
CITY OF KELOWNA
MEMORANDUM

Date: December 12, 2018
File No.: Z18-0118
To: Community Planning (LK)
From: Development Engineering Manager (JK)
Subject: 454-464 West Ave

ATTACHMENT	A
This forms part of application	
# OCP18-0021	
Z18-0118	
Planner Initials	<input type="text" value="LK"/>
 City of Kelowna COMMUNITY PLANNING	

RU1 & RU6 to C4

The Development Engineering Department has the following comments and requirements associated with this rezoning application. The road and utility upgrading requirements outlined in this report will be a requirement of this development.

The Development Engineering Technologist for this project is Jason Angus

1. General

- a. Where there is a possibility of a high water table or surcharging of storm drains during major storm events, non-basement homes may be required. This must be determined by the engineer and detailed on the Lot Grading Plan required in the drainage section.
- b. The Fire Department and Environment Division requirements and comments are addressed separately by them.

2. Domestic Water and Fire Protection

- a. The subject properties are currently serviced by 19mm-diameter water services. The developer's consulting mechanical engineer will determine the domestic and fire protection requirements of this proposed development. The applicant, at his cost, will arrange for the installation of a new service to this development as well as the decommissioning of the existing services at the main.

3. Sanitary Sewer

- a. The subject properties are currently serviced with 100mm-diameter sanitary service. The developer's consulting mechanical engineer will determine the development requirements of this proposed development and establish the service needs. Only one service will be permitted for this development. The applicant, at his cost, will arrange for the removal and disconnection of the existing services and the installation of one new larger service.

4. Storm Drainage

- a. The developer must engage a consulting civil engineer to provide a storm water management plan for the site, which meets the requirements of the City Storm Water Management Policy and Design Manual. The storm water management plan must also include provision of lot grading plan, minimum basement elevation

(MBE) if applicable, and recommendations for onsite drainage containment and disposal systems.

- b. On site storm drainage systems for the site will be reviewed and approved by Engineering when a site servicing design is submitted.
- c. There is a possibility of a high water table or surcharging of storm drains during major storm events. This should be considered in the design of the onsite system.

5. Road Improvements

- a. West Ave. must be upgraded to an urban standard along the full frontage of this proposed development, including curb and gutter, sidewalk that matches what is built to the east, BLVD trees, and pavement removal and replacement, street lighting, re-location or adjustment of utility appurtenances if required to accommodate the upgrading construction.

- b. The Laneway on the Northside of this development will need to be upgraded to an asphalt standard c/w a storm drainage system. Lane cross section to be used is a SS-R2.

6. Road Dedication and Subdivision Requirements

- a. By Registered plan to provide the following
 - i. Grant statutory rights-of-way if required for utility services
 - ii. Lot consolidation is required
 - iii. Access to the development will be from the East-West Laneway

7. Electric Power and Telecommunication Services

- a. All proposed service connections are to be installed underground. It is the developer's responsibility to make a servicing application with the respective electric power, telephone and cable transmission companies to arrange for these services, which would be at the applicant's cost
- b. Re-locate existing utilities, where necessary

8. Design and Construction

- a. Design, construction supervision and inspection of all off-site civil works and site servicing must be performed by a Consulting Civil Engineer and all such work is subject to the approval of the City Engineer. Drawings must conform to City standards and requirements.
- b. Engineering drawing submissions are to be in accordance with the City's "Engineering Drawing Submission Requirements" Policy. Please note the number of sets and drawings required for submissions.
- c. Quality Control and Assurance Plans must be provided in accordance with the Subdivision, Development & Servicing Bylaw No. 7900 (refer to Part 5 and Schedule 3).
- d. A "Consulting Engineering Confirmation Letter" (City document 'C') must be completed prior to submission of any designs.
- e. Before any construction related to the requirements of this subdivision application commences, design drawings prepared by a professional engineer must be submitted to the City's Development Engineering Department. The design

drawings must first be “Issued for Construction” by the City Engineer. On examination of design drawings, it may be determined that rights-of-way are required for current or future needs

9. Servicing Agreements for Works and Services

- a. A Servicing Agreement is required for all offsite works and services on City lands in accordance with the Subdivision, Development & Servicing Bylaw No. 7900. The applicant’s Engineer, prior to preparation of Servicing Agreements, must provide adequate drawings and estimates for the required works. The Servicing Agreement must be in the form as described in Schedule 2 of the bylaw.
- b. Part 3, “Security for Works and Services”, of the Bylaw, describes the Bonding and Insurance requirements of the Owner. The liability limit is not to be less than \$5,000,000 and the City is to be named on the insurance policy as an additional insured.

10. Other Engineering Comments

- a. Provide all necessary Statutory Rights-of-Way for any utility corridors as required.
- b. If any road dedication affects lands encumbered by a Utility right-of-way (such as Terasen, etc.) please obtain the approval of the utility prior to application for final subdivision approval. Any works required by the utility as a consequence of the road dedication must be incorporated in the construction drawings submitted to the City’s Development Manager


11. Development Permit and Site Related Issues

- a. Provide all necessary Statutory Rights-of-Way for any utility corridors as required.
- b. If any road dedication affects lands encumbered by a Utility right-of-way (such as Terasen, etc.) please obtain the approval of the utility prior to application for final subdivision approval. Any works required by the utility as a consequence of the road dedication must be incorporated in the construction drawings submitted to the City’s Development Manager.
- c. Access to the development will be from the lane only.

12. Geotechnical Study

- (a) Provide a geotechnical report prepared by a Professional Engineer competent in the field of hydro-geotechnical engineering to address the items below: NOTE: The City is relying on the Geotechnical Engineer’s report to prevent any damage to property and/or injury to persons from occurring as a result of problems with soil slippage or soil instability related to this proposed subdivision. The Geotechnical reports must be submitted to the Development Services Department for distribution to the Development Engineering Branch and Inspection Services Division prior to submission of Engineering drawings or application for subdivision approval:
 - i. Area ground water characteristics, including any springs and overland surface drainage courses traversing the property. Identify any monitoring required.
 - ii. Site suitability for development.
 - iii. Site soil characteristics (i.e. fill areas, sulphate content, unsuitable soils such as organic material, etc.).

- iv. Any special requirements for construction of roads, utilities and building structures.
 - v. Recommendations for items that should be included in a Restrictive Covenant.
 - vi. Recommendations for roof drains, perimeter drains and septic tank effluent on the site.
 - vii. Any items required in other sections of this document.
- Additional geotechnical survey may be necessary for building foundations, etc



James Kay, P.Eng.
Development Engineering Manager

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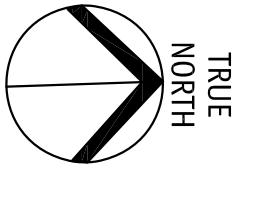
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	MRM - MXR
 City of Kelowna COMMUNITY PLANNING	

The Development Engineering Branch comments and requirements regarding this OCP amendment application are as follows:

1. **General**
All the offsite infrastructure and services upgrades are addressed in the Rezoning Engineering Report under file Z18-0118


James Kay, P. Eng.
Development Engineering Manager

JA



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No.	Date	Revision
01	2018-...	revising application

Project Title
**WEST AVE RENTAL
5-STORY WITH
PARKADE LEVEL**

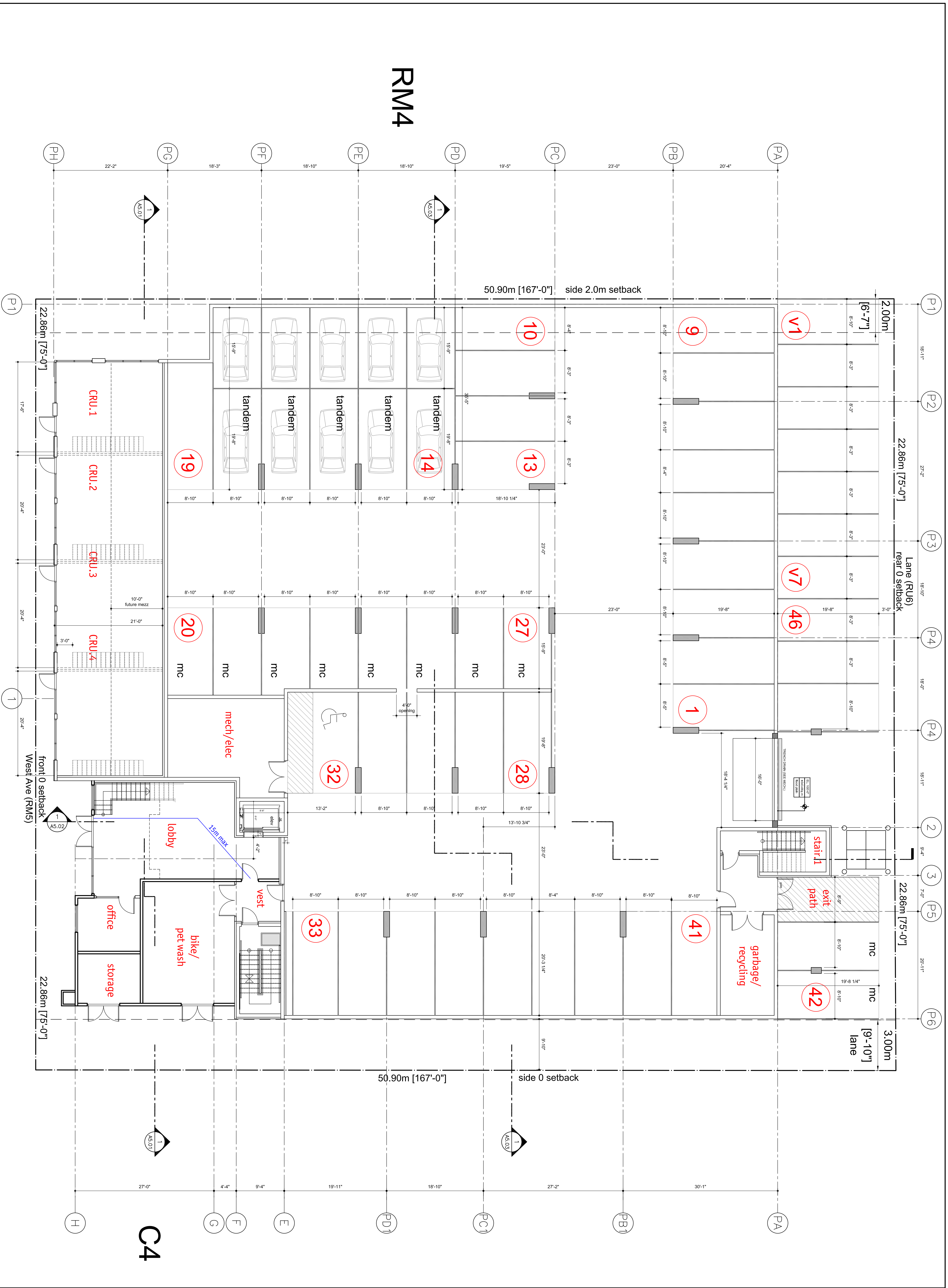
454 & 464 WEST AVENUE KELOWNA V1Y 4Z2

Drawing Number

A3.01

Drawing Title
LEVEL 1 PLAN

Date	Scale	Drawn	Checked
2018-11-08	m=1:71.781	AS SHOWN	SN



RM4

C4



COFFEE

Urban Garden

PAGES

SALON

BOUTIQUE

Gelato

PHARMACY