

SITE DATA

CIVIL ADDRESS:	950 ELLIS STREET KELOONA BC
LEGAL DESCRIPTION: LOT 3 DISTRICT LOT 139 OSOYOOS DIVISION YALE DISTRICT PLAN KAP60693	
SITE AREA:	2.071 acres (0.84ha) 90,212.76 sq.ft. (8,301.04 sq.m.)
PROPOSED USE:	STORAGE
BUILDING AREA (FOOTPRINT):	20,258 sq.ft. (1,882.05 sq.m.)
ZONING:	14
F.A.R.	3.0 MAX

LEVEL	FLOOR AREA (SQ FT)	AREA (SQ M)
EXISTING BUILDING	10,062.51	1,610.05
MAIN FLOOR	14,574.23	1,810.51
SECOND FLOOR	14,574.23	1,810.51
THIRD FLOOR	20,349.79	1,890.56
FOURTH FLOOR	20,349.79	1,890.56
FIFTH FLOOR	20,349.79	1,890.56
GRAND TOTAL	110,260.20	10,906.73

MINIMUM SETBACKS: FRONT YARD: 0 FT AND 0 M
REAR YARD: 0 FT AND 0 M

BUILDING HEIGHT: 13.0 M MAX 17.98M PROPOSED(SEE SECTIONS/ELEVATIONS)

PARKING REQUIREMENTS:
EXISTING BOAT STORAGE = 1 STALL PER 10 BOAT STALLS PLUS 2 STALLS FOR EMPLOYEES
STORAGE = 0.5 PER 100 SQ.M. MIN. OF 5
OFFICE = 2.5 PER 100 SQ.M.

EXISTING BUILDING = 100 BOAT STORAGE SPACES /10 = 10 STALLS
PROPOSED STORAGE = 9201.2/200 = 46 STALLS
PROPOSED OFFICE = 104.5/40 = 2.61
TOTAL STALLS REQUIRED = 59 (59.61)

PARKING PROVIDED: 65 STALLS
HANDICAP STALLS PROVIDED: 1 STALL

LOADING REQUIREMENTS:
EXISTING BUILDING = EXISTING
PROPOSED BUILDING = 1 PER 2800 SQ.M.

EXISTING BUILDING = EXISTING
PROPOSED BUILDING = 3.3 LOADING
LOADING PROVIDED: 6 + EXISTING STALLS

BIKE PARKING REQUIREMENTS:
EXISTING BUILDING = EXISTING
PROPOSED BUILDING = 0.3 CLASS II STALLS PER 100 SQ.M.

EXISTING BUILDING = EXISTING
PROPOSED BUILDING = 27.9

BIKE PARKING PROVIDED: 28 + EXISTING STALLS

NOTES

- SERVICES SHOWN ARE APPROXIMATE ONLY, SEE CIVIL DRAWINGS FOR FINAL LOCATIONS
- ASPHALT & SUBBASE DESIGN PER SOILS REPORT
- CONTRACTOR TO PROVIDE FOOTING & WALL SURVEYS (BY REGISTERED B.C.L.S.) DURING CONSTRUCTION, SUBMIT COPIES TO CITY BUILDING DEPT.
- SEE MECHANICAL ENGINEERS DRAWINGS FOR FINAL LOCATION OF FIRE DEPARTMENT CONNECTION & HOSE BIBBS
- SEE ELECTRICAL DRAWINGS FOR LOCATION OF ALARM PANEL

-ALL PROPERTY LINE DIMENSIONS & BEARING ANGLES ARE PROPOSED & ARE REQUIRED TO BE CONFIRMED BY SURVEY
-ALL GRADES TO BE CONFIRMED WITH CIVIL ENGINEERS DRAWINGS

GENERAL NOTES:

1. SERVICES SHOWN ARE APPROXIMATE ONLY. SEE CIVIL DRAWINGS FOR FINAL LOCATIONS
2. ASPHALT / SUBGRADE DESIGNER'S SOIL REPORT
3. PROVIDE 12" MIN. SIDE FOOTING FOR ALL POLES (BY REGISTERED A.E.) DURING CONSTRUCTION. SUBMIT COPIES TO CITY BUILDING DEPT.
4. SEE MECHANICAL ENGINEERS DRAWINGS FOR FINAL LOCATION OF FIRE DEPARTMENT CONNECTION
5. HOSE BEDS
6. SEE ELECTRICAL DRAWINGS FOR LOCATION OF ALARM PANEL
7. ALL CONSTRUCTION, PRODUCTS, AND MATERIALS TO CONFORM FULLY WITH ALL ASPECTS OF THE CURRENT BUILDING CODE, ALL OTHER APPLICABLE CODES, REGULATIONS, TESTS, LISTINGS, AS WELL AS ALL CITY ORDINANCES.
8. SUBCONTRACTORS ARE SOLELY RESPONSIBLE TO ENSURE THEIR SUPPLIED PRODUCTS FULLY CONFORM TO ALL APPLICABLE CODES AND TEST REQUIREMENTS AND ARE TO HAVE SUPPORTING TEST CERTIFICATION AVAILABLE, DEMONSTRATING FULL COMPLIANCE WITH ALL APPLICABLE CODES AND TESTING.

8. THE CONTRACTOR MUST CONFIRM ALL DIMENSIONS AND OTHERWISE ASSUME HIMSELF OF THE ACCURACY OF ALL DIMENSIONS AND TOLERANCES AND ANY PROPOSED CHANGES IN THE WORK IMMEDIATELY TO THE DESIGNER/ENGINEER.
9. ALL DIMENSIONS SHOWN ON THESE DRAWINGS FOR MANUFACTURED COMPONENTS ARE NOMINAL.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND UTILITIES.
11. ALL MATERIALS IN THE CONSTRUCTION TO BE USED FOR THEIR INTENDED PURPOSE AND TO BE APPROVED BY THE DESIGNER/ENGINEER OR A QUALIFIED PROFESSIONAL ENGINEER FITTING THE CANADIAN STANDARDS ASSOCIATION APPROVED.
12. VAPOUR BARRIERS SHALL BE CONTINUOUS THROUGH ALL INSTALLATIONS WHERE WALLS ARE SEALED OR PENETRATED BY PIPES, DUCTS, FURNISHES OR BLOCKING, ALL HOLES THROUGH VAPOUR BARRIERS SUCH AS THOSE CUT FOR THE INSTALLATION OF ELECTRICAL BOXES OR OTHER DEVICES SHALL BE REINFORCED WITH AN EQUITALLY STRENGTHENED PATCH TO COVER THE ENTIRE SURFACE.
13. THE DESIGNER/ENGINEER IS NOT RESPONSIBLE FOR CHANGES IN CONSTRUCTION FROM WHAT IS SHOWN BY ANY PARTY.
14. THE DESIGNER/ENGINEER IS NOT RESPONSIBLE FOR SOIL CONDITIONS, CHARACTERISTICS AND DISTRIBUTION OF LOADS IN THE STRUCTURE SHOWN ON THESE DRAWINGS.

14. ALL CONSTRUCTION WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH GOOD BUILDING PRACTICES BASED ON THE CONTRACT DOCUMENTS.
15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MAJOR BUILDING COMPONENTS. THEY SHALL BE ISSUED IN TIME FOR ADEQUATE CHECKING BY THE COORDINATING ARCHITECT/ENGINEER AND OTHER CONSULTANTS RESPONSIBLE.
16. ANY PROPOSED SUBSTITUTION OF MATERIALS MUST BE APPROVED IN ADVANCE OF ORDERING. THE USES OF THE MATERIALS, COLOURS, MATERIALS AND FINISHES SHOULD BE PROVIDED AS SOON AS CONSTRUCTION COMMENCES TO ALLOW ADEQUATE TIME FOR REVIEW.
17. ROOF TO BE CONSTRUCTED IN CONFORMANCE WITH R.C.B.B. OR EQL. METHODS AND STANDARDS AND IN ACCORDANCE WITH THE RELEVANT NATIONAL STANDARDS.
18. PROVIDE SEALED SHOP DRAWINGS FOR ALL DOORS, WINDOWS/GLAZING, GUARDRAILS, HANDRAILS, STAIRS, RATED ASSEMBLIES (E JOINTS), FIRE SHUTTERS (IF APPLICABLE).
19. ALL DIMENSIONS & BEARING ANGLES ARE PROPOSED & ARE REQUIRED TO BE CONFIRMED BY SURVEY.

CHIP BARRETT ARCHITECT

CHIP BARRETT ARCHITECT

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19/03/20	REISSUED FOR DP
19/03/14	REISSUED FOR DP
19/01/17	ISSUED FOR DEVELOPMENT R
19/01/04	ISSUED FOR CLIENT REVIEW
19/01/03	ISSUED FOR CLIENT REVIEW
18/12/14	ISSUED FOR CLIENT
18/12/13	ISSUED FOR CLIENT REVIEW
DATE Y/M/D	DESCRIPTION

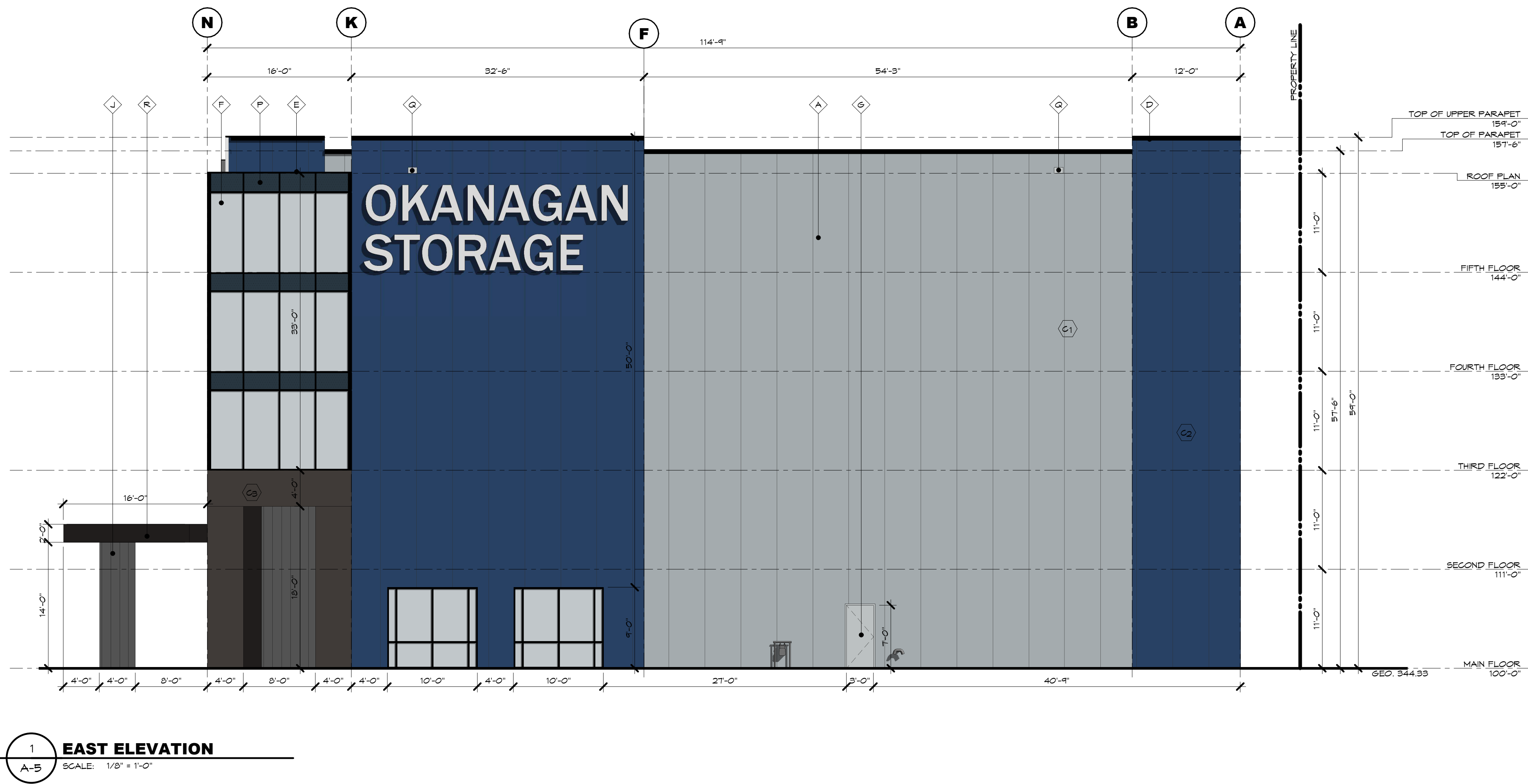
REY SELF STORAGE

IVING

OVERALL SITE PLANS

JOB NO. 18-055	DRAW NP
DESIGNED NP	
CHECKED CB	
PLOT DATE 20/03/2019 7:44:13 AM	

PROJECT - DRAWING NUMBER
A-1



PROJECT COLOURS

G1 KINGSPAN PANEL DOVE GRAY
G2 KINGSPAN PANEL REGAL BLUE
G3 KINGSPAN PANEL DARK BRONZE

EXTERIOR FINISH LEGEND

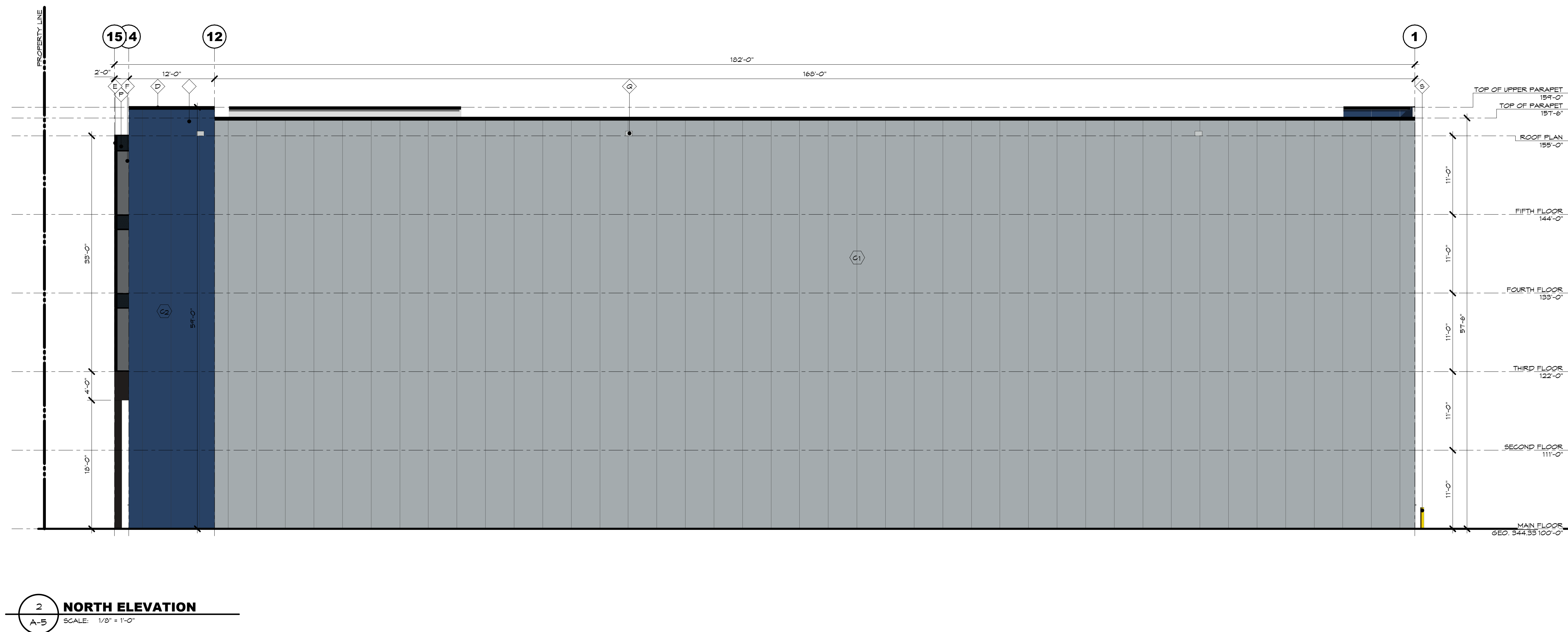
A KINGSPAN INSULATED METAL PANEL
B STEEL SECTIONAL FIRE SHUTTER - PAINTED
C FLASHING STOCK METAL COLOUR
D ALUMINUM MULLIONS
E GLAZING
F STEEL MANDOOK - PAINTED
G STEEL SECTIONAL OVERHEAD DOORS - PAINTED
H HORIZONTAL METAL GLAZING
I SPANDREL GLAZING
J SCUPPER
K METAL GLAD CANOPY
L STEEL BOLLARD - PAINTED

NOTE: THE ABOVE LEGEND ITEMS ARE SHOWN ONLY ON A SMALL AREA OF THE ELEVATIONS. HOWEVER, THEY APPLY TO ALL SIMILARLY MARKED AREAS THROUGHOUT THE BUILDING.

SCHEDULE B
This forms part of application
DP19-0047

Planner Initials SS

City of Kelowna
COMMUNITY PLANNING



CHIP BARRETT ARCHITECT
440-1555
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IN ASSOCIATION WITH
D.FORCE DESIGN INC.
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TEL: (604) 607-5655 EMAIL: DARC@DFORCEBCA

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5	2019/03/20	REISSUED FOR DP
4	2019/03/14	REISSUED FOR DP
3	2019/01/17	ISSUED FOR DEVELOPMENT PERMIT
2	2019/01/04	ISSUED FOR CLIENT REVIEW
1	2019/01/03	ISSUED FOR CLIENT REVIEW
NO.	DATE Y/M/D	DESCRIPTION

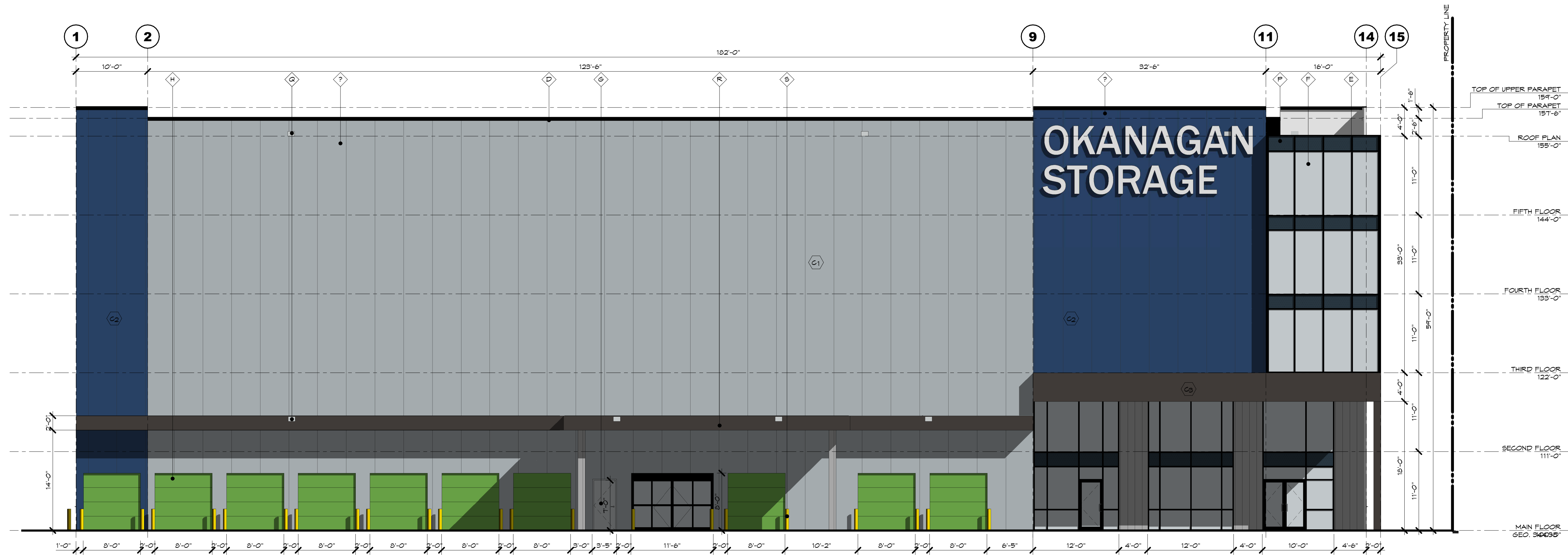
5 STOREY SELF STORAGE

950 ELLIS STREET KELLOWNA

DRAWING
ELEVATIONS

SEAL	JOB NO. 18-055	DRAWN NP
	DESIGNED NP	
	CHECKED CB	
	PLOT DATE 20/03/2019 7:48:54 AM	

PROJECT - DRAWING NUMBER A-5	REV. 5
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1 SOUTH ELEVATION
A-B, 1 SCALE: 1/8" = 1'-0"

SCHEDULE

B

This forms part of application

DP19-0047

Planner

Initials

SS

City of Kelowna

COMMUNITY PLANNING

PROJECT COLOURS

- C1

KINGSPAN PANEL DOVE GRAY
- C2

KINGSPAN PANEL REGAL BLUE
- C3

KINGSPAN PANEL DARK BRONZE

EXTERIOR FINISH LEGEND

- A

C

D

E

F

G

H

J

K

L

M

N

O

P

Q

R

S
- KINGSPAN INSULATED METAL PANEL

STEEL SECTIONAL FIRE SHUTTER - PAINTED

FLASHING STOCK METAL COLOUR

ALUMINUM MULLIONS

GLAZING

STEEL MANDOOK - PAINTED

STEEL SECTIONAL OVERHEAD DOORS - PAINTED

HORIZONTAL METAL GLAZING

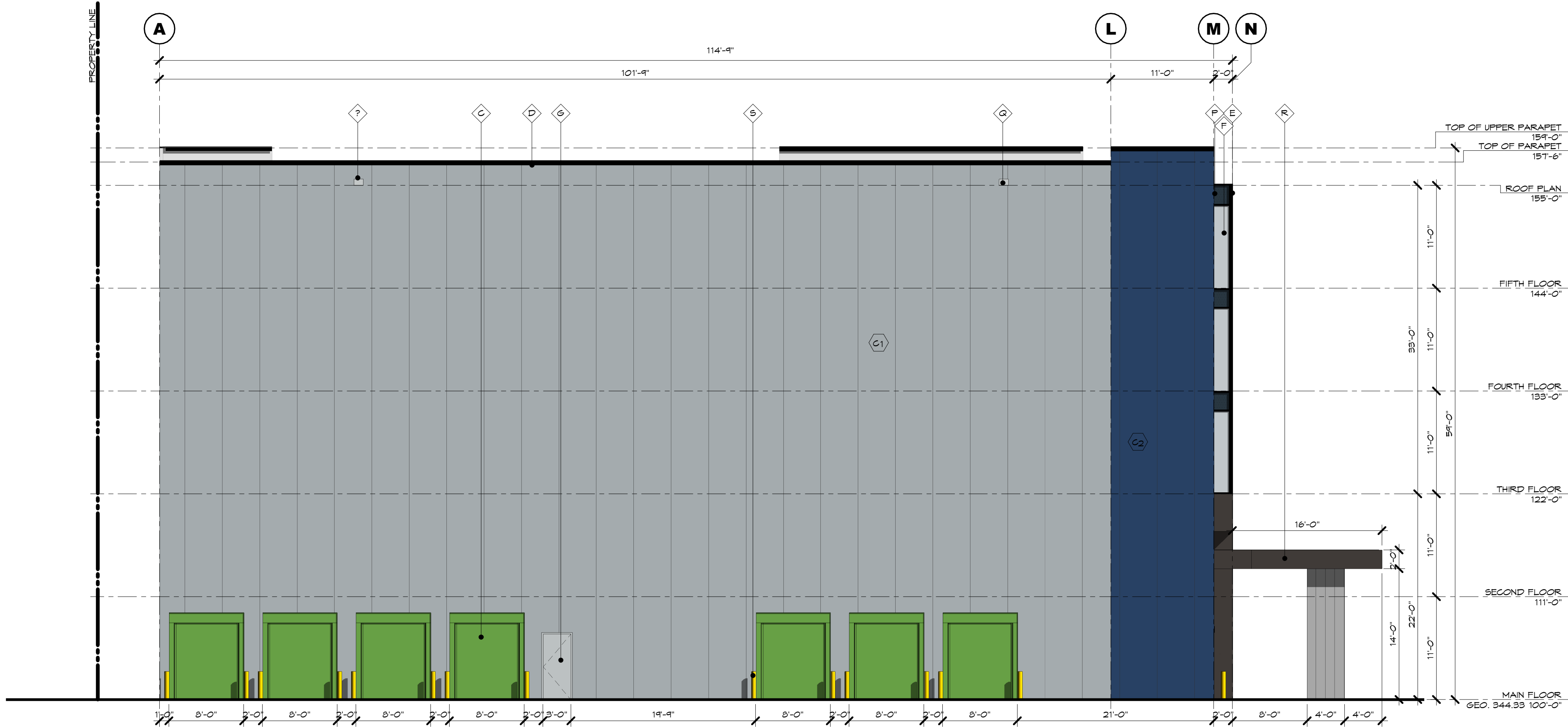
SPANDREL GLAZING

SCUPPER

METAL CLAD CANOPY

STEEL BOLLARD - PAINTED

NOTE: THE ABOVE LEGEND ITEMS ARE SHOWN ONLY ON A SMALL AREA OF THE ELEVATIONS. HOWEVER, THEY APPLY TO ALL SIMILARLY MARKED AREAS THROUGHOUT THE BUILDING.



2 WEST ELEVATION
A-B, 1 SCALE: 1/8" = 1'-0"

CHIP BARRETT ARCHITECT

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5 STOREY SELF STORAGE

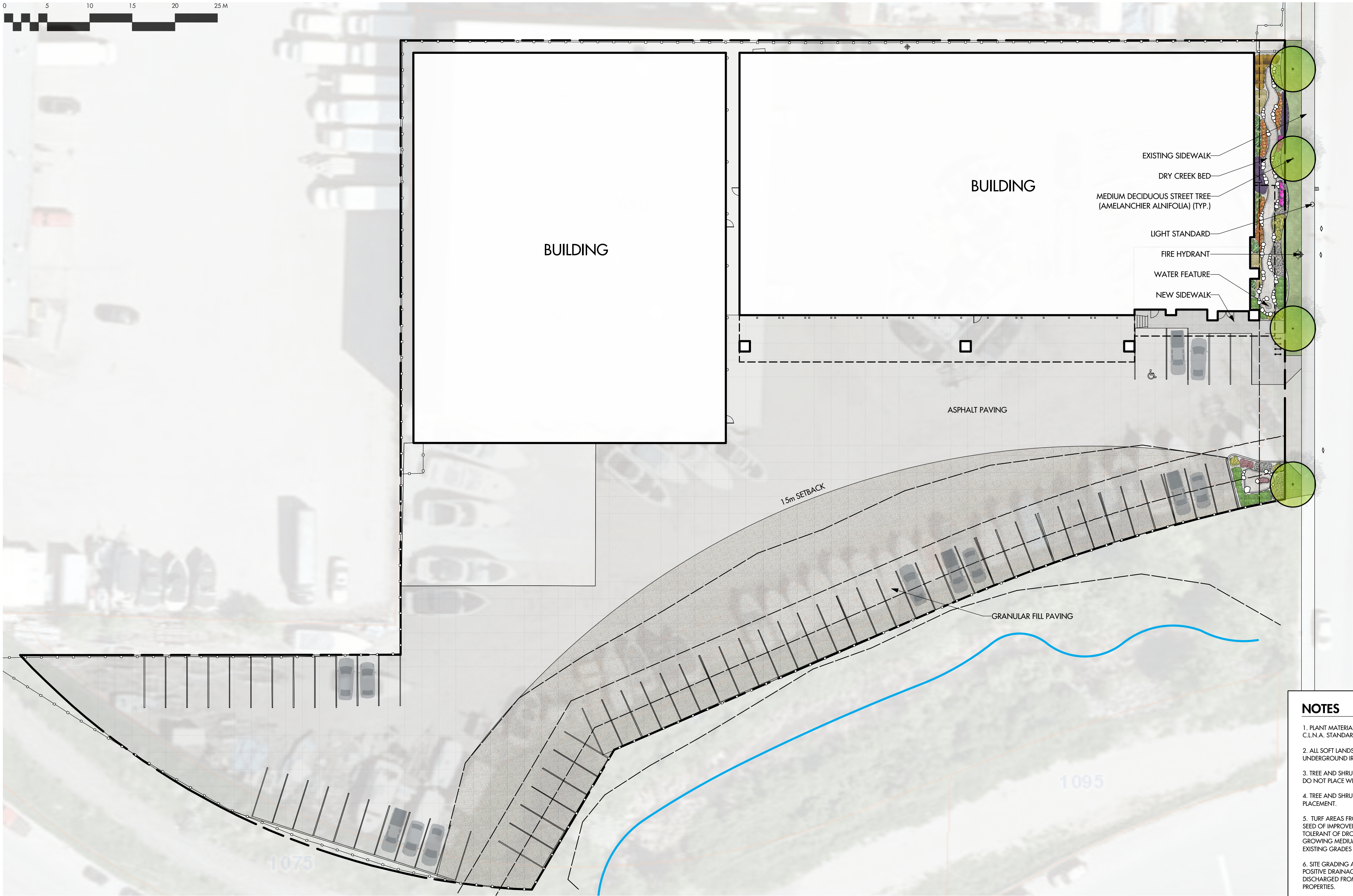
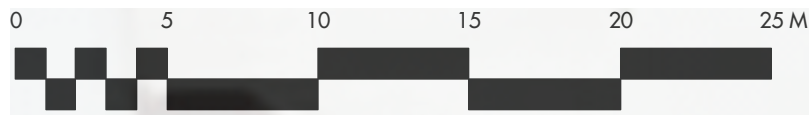
950 ELLIS STREET KELLOWNA

DRAWING
ELEVATIONS

SEAL	JOB NO 18-055	DRAWN NP
	DESIGNED NP	
	CHECKED CB	
	PLOT DATE 20/03/2019 7:51:42 AM	

PROJECT - DRAWING NUMBER
A-5.1

REV.
5



NOTES

1. PLANT MATERIAL AND CONSTRUCTION METHODS SHALL MEET OR EXCEED C.L.N.A. STANDARDS.
2. ALL SOFT LANDSCAPE AREAS SHALL BE WATERED BY A FULLY AUTOMATIC TIMED UNDERGROUND IRRIGATION SYSTEM.
3. TREE AND SHRUB BEDS TO BE DRESSED IN A MINIMUM 75mm WOOD MULCH. DO NOT PLACE WEED MAT UNDERNEATH TREE AND SHRUB BEDS.
4. TREE AND SHRUB BEDS TO RECEIVE A MINIMUM 300mm DEPTH TOPSOIL PLACEMENT.
5. TURF AREAS FROM SOD SHALL BE NO. 1 GRADE GROWN FROM CERTIFIED SEED OF IMPROVED CULTIVARS REGISTERED FOR SALE IN B.C. AND SHALL BE TOLERANT OF DROUGHT CONDITIONS. A MINIMUM OF 150mm DEPTH OF GROWING MEDIUM IS REQUIRED BENEATH TURF AREAS. TURF AREAS SHALL MEET EXISTING GRADES AND HARD SURFACES FLUSH.
6. SITE GRADING AND DRAINAGE WILL ENSURE THAT ALL STRUCTURES HAVE POSITIVE DRAINAGE AND THAT NO WATER OR LOOSE IMPEDIMENTS WILL BE DISCHARGED FROM THE LOT ONTO ADJACENT PUBLIC, COMMON, OR PRIVATE PROPERTIES.

PLANT LIST

KEY	BOTANICAL NAME	COMMON NAME	QTY	SIZE / REMARKS
TREES				
	AMELANCHIER ALNIFOLIA	SASKATOON SERVICEBERRY	4	6cm CAL.
SHRUBS, PERENNIALS AND GRASSES				
	ACHILLEA MILLEFOLIUM 'PINK GRAPEUIT'	PINK YARROW	9	#01 CONT. /0.6M O.C. SPACING
	ARUNCUS DIOCLUS	GOAT'S BEARD	8	#01 CONT. /1.25M O.C. SPACING
	CAREX MARROWII 'AUREO VARIEGATA'	VARIAGATED JAPANESE SEDGE	9	#01 CONT. /0.6M O.C. SPACING
	DESCHAMPsia CAESPITOSA	BRONZE TUFTED HAIR GRASS	9	#01 CONT. /0.6M O.C. SPACING
	DIANTHUS 'NEON STAR'	NEON STAR PINKS	17	#01 CONT. /0.45M O.C. SPACING
	HEMEROCALLIS 'FRENCH LINGERIE'	FRENCH LINGERIE DAYLILY	9	#01 CONT. /0.6M O.C. SPACING
	HEUCHERA 'CAMEL'	CAMEL CORAL BELLS	17	#01 CONT. /0.45M O.C. SPACING
	HOSTA 'PRAYING HANDS'	PRAYING HANDS HOSTA	25	#01 CONT. /0.6M O.C. SPACING
	MISCANTHUS SINENSIS 'LITTLE ZEBRA'	LITTLE ZEBRA GRASS	3	#01 CONT. /1.0M O.C. SPACING
	SEDUM RUPESTRE 'ANGELINA'	ANGELINA'S STONECROP	9	#01 CONT. /0.6M O.C. SPACING
	SEDUM SPATHIFOLIUM 'CAPE BLANCO'	CAPE BLANCO STONECROP	4	#01 CONT. /0.6M O.C. SPACING

SCHEDULE C

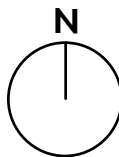
This forms part of application
DP19-0047

Planner Initials SS



OUTLAND DESIGN
LANDSCAPE ARCHITECTURE

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Kelowna, BC V1Y 7S2
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PROJECT TITLE

950 ELLIS STREET

Kelowna, BC

DRAWING TITLE

CONCEPTUAL LANDSCAPE
PLAN

ISSUED FOR / REVISION

1	19.01.09	Review
2		
3		
4		
5		

PROJECT NO. 19-003

DESIGN BY SR

DRAWN BY WVC

CHECKED BY FB

DATE JAN. 9, 2019

SCALE 1:250

PAGE SIZE 24"x36"

SEAL



DRAWING NUMBER

L1/2

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