

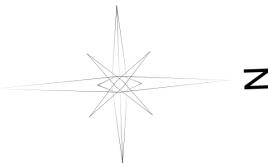
# LOT # 5

928.8m<sup>2</sup>

\*NOTE\*  
CURRENT ZONING IS RU1, RU1C  
ZONING REQUIRED FOR  
CARRIAGE HOUSE

## PLOT PLAN

SCALE: 1/8" = 1'



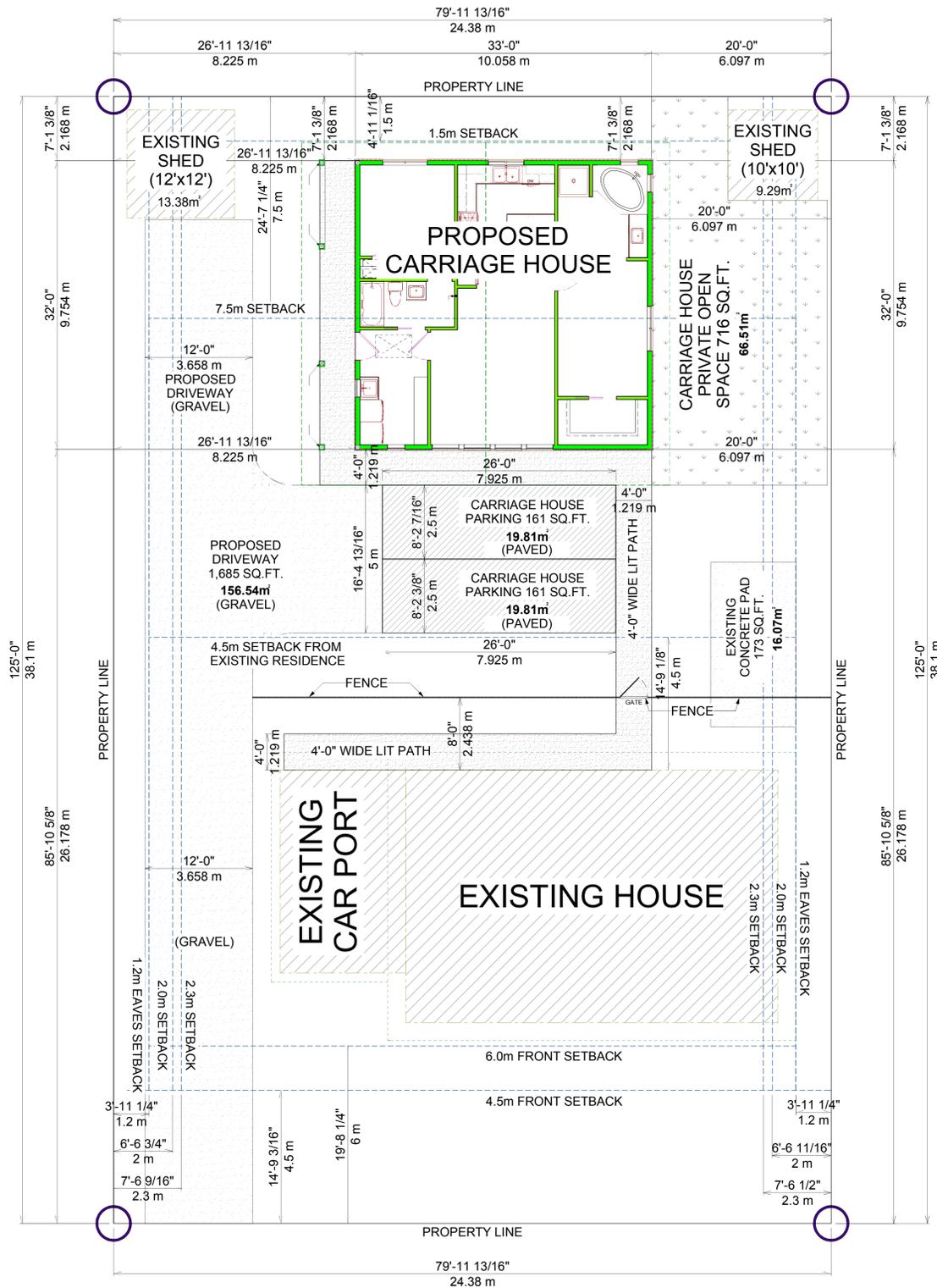
\*NOTE\*  
SITE PLAN SUBJECT  
TO CHANGE, SURVEY  
REQUIRED

### LOT COVERAGE

EXISTING HOUSE	=	1,162 SQ.FT.
EXISTING CARPORT	=	315 SQ.FT.
CARRIAGE HOUSE	=	1,056 SQ.FT.
COVERED PATIO (CARRIAGE HOUSE)	=	128 SQ.FT.
<b>TOTAL FOOTPRINT</b>	<b>=</b>	<b>2,661 SQ.FT.</b>
<b>TOTAL LOT SQ.FT.</b>	<b>=</b>	<b>9,998.36 SQ.FT.</b>
<b>TOTAL COVERAGE</b>	<b>=</b>	<b>26.61%</b>

### LOT COVERAGE

EXISTING HOUSE	=	1,162 SQ.FT.
EXISTING CARPORT	=	315 SQ.FT.
CARRIAGE HOUSE	=	1,056 SQ.FT.
COVERED PATIO (CARRIAGE HOUSE)	=	128 SQ.FT.
DRIVEWAY	=	1,685 SQ.FT.
PARKING	=	427 SQ.FT.
<b>TOTAL FOOTPRINT</b>	<b>=</b>	<b>4,773 SQ.FT.</b>
<b>TOTAL LOT SQ.FT.</b>	<b>=</b>	<b>9,998.36 SQ.FT.</b>
<b>TOTAL COVERAGE</b>	<b>=</b>	<b>47.73%</b>



RUTLAND ROAD SOUTH

**SCHEDULE A**

This forms part of application  
# Z18-0115

Planner Initials **AJ**

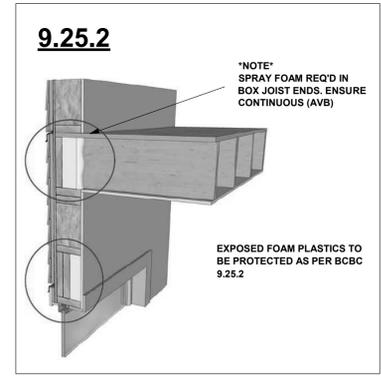
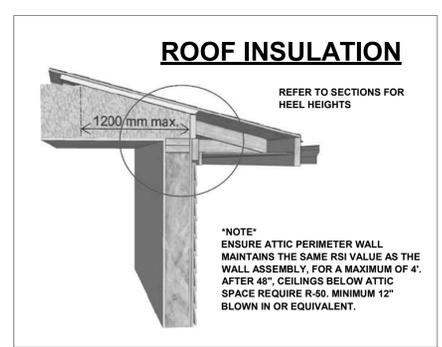
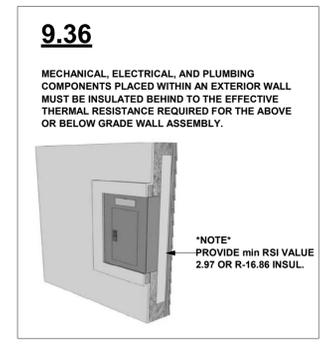
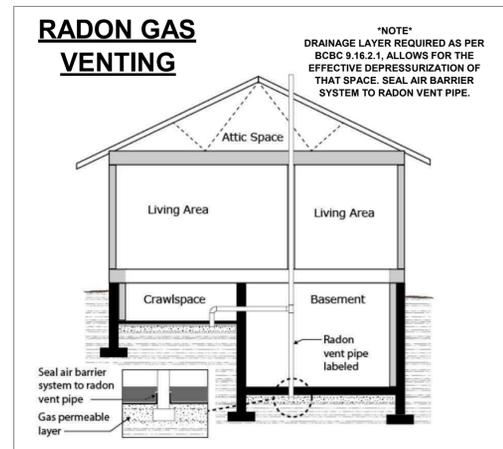
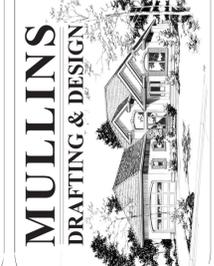
SHEET NUMBER  
**2/3**

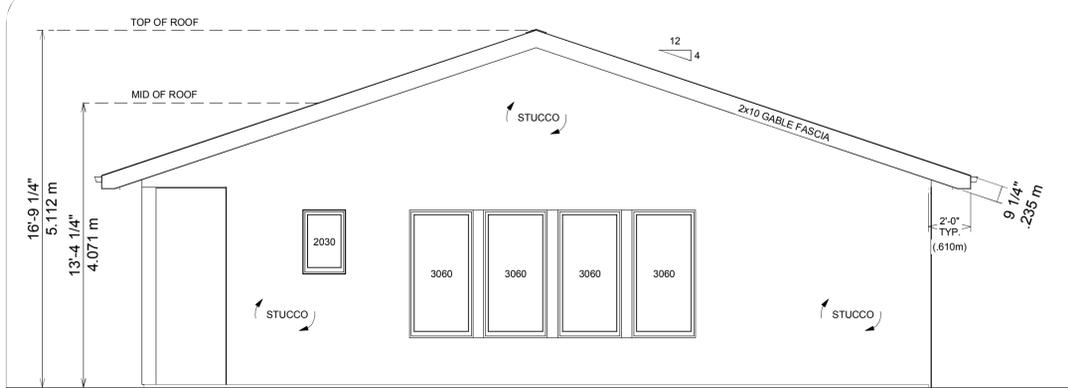
SCALE: 1/4" = 1'

DATE : MAR-18-2019

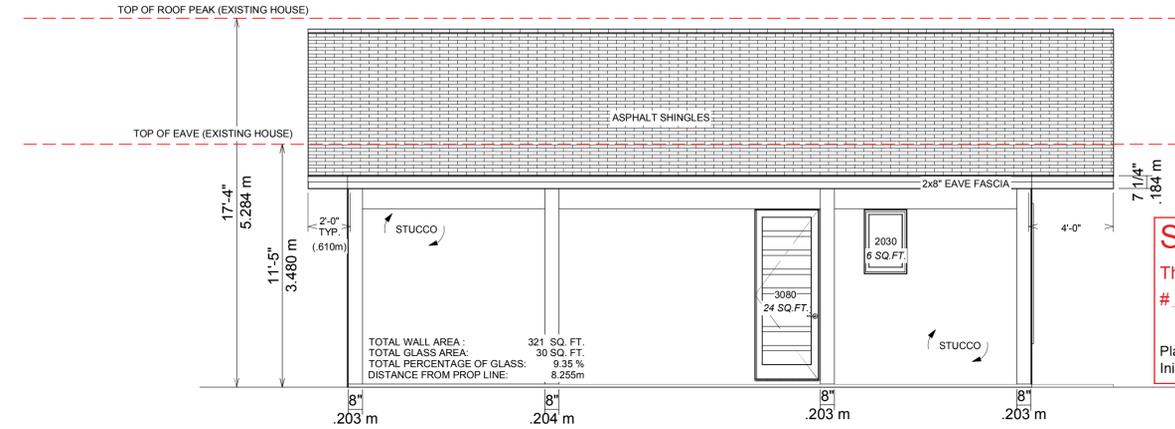
PROPOSED PROJECT FOR  
**330 RUTLAND ROAD**  
**KEITH ROBERTSON**

**UNIT 203 - 1889 SPALL RD.**  
**Kelowna BC V1Y 4R2**  
Bus: (250) 717-3415  
Cell: (250) 258-7819  
e-mail: mullinsdrafting@shaw.ca

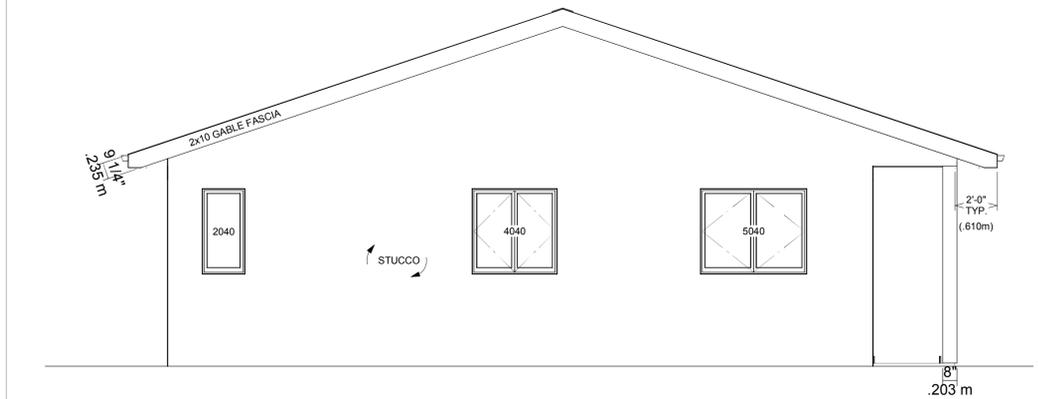




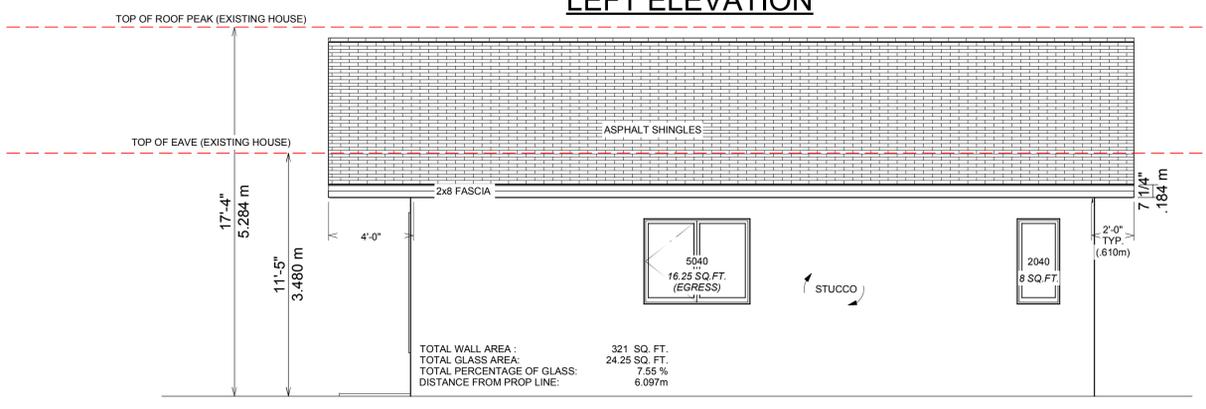
**FRONT ELEVATION**



**LEFT ELEVATION**



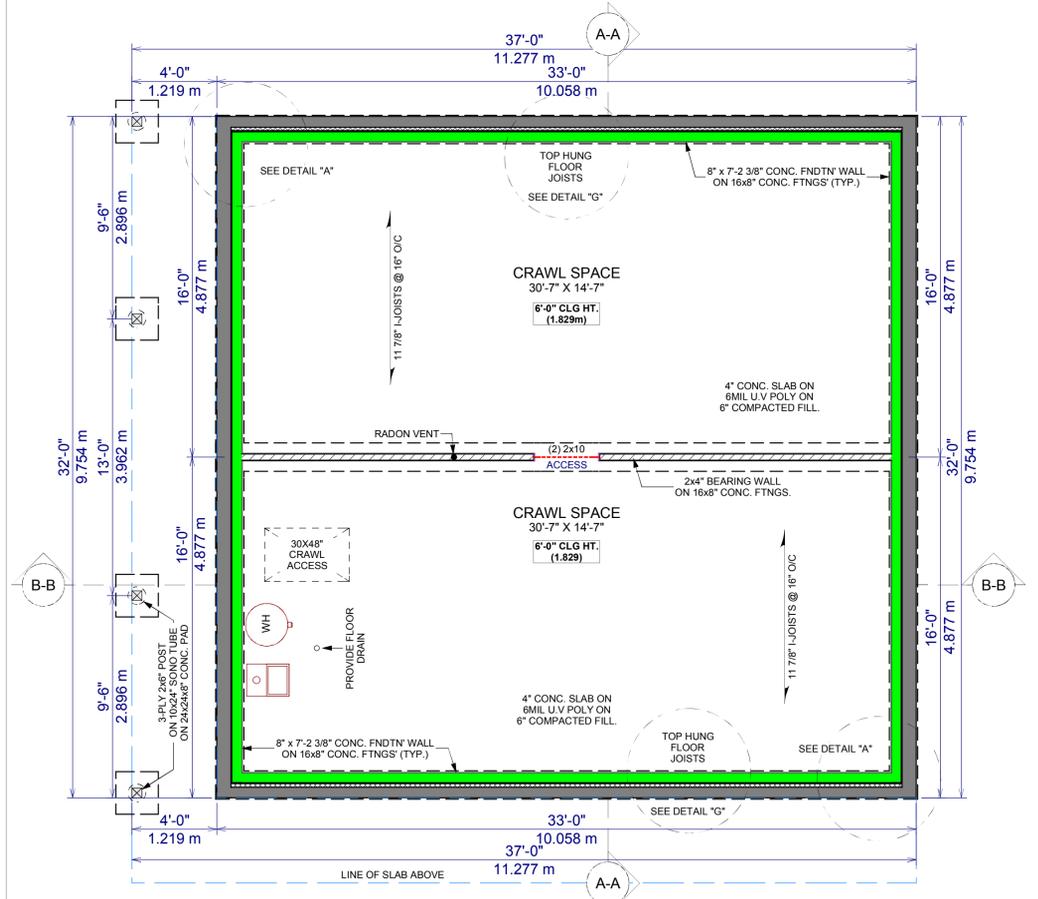
**REAR ELEVATION**



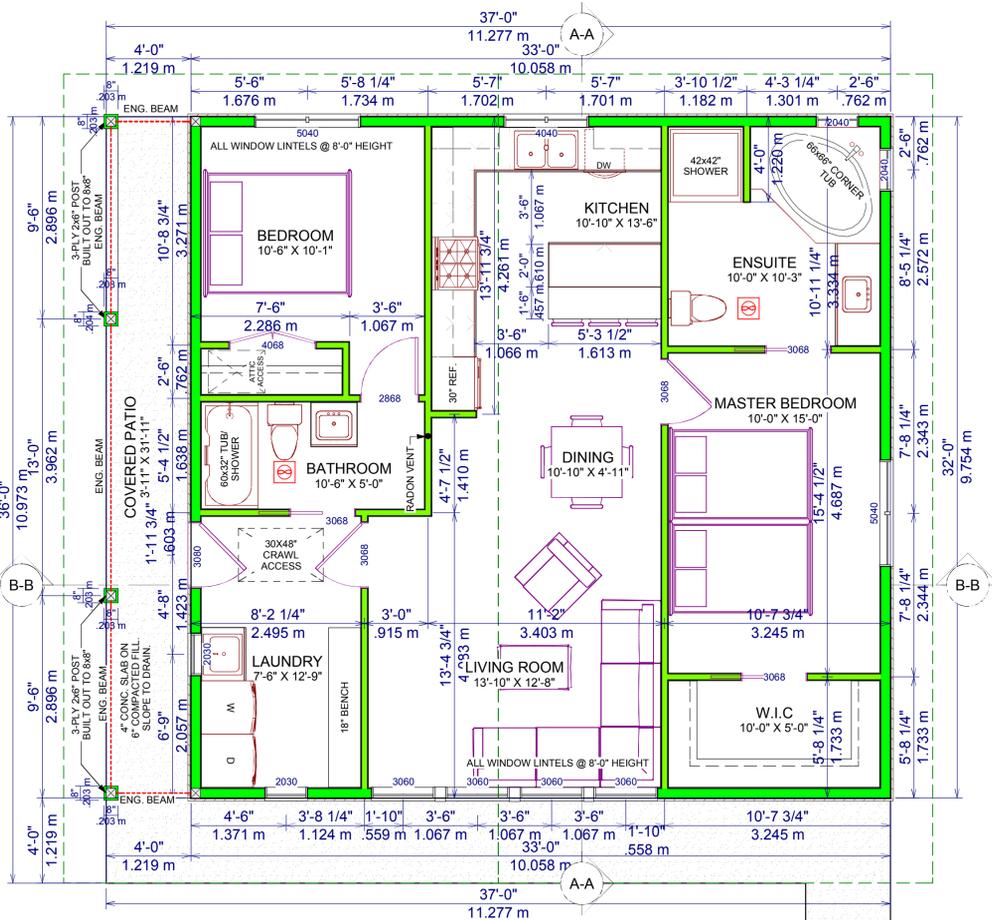
**RIGHT ELEVATION**

**SCHEDULE B**  
 This forms part of application # Z18-0115  
 Planner Initials AJ  
 City of Kelowna COMMUNITY PLANNING

SHEET NUMBER **1/3**  
 SCALE: 1/4" = 1'  
 DATE: MAR-18-2019



**CRAWL SPACE**  
 AREA: 1,056 SQ. FT.



**MAIN FLOOR**  
 AREA: 1,056 SQ. FT.

**SPECIFICATIONS**

<b>ROOF</b> ASPHALT SHINGLES (35 YR) 7/16" ROOF SHEATHING ENGINEERED ROOF TRUSSES R-50 INSULATION 6 MIL UV POLY 5/8" DRYWALL	<b>INT. WALL</b> 2x4 STUDS 16" o/c 1/2" DRYWALL BOTH SIDES
<b>SOFFIT &amp; FASCIA</b> 5" FASCIA GUTTER 2x4 SUB FASCIA 2x3 FASCIA BOARD 2x10 GABLE FASCIA BOARD VENTED SOFFIT	<b>FLOOR SYSTEM</b> 3/4" T&G SHEETING ENGINEERED I JOIST
<b>EXT. WALL</b> ACRYLIC STUCCO 7/16" WALL SHEATHING R-22 BATT INSULATION 6 MIL UV POLY 1/2" DRYWALL	<b>FOUNDATION</b> 8" CONC. FOUNDATION 10MM REBAR R12 STYROFOAM INSULATION 8"x16" CONC. FOOTING
	<b>CONC. SLAB</b> 4" CONC. SLAB 6 MIL UV POLY 6" DRAINAGE ROCK
	<b>DRAINAGE TILE</b> 4" DRAIN TILE MINIMUM 6" DRAIN ROCK DRY SHEETING PAPER

**GENERAL NOTES**

- ALL WORK SHALL BE IN ACCORDANCE WITH THE CURRENT EDITION OF THE B.C. BUILDING CODE AND ALL LOCAL LAWS AND BYLAWS.
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- IT IS THE RESPONSIBILITY OF THE CONTRACTOR FOR THE CORRECT SITING OF THE BUILDING TO CONFORM WITH NECESSARY SETBACKS.
- ALTHOUGH EVERY EFFORT HAS BEEN MADE TO PROVIDE COMPLETE AND ACCURATE DRAWINGS WE CANNOT ELIMINATE THE POSSIBILITY OF HUMAN ERROR, THEREFORE MULLINS DRAFTING & DESIGN WILL NOT BE LIABLE FOR ANY ERRORS OR OMISSIONS.

**\*\*NOTE\*\***  
 WINDOW SPEC'S TO BE CONFIRMED BY OWNER/ CONTRACTOR PRIOR TO ORDERING TO ENSURE PROPER VENTING AND EGRESS.

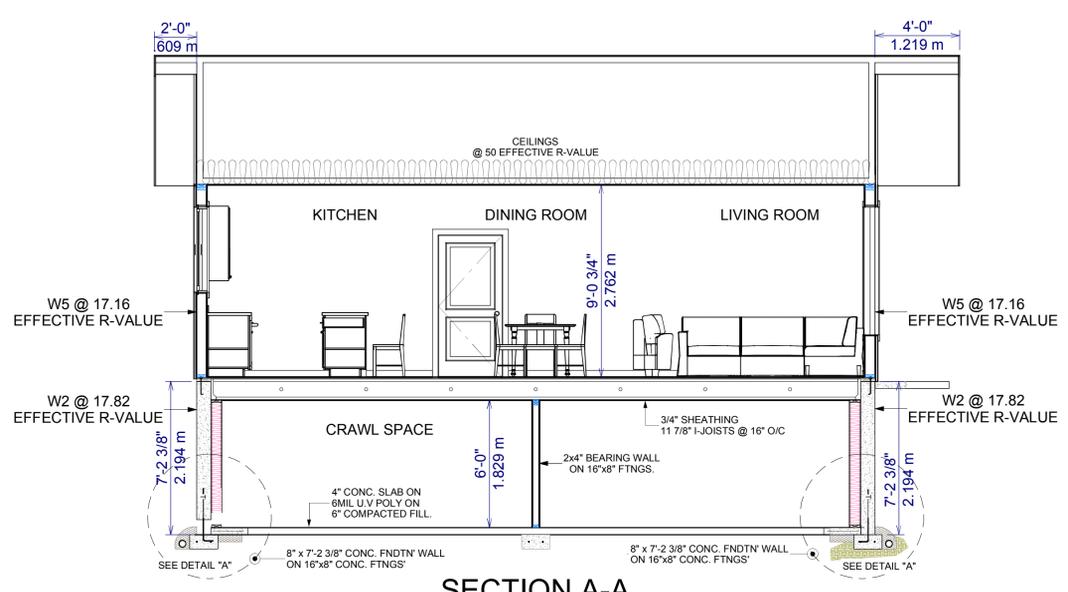
**\*\*NOTE\*\***  
 PROVIDE PROPER SLOPE TO ALLOW DRAINAGE AWAY FROM RESIDENCE.

**\*\*NOTE\*\***  
 CONTRACTOR TO CONFIRM DIM PRIOR TO CONST.

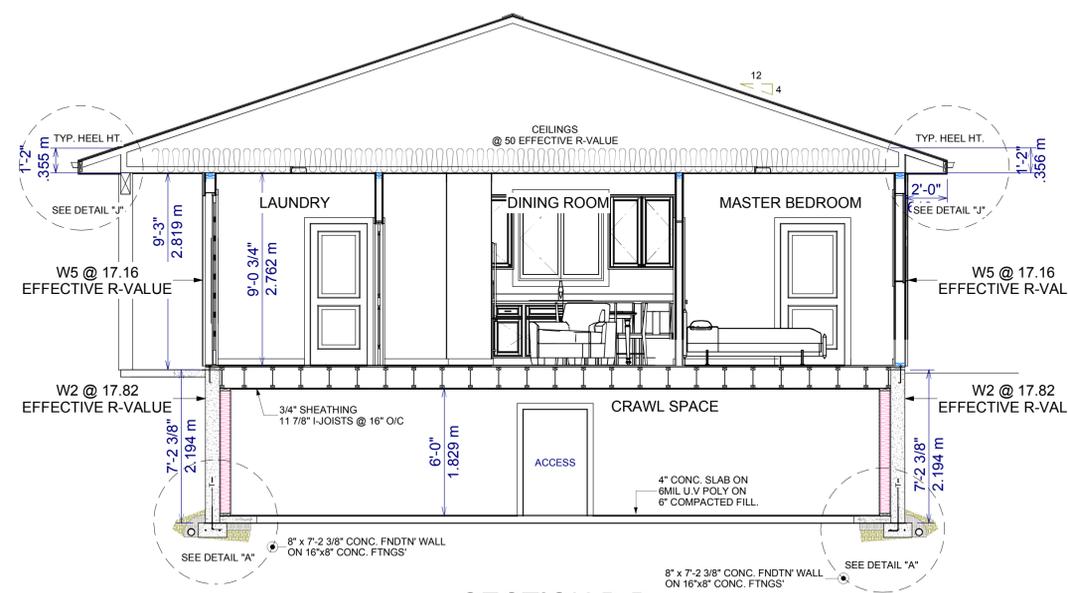
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SECTION A-A



SECTION B-B

**SPECIFICATIONS**

- ROOF**  
ASPHALT SHINGLES (35 YR)  
7/16" ROOF SHEATHING  
ENGINEERED ROOF TRUSSES  
R-50 INSULATION  
6 MIL UV POLY  
5/8" DRYWALL
- SOFFIT & FASCIA**  
5" FASCIA GUTTER  
2x4 SUB FASCIA  
2x8 FASCIA BOARD  
2x10 GABLE FASCIA BOARD  
VENTED SOFFIT
- EXT. WALL**  
ACRYLIC STUCCO  
7/16" WALL SHEATHING  
2x6 STUDS 24" o/c  
R-22 BATT INSULATION  
6 MIL UV POLY  
1/2" DRYWALL
- INT. WALL**  
2x4 STUDS 16" o/c  
1/2" DRYWALL BOTH SIDES
- FLOOR SYSTEM**  
3/4" T&G SHEETING  
ENGINEERED I JOIST
- FOUNDATION**  
8" CONC. FOUNDATION  
10MM REBAR  
R12 STYROFOAM INSULATION  
8"x16" CONC. FOOTING
- CONC. SLAB**  
4" CONC. SLAB  
6 MIL UV POLY  
6" DRAINAGE ROCK
- DRAINAGE TILE**  
4" DRAIN TILE  
MINIMUM 6" DRAIN ROCK  
DRY SHEETING PAPER

**CODES AND STANDARDS**

All workmanship is to be of a standard equal in all respects to good building practice.  
At the time of preparation, this plan was drawn in accordance with the current edition of the B.C. Building Code. It is the responsibility of the owner/builder to insure that changes made to the code are complied with and all amendments are incorporated in the construction of this plan. All work shall conform to local building codes and bylaws which may take precedence.  
Prior to proceeding with construction, the owner/builder must verify all information, dimensions and specifications of this plan. Written dimensions always take precedence over scale measurements.  
Any variance from structural drawings and specifications or from conditions encountered at the job site, shall be resolved by the owner/builder and such solutions shall be their sole responsibility.

**ABOVE GRADE MASONRY**

All above grade masonry is to conform to the BC Building Code.  
If brick veneer is to be installed, counter flashing shall be installed up to 8" (200 mm) behind the building felt and below the bottom course with vertical joints raked clear. Weep holes 24" (600 mm) o.c.

**CARPENTRY**

Framing lumber shall be number two (2) or better Spruce unless otherwise specified on the plan. All beam and lintel sizes shown on the drawings to be reviewed & confirmed by truss manufacturer and contractor. Any beam or lintel sizes provided by truss manufacturer take precedence.  
Joists are to be doubled under parallel partitions.  
Joists shall be placed to accommodate plumbing, in the event of a discrepancy please contact floor supplier before any alterations or cuts are made.  
Wood in contact with concrete shall be damp proofed with 45 lb. felt or a sill plate gasket and pressure treated with a waterborne preservative or other approved method on exterior walls.  
Interior framing to be 4" (100 mm) clear of back and sides of firebox and 2" (50 mm) clear of brick chimneys. Frame exterior walls 1" (25 mm) clear from exterior fireplaces.  
Plates are to be anchored to concrete with 1/2" anchor bolts, maximum 6 ft. o.c. or other approved method.  
Flush framed wood members shall be anchored with 200 lb. joist hangers unless otherwise specified.

**CONCRETE & FOOTINGS**

All concrete to have a minimum compressive strength of 2,900 PSI (20 MPa) at 28 days.  
Concrete footings must be placed on undisturbed or compacted soil to an elevation below frost penetration. Footings shown on these drawings have been designed for soil bearing capacity of 2,500 PSF. If a lesser bearing capacity is encountered, it is the responsibility of the owner/builder to have the footings redesigned by qualified persons to suit existing conditions.  
All foundation walls 24" (600 mm) and higher should have one horizontal 10 mm reinforcing bar 3" (75 mm) from the top. Corner reinforcing to be lapped minimum 24" (600 mm).  
All footings are to have two 1/2" reinforcing bars. The reinforcing bars are to be situated such that one bar is 3" (75 mm) clear of the side and bottom of the footing on both sides of the footing.  
Grades shown on elevations are estimated. Adjust on site as required. Retaining walls other than the foundation walls of the residence are beyond the scope of these drawings unless otherwise noted.

**INSULATION / VENTILATION**

Minimum insulation requirements:  
Roof/Ceiling - R 50  
Walls - 2 x 6 - R 22  
Garage Ceiling - R 32  
Ceiling insulation may be loose fill type or batt type. Wall and floor insulation must be batt type.  
Walls and ceilings between residence and attached garage shall be insulated.  
Insulation requirements may vary with heating systems and with local conditions.  
All roof spaces shall be ventilated with soffit, roof or gable vents or a combination of these, equally distributed between the top of the roof space and soffits.

**MISCELLANEOUS**

Caulk over and around all exterior openings using non-hardening caulking compound.  
Flash all changes of materials on exterior walls.  
Flash over all exterior openings.  
All siding or stucco to be a minimum of 8" (200 mm) above finished grade.  
All balcony railings to be 36" (910 mm) in height. Maximum spacing between vertical members is 4" (100 mm). Minimum distance between horizontal rails to be 32" (800 mm). Top rail to sustain outward load of 40 lbs. per lineal foot.  
Coat and clothes closets shall have at least one rod and shelf with minimum depth of 24" unless otherwise stated. Linen closet shall have 5 adjustable shelves wherever possible. Broom closets shall have one shelf.

**9.36.2.6**

**THERMAL CHARACTERISTICS OF ABOVE GROUND OPAQUE ASSEMBLIES**

**EFFECTIVE RSI-VALUES (WITH HRV)**

ASSEMBLY	CLIMATE ZONE (HEATING DEGREE DAYS DEGREES CELSIUS)				
	(4)	(5)	(6)	(7)A	(7)B
CEILINGS	6.91 (39.23)	6.91 (39.23)	8.67 (49.2)	8.67 (49.2)	10.43 (59.2)
CATHEDRAL CEILINGS	4.67 (26.5)	4.67 (26.5)	4.67 (26.5)	5.02 (28.5)	5.02 (28.5)
WALLS (2x6 @ 16")	2.78 (15.75)	2.97 (16.86)	2.97 (16.86)	2.97 (16.86)	3.08 (17.48)
FLOORS OVER UNHEATED SPACE	4.67 (26.5)	4.67 (26.5)	4.67 (26.5)	5.02 (28.5)	5.02 (28.5)

\*NOTE\*  
MINIMUM REQUIREMENTS.

\*\*NOTE\*\*  
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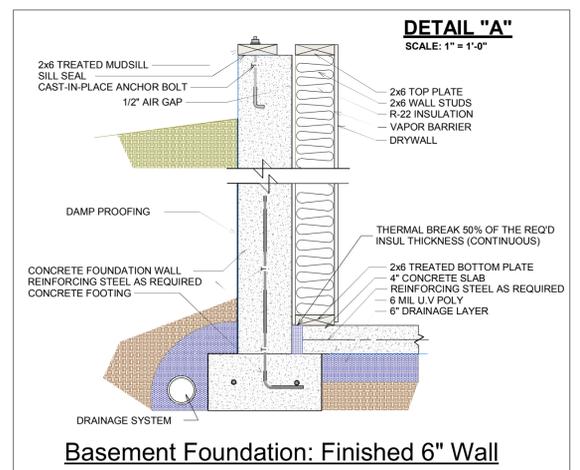
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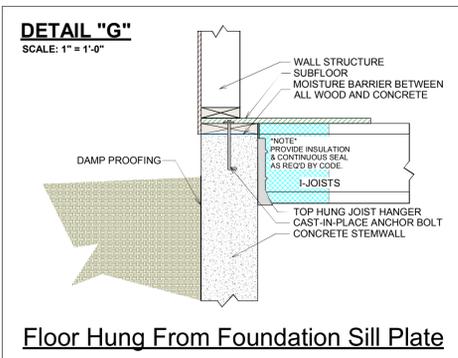
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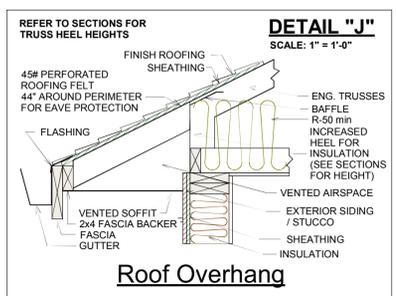
**SCHEDULE B**  
This forms part of application  
# Z18-0115  
Planner Initials AJ  
City of Kelowna  
COMMUNITY PLANNING



Basement Foundation: Finished 6" Wall



Floor Hung From Foundation Sill Plate



Roof Overhang

WALL ASSEMBLY	W2	WALL ASSEMBLY	W5
<b>BELOW GRADE</b>		<b>STUCCO CLADDING</b>	
<p>COMPONENTS</p> <ol style="list-style-type: none"> <li>DAMP PROOFING</li> <li>8" REINFORCED CONCRETE WALL</li> <li>1/2" AIR GAP</li> <li>2x6 FRAMING FILLED WITH R22 BATT @ 24" O/C</li> <li>POLYETHYLENE</li> <li>1/2" (12.7mm) GYPSUM BOARD</li> <li>FINISH: 1 COAT LATEX PRIMER AND LATEX PAINT</li> <li>INTERIOR AIR FILM</li> </ol>		<p>COMPONENTS</p> <ol style="list-style-type: none"> <li>EXTERIOR AIR FILM</li> <li>STUCCO CLADDING (15mm)</li> <li>ASPHALT IMPREGNATED PAPER</li> <li>7/16" (11.1 mm) OSB SHEATHING</li> <li>2x6 FRAMING FILLED WITH R22 BATT @ 24" O/C</li> <li>POLYETHYLENE</li> <li>1/2" (12.7mm) GYPSUM BOARD</li> <li>FINISH: 1 COAT LATEX PRIMER AND LATEX PAINT</li> <li>INTERIOR AIR FILM</li> </ol>	
<p>RSI R</p> <p>0.03 0.17</p> <p>0.08 0.45</p> <p>0.16 0.91</p> <p>2.67 15.16</p> <p>0.00 0.00</p> <p>0.08 0.45</p> <p>0.00 0.00</p> <p>0.12 0.68</p>		<p>RSI R</p> <p>0.03 0.17</p> <p>0.135 0.08</p> <p>0.00 0.00</p> <p>0.11 0.62</p> <p>2.67 15.16</p> <p>0.00 0.00</p> <p>0.08 0.45</p> <p>0.00 0.00</p> <p>0.12 0.68</p>	
<p>ENERGY EFFICIENCY REQUIREMENTS AS PER BCBC 9.36</p> <p>TO MEET THE MINIMUM (EFFECTIVE) RSI VALUE FOR THE WALL ASSEMBLY OF 2.98 OR R-VALUE OF 16.86 AN HRV MUST BE INCORPORATED INTO THIS DESIGN.</p>		<p>ENERGY EFFICIENCY REQUIREMENTS AS PER BCBC 9.36</p> <p>TO MEET THE MINIMUM (EFFECTIVE) RSI VALUE FOR THE WALL ASSEMBLY OF 2.97 OR R-VALUE OF 16.86 AN HRV MUST BE INCORPORATED INTO THIS DESIGN.</p>	
<p>EFFECTIVE RSI / R VALUE OF ENTIRE ASSEMBLY</p> <p>3.14 17.82</p>		<p>EFFECTIVE RSI / R VALUE OF ENTIRE ASSEMBLY</p> <p>3.0235 17.16</p>	