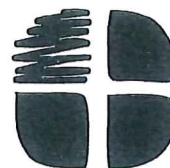


Design Rationale Statement

January 14, 2019

Columbus Centre, 1165 Sutherland Ave., Kelowna, BC



RICHARD HUNTER

ARCHITECT Inc.

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The mixed use commercial and residential development proposed for 1165 Sutherland Avenue is designed to achieve a high standard of development, incorporating ground floor commercial use with direct street frontage storefronts, with parking behind and under the building, and apartment style residential suites above.

The main level commercial storefront façade is finished with traditional red brick and feature detailing, with black framed windows and doors, canopies over frontages, and profiled fascia; wrapping the brick around to the building ends creates a strong commercial presence on the street, while transitioning to an earthtone stucco base at the rear of the building. The residential lobby entry is highlighted in the commercial frontage; landscape features and details at the front of the building, continue around the side and rear of the property, to enhance the project.

The building is 4 storeys, with the upper residential suite floors differentiated by colour and finish from the commercial base, using high quality cement fiber panel siding, and having generous balconies for each suite, with varied rooflines featuring accent roofs covering balconies. Vertical orientation of massing, and colour variations, provide an attractive and modern street front character for residential suites above the commercial frontage. Colour selections highlight the red brick base, with varied light grey / dark grey wall elements above, and colour accent lap siding featured at balcony recesses.

The building massing is in keeping with development guidelines, providing a moderate scale of development transitioning from lower scale residential areas, and lower scale existing commercial buildings on either side, to proposed higher density development across Sutherland Avenue. Site coverage, building height, and floor area ratios are all within the zoning limits.

Parking for commercial uses is accommodated at grade around the building, and below grade parking is provided with secure entry and covered ramped access for convenience, safety, and security of residents; the number of stalls exceeds the minimum requirements. Site lighting of entries and parking areas will enhance the project and provide a safe environment for commercial users and residents.

Bicycle parking is provided both at grade for commercial short-term use, and in secured basement space off parking area for residents. A fenced, landscaped area at the rear of the site is provided for resident open space use.

Accessible entries allow access to all building occupancies, with the elevator serving all levels, for universal accessibility.

Affordable rental housing suites are designed to meet and exceed BC Housing minimum guidelines, with the upper floor comprised of life lease suites, to provide high quality housing options. Large windows allow for generous views and daylight, contributing to the enhanced quality of housing; and a portion of suites will be constructed with accessible and adaptable features to meet housing goals.

High performance features for building envelope insulation and air tightness, and mechanical and electrical systems, contribute to sustainable construction practice, and achieve goals for energy efficiency and resident comfort.

Richard Hunter, Architect AIBC, MRAIC
Richard Hunter Architect Inc.

K. Richard Hunter
Architect AIBC, MRAIC

Draft Development Permit



This permit relates to land in the City of Kelowna municipally known as

1165 Sutherland Ave

and legally known as

Lot A, District Lot 137, ODYD, Plan EPP88875

and permits the land to be used for the following development: Multi-Family Housing and Commercial

AND THAT variances to the following section of Zoning Bylaw No. 8000 be granted as described in Schedule 'A' and according to the following:

n/a

The present owner and any subsequent owner of the above described land must comply with any attached terms and conditions.

Date of Decision:

Decision By: CITY COUNCIL

Issued Date:

Development Permit Area: Comprehensive

Existing Zone: C4 – Urban Centre Commercial

Future Land Use Designation: MXR – Mixed Use (Residential/Commercial)

This is NOT a Building Permit.

In addition to your Development Permit, a Building Permit may be required prior to any work commencing. For further information, contact the City of Kelowna, Development Services Branch.

NOTICE

This permit does not relieve the owner or the owner's authorized agent from full compliance with the requirements of any federal, provincial or other municipal legislation, or the terms and conditions of any easement, covenant, building scheme or agreement affecting the building or land.

Owner: Culos Development (1996) Inc., Inc. No. BC1099204

Applicant: Mike Culos

Ryan Smith
Community Planning Department Manager
Community Planning & Strategic Investments

Date

1. SCOPE OF APPROVAL

This Development Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.

This Development Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this permit, noted in the Terms and Conditions below.

The issuance of a permit limits the permit holder to be in strict compliance with regulations of the Zoning Bylaw and all other Bylaws unless specific variances have been authorized by the Development Permit. No implied variances from bylaw provisions shall be granted by virtue of drawing notations that are inconsistent with bylaw provisions and that may not have been identified as required Variances by the applicant or Municipal staff.

2. CONDITIONS OF APPROVAL

- a) The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A";
- b) The exterior design and finish of the building to be constructed on the land be in accordance with Schedule "B";
- c) Landscaping to be provided on the land be in accordance with Schedule "C"; and
- d) The applicant be required to post with the City a Landscape Performance Security deposit in the form of a "Letter of Credit" in the amount of 125% of the estimated value of the landscaping, as determined by a Registered Landscape Architect.

This Development Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

3. PERFORMANCE SECURITY

As a condition of the issuance of this Permit, Council is holding the security set out below to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Developer and be paid to the Developer or his or her designate if the security is returned. The condition of the posting of the security is that should the Developer fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the Municipality may use enter into an agreement with the property owner of the day to have the work carried out, and any surplus shall be paid over to the property own of the day. Should the Developer carry out the development permitted by this Permit within the time set out above, the security shall be returned to the Developer or his or her designate. There is filed accordingly:

- a) An Irrevocable Letter of Credit in the amount of **125% of the onsite landscape estimate**

Before any bond or security required under this Permit is reduced or released, the Developer will provide the City with a statutory declaration certifying that all labour, material, workers' compensation and other taxes and costs have been paid.

4. INDEMNIFICATION

Upon commencement of the works authorized by this Permit the Developer covenants and agrees to save harmless and effectually indemnify the Municipality against:

- a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality said Permit.

All costs, expenses, claims that may be incurred by the Municipality where the construction, engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

**The PERMIT HOLDER is the CURRENT LAND OWNER.
Security shall ONLY be returned to the signatory of the
Landscape Agreement or their designates.**

ZONING REVIEW

Address: Sutherland Ave., Kelowna, B.C.
Legal Description: Lot 7 & 8 Plan 2498; Lot 2 Plan 17148; Lot A Plan 28311
Climatic Zone: NECB (Part 3 or 9), ASHRAE 90.1 (Part 3), or 9.36.2 - 9.36.4 Prescriptive (Part 9)
Energy Method: C-4 Urban Centre Commercial Zone
Current Zoning: 29,933.04 sqft (2,780.87 m2)
Lot Area: 15,858 sqft (1473.25 m2)
Proposed Building Footprint: 52%
Lot Coverage: 52%

Proposed Gross Floor Area:

Parking Level: Excluded
Main Floor:
Commercial: 5,546 sqft
Knights of Col.: 2,725 sqft
Common (Svc): 1,782 sqft
Parking Level: 2,088 sqft
Total: 12,142 sqft

Residential:
2nd Floor: 13,550 sqft
3rd Floor: 13,550 sqft
4th Floor: 13,550 sqft
Roof Access: 175 sqft

Total: 50,878 sqft

Floor Area Ratio (FAR): 50,878 sqft (Gross Floor Area) / 29,750 sqft (Lot Area) = 1.70 > 1.3 (Allowed)

Maximum Building Height: 50'-0" (15.0m) - 4 STOREYS - SEE ELEVATIONS

Building Setbacks:

Front: 0'-0" (0.0m)
Side: 0'-0" (0.0m)
Rear: 20'-0" (6.0m) (abutting Residential Zone)
(variance requested - stair encroachment)

Private Outdoor Space:

Required:

15 - 2 Bedroom @ 15m2
31 - 1 Bedroom @ 10m2
2 - Studios @ 6m2
Total: 547m2 Required

Provided:

Decks:
15 - 2 Bedroom @ 5.57m2 (60sf)
31 - 1 Bedroom @ 6.97m2 (75sf)
2 - Studios @ 7.43m2 (80sf)
Sub-Total: 314.5m2

At Grade Level: 130m2 (1,400 sqft)

Roof Top Access: 130m2 (1,400 sqft)
Total: 574.5m2 Provided

Residential Suites

15 - 2 Bedroom, 31 - 1 Bedroom, 2 - Studios
Total: 48 Units

Parking

Residential: 48 Units
2 BED @ 15 x 1.5 stalls = 22.5
1 BED @ 15 x 1.0 stalls = 31
(down from 1.25 - variance requested)
STUDIO @ 2 x 1 stalls = 2
TOTAL = 55.5 Stalls

Visitors: 1.0 spaces per 7 (48 Total) dwelling units
7 Stalls
Commercial: 8,271 sqft (768.4 m2) @ 1.75 per 100 m² GFA
14 Stalls

Total # Req'd: 77 Stalls
RATIO: 50% LARGE, 40% MEDIUM, 10% COMPACT

Provided: 76 Stalls
[40 Large (Incl 3 Disabled), 36 Medium (Incl 1 Disabled), 2 Compact]
1 Loading Zone

Bicycle Parking

Required Parking Spaces
Residents: 0.5 per dwelling unit @ 48 Units = 24
Visitor: 0.1 per dwelling unit @ 48 Units = 5
Total # Req'd: = 29



2 STREET ELEVATION w/ ADJACENT BUILDINGS

SCALE: 3/64" = 1'-0"

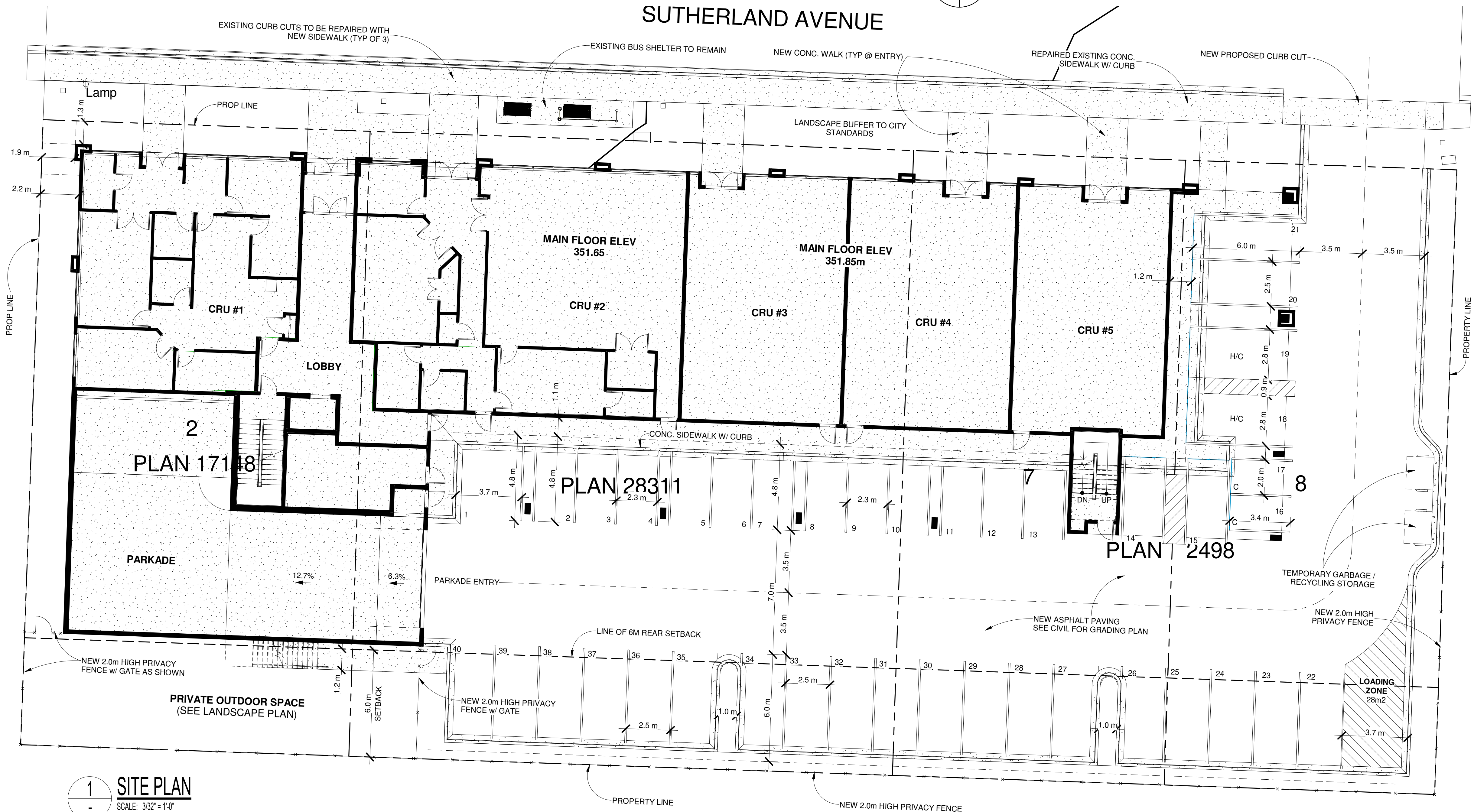


CODE REVIEW

BC Building Code: 2018
Building Designed Under: Part 3
Major Occupancies: C, D, E, F3
Minor Occupancies (less 10%): A2
No Street Facing: 1
Construction Class: 3.2.2.50
Group C Up to 6 Stories Sprinklered
Combustible Construction

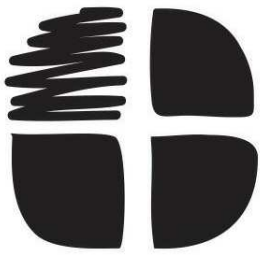
Fire Separations: Group C / E: 2hr
Group C / D: 1hr
Group C / F3: 1hr
Parkade to Main Floor: 1.5hr
Yes

Sprinklered: Yes



1 SITE PLAN

SCALE: 3/32" = 1'-0"



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2019

COLUMBUS CENTRE

1165 SUTHERLAND AVE.
KELOWNA, BC

2 Fee Proposal 13/11/18
1 ISSUED FOR D.P. KMH 20190109
No. Revision By Date

Sheet Title:

SITE PLAN

Scale: As indicated

Date: 2019-01-08
Drawn: KMH
Checked: KRH
Project: 10972-17
Drawing No.

A001



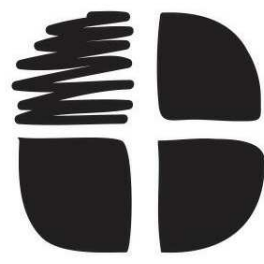
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1165 SUTHERLAND AVE.
KELOWNA, BC



Date	2019-01-08
Drawn	KMH
Checked	KRH
Project	10972-17
Drawing No.	

A100



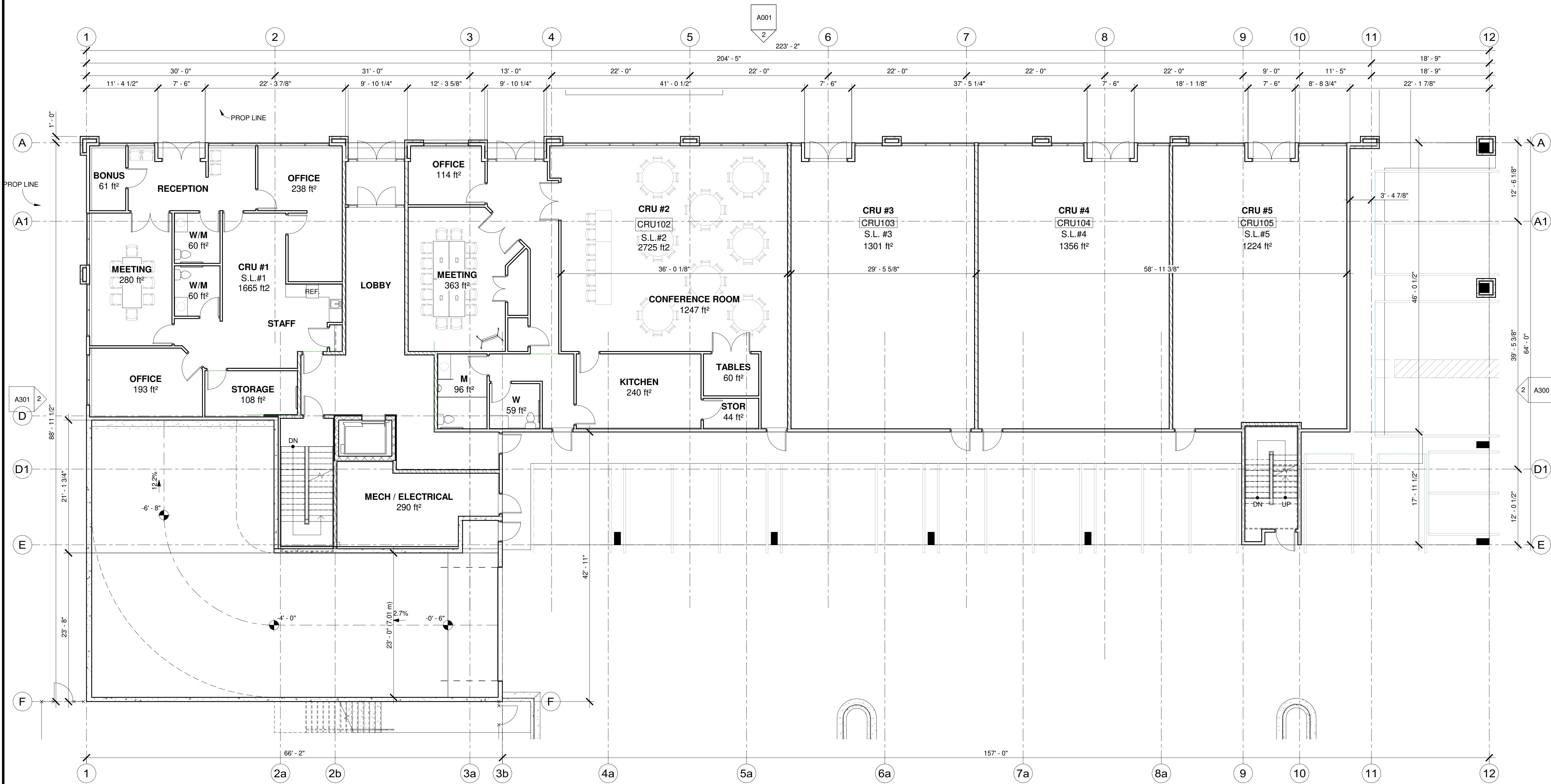
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2019

COLUMBUS CENTRE

1165 SUTHERLAND AVE.
KELOWNA, BC



1 - MAIN FLOOR
SCALE: 1/8" = 1'-0"

GROSS FLOOR AREA - 12,142 SQFT

EXTERIOR (BUILDING ENVELOPE) CONSTRUCTION ASSEMBLIES

ROOF ASSEMBLY - CEILING BELOW ATTIC

R1 - ROOF

MATERIALS IN ASSEMBLY	
-2 PLY SBS ROOFING MEMBRANE	
-5/8" T&G PLYWOOD SHEATHING	
-PRE-ENG WOOD TRUSSES @ 2'-0 o.c. w/ 2"x4" TOP & BTM CHORDS	RSI# 0.76
-R-50 BATT INSULATION	9.04
-6 mil POLY VAPOUR BARRIER	
-5/8" GYPSUM BOARD	0.098
-INTERIOR AIR FILM	0.120
TOTAL RSI(e):	10.90

EXTERIOR WALL ASSEMBLIES

TYPICAL EXTERIOR WALL (MAIN FLOOR)

MATERIALS IN ASSEMBLY	
OUTSIDE AIR FILM	RSI(e) 0.030
-FACE BRICK VENEER	0.07
-3/4" AIR SPACE	0.18
-2" EXTRUDED POLYSTYRENE INSULATION	1.68
-REINFORCED CONCRETE WALL	
-2"x4" WOOD STUDS SPF No.2 @ 2'-0 o.c. w/ R-12 BATT INSULATION	1.49
-6 mil POLY VAPOUR BARRIER	
-5/8" GYPSUM BOARD	0.098
INTERIOR AIR FILM	0.120
TOTAL RSI(e):	3.668

TYPICAL EXTERIOR WALL - UPPER FLOORS

MATERIALS IN ASSEMBLY	
OUTSIDE AIR FILM	RSI(e) 0.030
-FIBRE CEMENT - AS PER ELEVATIONS	0.023
-1X4 P.T. VERT. STRAPPING @ 16" o.c.	0.14
-2" ROXUL COMFORTBOARD	1.68
-2 LAYERS - 30MIN BUILDING PAPER	0.011
-1/2" EXTERIOR PL WOOD SHEATHING	0.108
-2"x6" WOOD STUDS SPF No.2 @ 2'-0 o.c. w/ R-22 BATT INSULATION	2.670
-6 mil POLY VAPOUR BARRIER	
-5/8" GYPSUM WALL BOARD	0.098
INTERIOR AIR FILM	0.120
TOTAL RSI(e):	4.88

INTERIOR CONSTRUCTION ASSEMBLIES

TYPICAL PARTY WALL - 1HR FRR FIRE SEPERATION

MATERIALS IN ASSEMBLY	
-5/8" TYPE-X GYPSUM WALLBOARD	
-3" ACOUTIC INSULATION	
-2"x4" WOOD STUDS SPF No.2 @ 2'-0 o.c. -SEE STRUCTURAL	
-AIR SPACE	
-2"x4" WOOD STUDS SPF No.2 @ 2'-0 o.c. -SEE STRUCTURAL	
3" ACOUTIC INSULATION	
-5/8" TYPE-X GYPSUM WALLBOARD	

INTERIOR PLUMBING WALL

MATERIALS IN ASSEMBLY	
-5/8" GYPSUM WALLBOARD	
-2x6 WOOD STUDS SPF No.2+ @ 2'-0" o.c.	
-3" ACOUTIC INSULATION (IF INDICATED BY PLAN)	
-5/8" GYPSUM WALLBOARD	

COORDINATE LOCATIONS w/ MECHANICAL

2 HR FRR FLOOR ASSEMBLY

-FINISHED FLOORING
-SUSPENDE CONCRETE SLAB
-R-12 SPRAY APPLIED INSULATION

TYPICAL INTERIOR WALL

MATERIALS IN ASSEMBLY	
-5/8" GYPSUM WALLBOARD	
-2x4 WOOD STUDS SPF No.2+ @ 2'-0" o.c.	
-3" ACOUTIC INSULATION (IF INDICATED BY PLAN)	
-5/8" GYPSUM WALLBOARD	

TYPICAL 1 HR FRR FLOOR ASSEMBLY

-FINISHED FLOORING
-1 1/2" CONCRETE TOPPING
-6 MIL POLY VB
-5/8" T&G PLYWOOD SUBFLOOR
-PRE-ENG WOOD JOISTS
-SEE STRUCTURAL
-METAL FURRING CHANNELS@ 16" o.c.
-2 LAYERS 5/8" TYPE 'X' GYPSUM BOARD CEILING

TYPICAL PARTY WALL

MATERIALS IN ASSEMBLY	
-5/8" GYPSUM WALLBOARD	
-2x4 WOOD STUDS SPF No.2+ @ 2'-0" o.c.	
-3" ACOUTIC BATT INSULATION	
-1" AIR SPACE	
-2X4 WOOD STUDS SPF No.2+ @ 2'-0" o.c.	
-3" ACOUTIC BATT INSULATION	
-5/8" GYPSUM WALLBOARD	

SCHEDULE

A & B

This forms part of application

DP19-0038

Planner

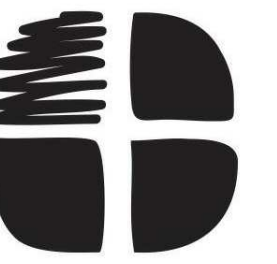
Initials

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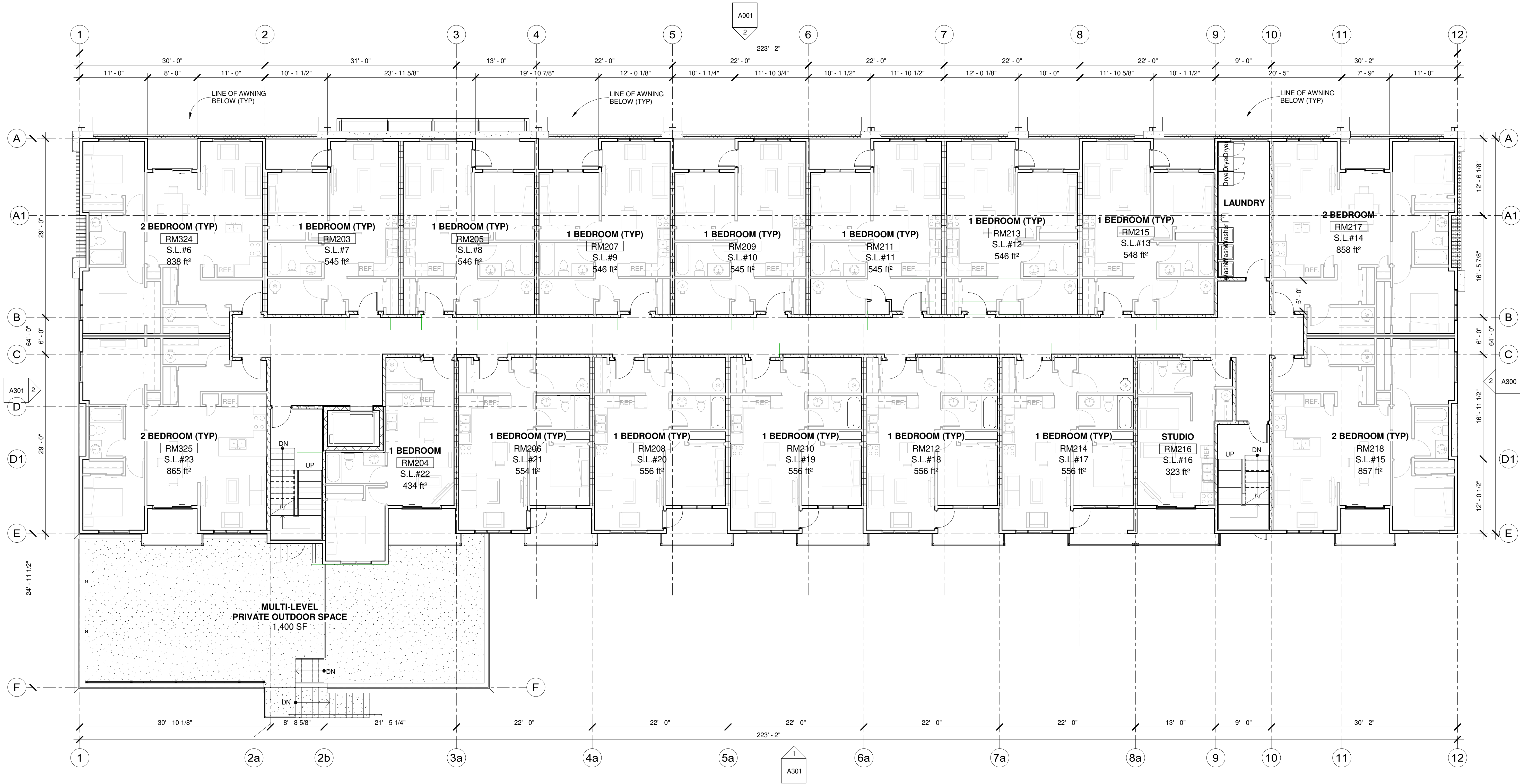
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2019

COLUMBUS CENTRE

1165 SUTHERLAND AVE.
KELOWNA, BC



1 2 - 2ND FLOOR
SCALE: 1/8" = 1'-0"
GROSS FLOOR AREA - 13340 SQFT

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Sheet Title:			

SECOND FLOOR PLAN

Scale: 1/8" = 1'-0"

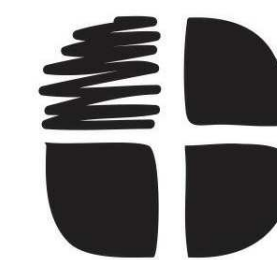
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Checked	KRH
Project	10972-17
Drawing No.	A102

SCHEDULE A & B

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COLUMBUS CENTRE

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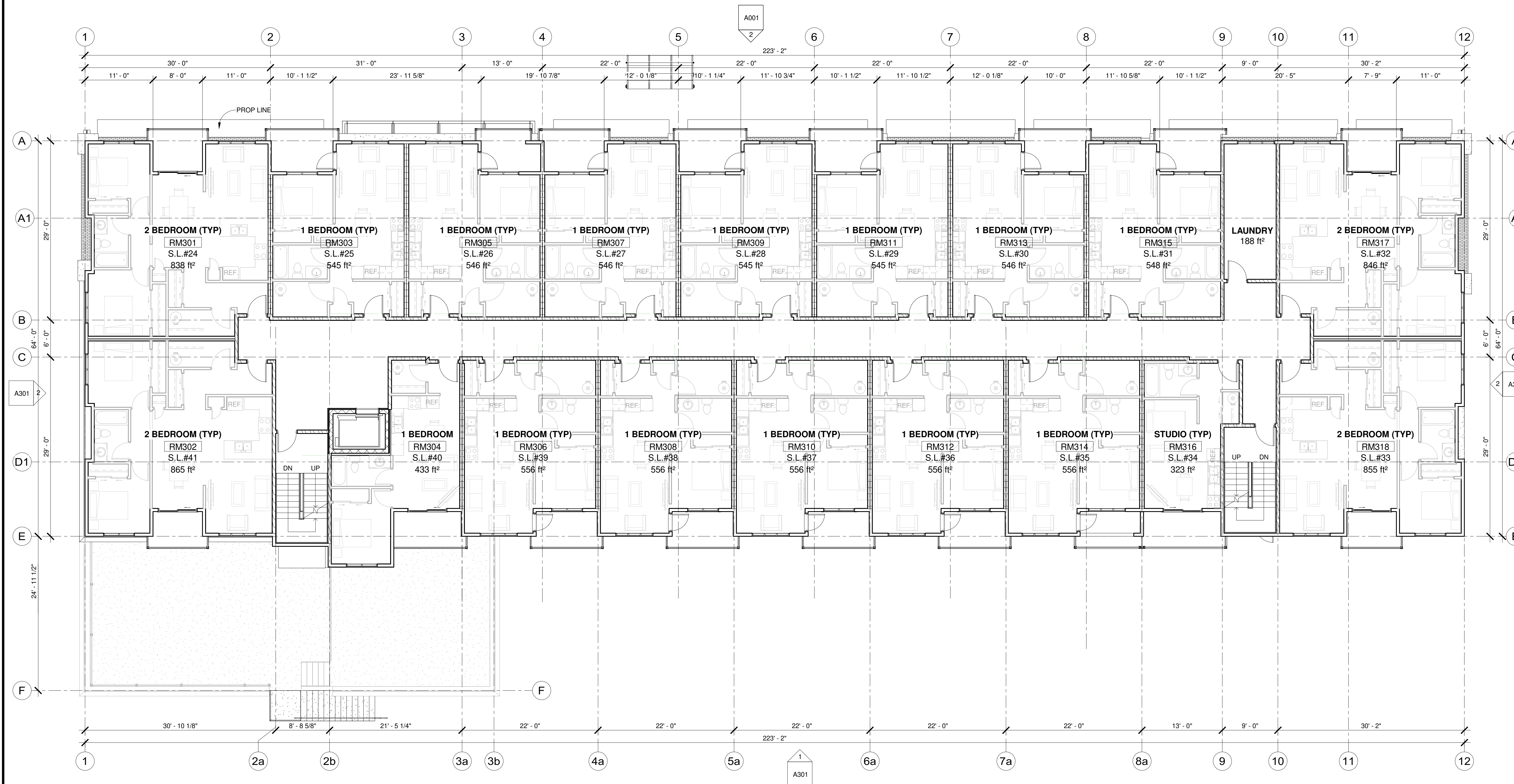
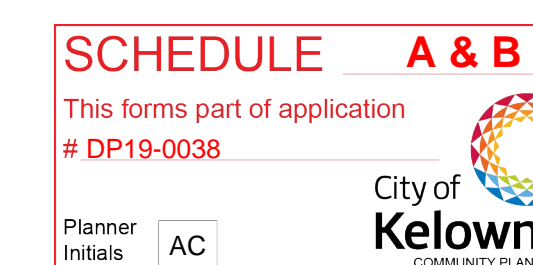
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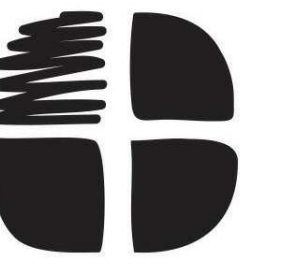
THIRD FLOOR PLAN

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Date	2019-01-08
Drawn	KMH
Checked	KRH
Project	10972-17
Drawing No.	A103



1 3 - 3RD FLOOR
SCALE: 1/8" = 1'-0"
GROSS FLOOR AREA - 13340 SQFT



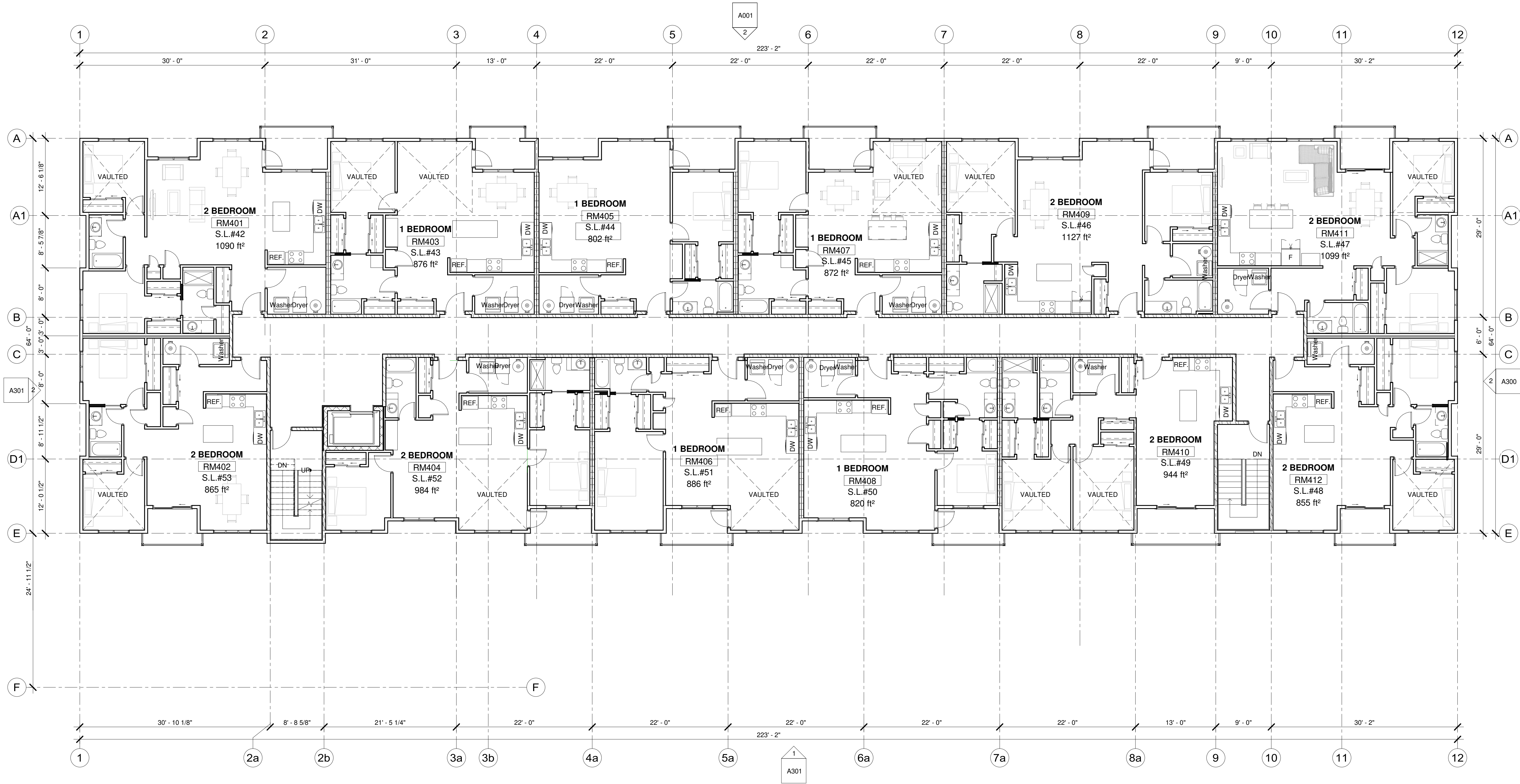
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COLUMBUS CENTRE

1165 SUTHERLAND AVE.
KELOWNA, BC



1 4 - 4TH FLOOR
SCALE: 1/8" = 1'-0"

GROSS FLOOR AREA - 13427 SQFT

SCHEDULE

A & B

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FOURTH FLOOR PLAN

Scale: 1/8" = 1'-0"

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Project	10972-17
Drawing No.	A104



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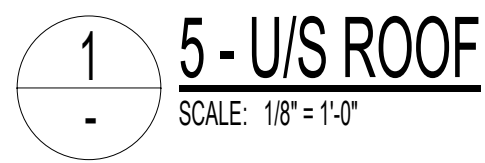
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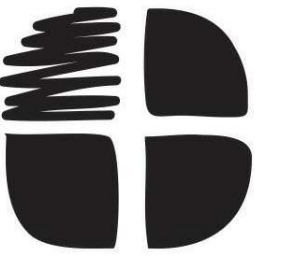
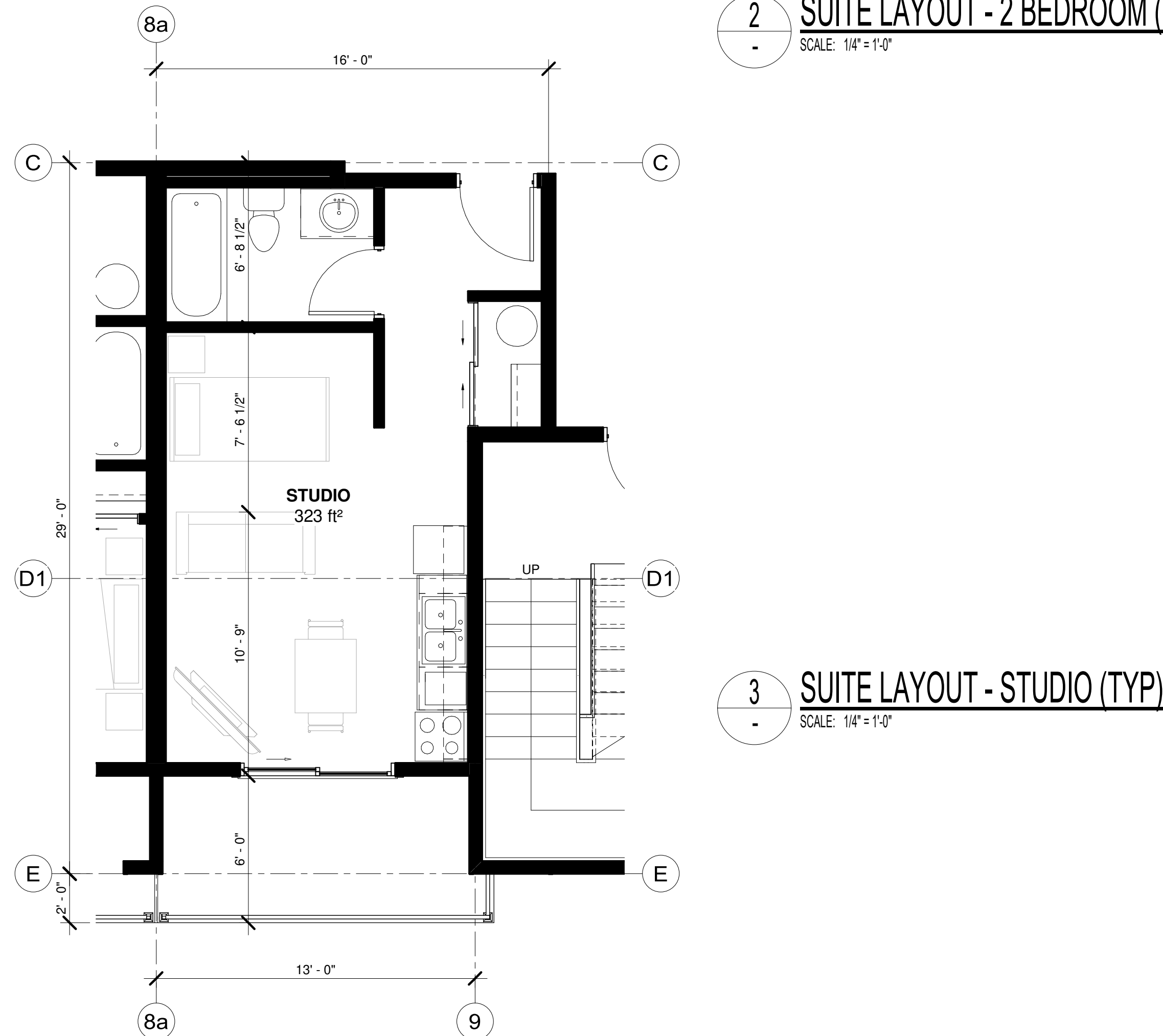
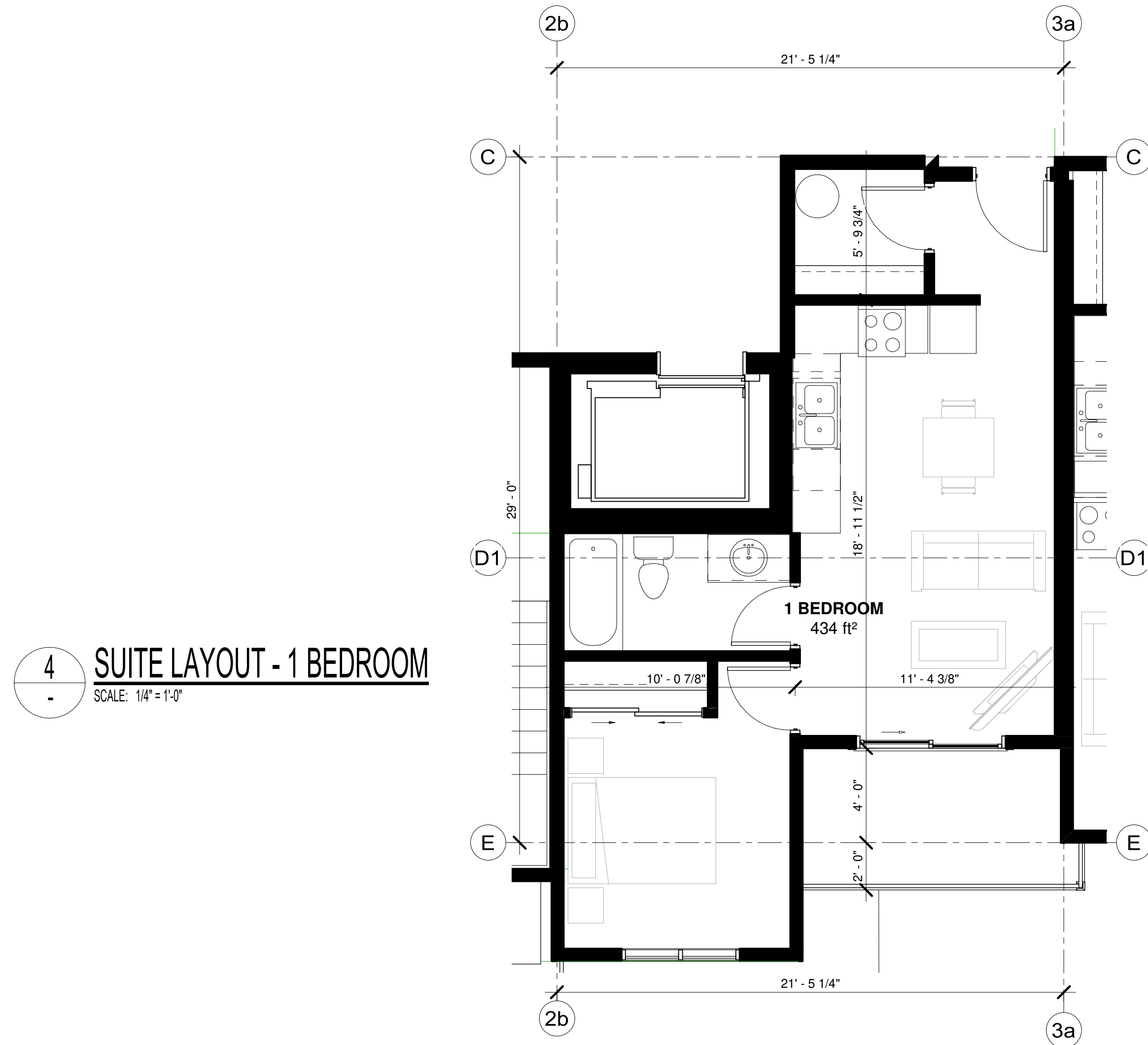
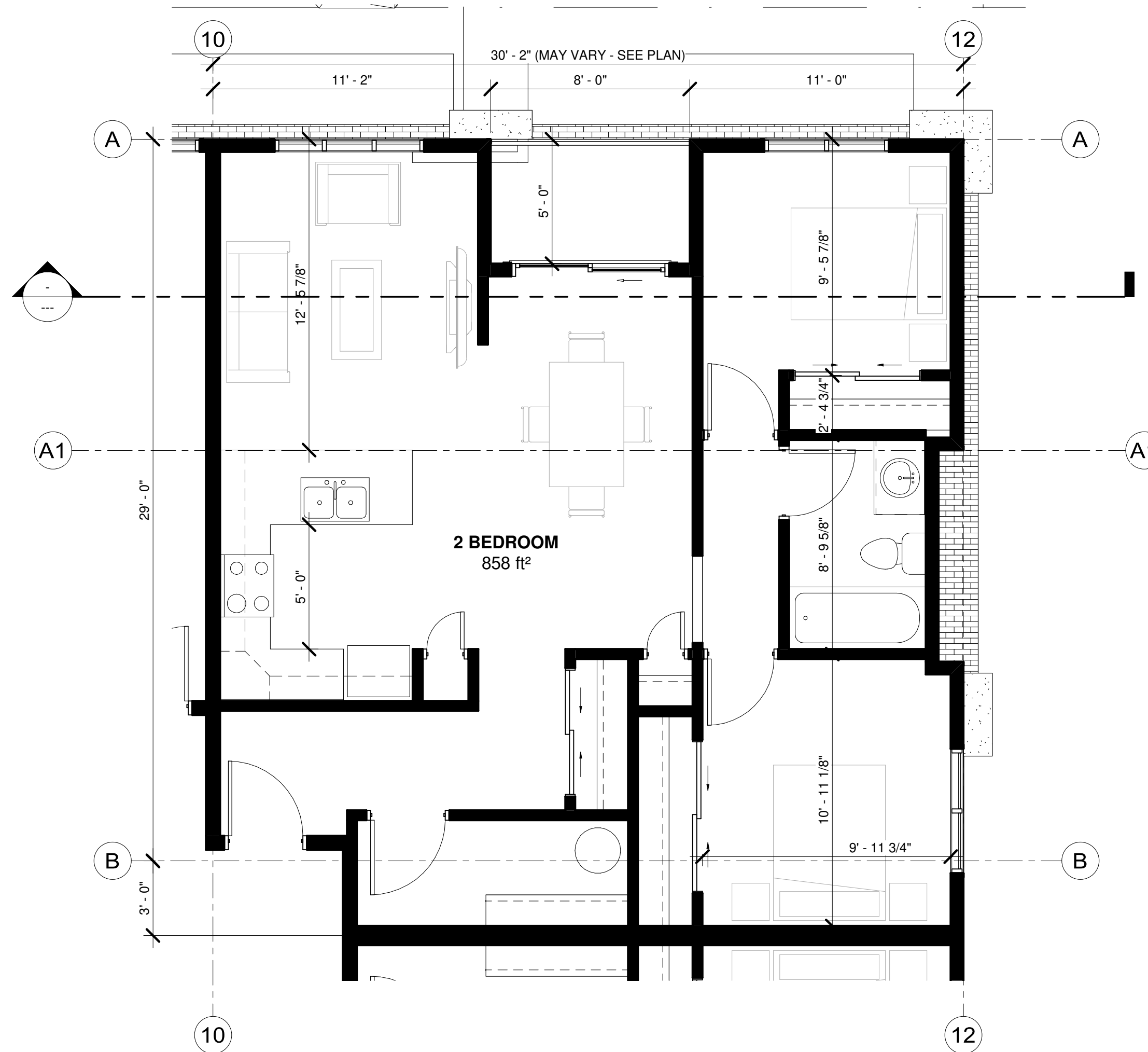
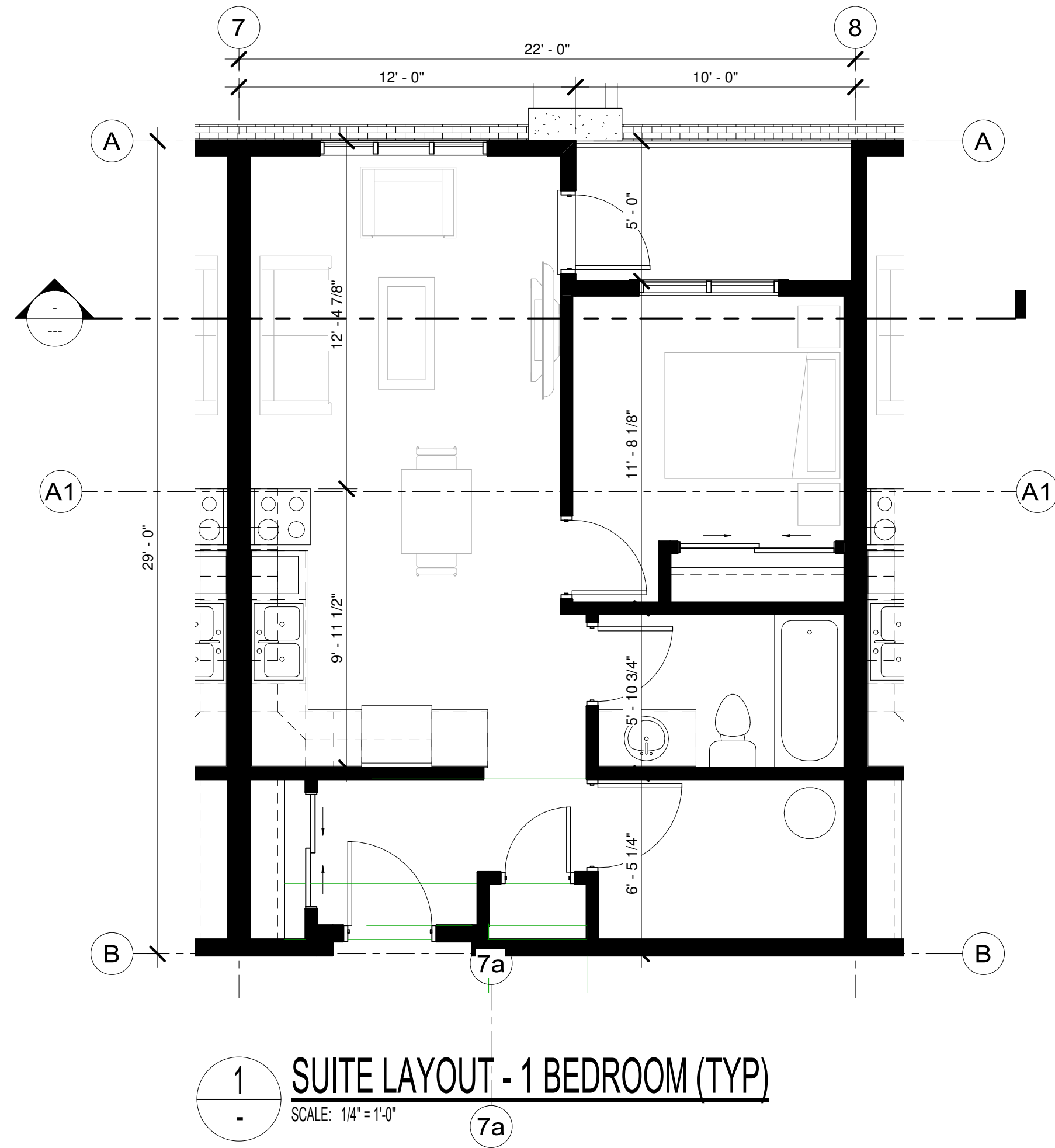
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<h1>SCHEDULE</h1>		<h1>A & B</h1>	
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COLUMBUS CENTRE

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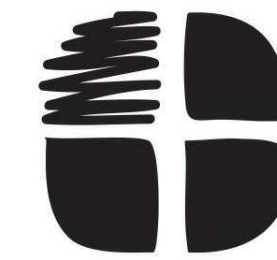
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No.	Revision	By	Date

Sheet Title:

SUITE LAYOUTS

Scale: 1/4" = 1'-0"

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1 NORTH ELEVATION
SCALE: 1/8" = 1'-0"

FINISH LEGEND

FIBRE-CEMENT PLANK LAP SIDING

"SEMOLINA" 2155-30
FROM BENJAMIN MOORE
COLOUR SYSTEM

FIBRE-CEMENT PANEL SIDING/TRIM

"IRON GRAY"
FROM JAMESHARDIE COLOUR
PALLETTE

"AGED PEWTER"
FROM JAMESHARDIE COLOUR
PALLETTE

"COBBLE STONE"
FROM JAMESHARDIE COLOUR
PALLETTE

STUCCO FINISH

COLOUR SIM OR EQ. TO
"AUTUMN TAN"
FROM JAMESHARDIE COLOUR
PALLETTE

MASONRY

"INCA RED" (SIM OR EQ. TO)
FROM MUTUAL MATERIALS

TRIM, FASCIA & METAL FLASHINGS

Trims to be: LP SmartSide Trim &
Fascia (OR EQ.)
COLOUR MATCH:
"IRON GRAY"
FROM JAMESHARDIE COLOUR
PALLETTE

MISCELLANEOUS

WINDOW & DOOR FRAMES: BLACK
ALUMINUM TRIMS: TO MATCH
ADJACENT SIDING
EXPOSED TIMBER
/ DECORATIVE WOOD: NATURAL/CLEAR
EXPOSED CONCRETE PARGING:
NATURAL GREY

MATERIAL LEGEND

- MASONRY VENEER
- STUCCO FINISH
- METAL FLASHING
- PRE-FIN WOOD SOFFIT
- FIBRE-CEMENT LAP SIDING
- FIBRE-CEMENT PANELS
- ALUMINUM PANEL TRIM
- PRE-ENG. ALUMINUM GUARDRAIL
- WINDOW - AS PER SPECIFICATION
- DOOR - AS PER SPECIFICATION
- DECORATIVE WOOD KNEE BRACE
- EXPOSED CONCRETE
- SMARTSTART FASCIA / TRIM



2 EAST ELEVATION
SCALE: 1/8" = 1'-0"

SCHEDULE A & B
This forms part of application
DP19-0038

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COMMUNITY PLANNING

2019

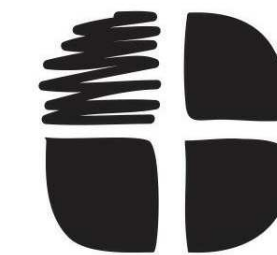
COLUMBUS CENTRE

1165 SUTHERLAND AVE.
KELOWNA, BC

ELEVATIONS

Scale: As indicated

Date	2019-01-08
Drawn	KMH
Checked	KRH
Project	10972-17
Drawing No.	A300



RICHARD HUNTER
ARCHITECT Inc.

500 - 153 SEYMOUR ST
KAMLOOPS, BC V2C 2C7
PHONE 250.372.8845
richard@hunterarchitect.com



1 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

FINISH LEGEND

FIBRE-CEMENT PLANK LAP SIDING

"SEMOLINA" 2155-30
FROM BENJAMIN MOORE
COLOUR SYSTEM

FIBRE-CEMENT PANEL SIDING/TRIM

"IRON GRAY"
FROM JAMESHARDIE COLOUR
PALLETTE

"AGED PEWTER"
FROM JAMESHARDIE COLOUR
PALLETTE

"COBBLE STONE"
FROM JAMESHARDIE COLOUR
PALLETTE

STUCCO FINISH

COLOUR SIM OR EQ. TO
"AUTUMN TAN"
FROM JAMESHARDIE COLOUR
PALLETTE

MASONRY

"INCA RED" (SIM OR EQ. TO)
FROM MUTUAL MATERIALS

TRIM, FASCIA & METAL FLASHINGS

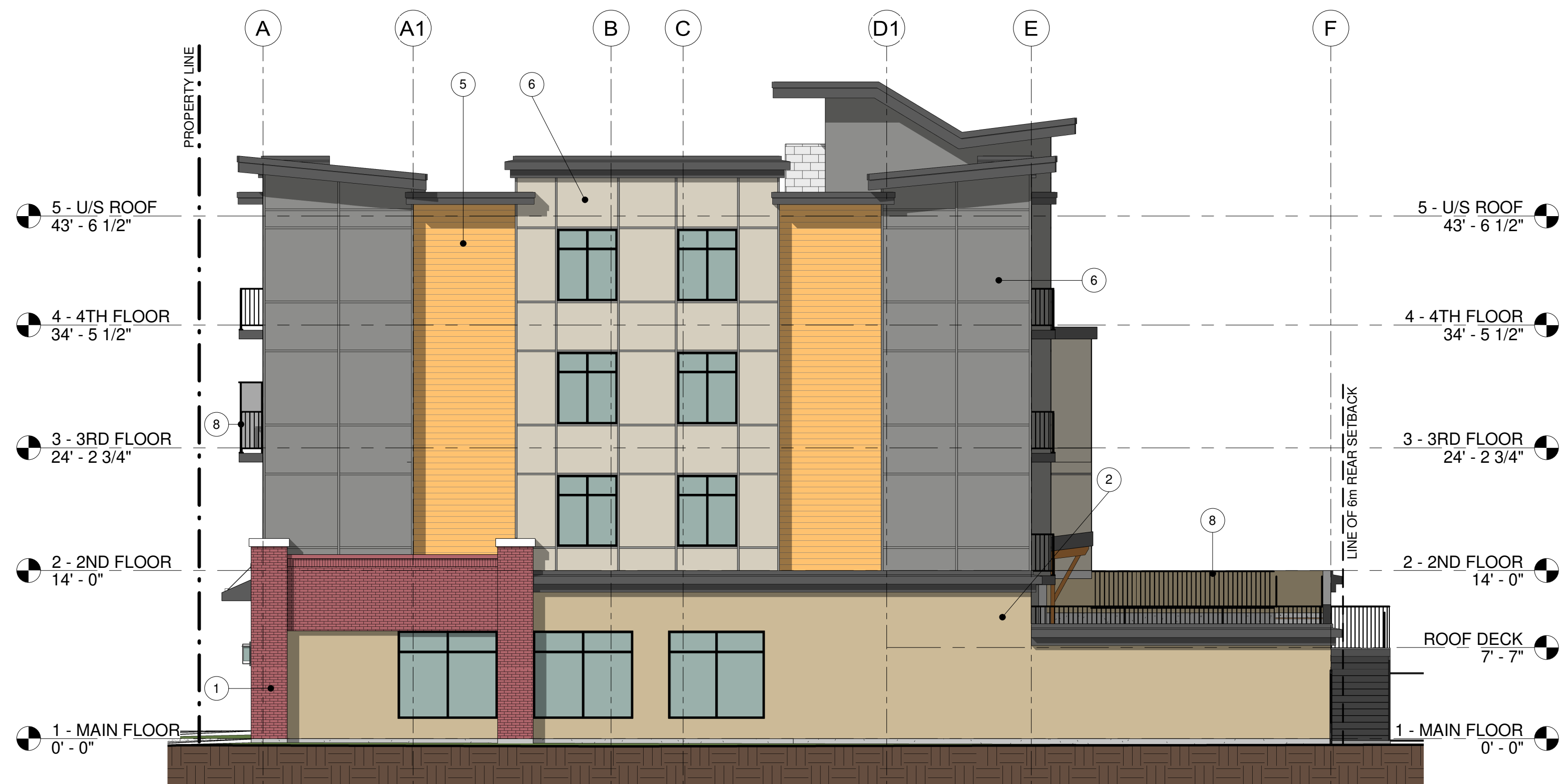
Trims to be: LP SmartSide Trim &
Fascia (OR EQ.)
COLOUR MATCH:
"IRON GRAY"
FROM JAMESHARDIE COLOUR
PALLETTE

MISCELLANEOUS

WINDOW & DOOR FRAMES: BLACK
ALUMINUM TRIMS: TO MATCH
ADJACENT SIDING
EXPOSED TIMBER
/ DECORATIVE WOOD: NATURAL/CLEAR
EXPOSED CONCRETE PARGING:
NATURAL GREY

MATERIAL LEGEND

- 1 MASONRY VENEER
- 2 STUCCO FINISH
- 3 METAL FLASHING
- 4 PRE-FIN WOOD SOFFIT
- 5 FIBRE-CEMENT LAP SIDING
- 6 FIBRE-CEMENT PANELS
- 7 ALUMINUM PANEL TRIM
- 8 PRE-ENG. ALUMINUM GUARDRAIL
- 9 WINDOW - AS PER SPECIFICATION
- 10 DOOR - AS PER SPECIFICATION
- 12 DECORATIVE WOOD KNEE BRACE
- 13 EXPOSED CONCRETE
- 14 SMARTSTART FASCIA / TRIM



2 WEST ELEVATION
SCALE: 1/8" = 1'-0"

SCHEDULE A & B
This forms part of application
DP19-0038

Planner Initials AC

City of Kelowna
COMMUNITY PLANNING

2019

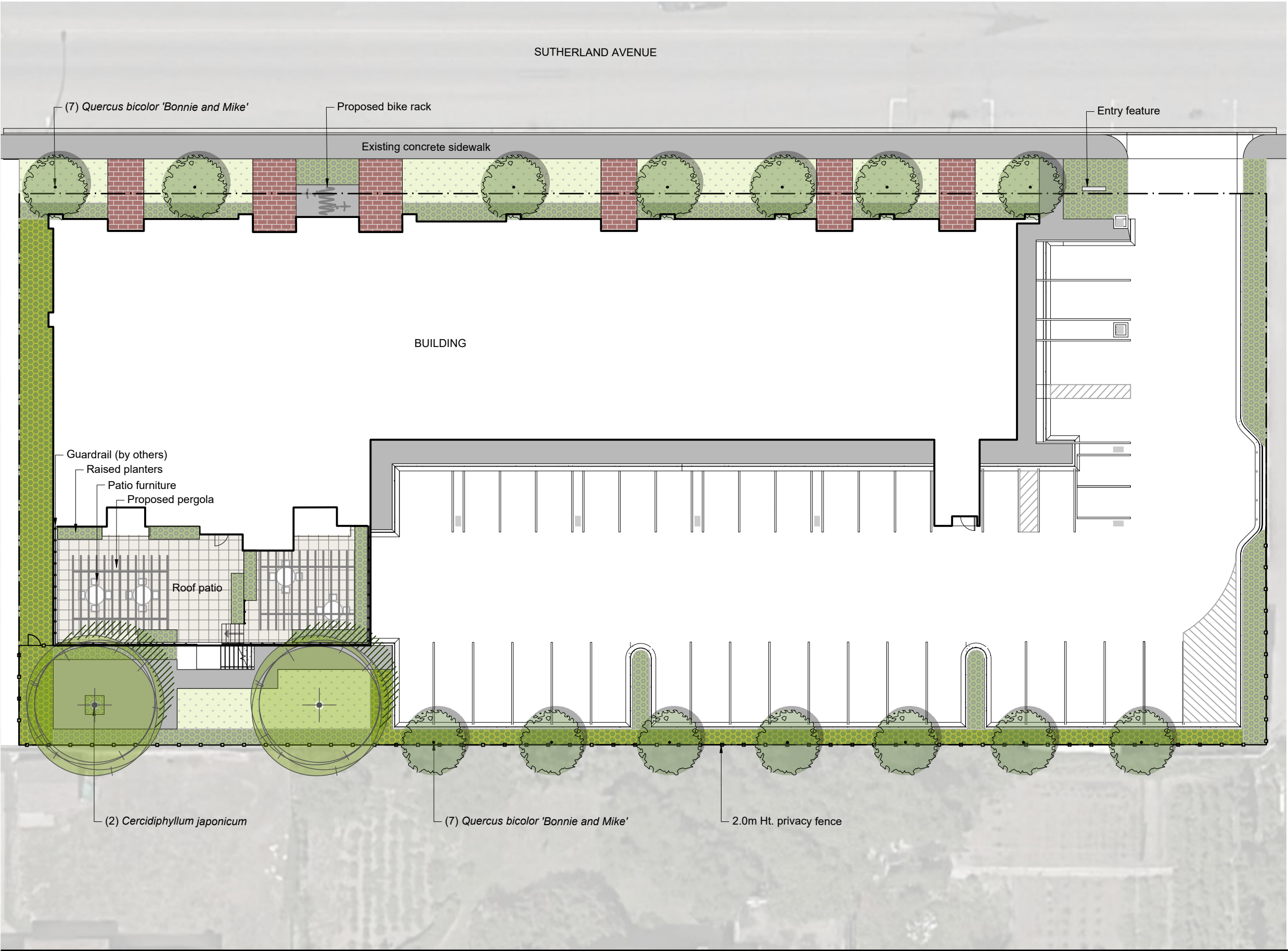
COLUMBUS CENTRE

1165 SUTHERLAND AVE.
KELOWNA, BC

ELEVATIONS

Scale: As indicated

Date	2019-01-08
Drawn	KMH
Checked	KRH
Project	10972-17
Drawing No.	A301



LEGEND:

DECIDUOUS TREES

PROPERTY LINE

2.0m Ht. PRIVACY FENCE

SOD

ORNAMENTAL GRASSES / PERENNIALS PLANTING BED w/ MULCH

SHRUBS / PERENNIALS PLANTING BED w/ MULCH

RED BRICK PAVING

CONCRETE PAVERS

CONCRETE PAVING

SCHEDULE

C

This forms part of application

DP19-0038

Planner Initials

AC

City of Kelowna

COMMUNITY PLANNING

- GENERAL NOTES:
1. PLANT MATERIALS AND CONSTRUCTION METHODS SHALL CONFORM TO MINIMUM STANDARDS ESTABLISHED IN THE CANADIAN LANDSCAPE STANDARD (CURRENT EDITION).
 2. THE LANDSCAPE DESIGN DESIGNATED HEREIN IS CONCEPTUAL BUT REFLECTS THE MINIMUM ACCEPTABLE QUALITY AND SIZE.
 3. PLANT MATERIAL SELECTIONS ARE CONCEPTUAL ONLY. FINAL PLANTING SELECTIONS MAY VARY DEPENDING UPON AVAILABILITY.
 4. ALL PLANTING BEDS SHALL HAVE APPROVED MULCH.
 5. ALL LANDSCAPE AREAS TO BE IRRIGATED WITH AN EFFICIENT AUTOMATIC IRRIGATION SYSTEM.
 6. THIS DRAWING DEPICTS FORM AND CHARACTER AND IS TO BE USED FOR DEVELOPMENT PERMIT SUBMISSION ONLY. IT IS NOT INTENDED FOR USE AS A CONSTRUCTION DOCUMENT.

PLANT LIST				
QTY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT
Trees Deciduous				
2	<i>Cercidiphyllum japonicum</i>	Katsura tree	6cm Cal	B&B
14	<i>Quercus bicolor 'Bonnie and Mike'</i>	Beacon Oak	6cm Cal	B&B
Shrubs				
40	<i>Cornus alba 'Bailhala'</i>	Ivory Halo Dogwood	#02	Potted
30	<i>Euonymus alatus 'Compactus'</i>	Dwarf-winged Burning Bush	#02	Potted
Grasses				
25	<i>Calamagrostis x acutiflora 'Overdam'</i>	Karl Foerster Reed Grass	#01	Potted
25	<i>Deschampsia cespitosa 'Goldtau'</i>	Tufted Hair Grass	#01	Potted
20	<i>Miscanthus sinensis 'Gracilisimus'</i>	Maiden Grass	#01	Potted
Perennials				
20	<i>Echinacea purpurea 'Magna'</i>	Purple coneflower	#01	Potted
20	<i>Eupatorium maculatum 'Gateway'</i>	Joe Pie Weed	#01	Potted
15	<i>Nepeta x faassenii 'Walker's Low'</i>	Walker's Low Catmint	#01	Potted
15	<i>Perovskia atriplicifolia</i>	Russian Sage	#01	Potted
20	<i>Rudbeckia fulgida 'Goldsturm'</i>	Goldsturm Coneflower	#01	Potted



COLUMBUS CENTRE, KELOWNA, BC

January 9, 2019

ESTIMATE OF PROBABLE COSTS - Reference: LDP 1


Description of work		Unit	Estimated Amount	Estimated Value	Total Value
1.0	Landscape On-Site				
1.1	Deciduous Trees (60mm Cal.)	ea.	16	\$650.00	\$10,400.00
1.2	Planting (Shrubs-Grasses-Perennials)	ea.	230	\$15.00	\$3,450.00
1.3	Lawn Planting	m ²	170	\$8.00	\$1,360.00
1.4	Imported growing medium for planting area (300mm depth)	m ³	88	\$65.00	\$5,720.00
1.5	Imported growing medium for lawn area (100mm depth)	m ³	17	\$65.00	\$1,105.00
1.6	Imported growing medium for trees (1cu.m. per tree)	m ³	16	\$65.00	\$1,040.00
1.7	Mulch Dressing (50mm depth)	m ²	293	\$8.00	\$2,344.00
1.8	High efficiency irrigation system for planting and lawn area	m ²	463	\$18.00	\$8,334.00
				SUBTOTAL	\$33,753.00
				10% Contingency	\$3,375.30
				ESTIMATED TOTAL LANDSCAPE BUDGET	\$37,128.30

This is an estimate and not a guaranteed amount, and is to be used for bonding purposes only.
Costing is based on 2018 contractor pricing and is subject to change.

1.0	Hardscaping On-Site				
1.1	Red Bricks Paving	m ²	56	\$160.00	\$8,960.00
1.2	Concrete Paving	m ²	164	\$140.00	\$22,960.00
1.3	Roof Top Paving	m ²	170	\$180.00	\$30,600.00
1.4	Bike Rack	ea.	1	\$800.00	\$800.00
1.5	Roof Top Garden Planters	ls.	1	\$5,000.00	\$5,000.00
1.6	Pergola	ls.	1	\$6,000.00	\$6,000.00
				SUBTOTAL	\$74,320.00

SCHEDULE
C

This forms part of application
DP19-0038

Planner Initials


City of
Kelowna
COMMUNITY PLANNING



January 9, 2019

Ecora File No.: LK-18-635-CDI

City of Kelowna
1435 Water Street
Kelowna, BC V1Y 1J4

Attention: Development Services

Dear Sir / Madam

Reference: Columbus Centre – Development Permit

As per our client's request, Ecora Engineering and Resource Group Ltd., estimates a landscape development cost of **\$ 33,753.00**, excluding applicable taxes for the above noted property. This price includes landscape materials and installation (trees, planting, topsoil, mulch, lawn, and irrigation).

Should you require any explanation of this letter, please contact the undersigned.

Sincerely

Ecora Engineering and Resource Group Ltd.

Byron Douglas, MBCSLA CSLA
Manager
Planning | Landscape Architecture | Urban Design
Direct Line: 250.469.9757 Ext. 1089
byron.douglas@ecora.ca

cc: Blake Culos (Culos Development Inc.)

SCHEDULE		C
This forms part of application		
# DP19-0038		
Planner Initials	<div>AC</div>	 City of Kelowna COMMUNITY PLANNING

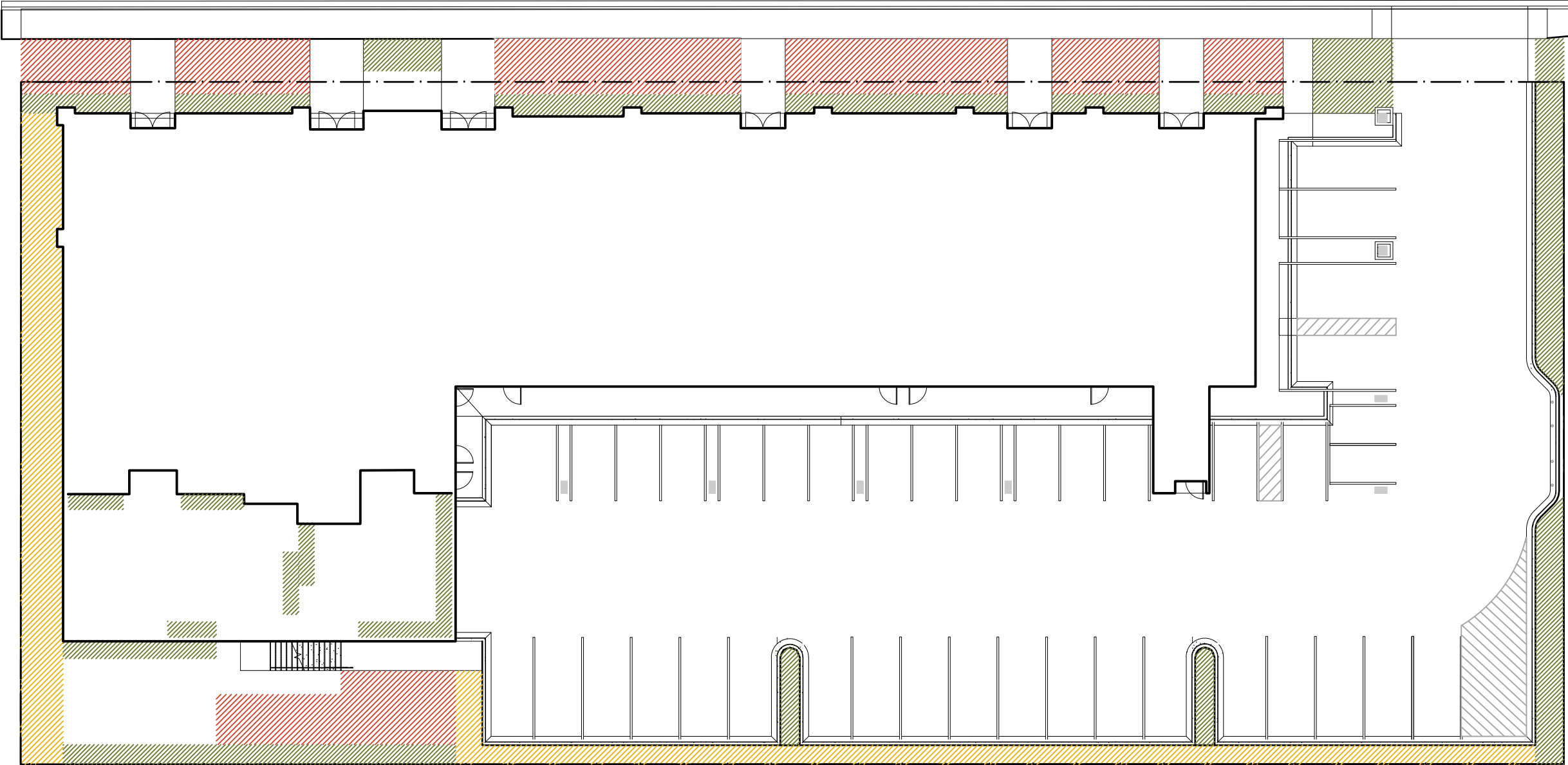


HYDROZONE LEGEND:

LOW WATER REQUIREMENTS
GRASSES / PERENNIALS

MEDIUM WATER REQUIREMENTS
SHRUBS

HIGH WATER REQUIREMENTS
SOD AREA



SCHEDULE

C

This forms part of application

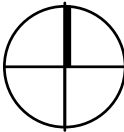
DP19-0038

Planner Initials

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City of Kelowna

COMMUNITY PLANNING



SEAL

NO.	DATE (MM/DD/YY)	REVISION
1	01/09/19	RE-ISSUED FOR DEVELOPMENT PERMIT
0	12/10/18	ISSUED FOR DEVELOPMENT PERMIT

DESIGN: BD

DRAWN: EL

CHK'D: BD

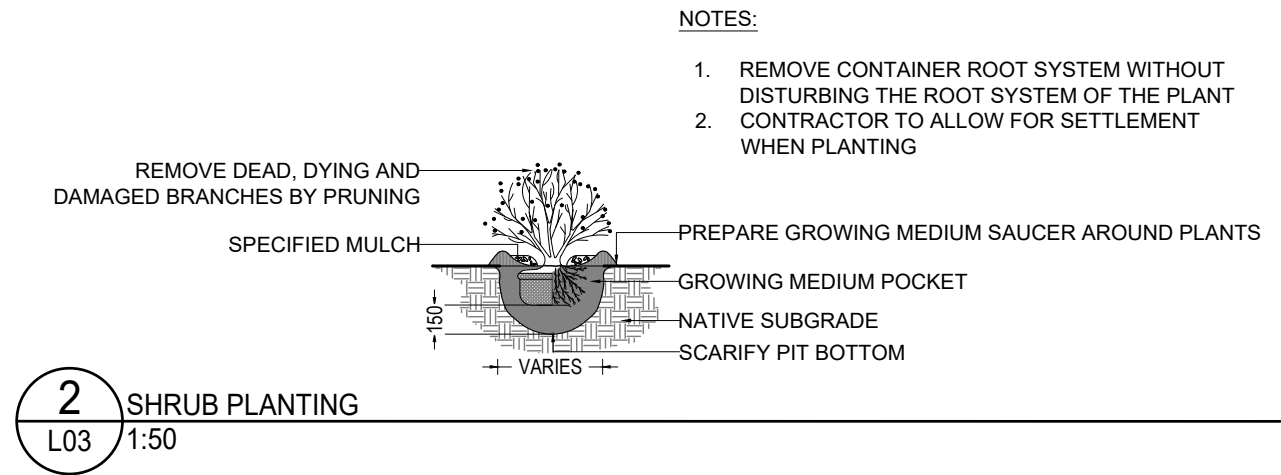
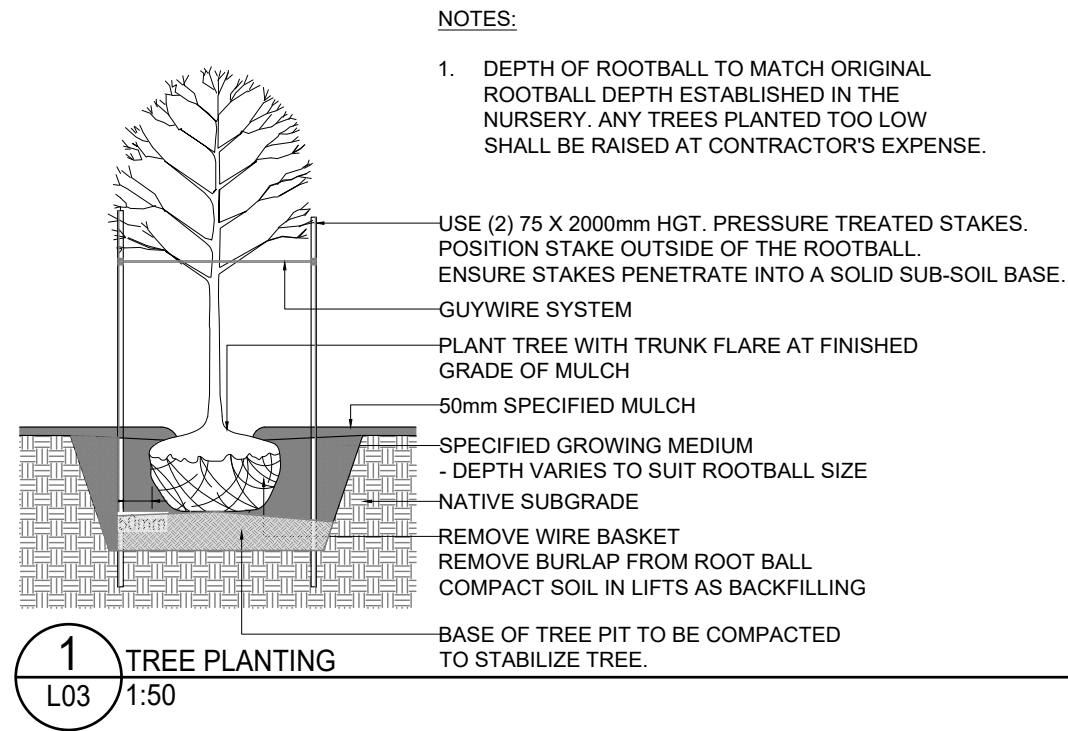
DATE: 12/10/18

SCALE: 1:250

HYDROZONE PLAN

LDP-2

Project No. LK-18-635



SCHEDULE

C

This forms part of application

DP19-0038

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City of Kelowna

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