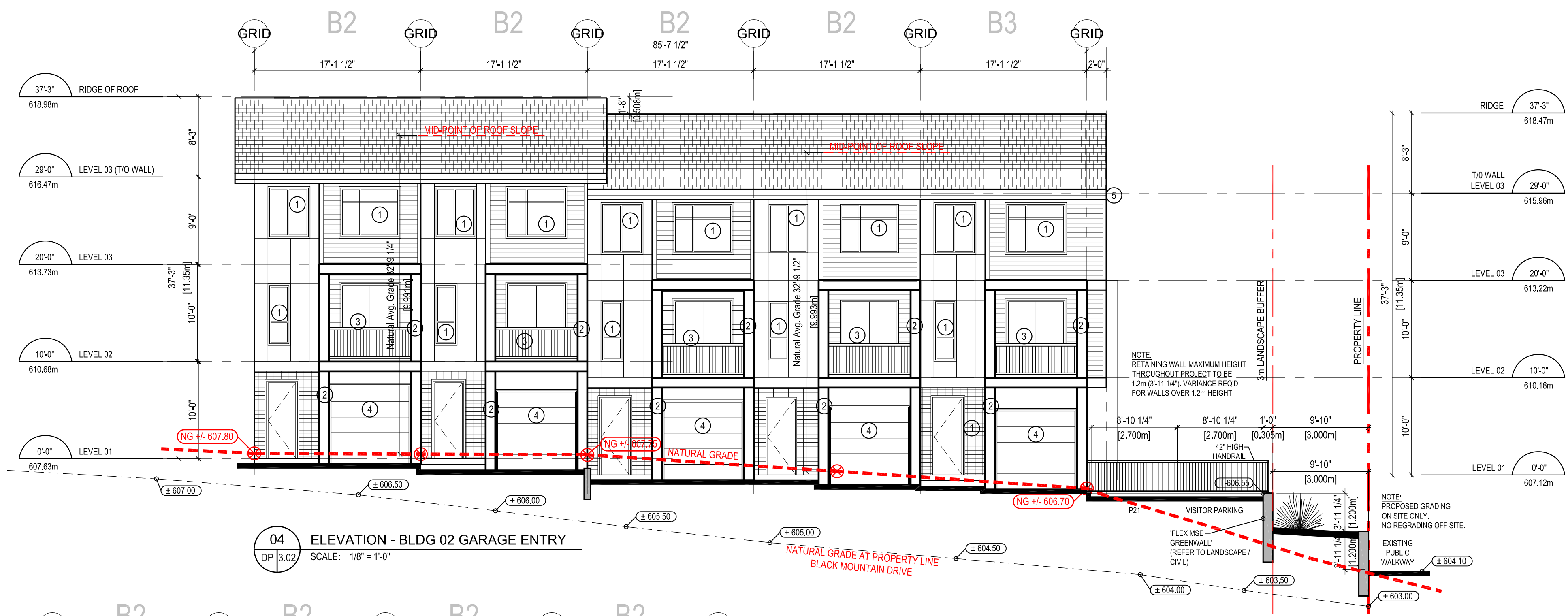
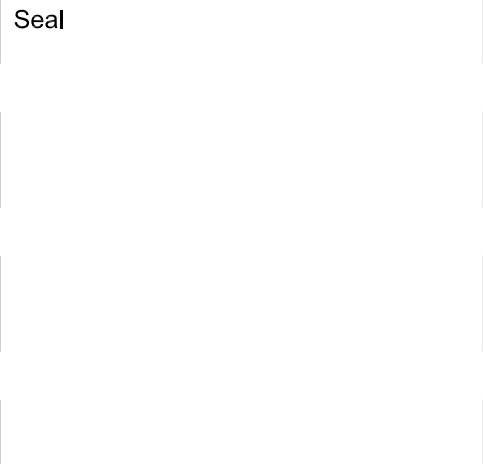
All work shall be carried out in accordance with Canadian standards, specifications, British Columbia Building Code (Current Edition) and local authority bylaws and regulations.

Tabulated scales refer to Arch D size drawing sheet.

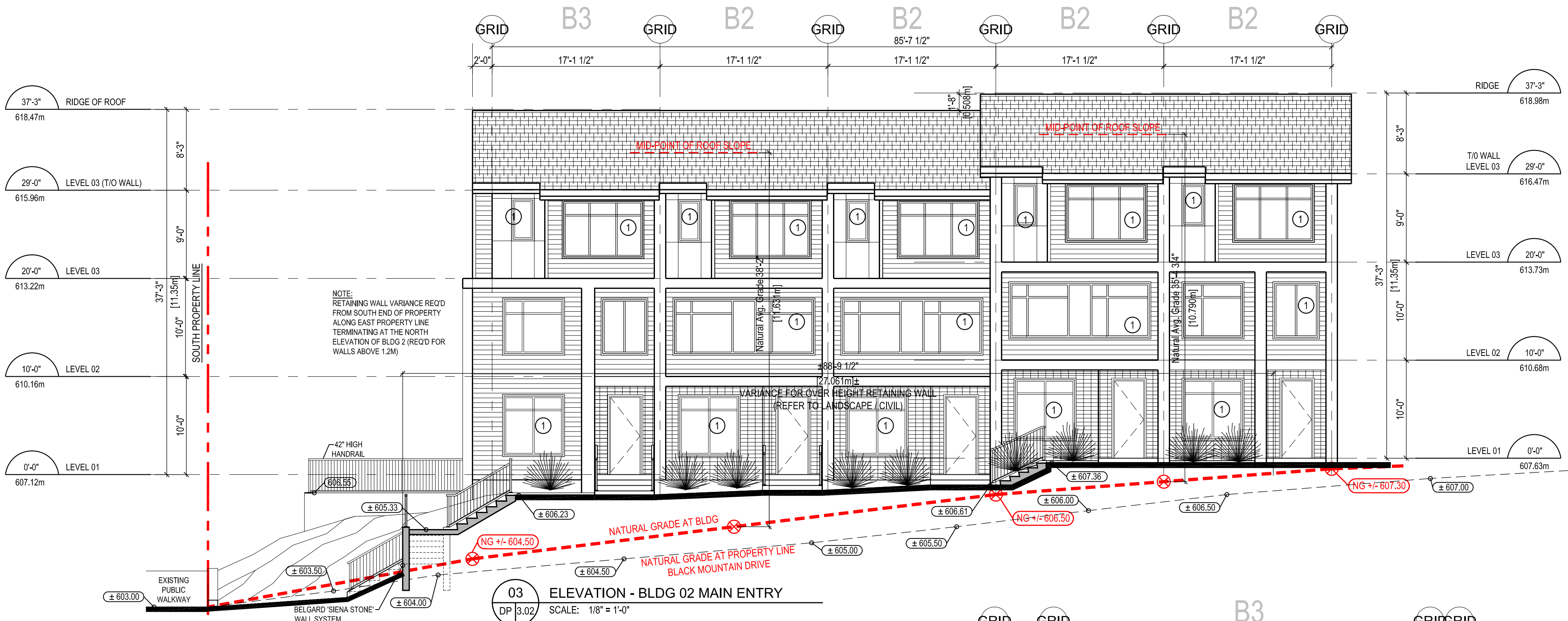
This drawing must not be scaled.

Contractors shall verify all dimensions prior to commencement of work.

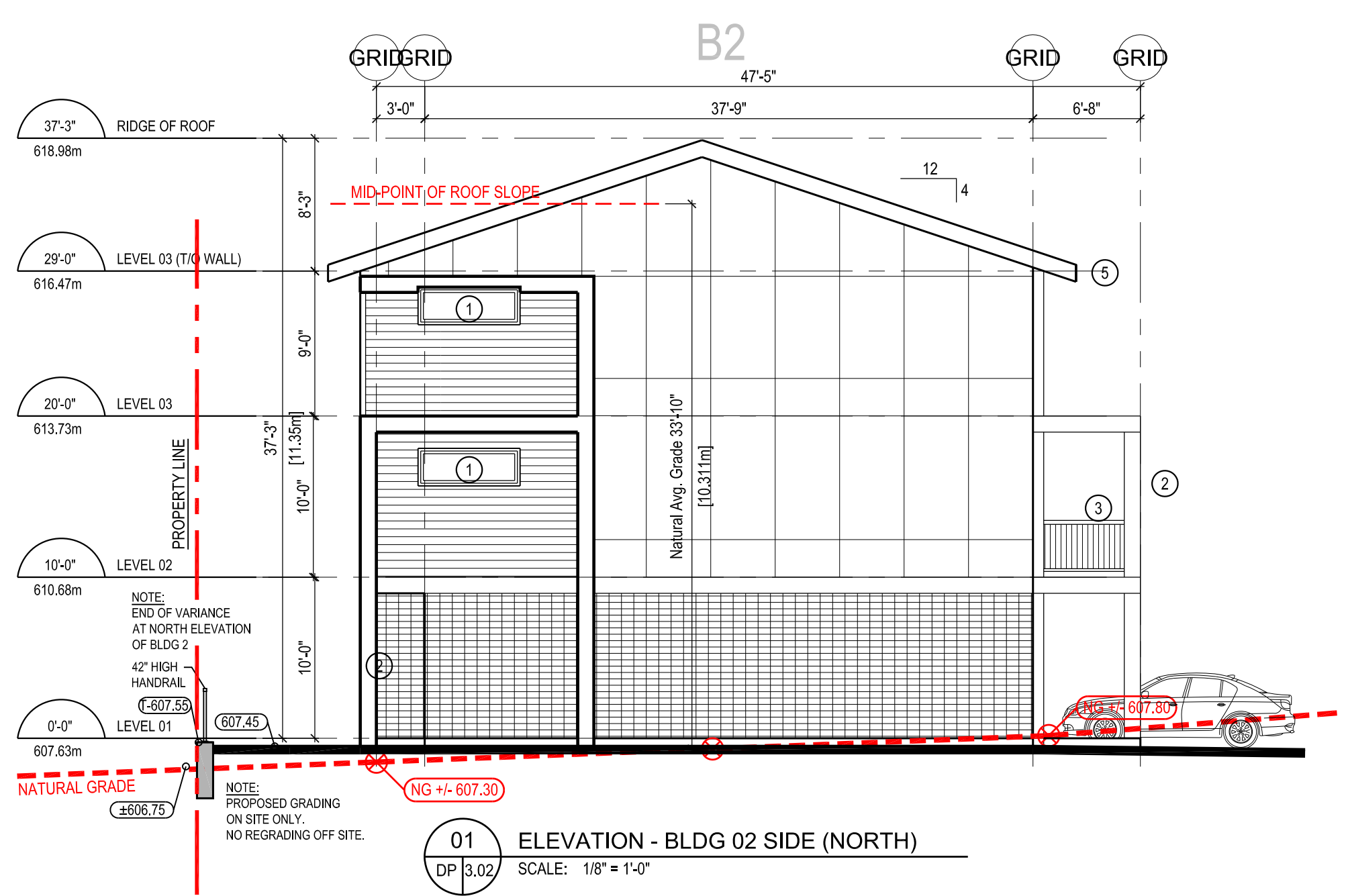
Any omissions or discrepancies shall be reported to the architect.



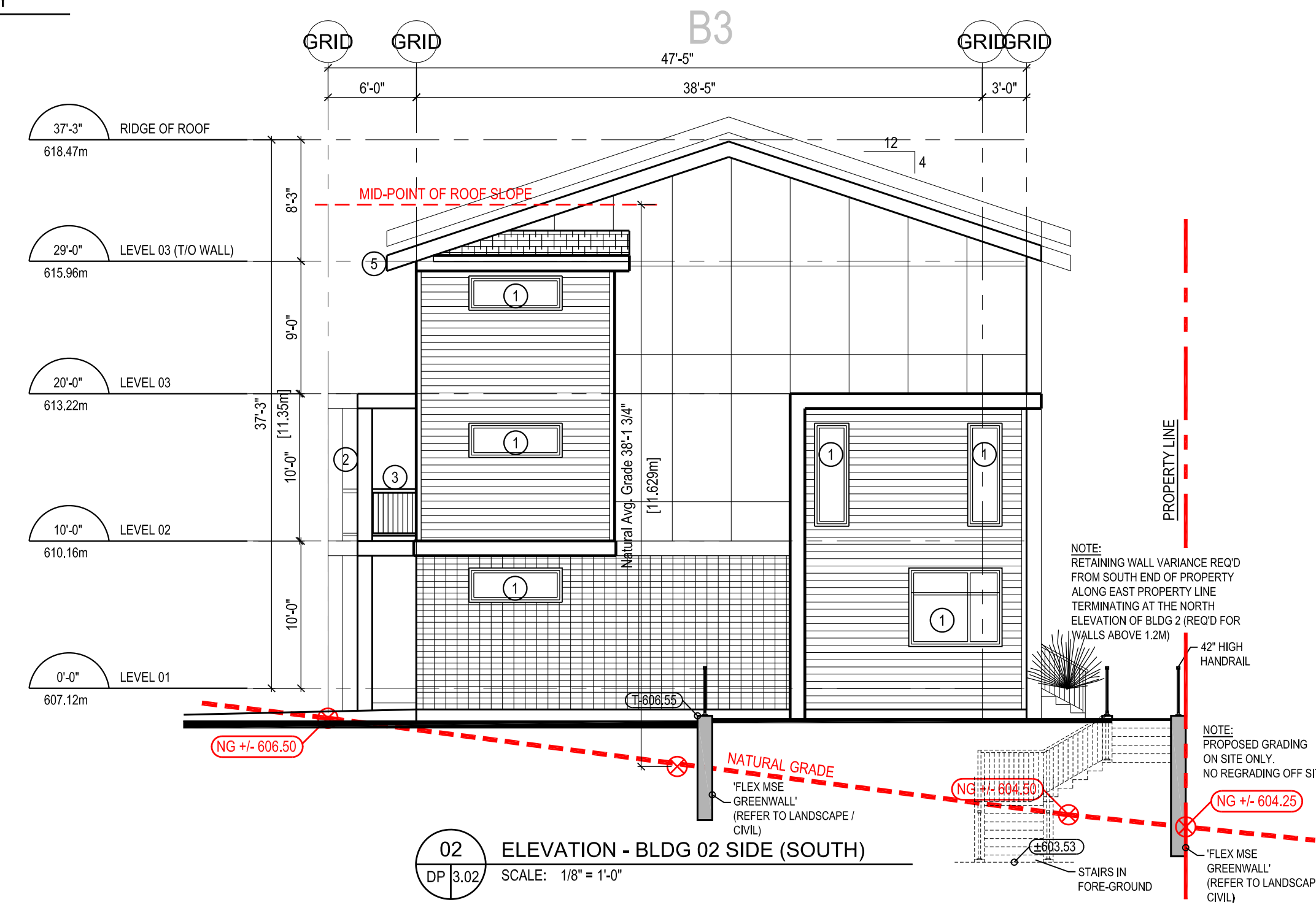
04 ELEVATION - BLDG 02 GARAGE ENTRY
SCALE: 1/8" = 1'-0"



03 ELEVATION - BLDG 02 MAIN ENTRY
SCALE: 1/8" = 1'-0"



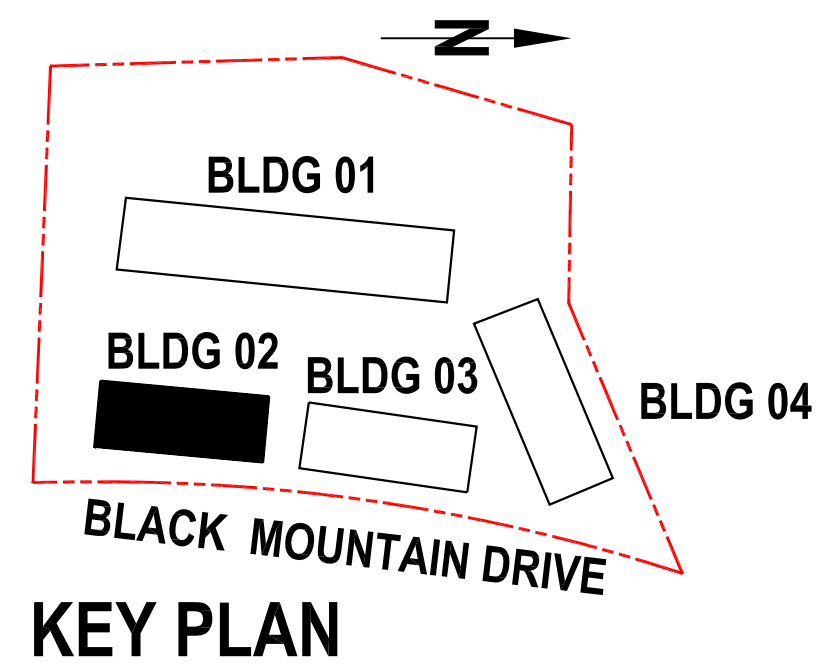
01 ELEVATION - BLDG 02 SIDE (NORTH)
SCALE: 1/8" = 1'-0"



02 ELEVATION - BLDG 02 SIDE (SOUTH)
SCALE: 1/8" = 1'-0"

MATERIALS LEGEND:

- FIBREGLASS LAMINATE SHINGLES
- WALL PANEL (HARDIE PRODUCT - GRAY SLATE)
- WALL PANEL (HARDIE PRODUCT - COBBLESTONE)
- HORIZONTAL WOOD TEXTURED COMPOSITE MATERIAL
- BRICK (STACKING BOND)
- DOUBLE GLAZED THERMALLY BROKEN, VINYL WINDOWS (BLACK FRAMES)
- BUILT-UP COLUMNS
- ALUMINUM GUARDRAIL AND PICKETS (BLACK)
- INSULATED METAL SECTIONAL OVERHEAD DOOR (STAINED FAUX WOOD)
- PRE-FINISHED ALUMINUM FASCIA GUTTER AND DOWN-SPOUTS (BLACK)



SCHEDULE B

This forms part of application
DP18-0103/DVP19-0088

Planner Initials **WW**

City of Kelowna
COMMUNITY PLANNING

04	2019.01.23	Re-Issued for Development Permit
03	2018.11.21	Re-Issued for Development Permit
02	2018.09.21	Re-Issued for Development Permit
01	2018.04.30	Issued for Development Permit
No.	Date	Description

Revisions

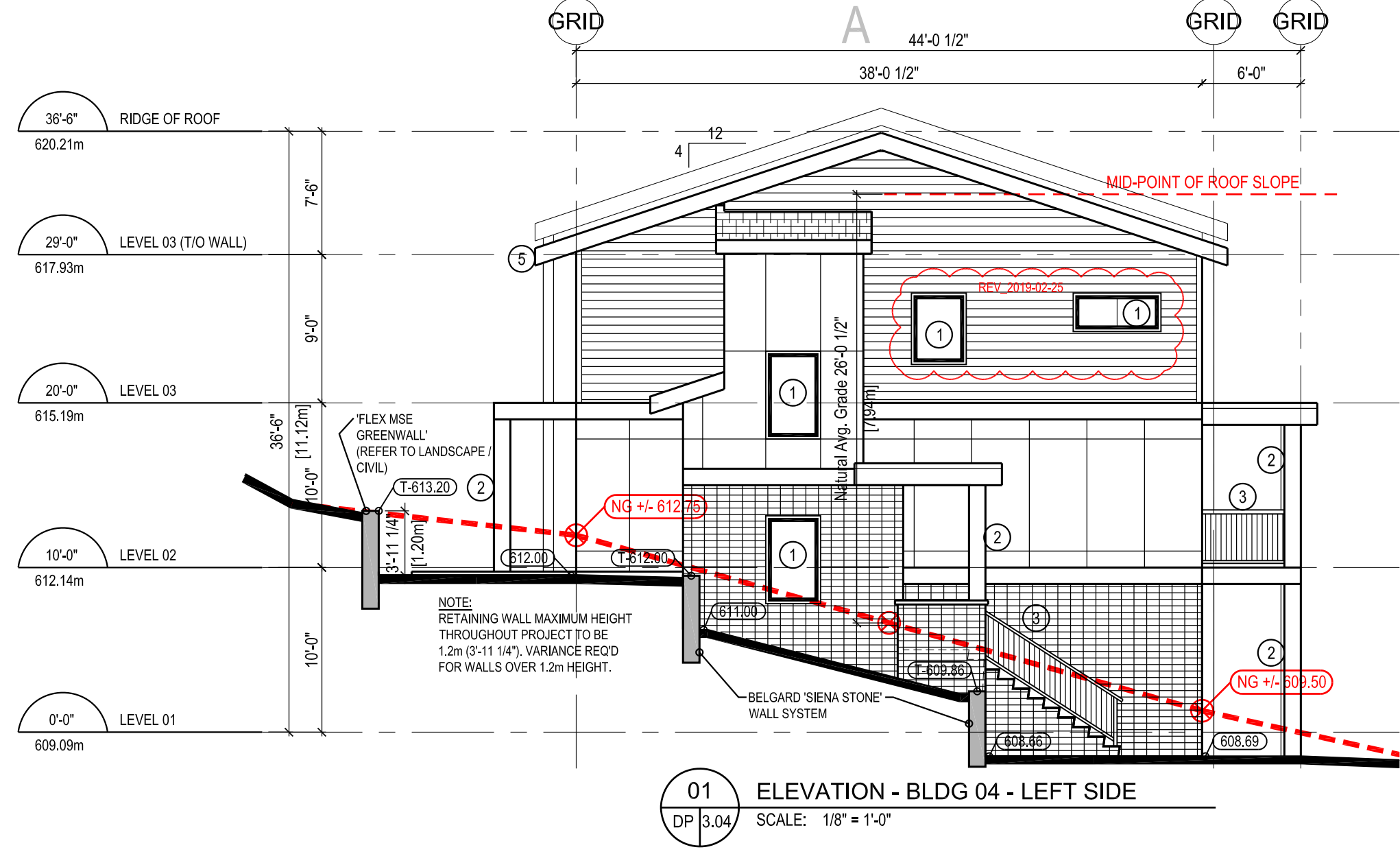
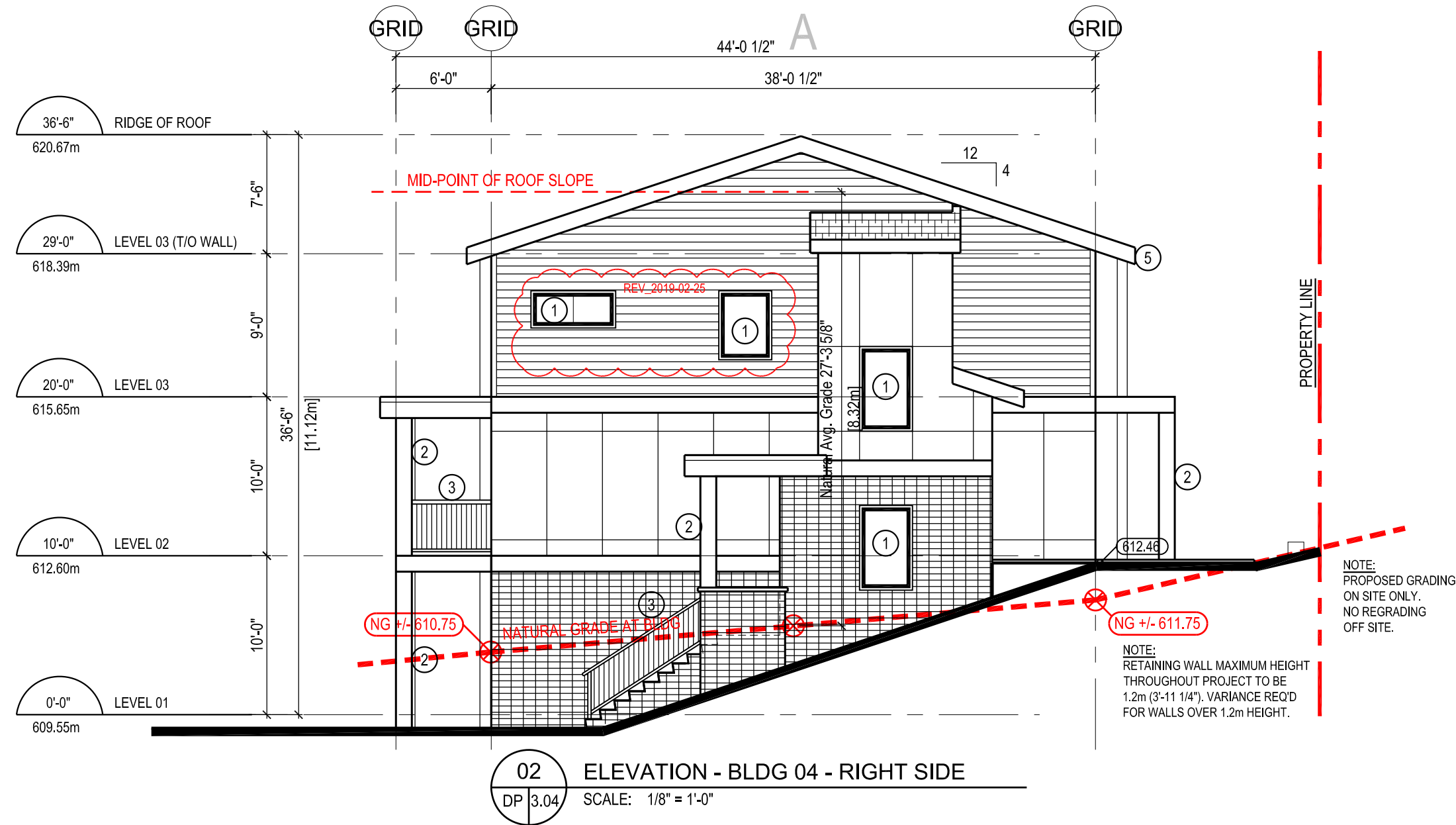
PM

PATRICK MCCUSKER
ARCHITECTURE INC.

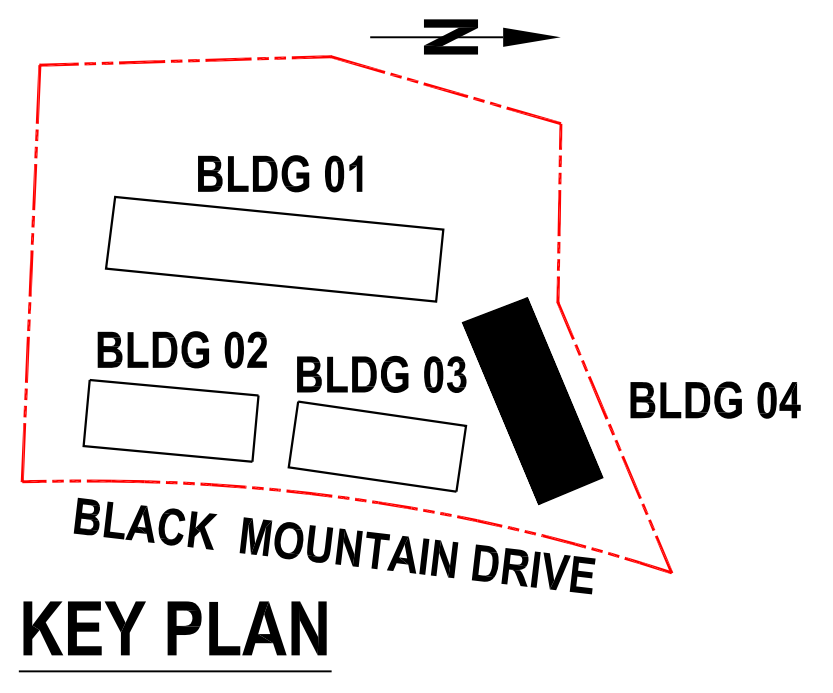
AAA MAIBC MRAIC

3430 BENOULIN ROAD
KELOWNA BC V1W 4M5
Phone: 778-484-0223
pat@pmcarch.com
www.pmcarch.com

project title	BLACK MOUNTAIN MULTI-FAMILY RESIDENTIAL 1150 BLACK MOUNTAIN DRIVE KELOWNA, B.C.		
project no.	3380		
drawing title	ELEVATIONS BUILDING 02		
designed	PMC	scale	AS NOTED
drawn	JB		
checked	PMC		
drawing no.	DP3.02		
plotted	January 24, 2019 04:08 PM		



- MATERIALS LEGEND:**
- 1 - DOUBLE GLAZED THERMALLY BROKEN, VINYL WINDOWS (BLACK FRAMES)
 - 2 - BUILT-UP COLUMNS
 - 3 - ALUMINUM GUARDRAIL AND PICKETS (BLACK)
 - 4 - INSULATED METAL SECTIONAL OVERHEAD DOOR (STAINED FAUX WOOD)
 - 5 - PRE-FINISHED ALUMINUM FASCIA GUTTER AND DOWNSPOUTS (BLACK)
- FIBREGLASS LAMINATE SHINGLES
- WALL PANEL (HARDIE PRODUCT - 'GRAY SLATE')
- WALL PANEL (HARDIE PRODUCT - 'COBBLESTONE')
- HORIZONTAL WOOD TEXTURED COMPOSITE MATERIAL
- BRICK (STACKING BOND)



Notes:

© Copyright Reserved. This drawing and design are, and at all times remain, the property of Patrick McCusker Architecture Inc., and can be reproduced only with written consent.

All drawings shall be read in conjunction with specifications and consultant details.

All work shall be carried out in accordance with Canadian standards, specifications, British Columbia Building Code (Current Edition) and local authority bylaws and regulations.

Tabulated scales refer to Arch D size drawing sheet.

This drawing must not be scaled.

Contractors shall verify all dimensions prior to commencement of work.

Any omissions or discrepancies shall be reported to the architect.

SCHEDULE B

This forms part of application # **DP18-0103/DVP19-0088**

Planner Initials **WN**

City of Kelowna COMMUNITY PLANNING

04	2019.01.23	Re-issued for Development Permit
03	2018.11.21	Re-issued for Development Permit
02	2018.09.21	Re-issued for Development Permit
01	2018.04.30	Issued for Development Permit
No.	Date	Description

PM

PATRICK McCUSKER ARCHITECTURE INC.

AAA MAIBC MRAIC

3430 BENOULIN ROAD
KELOWNA BC V1W 4M5
~ Phone: 778-484-0223 ~
pat@pmccarch.com
www.pmccarch.com

project title	BLACK MOUNTAIN MULTI-FAMILY RESIDENTIAL	
	1150 BLACK MOUNTAIN DRIVE KELOWNA, B.C.	
project no.	3380	
drawing title	ELEVATIONS BUILDING 04	
designed	PMC	scale AS NOTED
drawn	JB	
checked	PMC	
drawing no.		

DP3.04

This forms part of application
DP18-0103/DVP19-0088

Planner Initials WM

City of Kelowna
COMMUNITY PLANNING

04	2019.01.23	Re-issued for Development Permit
03	2018.11.21	Re-issued for Development Permit
02	2018.09.21	Re-issued for Development Permit
01	2018.04.30	Issued for Development Permit
No.	Date	Description

Revisions



PATRICK McCUSKER
ARCHITECTURE INC.

AAA	MAIBC	MRAIC
-----	-------	-------

3430 BENVOLIN ROAD
KELOWNA BC V1W 4M5
~ Phone: 778-484-0223 ~
pat@pmccarch.com
www.pmccarch.com

project title
BLACK MOUNTAIN
MULTI-FAMILY RESIDENTIAL
1150 BLACK MOUNTAIN DRIVE
KELOWNA, B.C.

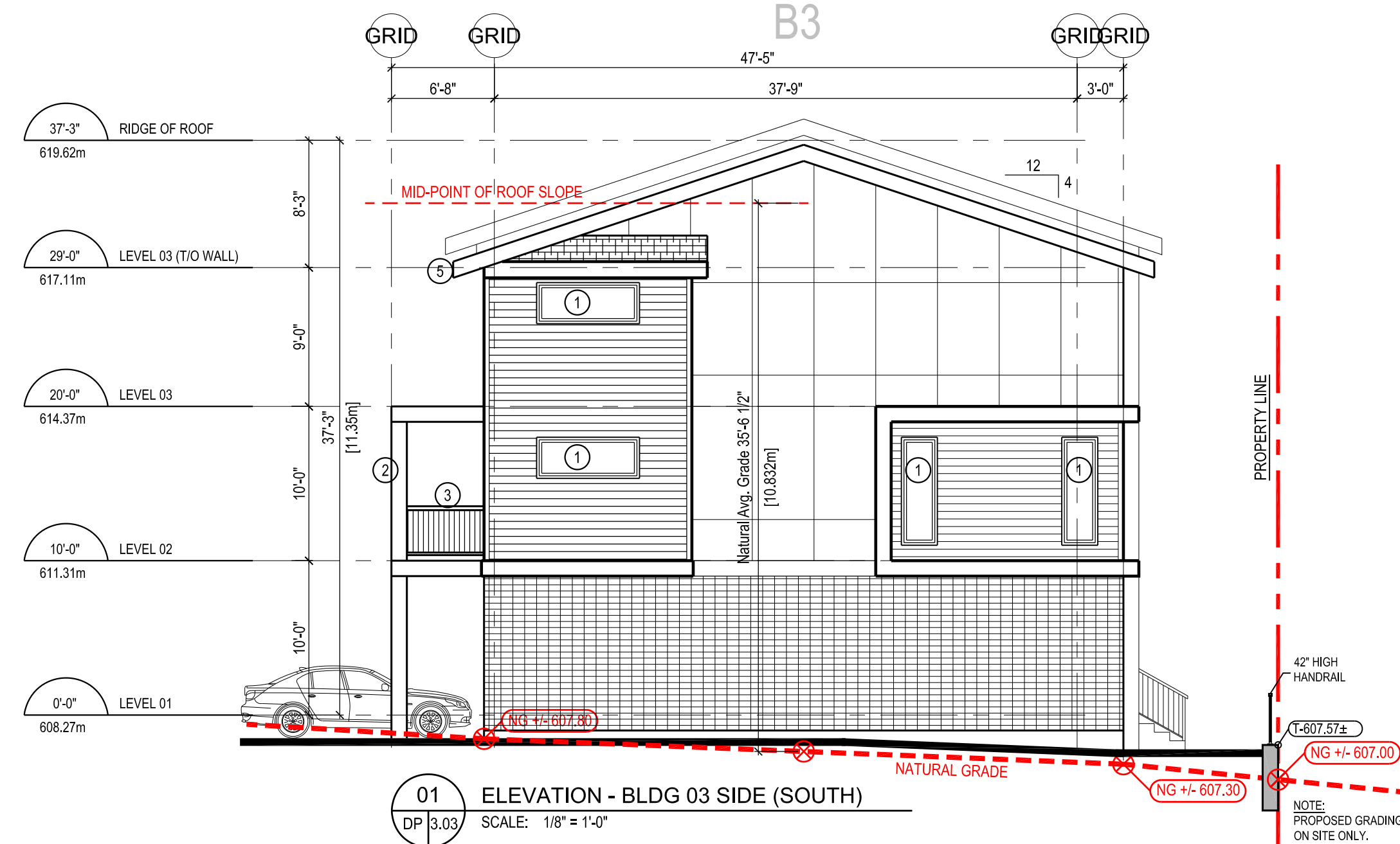
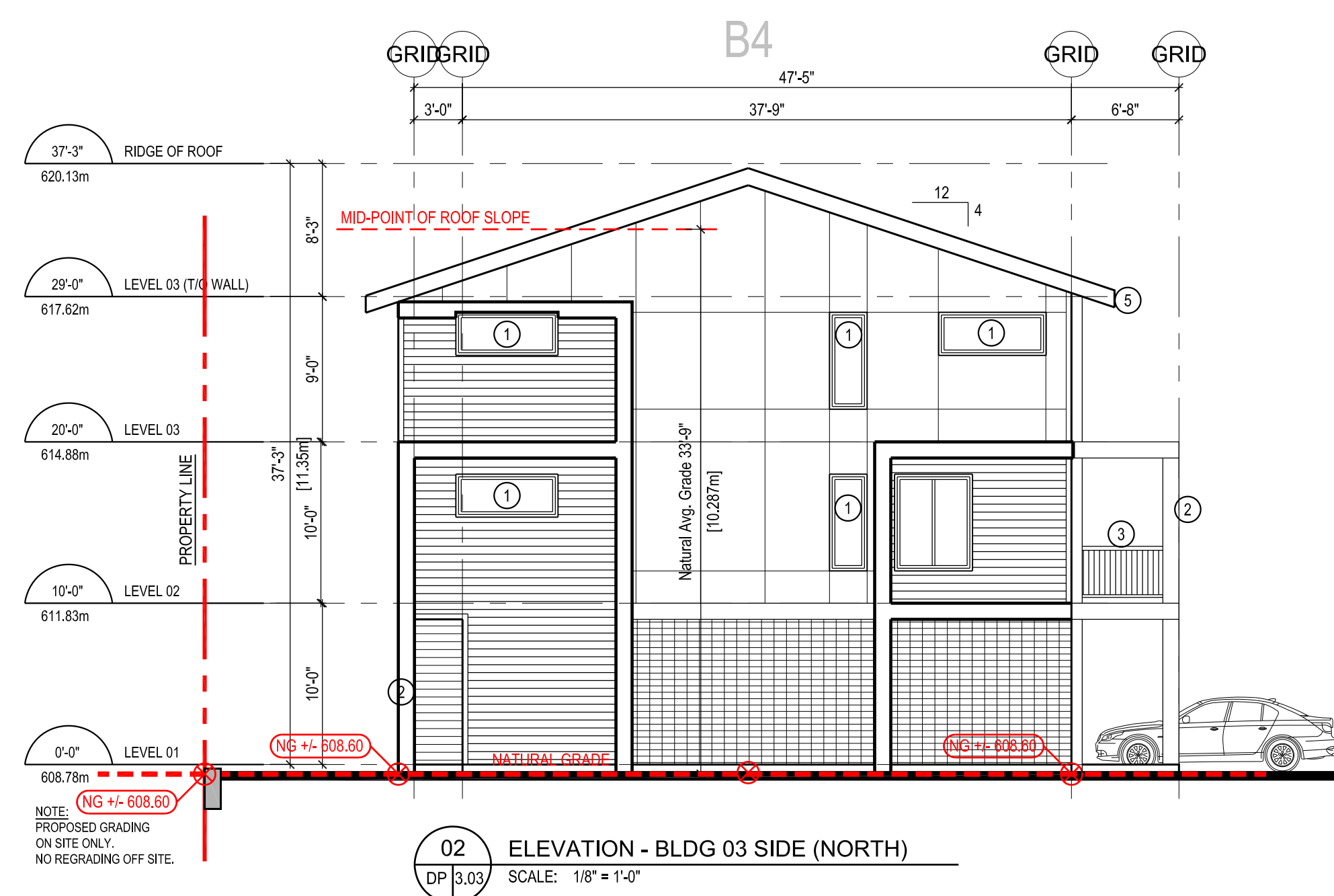
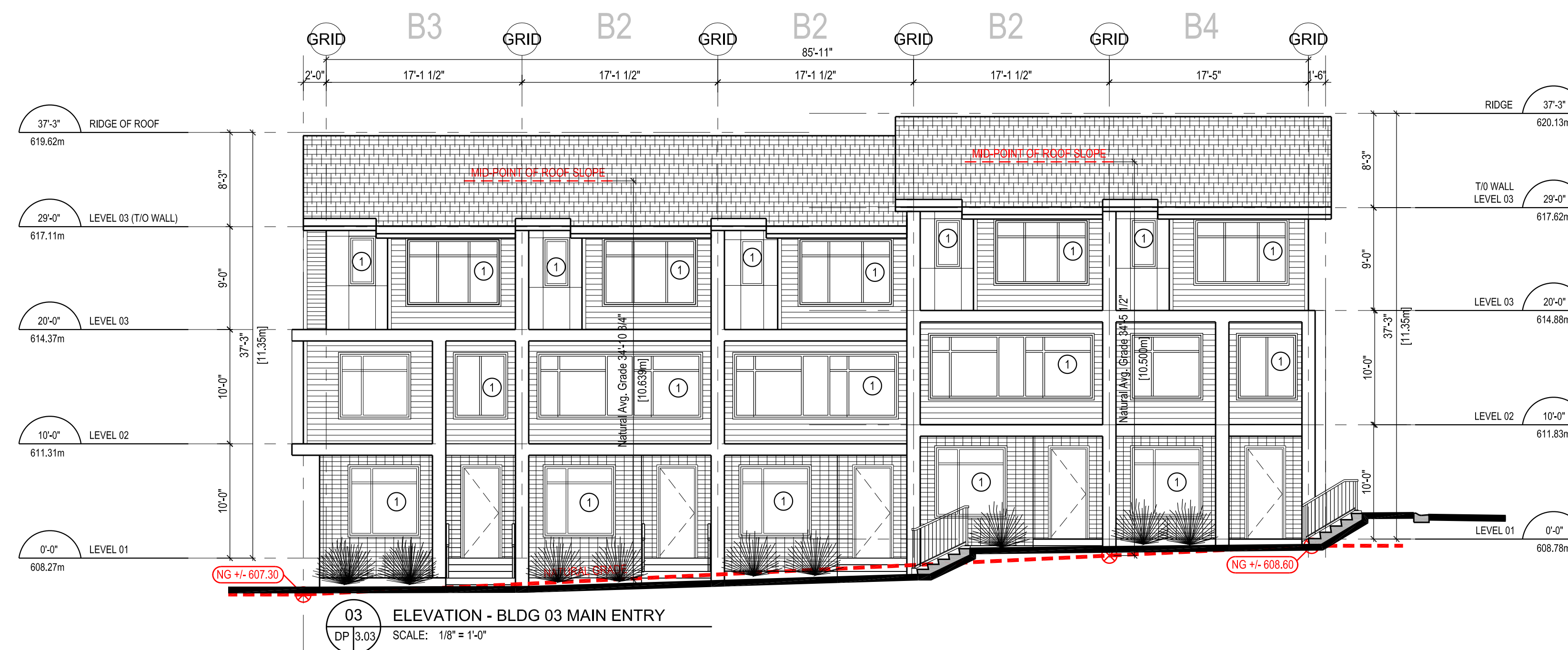
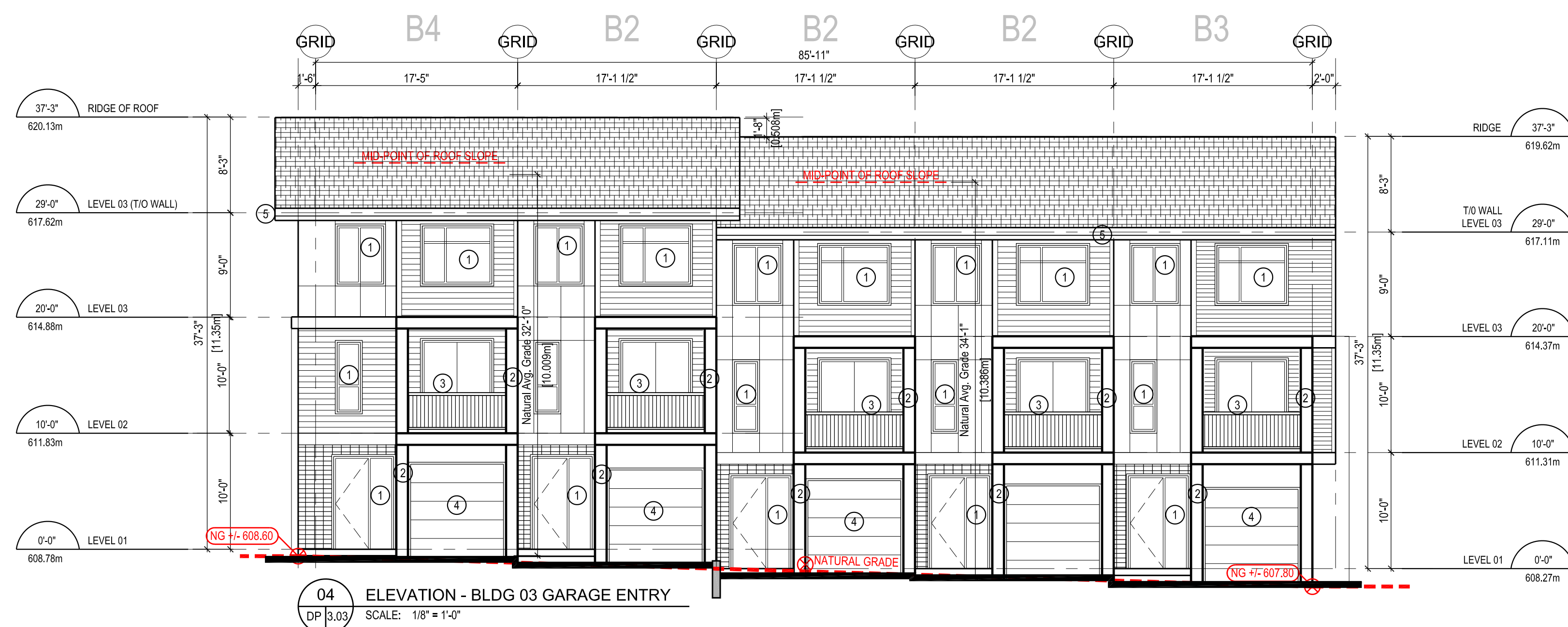
project no. 3380

drawing title
ELEVATIONS
BUILDING 03

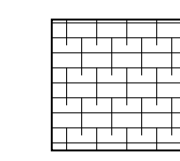
designed	PMC	scale	AS NOTED
drawn	JB		
checked	PMC		
drawing no.			

DP3.03

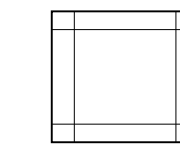
plotted January 24, 2019 04:09 PM



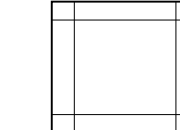
MATERIALS LEGEND:



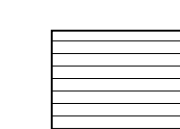
	FIBREGLASS LAMINATE SHINGLES
--	------------------------------



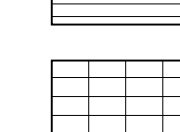
WALL PANEL
(HARDIE PRODUCT -
'GRAY SLATE')



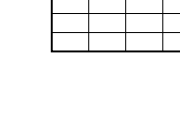
	WALL PANEL (HARDIE PRODUCT - 'COBBLESTONE')
--	---



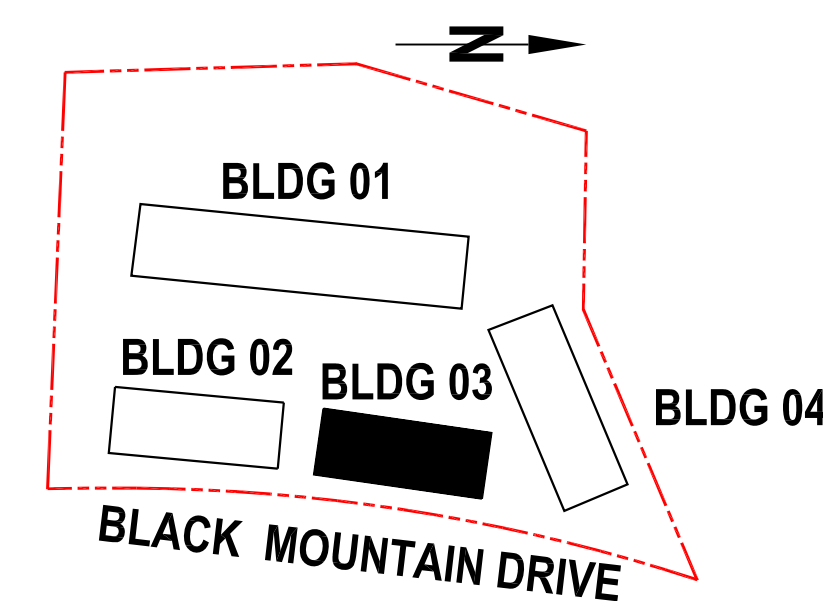
HORIZONTAL WOOD
TEXTURED COMPOSITE
MATERIAL



BRICK (STACKING BOND)



- ① - DOUBLE GLAZED THERMALLY BROKEN, VINYL WINDOWS (BLACK FRAMES)
- ② - BUILT-UP COLUMNS
- ③ - ALUMINUM GUARDRAIL AND PICKETS (BLACK)
- ④ - INSULATED METAL SECTIONAL OVERHEAD DOOR (STAINED FAUX WOOD)
- ⑤ - PRE-FINISHED ALUMINUM FASCIA GUTTER AND DOWN-SPOUTS (BLACK)



KEY PLAN

Notes:

© Copyright Reserved. This drawing and design are, and at all times remain, the property of Patrick McCusker Architecture Inc., and can be reproduced only with written consent.

All drawings shall be read in conjunction with specifications and consultant details.

All work shall be carried out in accordance with Canadian standards, specifications, British Columbia Building Code (Current Edition) and local authority bylaws and regulations.

Tabulated scales refer to Arch D also drawing sheet.

This drawing must not be scaled.

Contractors shall verify all dimensions prior to commencement of work.

Any omissions or discrepancies shall be reported to the architect.

Seal



03 ELEVATION - BLDG 01 (FRONT)
SCALE: 1/8" = 1'-0"

SCHEDULE

B

This forms part of application
DP18-0103/DVP19-0088

Planner Initials **WN**


City of Kelowna
COMMUNITY PLANNING



02 ELEVATION - BLDG 01 (REAR)
SCALE: 1/8" = 1'-0"

04	2019.01.23	Re-Issued for Development Permit
03	2018.11.21	Re-Issued for Development Permit
02	2018.09.21	Re-Issued for Development Permit
01	2018.04.30	Issued for Development Permit
No.	Date	Description

Revisions


PM

PATRICK MCCUSKER
ARCHITECTURE INC.

AAA MAIBC MRAIC
3430 BENOULIN ROAD
KELOWNA BC V1W 4M5
~ Phone: 778-484-0223 ~
pat@pmccarch.com
www.pmccarch.com

project title
**BLACK MOUNTAIN
MULTI-FAMILY RESIDENTIAL**
1150 BLACK MOUNTAIN DRIVE
KELOWNA, B.C.

project no. 3380

drawing title
**ELEVATIONS
BUILDING 01
(COLOURED)**

designed	PMC	scale	AS NOTED
drawn	JB		
checked	PMC		

drawing no.

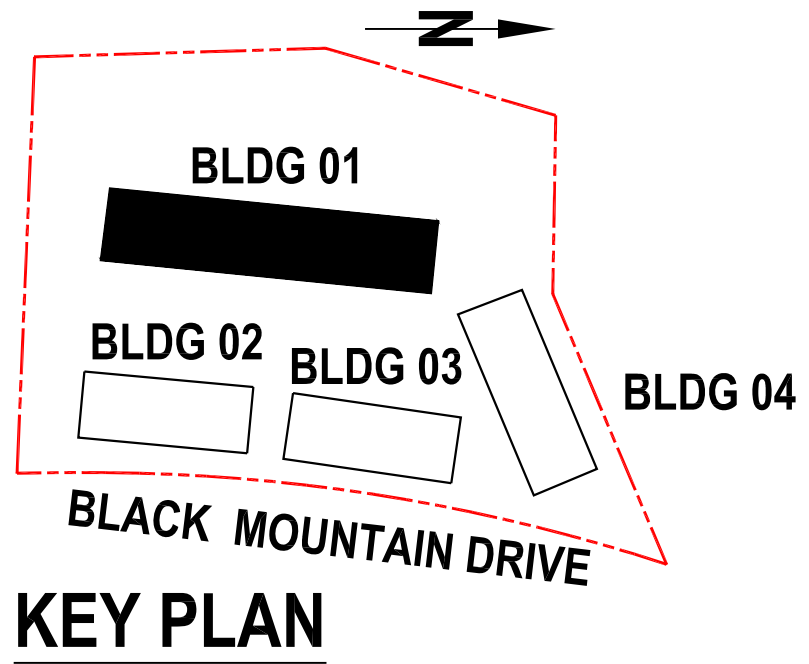
DP3.11

plotted January 24, 2019 04:12 PM



01 ELEVATION - BLDG 01 (TYPICAL SIDE)
SCALE: 1/8" = 1'-0"

- MATERIALS LEGEND:
- FIBREGLASS LAMINATE SHINGLES
 - WALL PANEL (HARDIE PRODUCT - 'GRAY SLATE')
 - WALL PANEL (HARDIE PRODUCT - 'COBBLESTONE')
 - HORIZONTAL WOOD TEXTURED COMPOSITE MATERIAL
 - BRICK





04 ILLUSTRATION - BLDG 02 FROM BLACK MOUNTAIN DRIVE
SCALE: NTS



03 ILLUSTRATION - BLDG 02 FROM DRIVE AISLE
SCALE: NTS



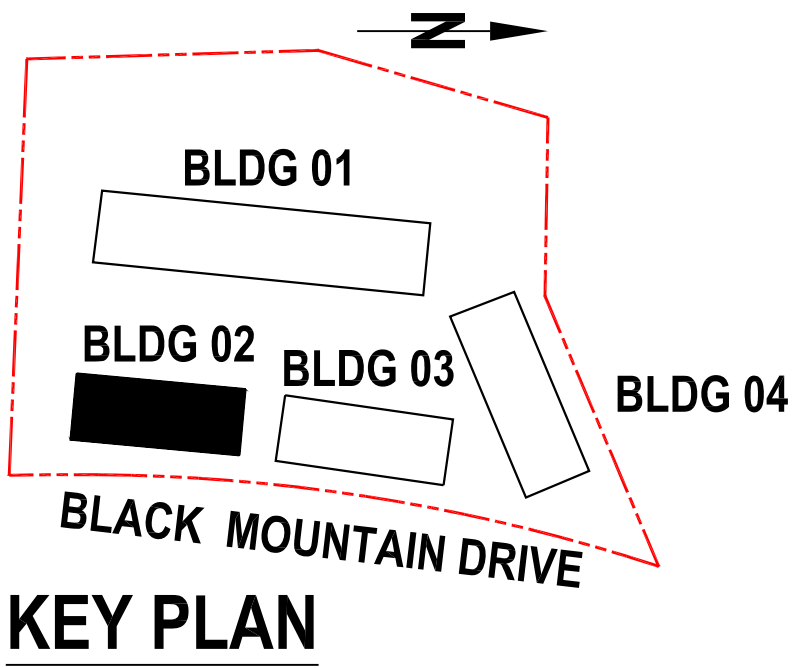
02 ILLUSTRATION - BLDG 02 FROM SOUTHEAST CORNER
SCALE: NTS



01 ILLUSTRATION - BLDG 02 FROM NORTHEAST CORNER
SCALE: NTS

MATERIALS LEGEND:

- FIBREGLASS LAMINATE SHINGLES
- WALL PANEL (HARDIE PRODUCT - 'GRAY SLATE')
- WALL PANEL (HARDIE PRODUCT - 'COBBLESTONE')
- HORIZONTAL WOOD TEXTURED COMPOSITE MATERIAL
- BRICK



Notes:
© Copyright Reserved. This drawing and design are, and at all times remain, the property of Patrick McCusker Architecture Inc., and can be reproduced only with written consent.
All drawings shall be read in conjunction with specifications and consultant details.
All work shall be carried out in accordance with Canadian standards, specifications, British Columbia Building Code (Current Edition) and local authority bylaws and regulations.
Tabulated scales refer to Arch D also drawing sheet.
This drawing must not be scaled.
Contractors shall verify all dimensions prior to commencement of work.
Any omissions or discrepancies shall be reported to the architect.

Seal

SCHEDULE

B

This forms part of application
DP18-0103/DVP19-0088

Planner Initials WV

City of Kelowna
COMMUNITY PLANNING

04	2019.01.23	Re-Issued for Development Permit
03	2018.11.21	Re-Issued for Development Permit
02	2018.09.21	Re-Issued for Development Permit
01	2018.04.30	Issued for Development Permit
No.	Date	Description

Revisions



PATRICK MCCUSKER
ARCHITECTURE INC.
AAA MAIBC MRAIC
3430 BENOULIN ROAD
KELOWNA BC V1W 4M5
~ Phone: 778-484-0223 ~
pat@pmcarch.com
www.pmcarch.com

project title
BLACK MOUNTAIN
MULTI-FAMILY RESIDENTIAL
1150 BLACK MOUNTAIN DRIVE
KELOWNA, B.C.

project no. 3380

drawing title
ELEVATIONS
BUILDING 02
(COLOURED)

designed	PMC	scale	AS NOTED
drawn	JB		
checked	PMC		
drawing no.			

DP3.12

plotted January 24, 2019 04:20 PM



03 ELEVATION - BLDG 04 (FRONT)
SCALE: 1/8" = 1'-0"

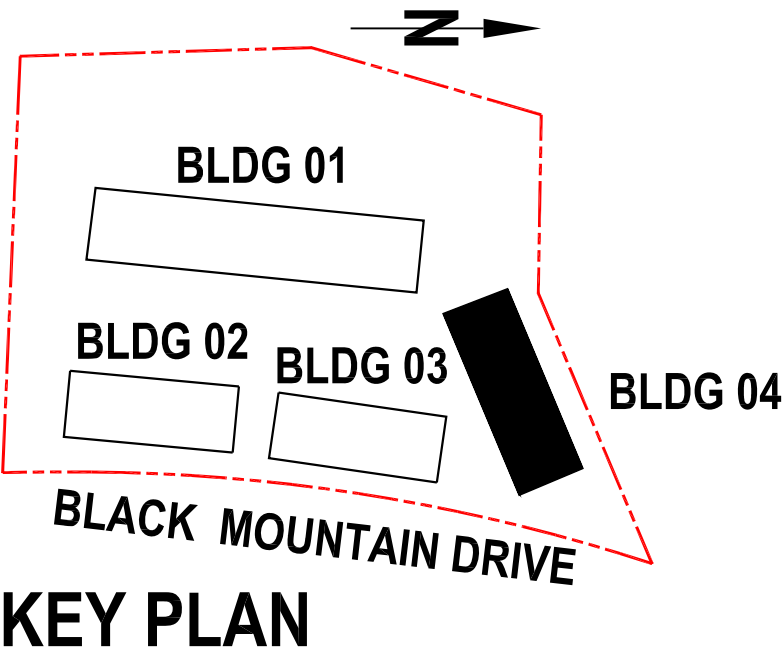


02 ELEVATION - BLDG 04 (REAR)
SCALE: 1/8" = 1'-0"



01 ELEVATION - BLDG 04 (TYPICAL SIDE)
SCALE: 1/8" = 1'-0"

- MATERIALS LEGEND:
- FIBREGLASS LAMINATE SHINGLES
 - WALL PANEL (HARDIE PRODUCT - 'GRAY SLATE')
 - WALL PANEL (HARDIE PRODUCT - 'COBBLESTONE')
 - HORIZONTAL WOOD TEXTURED COMPOSITE MATERIAL
 - BRICK



Notes:

© Copyright Reserved. This drawing and design are, and at all times remain, the property of Patrick McCusker Architecture Inc., and can be reproduced only with written consent.

All drawings shall be read in conjunction with specifications and consultant details.

All work shall be carried out in accordance with Canadian standards, specifications, British Columbia Building Code (Current Edition) and local authority bylaws and regulations.

Tabulated scales refer to Arch D also drawing sheet.

This drawing must not be scaled.

Contractors shall verify all dimensions prior to commencement of work.

Any omissions or discrepancies shall be reported to the architect.

Seal

SCHEDULE

B

This forms part of application #

DP18-0103/DVP19-0088

Planner Initials

WM

City of Kelowna

COMMUNITY PLANNING

04	2019.01.23	Re-Issued for Development Permit
03	2018.11.21	Re-Issued for Development Permit
02	2018.09.21	Re-Issued for Development Permit
01	2018.04.30	Issued for Development Permit
No.	Date	Description

Revisions

PM

PATRICK MCCUSKER

ARCHITECTURE INC.

AAA

MAIBC

MRAIC

3430 BENOULIN ROAD

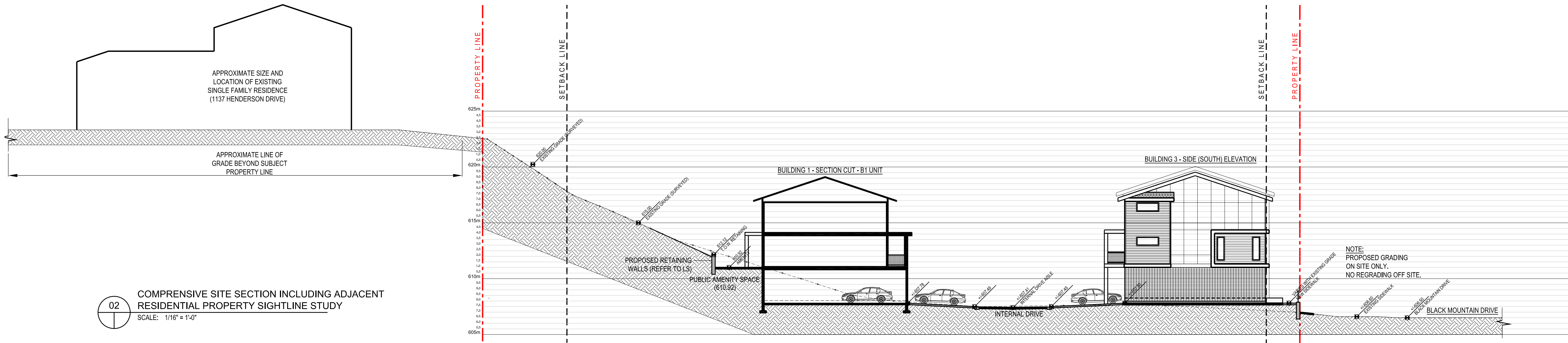
KELOWNA B C V1W 4M5

~ Phone: 778-484-0223 ~

pat@pmccarch.com

www.pmccarch.com

project title	
BLACK MOUNTAIN MULTI-FAMILY RESIDENTIAL	
1150 BLACK MOUNTAIN DRIVE KELOWNA, B.C.	
project no.	3380
drawing title	
ELEVATIONS BUILDING 04 (COLOURED)	
designed	PMC
drawn	JB
checked	PMC
drawing no.	
DP3.14	
plotted	January 24, 2019 04:26 PM



02

COMPREHENSIVE SITE SECTION INCLUDING ADJACENT
RESIDENTIAL PROPERTY SIGHTLINE STUDY
SCALE: 1/16" = 1'-0"

NOTES:

SITE SURVEY BASED ON INFORMATION
PROVIDED BY D.A. GODDARD LAND
SURVEYING INC.

FINAL LAYOUT & GRADE ELEVATIONS TO
BE DETERMINED BY SURVEYOR & CIVIL
ENGINEER IN CONSULTATION WITH
CONTRACTOR & OWNER.

ARCHITECTURAL SITE PLAN TO BE READ
IN CONJUNCTION WITH CIVIL GRADING
PLAN. (REFER TO CIVIL)

ARCHITECTURAL SITE PLAN TO BE READ
IN CONJUNCTION WITH LANDSCAPE PLAN.
(REFER TO LANDSCAPE)

LEGEND

EXISTING GRADE (VERIFY WITH SURVEY)

PROPOSED GRADE

SCHEDULE

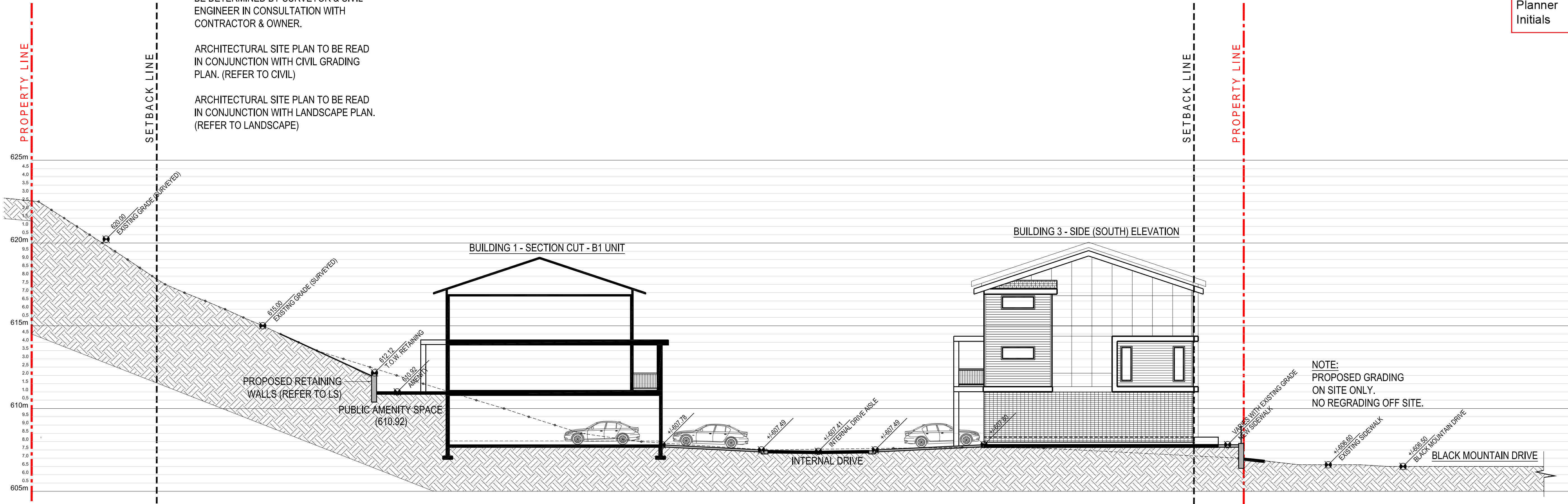
B

This forms part of application
DP18-0103/DVP19-0088

Planner
Initials

WM

City of
Kelowna
COMMUNITY PLANNING



01

SITE SECTION A-A
SCALE: 3/32" = 1'-0"

LEGEND

EXISTING GRADE (VERIFY WITH SURVEY)

PROPOSED GRADE

04	2019.01.23	Re-Issued for Development Permit
03	2018.11.21	Re-Issued for Development Permit
02	2018.09.21	Re-Issued for Development Permit
01	2018.04.30	Issued for Development Permit
No.	Date	Description

Revisions

PM

PATRICK McCUSKER
ARCHITECTURE INC.

AAA MAIBC MRAIC
3430 BENOULIN ROAD
KELOWNA BC V1W 4M5
~ Phone: 778-484-0223 ~
pat@pmccarch.com
www.pmccarch.com

project title
BLACK MOUNTAIN
MULTI-FAMILY RESIDENTIAL
1150 BLACK MOUNTAIN DRIVE
KELOWNA, B.C.

project no. 3380

drawing title
SECTION - SITE

designed	PMC	scale	AS NOTED
drawn	JB		
checked	PMC		
drawing no.			

DP4.01

plotted January 24, 2019 04:37 PM



SCHEDULE

C

This forms part of application
DP18-0103/DVP19-0088

Planner
Initials WW

City of
Kelowna

COMMUNITY PLANNING

OUTLAND DESIGN

LANDSCAPE ARCHITECTURE

303 - 590 KLO Road
Kelowna, BC V1Y 7S2
T (250) 868-9270
www.outlanddesign.ca

LEGEND

DECIDUOUS TREE

CONIFEROUS TREE

EXISTING TREE

PLANTING AREAS

HEUCHERA 'FROSTED VIOLET', DICENTRA SPICATILIS 'ALBA', TAXUS MEDIA 'HICKSII', ATHYRIUM FILIX-FEMINA 'LADY IN RED', HOSTA 'HALYON'

MUGO PINE 'MOPS', PEROVSKIA ATRIPLICIFOLIA, DECHAMPsia CAESPITOSA, SALVIA NEMOROSA 'SNOW HILL', HELICTOTRICHON SEMPERVIREUS

HEUCHERA 'FROSTED VIOLET', DICENTRA SPICATILIS 'ALBA', TAXUS MEDIA 'HICKSII', ATHYRIUM FILIX-FEMINA 'LADY IN RED', HOSTA 'HALYON'

FLEX MSE GREEN WALL PLANTED WITH NATIVE PLANTINGS AND A DRYLAND SEED MIX

SIENASTONE RETAINING WALL

OVER HEIGHT SIENASTONE RETAINING WALL

NOTES

1. PLANT MATERIAL AND CONSTRUCTION METHODS SHALL MEET OR EXCEED CSLA STANDARDS.

2. ALL SOFT LANDSCAPE AREAS SHALL BE WATERED BY A FULLY AUTOMATIC TIMED UNDERGROUND IRRIGATION SYSTEM.

3. TREE AND SHRUB BEDS TO BE DRESSED IN A MINIMUM 60mm DOUGLAS RED FIR MULCH OR ROCK MULCH, AS SHOWN IN PLANS. DO NOT PLACE WEED MAT UNDERNEATH TREE AND SHRUB BEDS.

4. TREE AND SHRUB BEDS TO RECEIVE A MINIMUM 450mm DEPTH TOPSOIL PLACEMENT.

5. SITE GRADING AND DRAINAGE WILL ENSURE THAT ALL STRUCTURES HAVE POSITIVE DRAINAGE AND THAT NO WATER OR LOOSE IMPEDIMENTS WILL BE DISCHARGED FROM THE LOT ONTO ADJACENT PUBLIC, COMMON, OR PRIVATE PROPERTIES.

PLANT LIST				
BOTANICAL NAME	COMMON NAME	QTY	SIZE /SPACING & REMARKS	
TREES				
PINUS CONTORTA LATIFOLIA	LODGEPOLE PINE	7	2m HT.	
POPULUS TREMULOIDES 'NE-ARB'	PRAIRIE GOLD ASPEN	10	6m CAL	
QUERCUS ROBUR X BICOLOR 'LONG'	REGAL PRINCE OAK	17	6m CAL	
SHRUBS, PERENNIALS & GRASSES				
AMELANCHIER ALNIFLORA 'REGEN'	REGENT SASKATOON	23	#01 CONT. /2.0M O.C. SPACING	
ATHYRIUM FILIX-FEMINA 'LADY IN RED'	LADY IN RED FERN	124	#01 CONT. /0.6M O.C. SPACING	
COREOPSIS GRANDIFLORA 'BABY SUN'	BABY SUN COREOPSIS	124	#01 CONT. /0.6M O.C. SPACING	
DICENTRA SPICATILIS 'ALBA'	WHITE BLEEDING HEART	80	#01 CONT. /0.75M O.C. SPACING	
DECHAMPsia CAESPITOSA 'BRONZESCHLEIER'	BRONZE TUFTED HAIR GRASS	124	#01 CONT. /0.6M O.C. SPACING	
ECHINACEA PURPUREA 'MAGNUS'	MAGNUS CONEFLOWER	124	#01 CONT. /0.6M O.C. SPACING	
HEICTOTRICHON SEMPERVINEUS	BLUE OAT GRASS	80	#01 CONT. /0.75M O.C. SPACING	
HEUCHERA 'FROSTED VIOLET'	FROSTED VIOLET CORAL BELLS	80	#01 CONT. /0.75M O.C. SPACING	
HOSTA 'HALYON'	HALYON HOSTA	45	#01 CONT. /1.0M O.C. SPACING	
JUNIPERUS SQUAMATA 'BLUE STAR'	BLUE STAR JUNIPER	64	#02 CONT. /1.2M O.C. SPACING	
LEUCANTHEMUM SUPERBUM 'BECKY'	BECKY SHASTA DAISY	124	#01 CONT. /0.6M O.C. SPACING	
LONICERA XYLOSTEIOIDES 'MINIGLOBE'	MINIGLOBE HONEYSUCKLE	64	#01 CONT. /1.2M O.C. SPACING	
MUGOPINE 'MOPS'	MOPS MUGO PINE	45	#02 CONT. /1.0M O.C. SPACING	
PEROVSKIA ATRIPLICIFOLIA	RUSSIAN SAGE	45	#01 CONT. /1.0M O.C. SPACING	
RHUS AROMATICA 'GROW-LOW'	GROW-LOW FRAGRANT SUMAC	23	#01 CONT. /2.0M O.C. SPACING	
ROSA 'NEARLY WILD'	NEARLY WILD ROSE	80	#01 CONT. /0.75M O.C. SPACING	
RUDBECKIA FULGIDA 'GOLDSTURM'	GOLDSTURM CONEFLOWER	124	#01 CONT. /0.6M O.C. SPACING	
SALVIA MEMOROSA 'SNOW HILL'	SNOW HILL SALVIA	124	#01 CONT. /0.6M O.C. SPACING	
TAXUS MEDIA 'HICKSII'	HICK'S YEW	45	#01 CONT. /1.0M O.C. SPACING	

N

PROJECT TITLE

1150 BLACK MOUNTAIN DRIVE

Kelowna, BC

DRAWING TITLE

CONCEPTUAL LANDSCAPE PLAN

ISSUED FOR / REVISION

1	18.08.22	Review
2	18.09.13	Review
3	18.11.20	Review
4	18.11.21	Review
5	19.01.22	Review

PROJECT NO.

17128

DESIGN BY

RW/FB

DRAWN BY

SR/RW

CHECKED BY

FB

DATE

JAN. 22, 2019

SCALE

1:200

PAGE SIZE

24" x 36"

SEAL

BRITISH COLUMBIA SOCIETY OF
REGISTERED
MEMBER
FIONA BARTON
334
LANDSCAPE ARCHITECTS

DRAWING NUMBER

L1/2

ISSUED FOR REVIEW ONLY

Copyright Reserved. This drawing is the property of Outland Design
Landscape Architecture Limited and shall not be reproduced, resold, or
tendered without permission.



IRRIGATION LEGEND

- ZONE #1: LOW VOLUME POP-UP SPRAYHEADS FOR TURF AREAS
TOTAL AREA: 104 sq.m.
MICROCLIMATE: EAST EXPOSURE, FULL SUN
ESTIMATED ANNUAL WATER USE: 149 cu.m.
- ZONE #2: LOW VOLUME POP-UP SPRAYHEADS FOR TURF AREAS
TOTAL AREA: 92 sq.m.
MICROCLIMATE: EAST EXPOSURE, FULL SUN
ESTIMATED ANNUAL WATER USE: 131 cu.m.
- ZONE #3: LOW VOLUME POP-UP SPRAYHEADS FOR TURF AREAS
TOTAL AREA: 70 sq.m.
MICROCLIMATE: EAST EXPOSURE, PARTIALLY SHADED BY BUILDING
ESTIMATED ANNUAL WATER USE: 100 cu.m.
- ZONE #4: LOW VOLUME POP-UP SPRAYHEADS FOR TURF AREAS
TOTAL AREA: 89 sq.m.
MICROCLIMATE: EAST EXPOSURE, PARTIALLY SHADED BY BUILDING
ESTIMATED ANNUAL WATER USE: 127 cu.m.
- ZONE #5: LOW VOLUME POP-UP SPRAYHEADS FOR TURF AREAS
TOTAL AREA: 100 sq.m.
MICROCLIMATE: EAST EXPOSURE, PARTIALLY SHADED BY BUILDING
ESTIMATED ANNUAL WATER USE: 143 cu.m.
- ZONE #6: LOW VOLUME POP-UP SPRAYHEADS FOR TURF AREAS
TOTAL AREA: 92 sq.m.
MICROCLIMATE: EAST EXPOSURE, PARTIALLY SHADED BY TREES
ESTIMATED ANNUAL WATER USE: 131 cu.m.
- ZONE #7: HIGH EFFICIENCY SUBSURFACE DRIP IRRIGATION FOR MODERATE WATER USE PLANTING AREAS
TOTAL AREA: 200 sq.m.
MICROCLIMATE: SOUTH EAST EXPOSURE, PARTIALLY SHADED BY BUILDING
ESTIMATED ANNUAL WATER USE: 111 cu.m.
- ZONE #8: HIGH EFFICIENCY SUBSURFACE DRIP IRRIGATION FOR MODERATE WATER USE PLANTING AREAS
TOTAL AREA: 198 sq.m.
MICROCLIMATE: SOUTH WEST EXPOSURE, PARTIALLY SHADED BY BUILDING
ESTIMATED ANNUAL WATER USE: 110 cu.m.
- ZONE #9: HIGH EFFICIENCY SUBSURFACE DRIP IRRIGATION FOR MODERATE WATER USE PLANTING AREAS
TOTAL AREA: 34 sq.m.
MICROCLIMATE: WEST EXPOSURE, PARTIALLY SHADED BY BUILDING
ESTIMATED ANNUAL WATER USE: 19 cu.m.
- ZONE #10: HIGH EFFICIENCY SUBSURFACE DRIP IRRIGATION FOR MODERATE WATER USE PLANTING AREAS
TOTAL AREA: 160 sq.m.
MICROCLIMATE: WEST EXPOSURE, PARTIALLY SHADED BY BUILDING
ESTIMATED ANNUAL WATER USE: 81 cu.m.
- ZONE #11: HIGH EFFICIENCY SUBSURFACE DRIP IRRIGATION FOR MODERATE WATER USE PLANTING AREAS
TOTAL AREA: 137 sq.m.
MICROCLIMATE: WEST EXPOSURE, PARTIALLY SHADED BY WALLS
ESTIMATED ANNUAL WATER USE: 76 cu.m.
- ZONE #12: HIGH EFFICIENCY SUBSURFACE DRIP IRRIGATION FOR MODERATE WATER USE PLANTING AREAS
TOTAL AREA: 41 sq.m.
MICROCLIMATE: WEST EXPOSURE, PARTIALLY SHADED BY BUILDING
ESTIMATED ANNUAL WATER USE: 23 cu.m.
- ZONE #13: HIGH EFFICIENCY SUBSURFACE DRIP IRRIGATION FOR MODERATE WATER USE PLANTING AREAS
TOTAL AREA: 206 sq.m.
MICROCLIMATE: WEST EXPOSURE, PARTIALLY SHADED BY BUILDING/TREES
ESTIMATED ANNUAL WATER USE: 114 cu.m.
- ZONE #14: HIGH EFFICIENCY SUBSURFACE DRIP IRRIGATION FOR MODERATE WATER USE PLANTING AREAS
TOTAL AREA: 73 sq.m.
MICROCLIMATE: EAST EXPOSURE, PARTIALLY SHADED BY TREES
ESTIMATED ANNUAL WATER USE: 41 cu.m.
- ZONE #15: HIGH EFFICIENCY SUBSURFACE DRIP IRRIGATION FOR MODERATE WATER USE PLANTING AREAS
TOTAL AREA: 154 sq.m.
MICROCLIMATE: WEST EXPOSURE, PARTIALLY SHADED BY BUILDING
ESTIMATED ANNUAL WATER USE: 86 cu.m.
- ZONE #16: HIGH EFFICIENCY SUBSURFACE DRIP IRRIGATION FOR MODERATE WATER USE PLANTING AREAS
TOTAL AREA: 78 sq.m.
MICROCLIMATE: EAST EXPOSURE, PARTIALLY SHADED BY TREES
ESTIMATED ANNUAL WATER USE: 43 cu.m.

IRRIGATION NOTES

1. IRRIGATION PRODUCTS AND INSTALLATION METHODS SHALL MEET OR EXCEED THE REQUIREMENTS OF THE WATER USE REGULATION BYLAW NO. 10480 AND THE SUPPLEMENTARY SPECIFICATIONS IN THE CITY OF KELOWNA BYLAW 7900 (PART 6, SCHEDULE 5).
2. THE IRRIGATION SYSTEM SHALL MEET THE REQUIREMENTS, REGULATIONS, AND BYLAWS OF THE WATER PURVEYOR.
3. THE IRRIGATION SYSTEM SHALL BE EQUIPPED WITH AN APPROVED BACKFLOW PREVENTION DEVICE, WATER METER, AND SHUT OFF VALVE LOCATED OUTSIDE THE BUILDING ACCESSIBLE TO THE CITY.
4. AN APPROVED SMART CONTROLLER SHALL BE INSTALLED. THE IRRIGATION SCHEDULING TIMES SHALL UTILIZE A MAXIMUM ET VALUE OF 7" / MONTH (KELOWNA JULY ET), TAKING INTO CONSIDERATION SOIL TYPE, SLOPE, AND MICROCLIMATE.
5. DRIP LINE AND EMITTERS SHALL INCORPORATE TECHNOLOGY TO LIMIT ROOT INTRUSION.
6. IRRIGATION SLEEVES SHALL BE INSTALLED TO ROUTE IRRIGATION LINES UNDER HARD SURFACES AND FEATURES.
7. IRRIGATION PIPE SHALL BE SIZED TO ALLOW FOR A MAXIMUM FLOW OF 1.5m / SEC.
8. A FLOW SENSOR AND MASTER VALVE SHALL BE CONNECTED TO THE CONTROLLER AND PROGRAMMED TO STOP FLOW TO THE SYSTEM IN CASE OF AN IRRIGATION WATER LEAK.

WATER CONSERVATION CALCULATIONS

LANDSCAPE MAXIMUM WATER BUDGET (WB) = 1759 cu.m. / year
ESTIMATED LANDSCAPE WATER USE (WU) = 1443 cu.m. / year
WATER BALANCE = 316 cu.m. / year



OUTLAND DESIGN
LANDSCAPE ARCHITECTURE

303 - 590 KLO Road
Kelowna, BC V1Y 7S2
T (250) 868-9270
www.outlanddesign.ca

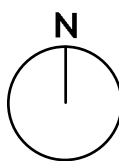
SCHEDULE

C

This forms part of application
DP18-0103/DVP19-0088

Planner Initials

WN



PROJECT TITLE

1150 BLACK MOUNTAIN

Kelowna, BC

DRAWING TITLE

WATER CONSERVATION/
IRRIGATION PLAN

ISSUED FOR / REVISION

1	18.08.22	Review
2	18.09.13	Review
3	18.11.20	Review
4	18.11.21	Review
5	19.01.22	Review

PROJECT NO. 17128

DESIGN BY FB/SR

DRAWN BY RW/MC

CHECKED BY FB

DATE JAN. 22, 2019

SCALE 1:200

PAGE SIZE 24" x 36"

SEAL



DRAWING NUMBER

L2/2

ISSUED FOR REVIEW ONLY

Copyright Reserved. This drawing is the property of Outland Design Landscape Architecture Limited and shall not be reproduced, resold, or tendered without permission.



CITY OF KELOWNA
MEMORANDUM

Date: May 18, 2018
File No.: DP18-0103
To: Urban Planning Management (TH)
From: Development Engineering Manager (JK)
Subject: 1150 Black Mountain Dr.

The Development Engineering Department has the following comments and requirements associated with this Development Permit application DP18-0103. The road and utility upgrading requirements outlined in this report will be a requirement of this development.

The Development Engineering Technologist for this project is Andy Marshall

1. Domestic Water and Fire Protection

- a) This development is within the service area of the Black Mountain Irrigation District (BMID). The developer is required to make satisfactory arrangements with the BMID for these items. All charges for service connection and upgrading costs are to be paid directly to BMID.

2. Sanitary Sewer

- (a) The developer's consulting mechanical engineer will determine the requirements of this proposed development and establish the required size and preferred location of the new service. Only one service will be permitted for this development. The applicant, at his cost, will arrange for installation of a new service.

3. Storm Drainage

The developer must engage a consulting civil engineer to provide a storm water management plan for the site, which meets the requirements of the Subdivision, Development and Servicing Bylaw No. 7900. The storm water management plan must also include provision of lot grading plan, minimum basement elevation (MBE), if applicable, and provision of a storm drainage service for the development and / or recommendations for onsite drainage containment and disposal systems. Only one service will be permitted for this development. The applicant, at his cost, will arrange for the installation of one overflow service if required.

4. Road Improvements

- a) This development application will be limited to one access to Black Mountain Dr. maximum 6m wide.

5. Electric Power and Telecommunication Services

All proposed service connections are to be installed underground. It is the developer's responsibility to make a servicing application with the respective electric power, telephone and cable transmission companies to arrange for these services, which would be at the applicant's cost.

6. Design and Construction

- a) Design, construction supervision and inspection of all off-site civil works and site servicing must be performed by a Consulting Civil Engineer and all such work is subject to the approval of the City Engineer. Drawings must conform to City standards and requirements.
- b) Engineering drawing submissions are to be in accordance with the City's "Engineering Drawing Submission Requirements" Policy. Please note the number of sets and drawings required for submissions.
- c) Quality Control and Assurance Plans must be provided in accordance with the Subdivision, Development & Servicing Bylaw No. 7900 (Part 5 and Schedule 3).
- d) A "Consulting Engineering Confirmation Letter" (City document 'C') must be completed prior to submission of any designs.
- e) Before any construction related to the requirements of this subdivision application commences, design drawings prepared by a professional engineer must be submitted to the City's Development Engineering Department. The design drawings must first be "Issued for Construction" by the City Engineer. On examination of design drawings, it may be determined that rights-of-way are required for current or future needs.

7. Servicing Agreements for Works and Services

- a) A Servicing Agreement is required for all offsite works and services on City lands in accordance with the Subdivision, Development & Servicing Bylaw No. 7900. The applicant's Engineer, prior to preparation of Servicing Agreements, must provide adequate drawings and estimates for the required works. The Servicing Agreement must be in the form as described in Schedule 2 of the bylaw.
- b) Part 3, "Security for Works and Services", of the Bylaw, describes the Bonding and Insurance requirements of the Owner. The liability limit is not to be less than \$5,000,000 and the City is to be named on the insurance policy as an additional insured.

8. Other Engineering Comments

- a) Provide all necessary Statutory Rights-of-Way for any utility corridors as required.

9. Geotechnical Report

- a) Provide a comprehensive geotechnical report prepared by a Professional Engineer competent in the field of hydro-geotechnical engineering to address the

items below: **NOTE: The City is relying on the Geotechnical Engineer's report to prevent any damage to property and/or injury to persons from occurring as a result of problems with soil slippage or soil instability related to this proposed development.**

- Overall site suitability for development.
- Presence of ground water and/or springs.
- Presence of fill areas.
- Presence of swelling clays.
- Presence of sulphates.
- Potential site erosion.
- Provide specific requirements for footings and foundation construction.
- Provide specific construction design sections for roads and utilities over and above the City's current construction standards

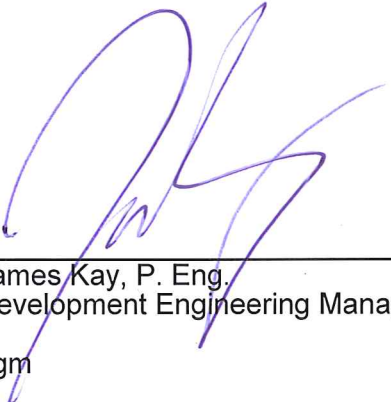
10. Development Permit and Site Related Issues

Access and Manoeuvrability

- (i) Ensure acceptable turning movements onsite for MSU design vehicle.

11. Charges and Fees

- a) Development Cost Charges (DCC's) are payable.
- b) Fees per the "Development Application Fees Bylaw" include:
 - i) Engineering and Inspection Fee: 3.5% of offsite construction value (plus GST).



James Kay, P. Eng.
Development Engineering Manager

agm

