
CITY OF KELOWNA
MEMORANDUM

Date: February 19, 2019
File No.: DVP19-0039
To: Land Use Management (AJ)
From: Development Engineering Manager (LK)
Subject: 4675 Parkridge Drive Setback Variance

Development Engineering has the following comments and requirements associated with this application.

The application for a development variance permit to vary the minimum front yard setback 6.00m required to 5.83m proposed does not compromise any City of Kelowna municipal infrastructure.



James Kay, P. Eng.
Development Engineering Manager
JF

ATTACHMENT A

This forms part of application

DVP19-0039

Planner
Initials

AJ

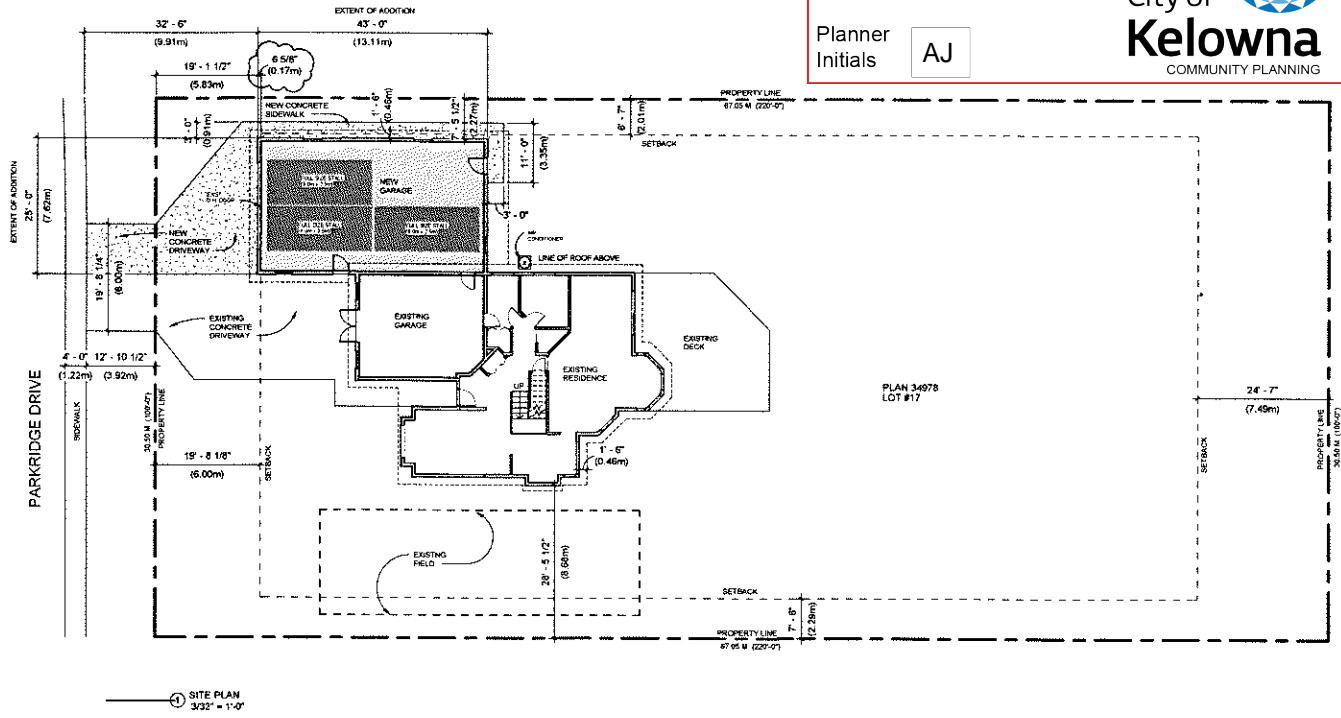
City of
Kelowna
COMMUNITY PLANNING



SCHEDULE A

This forms part of application
DVP19-0039

Planner Initials **AJ**



CODE AND STANDARDS

ALL WORKMANSHIP IS TO BE OF A STANDARD EQUAL IN ALL RESPECTS TO GOOD BUILDING PRACTICE.
VERIFY ALL INFORMATION, DIMENSIONS AND SPECIFICATION OF THIS PLAN PRIOR TO THE START OF CONSTRUCTION.
ALL TRADES SHALL ASSUME FULL RESPONSIBILITY FOR THE LOCATIONS AND PROTECTION OF ALL UNDER AND ABOVE GROUND UTILITIES INCLUDING WATER, SEWER, GAS, EXISTING HOUSE CONNECTIONS, HYDRO AND TELEPHONE POLES, WIRES AND CABLES.
ALL TRADES ARE TO EXECUTE THE WORK IN ACCORDANCE WITH THE CURRENT BC BUILDING PLAN AND BC BUILDING CODE, 2011 AS AMENDED, INCLUDING ALL PRELIMINARY NOTICES AND LOCAL CODES AND BY-LAWS AND REQUIREMENTS OF OTHER AUTHORITIES HAVING JURISDICTION.
SHOULD CONFLICT ARISE BETWEEN ONE DOCUMENT OR AUTHORITY AND ANOTHER, GENERALLY, THE MOST STRINGENT REGULATION WILL GOVERN.
COMPLY WITH ALL LAWS, ORDINANCES, RULES AND REGULATIONS RELATING TO THE WORK AND THE PRESERVATION OF PUBLIC HEALTH AND SAFETY.

PROJECT DESCRIPTION		
MUNICIPAL ADDRESS	4675 Partridge Drive, KELOWNA, B.C.	
LEGAL ADDRESS	LOT #17, PLAN 34978	
ZONING	RHS	
SITE COVERAGE		
SITE AREA	2,043.73 SQ M (2,000.06 SQ FT)	
BUILDING FOOTPRINT	258.30 SQ M (2,729.88 SQ FT)	
SITE COVERAGE	12.64% (1,741.88 SQ FT)	
SITE COVERAGE ON DRIVEWAYS	48.22% (1,453.19 SQ FT)	
	= 15.3%	
AREAS		
EXISTING MAIN FLOOR	116.66 SQ M (1,257.29 SQ FT)	
EXISTING UPPER FLOOR	89.5 SQ M (957.22 SQ FT)	
EXISTING GARAGE	41.2 SQ M (440.00 SQ FT)	
NEW GARAGE	58.5 SQ M (628.20 SQ FT)	
TOTAL BUILDING AREA	356.82 SQ M (3,859.11 SQ FT)	
BUILDING SETBACKS		
	EXISTING	PROPOSED
FRONT YARD	6.0 M (19'-8")	5.8 M (19'-10")
NORTH SIDE YARD	2.0 M (6'-7")	2.25 M (7'-4")
SOUTH SIDE YARD	2.0 M (6'-7")	2.25 M (7'-4")
REAR YARD	6.0 M (19'-8")	

DRAWING LIST	
A000	SITE PLAN & NOTES
A100	FOUNDATION PLAN
A101	MAIN FLOOR PLAN
A102	UPPER FLOOR PLAN
A103	ROOF PLAN
A201	ELEVATIONS
A202	ELEVATIONS
A203	3D VIEWS
A301	BUILDING SECTIONS

GENERAL NOTES - ARCHITECTURAL

- DRAWINGS AND CONSTRUCTION SHALL COMPLY WITH THE 2012 BC BUILDING CODE.
- ROOF SPACE VENTILATION - PROVIDE UNIFORM VENTILATION TO SOOT OF INSULATED CEILING AREA ON TWO-WAY VENTING - SEE ARCHITECTURAL DETAIL.
- ROOF SPACE EXHAUSTION SHALL BE 1" MIN. CLEAR BELOW THE ROOF SHEATHING.
- ROOF SPACE VENTS - PROVIDE UNIFORM DISTRIBUTION OF VENTS WITH 20% MIN IN THE SIDES AND 20% IN THE TOP 10% OF THE ROOF.
- GLASS DETAILS
 - WINDSTOP FRAMES TO BE THERMALLY BROKEN
 - GLASS IN AND AROUND WITHIN 30" OF A DOOR TO BE SAFETY GLASS
 - GLASS IN WINDOWS LESS THAN 6" FROM THE FLOOR TO BE SAFETY GLASS
 - WINDSTOP IN THE ENTRANCE, SHOWER AND SLIDING DOORS TO BE SAFETY GLASS
 - GLASS TO CONFORM WITH # 2.2.2 OF THE BC BUILDING CODE
 - WINDSTOP IN WINDOWS TO BE 6" MIN. ABOVE FLOOR AND TO HAVE A MIN. OPENING DIM. OF 10" WITH AN AREA OF 1.5 SQ FT
 - ALL DETAILS PROVIDE SAFETY GLASS IN THERMALLY BROKEN ALUMINUM FRAME
- WALL ASSEMBLY - WATERPROOF WALLS/SHOWER AS REQUIRED AS THE BASE AROUND ALL TUBS AND SHOWERS
- CEILING - MIN. 3/4" GIB GARD THICKNESS SHAKING THE SPRACING OF STRUCTURAL MEMBERS IS GREATER THAN 10"00
- VENTILATION
 - MINIMUM VENTILATION TO ALL ROOMS
 - AIR SHALL BE MECHANICALLY EXHAUSTED FROM KITCHEN, LAUNDRY AND BATHROOMS THAT HAVE NO WEIR FLOORS
 - ALL DOORS SHALL BE UNDERCUT 1/2" FOR AIR FLOW

- SMOKE ALARM - ONE HARDWIRED SMOKE ALARM REQUIRED FOR FLOOR LEVEL WITHIN 6 METERS OF BEDROOM DOORS AND 15 METERS OF EACH OTHER, ALL SMOKE ALARMS TO BE INTERCONNECTED
- SMOKE ALARM CONFORMING TO CAN ULCD - 5531.
- VAPOUR BARRIER - WHERE AN EXTERIOR FRAME WALL MEETS A CEILING REQUIRED TO HAVE VAPOUR PROTECTION ON AN EXTERIOR WALL THE VAPOUR BARRIER SHALL BE CONTINUOUS TO THE CEILING OR WALL INTERSECTION
- PROVIDE V9 PROTECTION ON THE INSIDE OF EXHAUSTION AT BOX JOISTS
- ALL JOISTS TO BE SEALED ON LEAKED FURN. AND OCCUR ON A FRAMING MEMBER, FURNING OR BLOORING
- HOLES MADE IN THE V9 FOR CONSTRUCTION MUST BE SEALED TO MAINTAIN THE V9 INTEGRITY
- STAIRS
 - IF STAIRS ARE RUN MUST COMPLY WITH THE 2012 BC BUILDING CODE
 - RISE: MIN 187, MAX 177
 - RUN: MIN 250, MAX 307
 - ALL TREADS TO HAVE A 1" NOSING
 - MIN. HEADROOM 2048
 - IF MEASURED VERTICALLY FROM A LINE CONNECTION THE NOSING
 - ALL HEADROOMS TO BE AT LEAST 2048 MEASURED VERTICALLY FROM A LINE CONNECTING THE NOSING
- FINISHES AND JOINTS
 - FACTORY MANUFACTURED NATURAL GAS REPLACES SHALL CONFORM TO # 2.2.8 AND BE INSTALLED IN ACCORDANCE TO THE MANUFACTURERS SPECIFICATIONS
 - ALL MAJORITY FINISHES SHALL COMPLY WITH THE 2012 BC BUILDING CODE.

RESIDENTIAL STRUCTURAL NOTES

- GENERAL NOTES**
- CONCRETE FOOTINGS MUST BE PLACED ON UNDISTURBED SOIL AT AN ELEVATION BELOW FROST PENETRATION.
 - RAPID CURE FOOTINGS ARE TO BE CENTERED UNDER COLLARS AND WELLS ABOVE UNLES OTHERWISE SHOWN
 - STEPS IN FOOTINGS ARE TO BE A MAXIMUM OF 5" HIGH AND A MINIMUM OF 4" WIDE. FOOTINGS ARE TO BE PLACED BELOW FROST LINE AS PER CODE, OR ON FIRM BEARING SOIL, WHICHEVER IS DEEPER.
 - FOUNDATION WALLS SHALL NOT BE BACK FILLED UNTIL THE CONCRETE HAS REACHED A MINIMUM 14 DAY COMPRESSIVE STRENGTH AND ALL STRUCTURAL FRAMING, INCLUDING FLOOR JOIST AND FLOOR, IS COMPLETE, EXCEPT WALLS AND ANCHORS.
- REINFORCING BARS**
- REINFORCING BARS AND LAGERS SHALL CONFORM TO CSA C22.5 (CAN) AND SHALL BE NEW GLEET STOCK HATED GAUGE MINIMUM # 1 - 25MM
- ALL REINFORCING SHALL HAVE CLEAR CONCRETE COVER AS FOLLOWS:
- CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH: MINIMUM 25MM
 - FORMED SURFACE EXPOSED TO OUTLET MIN: 25MM
 - DO NOT BE PLACED PRIOR TO POURING CONCRETE, WITH DOWNLAP OF ANY REINFORCING NOT ACCEPTABLE.
 - ALL REINFORCING BARS SHALL BE DEFORMED IN ACCORDANCE WITH THE CAN CODE AND BE CLEAN AND UNPAINTED
 - ALL REINFORCING SHALL BE SECURELY TO PREVENT DISPLACEMENT DURING POURING.
- UNLESS NOTED OTHERWISE, ON THE DRAWINGS, MIN LENGTH FOR REINFORCING STEEL SHALL BE AS FOLLOWS:
- | | |
|-----|-----|
| 10# | 14" |
| 12# | 16" |
| 14# | 18" |
| 16# | 20" |
| 18# | 22" |

- TIMBER**
- ALL TIMBER FRAMING TO BE DONE IN ACCORDANCE WITH CANADA CODE 2308
 - ALL TIMBER SHALL BE WELL SEASONED AND TO BE OF THE FOLLOWING GRADES:
 - BEAMS: SPF #2 OR BETTER
 - JOISTS: SPF #2 OR BETTER
 - FLOOR SHEATHING: SPF #2 OR BETTER
 - ROOF SHEATHING TO BE 1/2" VAPOR LINE STAGGERED AND FASTENED TO SUPPORTS WITH 2" WAVE NAILS SPACED AT 6" ON CENTER AND AT 12" ON CENTER AT INTERMEDIATE SUPPORTS
 - UNLES AND HANGERS SHALL BE 2020X 3" #2 UNLES OTHERWISE NOTED
 - JOISTS TO BE DOUBLED UNDER PARTITIONS WHEN PARTITIONS ARE RUNNING PARALLEL TO JOISTS
 - JOISTS TO BE DOUBLED AROUND OPENINGS
 - STUDS SUPPORTING THE RUN UP BEAMS SHALL HAVE THE SAME NUMBER OF LAMINATIONS AS THE BEAM THEY SUPPORT PLUS A NUMBER OF STUDS TO PROVIDE THE REQUIRED BEARING LENGTH AND DISBURSE PROPER FOUNDATION SUPPORT
 - ALL CONNECTIONS AND SUPPORT HANGERS TO BE ENGINEER APPROVED AND SUPPLIED BY THE BEAM AND JOIST MANUFACTURER
 - APPROVED JOIST HANGERS TO BE USED AT ALL FLASH CONNECTIONS
 - ALL CONNECTIONS AND SUPPORT HANGERS TO BE ENGINEER APPROVED AND SUPPLIED BY THE BEAM AND JOIST MANUFACTURER
 - PROVIDE POINT LOAD BRACING FOR ALL ROOF TRUSS & BEAM POINT LOADS CONTIGUOUS TO OVERHANG

- CONCRETE**
- ALL CONCRETE SHALL CONFORM TO THE REQUIREMENTS OF THE STANDARD CAN 305.1-10M. CONCRETE FOR VARIOUS PURPOSES SHALL BE AS FOLLOWS:

LOADING	STRENGTH	MIN. AGG	MIN. FINISH
FOOTINGS	30 MPa	10	1/2"
FLOORS	25 MPa	8	1/4"
 - ALL STRUCTURAL CONCRETE TO BE VIBRATED
 - MINIMUM BACK FILL HEIGHT ON FOUNDATION WALL LATERALLY SUPPORTED AT TOP BY FLOOR JOISTS SHALL BE 7"
- PRE-ENGINEERED ELEMENTS AND LAMBS**
- ALL COLLARS, BEAMS, JOISTS AND UNLES SHALL BE INSTALLED AND BRACED PRIOR TO CONCRETE POURING. FOLLOW ALL MANUFACTURERS INSTRUCTIONS AND RECOMMENDATIONS
 - ALL PRODUCTS STORED ON SITE SHALL BE PROTECTED FROM WEATHER
 - BEET OF BEAMS SHALL BE CONNECTED TOGETHER BY NAILS AND BOLTS FOR TOP LOADS OR SIDE LOADED CONDITIONS TO MANUFACTURERS RECOMMENDATIONS
 - ALL CONNECTIONS AND SUPPORT HANGERS TO BE ENGINEER APPROVED AND SUPPLIED BY THE BEAM AND JOIST MANUFACTURER
 - ALL WOOD IN CONTACT WITH CONCRETE TO BE PRESURE TREATED OR GALVANIZED IN ACCORDANCE WITH APPROVED MANUFACTURER
 - JOISTS TO BE DOUBLED AROUND OPENINGS
 - SHAP AND EJECTION DRAWINGS OF ROOF AND FLOOR JOISTS STORED AND BEAMS AND UNLES TO BE USED ONLY FOR THE PROJECT AND NOT TO BE REUSED FOR OTHER PROJECTS. ALL DIMENSIONS ARE TO EXTERIOR FACE OF CONCRETE / STUD UNLES OTHERWISE NOTED. ALL STRUCTURAL MEMBER SIZES BY OTHERS - SEE STRUCTURAL

- WOOD TRUSSES**
- TRUSSES SHALL BE OF PITCH AND SPACING SHOWN AND SHALL CONFORM TO 2012 BC BUILDING CODE AND CAN 10.10.1.1. DESIGN AND FABRICATION AND MUST BE CAPABLE OF SAFELY SUPPORTING THE LOADS INDICATED ON THE MANUFACTURERS DRAWINGS.
 - LOAD DEFLECTIONS SHALL NOT EXCEED 1/360 FOR THE BOTH THE TOP AND BOTTOM CHORDS.
 - PROVIDE SHOCK DAMPING MEASURES TO REDUCE LOADS, STRESS SPICES, SPRINGS OF LAMBER, BEARING DETAILS, BRACING AND STIFFNESS DETAILS BOTH TEMPORARY AND PERMANENT AND TO BE PROVIDED BY A PROFESSIONAL STRUCTURAL ENGINEER AS SET OUT IN THE PROVISIONS OF BRITISH COLUMBIA PRIOR TO THE FABRICATION OF TRUSSES.
 - TRUSSES SHALL BE HANDLED, STORED, AND ERICED IN ACCORDANCE WITH THE MANUFACTURERS INSTRUCTIONS AND RECOMMENDATIONS
 - THE TRUSSES MANUFACTURER SHALL PROVIDE ALL BEARING INFORMATION AND BRACING AT ALL LOCATIONS
 - THE ALLOWABLE LAMBER STRESSES USED IN THE DESIGN OF THE TRUSSES MEMBERS SHALL BE IN ACCORDANCE WITH TABLE 10 OF THE STANDARD DRAWING RULES FOR WEST COAST LAMBER.

GENERAL NOTES
DRAWINGS SHALL NOT BE SEALED
CONTRACTOR TO REVIEW AND VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION
ALL DIMENSIONS ARE TO EXTERIOR FACE OF CONCRETE / STUD UNLES OTHERWISE NOTED.
ALL STRUCTURAL MEMBER SIZES BY OTHERS - SEE STRUCTURAL

ISSUED FOR VARIANCE APPLICATION

PROJECT NORTH

SCALE: AS INDICATED
DATE: DECEMBER 7, 2019

SITE PLAN & NOTES

DRAWING TITLE: A000

MUNICIPAL ADDRESS: 4675 Partridge Drive, Kelowna, BC
OWNER CONTACT: Shannon Mazzei 250-858-5427

PROJECT TITLE: KLANYI GARAGE ADDITION

SHANNON MAZZEI DESIGN & DRAFTING
1180 UNIVERSITY ST. #118
PO BOX 1711595, SHELVA, BC V2Y 1Y5
ALL DRAWINGS, DESIGNS, GRADING REPRESENTATIONS AND SPECIFICATIONS ARE THE PROPERTY OF SHANNON MAZZEI AND NOT TO BE REPRODUCED OR COPIED WITHOUT THE WRITTEN CONSENT OF SHANNON MAZZEI. THE PROJECT AND ANY PART THEREOF IS THE PROPERTY OF SHANNON MAZZEI. ALL DIMENSIONS ARE TO EXTERIOR FACE OF CONCRETE / STUD UNLES OTHERWISE NOTED. ALL STRUCTURAL MEMBER SIZES BY OTHERS - SEE STRUCTURAL

SCHEDULE B

This forms part of application

DVP19-0039

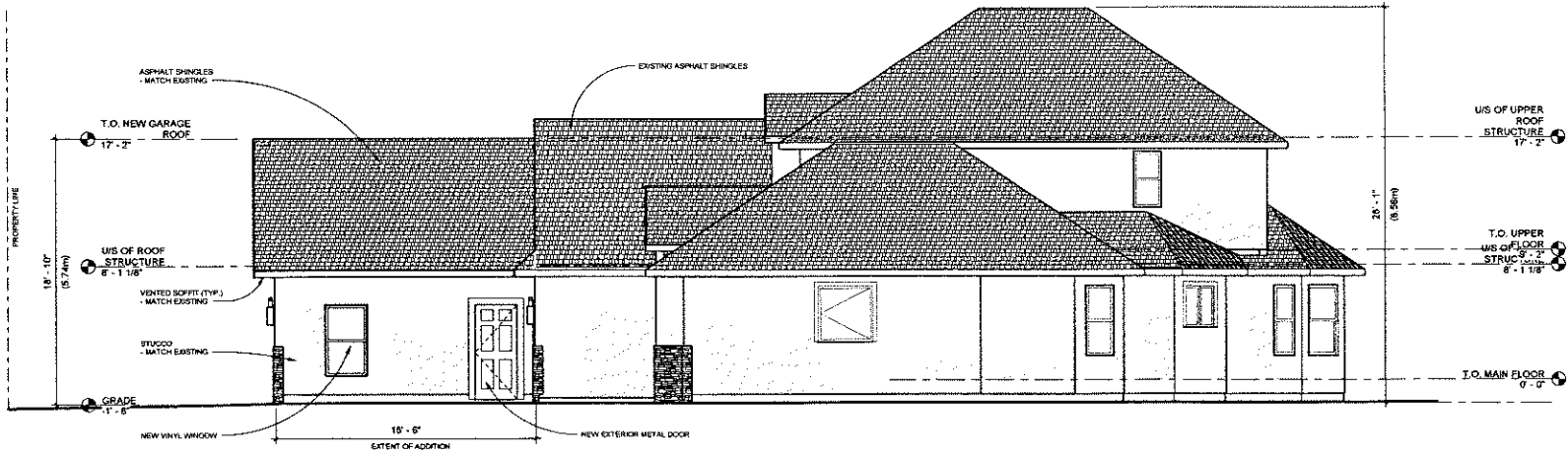


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AJ



① WEST ELEVATION
1/4" = 1'-0"



② SOUTH ELEVATION
1/4" = 1'-0"

GENERAL NOTES
DRAWINGS SHALL NOT BE SCALED.
CONTRACTOR TO REVIEW AND VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION.
ALL DIMENSIONS ARE TO EXTERIOR FACE OF CONCRETE / STUD UNLESS OTHERWISE NOTED.
ALL STRUCTURAL MEMBER SIZES BY OTHERS - SEE STRUCTURAL.

ISSUED FOR VARIANCE APPLICATION

A201

SCALE 1/4" = 1'-0"
DATE: DECEMBER 7, 2018

ELEVATIONS

DRAWING TITLE
DRAWN BY: KENNEDY
452 Parkside Drive Kelowna, BC
CHECKED BY: SHANNON MAZZEI
MONTA HANBY 250-369-5427

PROJECT TITLE
KLANYI GARAGE ADDITION

SHANNON MAZZEI DESIGN & DRAFTING
148 SOUTHVIEW COURT, KELOWNA, BC V1Y1T4
PH: 250-861-1166, EMAIL: SHANNON@SHANNONMAZZEI.COM

SHANNON MAZZEI DESIGN & DRAFTING
DRAWINGS ARE THE PROPERTY OF SHANNON MAZZEI DESIGN & DRAFTING. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND REVISIONS ARE MADE PRIOR TO CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY OTHER THAN THE PROJECT INTENT. WRITTEN CONSENT OF SHANNON MAZZEI DESIGN & DRAFTING IS REQUIRED.



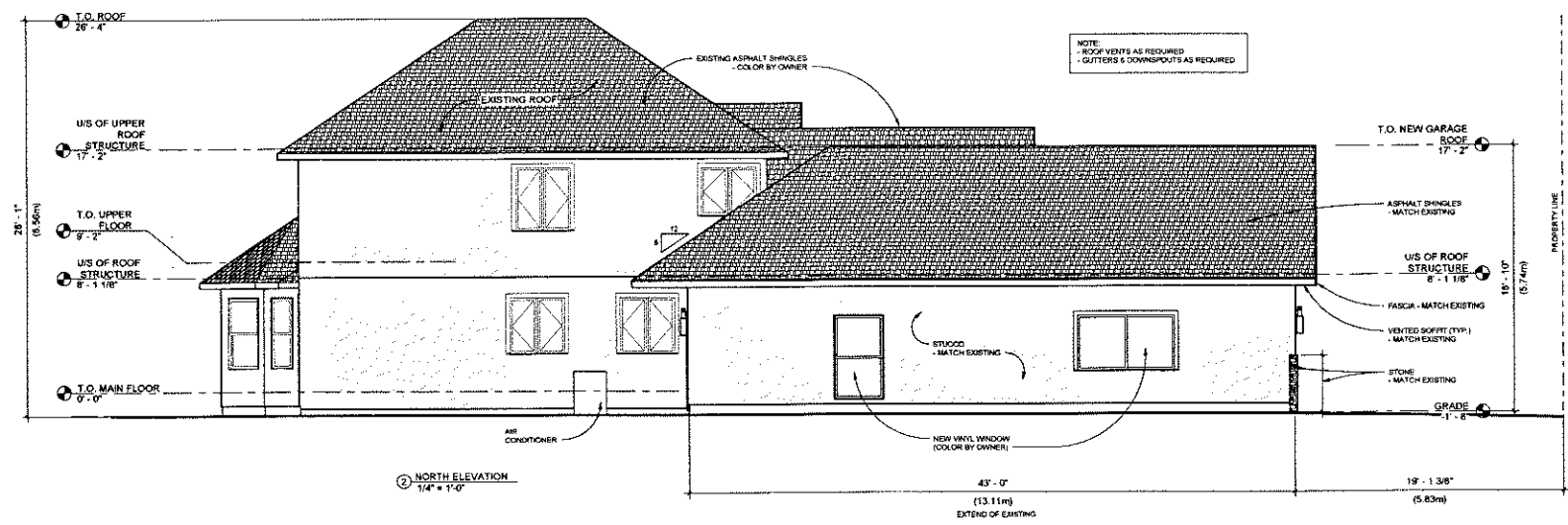
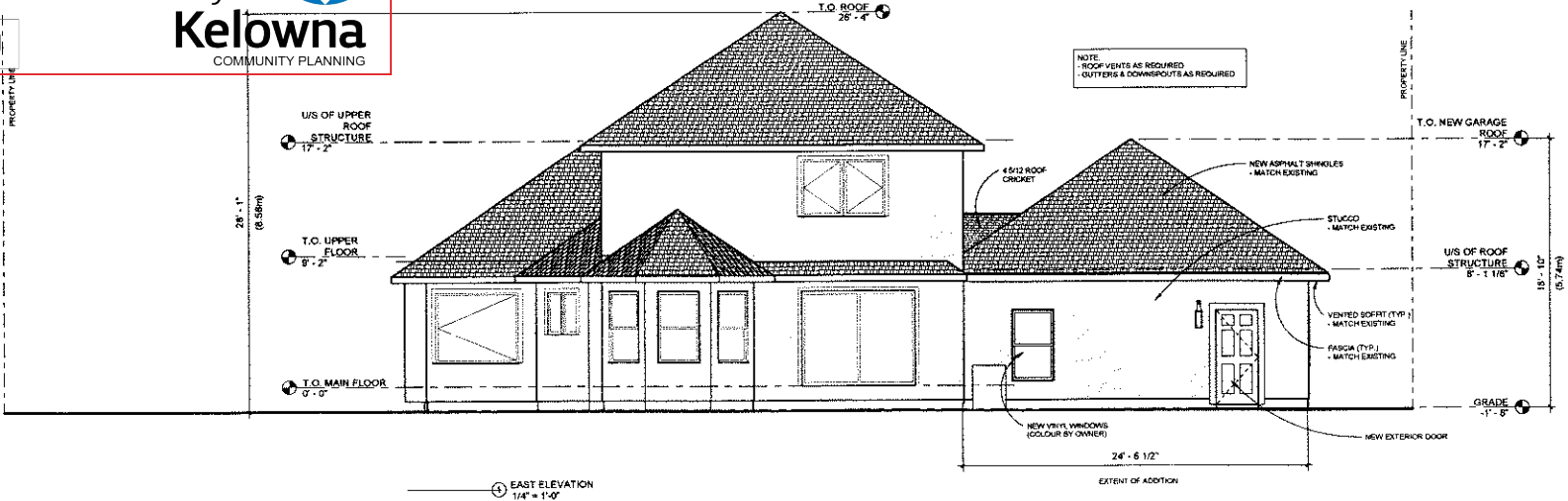
SCHEDULE B

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DVP19-0039



City of
Kelowna
COMMUNITY PLANNING

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Initials **AJ**



GENERAL NOTES:
DRAWINGS SHALL NOT BE SCALED.
CONTRACTOR TO REVIEW AND VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION.
ALL DIMENSIONS ARE TO EXTERIOR FACE OF CONCRETE / STUD UNLESS OTHERWISE NOTED.
ALL STRUCTURAL MEMBER SIZES BY OTHERS - SEE STRUCTURAL.

ISSUED FOR VARIANCE APPLICATION

SHANNON MAZZEI DESIGN & DRAFTING
116 SOUTHVIEW COURT, KELLOWNA, BC V1Y 1C3
TEL: 250-860-1111

PROJECT TITLE
KLANYI GARAGE ADDITION

DRAWING TITLE
ELEVATIONS

MUNICIPAL ADDRESS:
4575 Pennington Drive, Kelowna, BC
OWNER CONTACT:
Mona Lisa Kelly 250-865-8437

SCALE: 1/4" = 1'-0"
DATE: DECEMBER 7, 2019

PROJECT NORTH

DRAWINGS ISSUED FOR GENERAL PURPOSE, NEGOTIATIONS, LEASE, ETC. CARRY ALL RESPONSIBILITY. CONTRACTOR MUST VERIFY ALL DIMENSIONS AND BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS PRIOR TO COMMENCING ANY WORK.

Development Variance Permit

DVP19-0039



This permit relates to land in the City of Kelowna municipally known as

4675 Parkridge Drive

and legally known as

Lot 17 Section 29 Township 29 Plan KAP34978

and permits the land to be used for the following development:

Rural Residential 3

with variances to the following sections of Zoning Bylaw No. 8000 in general accordance with Schedule "A":

Section 12.3.6(c): RR3 – Large Lot Housing Development Regulations

To vary the required minimum front yard from 6.0 m permitted to 5.8 m proposed.

The present owner and any subsequent owner of the above described land must comply with any attached terms and conditions.

Date of Council Decision : April 23, 2019

Decision By: : Council

This permit will not be valid if development has not commenced by

Existing Zone: RR3

Future Land Use Designation: S2RES

This is NOT a Building Permit.

In addition to your Development Permit, a Building Permit may be required prior to any work commencing. For further information, contact the City of Kelowna, Development Services Branch.

NOTICE

This permit does not relieve the owner or the owner's authorized agent from full compliance with the requirements of any federal, provincial or other municipal legislation, or the terms and conditions of any easement, covenant, building scheme or agreement affecting the building or land.

Owner: Monika Klanyi & Zoltan Nebojsza

Applicant: Monika Klanyi

Ryan Smith
Community Planning Department Manager
Community Planning & Strategic Investments

Date

1. SCOPE OF APPROVAL

This Development Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.

This Development Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this permit, noted in the Terms and Conditions below.

The issuance of a permit limits the permit holder to be in strict compliance with regulations of the Zoning Bylaw and all other Bylaws unless specific variances have been authorized by the Development Permit. No implied variances from bylaw provisions shall be granted by virtue of drawing notations that are inconsistent with bylaw provisions and that may not have been identified as required Variances by the applicant or Municipal staff.

2. CONDITIONS OF APPROVAL

- a) The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A";
- b) The exterior design and finish of the building to be constructed on the land be in accordance with Schedule "B";

This Development Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

3. INDEMNIFICATION

Upon commencement of the works authorized by this Permit the Developer covenants and agrees to save harmless and effectually indemnify the Municipality against:

- a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality said Permit.

All costs, expenses, claims that may be incurred by the Municipality where the construction, engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

**The PERMIT HOLDER is the CURRENT LAND OWNER.
Security shall ONLY be returned to the signatory of the
Landscape Agreement or their designates.**