

Development Permit & Development Variance Permit DP18-0108 & DVP18-0109



This permit relates to land in the City of Kelowna municipally known as

2529 Richter Street

and legally known as

Lot 9 District Lot 136 Osoyoos Division Yale District Plan 3506

and permits the land to be used for the following development:

Multiple Dwelling Housing

with variances to the following sections of Zoning Bylaw No. 8000 in general accordance with Schedule "A":

Section 8.1.9(b): Off-Street Vehicle Parking

To vary the required front yard to allow for one off-street vehicle parking stall from 4.5 m permitted to 3.85 m proposed.

Section 13.9.6(b): RM3 – Low Density Multiple Housing Development Regulations

To vary the required maximum site coverage of buildings, driveways, and parking areas from 65 % permitted to 73.3 % proposed.

The present owner and any subsequent owner of the above described land must comply with any attached terms and conditions.

Date of Council Decision March 12, 2019

Decision By: Council

Development Permit Area: Comprehensive Development Permit Area

This permit will not be valid if development has not commenced by March 12, 2021.

Existing Zone: RM3 – Low Density Multiple Housing Future Land Use Designation: MRL – Multiple Unit Residential (Low Density)

This is NOT a Building Permit.

In addition to your Development Permit, a Building Permit may be required prior to any work commencing. For further information, contact the City of Kelowna, Development Services Branch.

NOTICE

This permit does not relieve the owner or the owner's authorized agent from full compliance with the requirements of any federal, provincial or other municipal legislation, or the terms and conditions of any easement, covenant, building scheme or agreement affecting the building or land.

Owner: Karambir Singh Kler & Amarjit Kaur Kler

Applicant: New Town Services

Ryan Smith
Community Planning Department Manager
Community Planning & Strategic Investments

Date

1. SCOPE OF APPROVAL

This Development Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.

This Development Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this permit, noted in the Terms and Conditions below.

The issuance of a permit limits the permit holder to be in strict compliance with regulations of the Zoning Bylaw and all other Bylaws unless specific variances have been authorized by the Development Permit. No implied variances from bylaw provisions shall be granted by virtue of drawing notations that are inconsistent with bylaw provisions and that may not have been identified as required Variances by the applicant or Municipal staff.

2. CONDITIONS OF APPROVAL

- a) The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A";
- b) The exterior design and finish of the building to be constructed on the land be in accordance with Schedule "B";
- c) Landscaping to be provided on the land be in accordance with Schedule "C"; and
- d) The applicant be required to post with the City a Landscape Performance Security deposit in the form of a "Letter of Credit" in the amount of 125% of the estimated value of the landscaping, as determined by a Registered Landscape Architect.
- e) A Section 219 Restrictive Covenant requiring on-site snow management and removal be registered on title to the satisfaction of the City of Kelowna Approving Officer prior to Development Permit and Development Variance Permit issuance

This Development Permit is valid for two (2) years **from the date of Council approval**, with no opportunity to extend.

3. PERFORMANCE SECURITY

As a condition of the issuance of this Permit, Council is holding the security set out below to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Developer and be paid to the Developer or his or her designate if the security is returned. The condition of the posting of the security is that should the Developer fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the Municipality may use enter into an agreement with the property owner of the day to have the work carried out, and any surplus shall be paid over to the property own of the day. Should the Developer carry out the development permitted by this Permit within the time set out above, the security shall be returned to the Developer or his or her designate. There is filed accordingly:

- a) An Irrevocable Letter of Credit or certified cheque in the amount of **\$93,213.75**

Before any bond or security required under this Permit is reduced or released, the Developer will provide the City with a statutory declaration certifying that all labour, material, workers' compensation and other taxes and costs have been paid.

4. INDEMNIFICATION

Upon commencement of the works authorized by this Permit the Developer covenants and agrees to save harmless and effectually indemnify the Municipality against:

- a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality said Permit.

All costs, expenses, claims that may be incurred by the Municipality where the construction, engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

**The PERMIT HOLDER is the CURRENT LAND OWNER.
Security shall ONLY be returned to the signatory of the
Landscape Agreement or their designates.**

RICHTER TOWNHOUSES

ADDRESS:	
2529 Richter street, Kelowna, BC, V1Y 2P9	
LEGAL DESCRIPTION:	
Lot 9, District Lot 136, ODYD, Plan 3506 (PID 010-844-058)	
GRADES:	
EXISTING AVERAGE - FLAT	PROPOSED AVERAGE - FLAT
NUMBER OF BUILDINGS:	
1 BUILDING (7 UNITS)	

ZONING ANALYSIS:

EXISTING	PROPOSED
ZONING:	
RU6	RM3

RM3 ZONING REQUIREMENTS:

REQUIRED	PROPOSED
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SITE DETAILS

SITE AREA (m²)	
900 m²	799.75 m² (AFTER CORNER ROUNDING 792 m²)
SITE WIDTH (m)	
30.0 m	17.50 m
SITE DEPTH (m)	
30.0 m	45.72 m
MAX SITE COVERAGE FOR BUILDINGS (%):	
40% + 10% PRIVATE SPACE ON ROOF DECK	36.8%
MAX SITE COVERAGE INCL. PARKING & DRIVEWAYS (%):	
60% + 5% PERMEABLE DRIVE SURFACES	73.3% (VARIANCE REQ'D)

DEVELOPMENT REGULATIONS

TOTAL NUMBER & TYPES OF UNITS:	
7 UNITS	6x 2BR UNITS 1x 3BR UNIT
FLOOR AREA (GFA/NFA):	
MAX 639.8 m² BASED ON 0.80 FAR	L1 GFA FOR SITE COVERAGE = 291.6 m² NFA FOR FAR = 629.1 m²
FLOOR AREA RATIO (FAR):	
0.75 +0.05 SCREENED PARKING SPACES	0.79
BUILDING HEIGHT:	
3 STOREYS OR 10m	3 STOREYS / 9.52m
SETBACKS:	
FRONT WEST: 1.5m	1.5 m
SIDE NORTH: 1.5m	1.5 m
SIDE SOUTH: 4.0m	4.0 m
REAR EAST: 3.0m	3.0 m
NUMBER OF PARKING STALLS / LOADING SPACES:	
ROW STACKED HOUSING - 1.5 / 2BR - 2.0 / 3BR 11 STALLS + 1 VISITOR PARKING STALL / 7 UNITS	15 STALLS
12 PARKING SPACES	PARKING SETBACK VARIANCE REQ'D
PRIVATE OPEN SPACE AREA:	
25.0 m² per home w/ more than 1 bedroom x 7 = 175 m²	ROOF DECKS 248.3 m² OPEN SPACE 256.6 m²



GRAPHIC 01: NORTH EAST VIEW



GRAPHIC 02: SOUTH EAST VIEW



GRAPHIC 03: BUILDING RELATIONSHIP TO THE NEIGHBOURHOOD NORTH WEST VIEW



GRAPHIC 04: SOUTH WEST VIEW

SCHEDULE

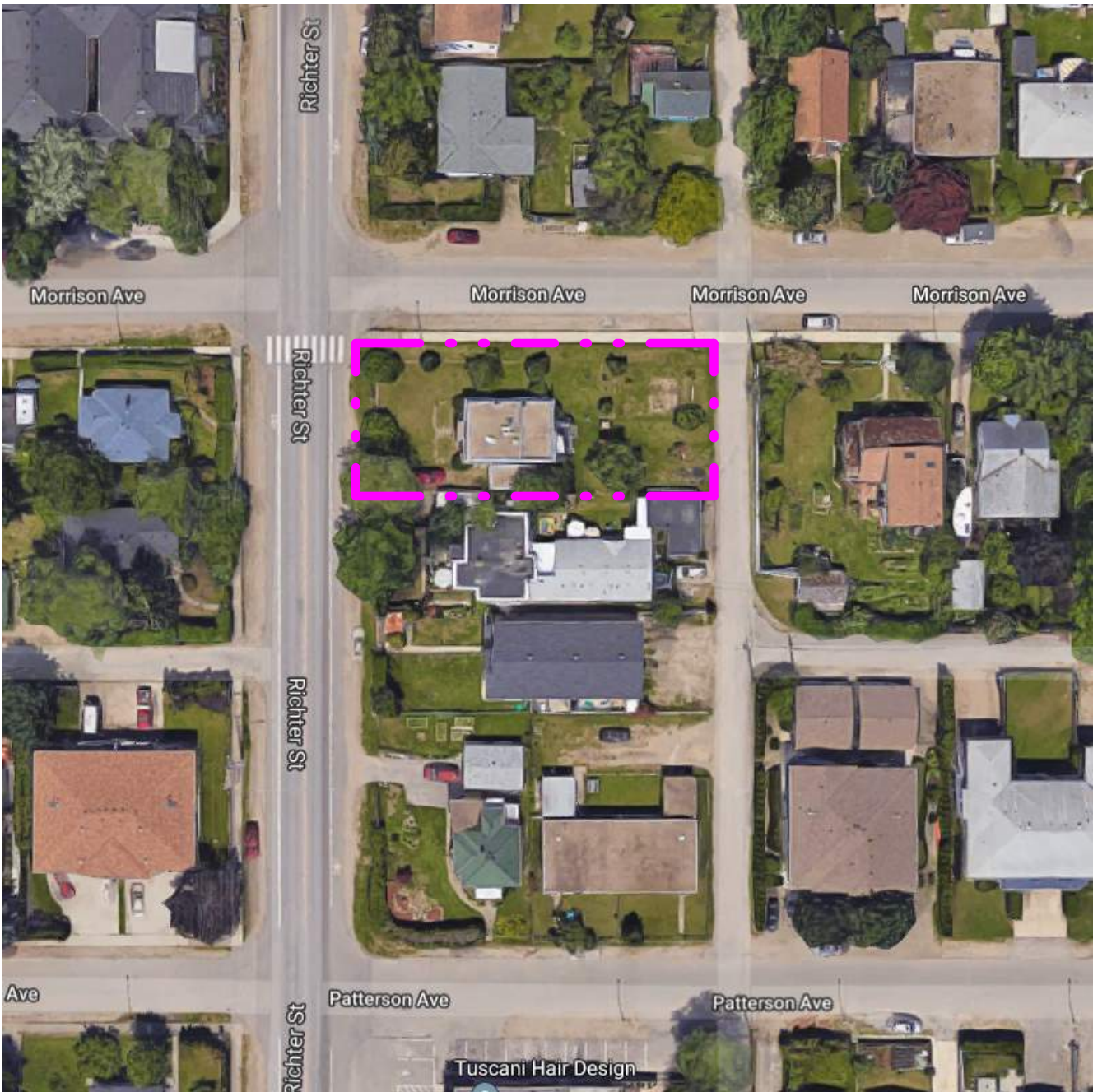
This forms part of application
DP18-0108/DVP18-0109

Planner Initials KB

City of Kelowna

COMMUNITY PLANNING

KEY PLAN



NOT FOR CONSTRUCTION

ALL CONTRACTORS ARE REQUIRED TO PERFORM THEIR WORK AND SUPPLY THEIR PRODUCTS IN COMPLIANCE WITH ALL BUILDING CODES AND LAWS OF THE PROVINCE OF BRITISH COLUMBIA

This drawing is an instrument of service and the property of New Town Services. The use of this drawing shall be restricted to the original site for which it was prepared and publication thereof is expressly limited to such use.

This drawing must not be scaled

Verify all dimensions and datums prior to commencement of work.

Report all errors and omissions to the Architect.



Revision		
No	Date	Description
1	18-05-10	ISSUED FOR DP
2	18-06-21	RE-ISSUED FOR DP
3	18-09-12	RE-ISSUED FOR DP
4	18-10-24	RE-ISSUED FOR DP

project title

RICHTER TOWNHOUSES

project address

2529 RICHTER STREET,
KELOWNA, BC

project no. 4055

drawing title

ZONING & CODE ANALYSIS

designed L.A. scale

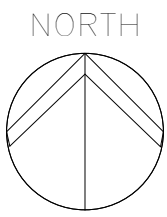
drawn L.A.

checked K.F.

drawing no.

A1.00

plotted 10/24/2018 1:07:44 PM



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Seal



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project title
RICHTER TOWNHOUSES

project address
2529 RICHTER STREET,
KELOWNA, BC

project no. 4055

file no.
drawing title
SITE PLAN

designed L.A. scale 1 : 75

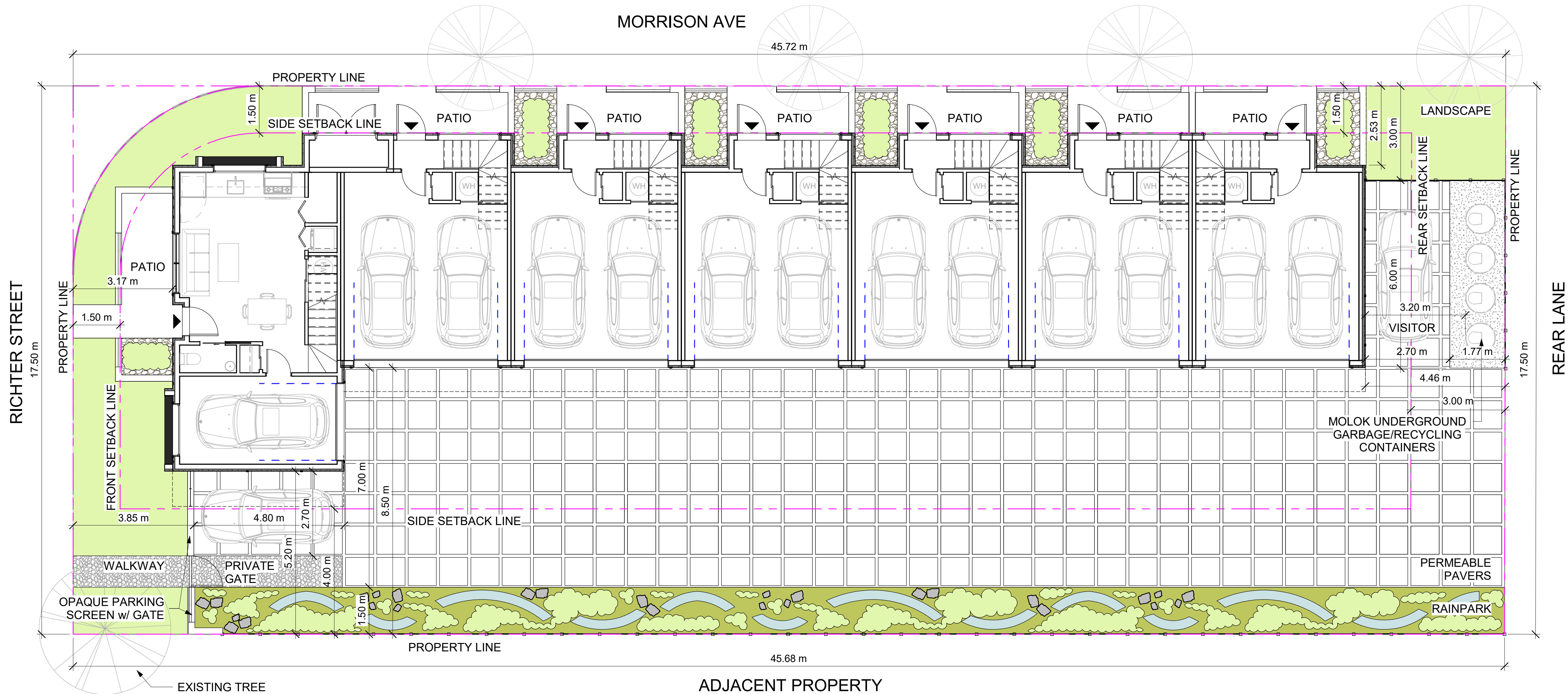
drawn L.A.

checked K.F.

drawing no.

A2.00

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1 SITE PLAN
A4.01 1 : 75

SCHEDULE A

This forms part of application
DP18-0108/DVP18-0109

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NOT FOR CONSTRUCTION



1 North Elevation
3/16" = 1'-0"



2 West Elevation
3/16" = 1'-0"

SCHEDULE B

This forms part of application
DP18-0108/DVP18-0109

Planner
Initials KB



MATERIAL KEYNOTE LEGEND

- HARDIE PANEL - SMOOTH (COLOR RICH ESPRESSO)
- ACCENT HARDIE PANEL - SMOOTH (COLOR PEARL GREY OR PASTEL COLOR BABY BLUE)
- PRE-FINISHED METAL PANEL (COLOR BLACK)
- HARDIE PANEL - SMOOTH (COLOR ARCTIC WHITE)
- HARDIE PANEL REVEAL
- WINDOW W/ BLACK FRAME
- EXTERIOR DOOR W/ BLACK FRAME
- OVERHEAD GARAGE DOOR
- SLIDING PATIO DOOR W/ BLACK FRAME
- METAL GUARDRAIL (ALT. PERFORATED SHEET METAL)
- PATIO PRIVACY WALL
- PREFIN METAL FLASHING - BLACK
- GLASS GUARDRAIL
- MOLOK GARBAGE CONTAINERS - ENCLOSURE
- PERFORATED SHEET METAL PRIVACY SCREEN
- PRIVATE GATE
- HARDIE PANEL - PAINTED TO MATCH METAL PANEL COLOR (BLACK GREY)
- HARDIE PLANK - TRUE GRAIN SERIES (COLOR CHRIS CRAFT)
- EXISTING TREE TO REMAIN
- OPAQUE GARBAGE SCREEN

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NEW TOWN
ARCHITECTURE
URBAN PLANNING
CIVIL ENGINEERING
www.newtownservices.ca

Seal



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NOT FOR CONSTRUCTION

project title

RICHTER TOWNHOUSES

project address

2529 RICHTER STREET,
KELOWNA, BC

project no. 4055

file no.

drawing title

**BUILDING
ELEVATIONS**

designed L.A. scale As indicated

drawn L.A.

checked K.F.

drawing no.

A4.01

plotted 10/24/2018 1:08:10 PM



1 South Elevation
3/16" = 1'-0"



2 East Elevation
3/16" = 1'-0"

SCHEDULE

B

This forms part of application
DP18-0108/DVP18-0109

Planner
Initials

KB

City of Kelowna
COMMUNITY PLANNING

MATERIAL KEYNOTE LEGEND	
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2.	ACCENT HARDIE PANEL - SMOOTH (COLOR PEARL GREY OR PASTEL COLOR BABY BLUE)
3.	PRE-FINISHED METAL PANEL (COLOR BLACK)
4.	HARDIE PANEL - SMOOTH (COLOR ARCTIC WHITE)
5.	HARDIE PANEL REVEAL
6.	WINDOW W/ BLACK FRAME
7.	EXTERIOR DOOR W/ BLACK FRAME
8.	OVERHEAD GARAGE DOOR
9.	SLIDING PATIO DOOR W/ BLACK FRAME
10.	METAL GUARDRAIL (ALT. PERFORATED SHEET METAL)
11.	PATIO PRIVACY WALL
12.	PREFIN METAL FLASHING - BLACK
13.	GLASS GUARDRAIL
14.	MOLOK GARBAGE CONTAINERS - ENCLOSURE
15.	PERFORATED SHEET METAL PRIVACY SCREEN
16.	PRIVATE GATE
17.	HARDIE PANEL - PAINTED TO MATCH METAL PANEL COLOR (BLACK GREY)
18.	HARDIE PLANK - TRUE GRAIN SERIES (COLOR CHRIS CRAFT)
19.	EXISTING TREE TO REMAIN
20.	OPAQUE GARBAGE SCREEN

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project title
RICHTER TOWNHOUSES

project address
2529 RICHTER STREET,
KELOWNA, BC

project no. 4055

file no.

drawing title
BUILDING ELEVATIONS

designed L.A. scale As indicated

drawn L.A.

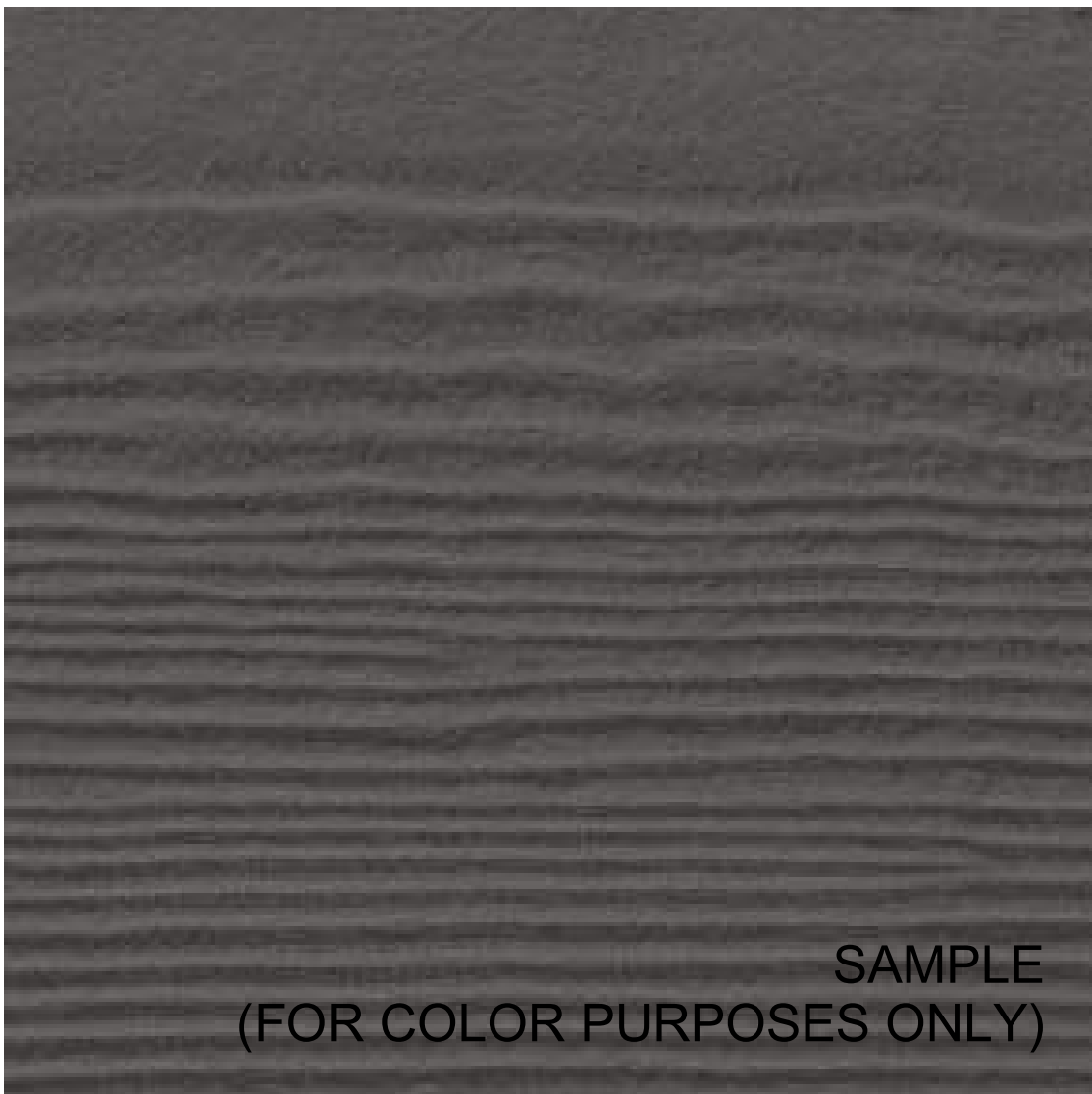
checked K.F.

drawing no.

A4.02

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HARDIE REVEAL PANEL (SMOOTH) W/ PAINTED EXP. FASTENERS; **COLOR RICH ESPRESSO (#1)**



SAMPLE
(FOR COLOR PURPOSES ONLY)

HARDIE PLANK FISHER TRUE GRAIN SERIES; **COLOR CHRIS CRAFT (#18)**



SAMPLE
(FOR COLOR PURPOSES ONLY)

PRE-FINISHED METAL PANEL; **COLOR BLACK (#3)**



BLACK

HARDIE REVEAL PANEL (SMOOTH) W/ PAINTED EXP. FASTENERS; **COLOR ARCTIC WHITE (#4)**



SAMPLE
(FOR COLOR PURPOSES ONLY)

HARDIE REVEAL PANEL (SMOOTH) W/ PAINTED EXP. FASTENERS; **COLOR PEARL GRAY (#2)**



SAMPLE
(FOR COLOR PURPOSES ONLY)

COLOR COMBINATION SAMPLE
(FOR COLOR PURPOSES ONLY)



PEARL
GRAY

RICH
ESPRESSO

BABY BLUE

ARCTIC WHITE

METAL GUARDRAIL (ALT. PERFORATED SHEET METAL) (#10)



GARBAGE ENCLOSURE / SCREEN (#20)



PAINTED TO SUIT (RICH ESPRESSO) STACK BOND BLOCK PATIO PRIVACY WALL (#11)



NOT FOR CONSTRUCTION

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Seal



Revision

No	Date	Description
2	18-06-21	RE-ISSUED FOR DP
3	18-09-12	RE-ISSUED FOR DP
4	18-10-24	RE-ISSUED FOR DP

SCHEDULE

B

This forms part of application
DP18-0108/DVP18-0109

Planner
Initials

KB



project title
RICHTER TOWNHOUSES

project address
2529 RICHTER STREET,
KELOWNA, BC

project no. 4055

file no.

drawing title

MATERIALS

designed L.A. scale

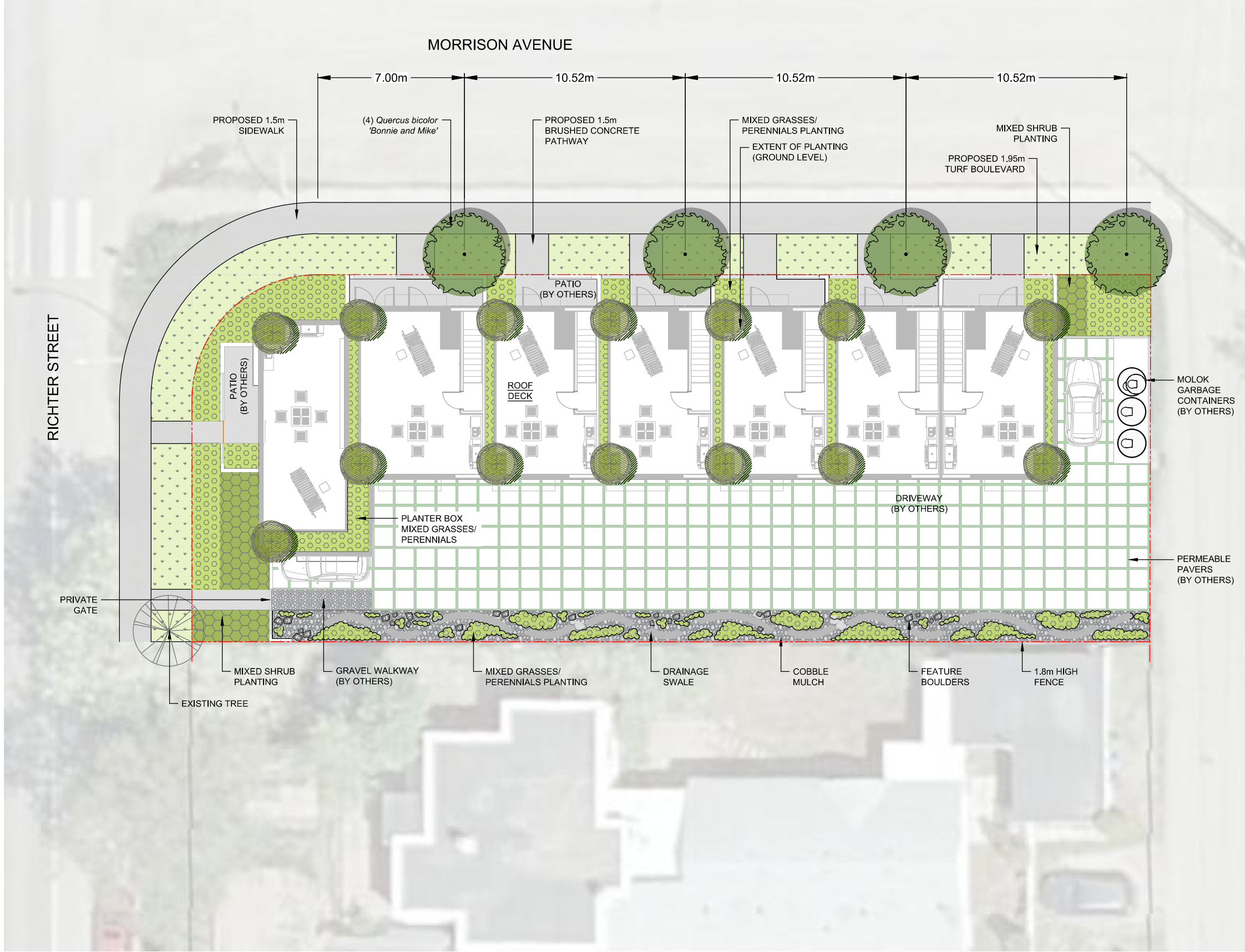
drawn L.A.

checked K.F.

drawing no.

A4.03

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LEGEND:

- DECIDUOUS TREES
- PROPERTY LINE
- BRUSHED CONCRETE PATHWAY
- MIXED GRASSES / PERENNIAL PLANTING
- SHRUB PLANTING
- SOD LAWN
- GRAVEL WALKWAY
- COBBLE MULCH

SCHEDULE

C

This forms part of application
DP18-0108/DVP18-0109

Planner
Initials KB

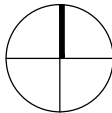


PLANT LIST					
Qty.	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	Mature Plant Size (Ht.xWd.)
Trees Deciduous					
4	<i>Quercus bicolor</i> 'Bonnie and Mike'	Beacon Oak	6cm Cal	B&B	12.0m x 4.5m
14	<i>Syringa vulgaris</i> 'Sensation'	Common Lilac	2cm Cal	Potted	4.6m x 3.7m
Shrubs					
20	<i>Cornus alba</i> 'Bailhalo'	Ivory Halo Dogwood	#02	Potted	1.5m x 1.5m
Grasses					
25	<i>Calamagrostis x acutiflora</i> 'Karl Foerster'	Karl Foerster Feather Reed Grass	#01	Potted	1.5m x 0.9m
25	<i>Pennisetum orientale</i> 'Karley Rose'	Karley Rose Fountain Grass	#01	Potted	1.0m x 1.0m
Perennials					
35	<i>Echinacea purpurea</i> 'Magnus'	Magnus Coneflower	#01	Potted	1.0m x 0.6m
30	<i>Nepeta x faassenii</i> 'Walker's Low'	Walker's Low Catmint	#01	Potted	0.9m x 0.9m
35	<i>Rudbeckia fulgida</i> 'Goldsturm'	Goldsturm Coneflower	#01	Potted	0.6m x 0.6m

GENERAL NOTES:

1. PLANT MATERIALS AND CONSTRUCTION METHODS SHALL MEET OR EXCEED THE MINIMUM STANDARDS ESTABLISHED IN THE CANADIAN LANDSCAPE STANDARD (CURRENT EDITION).
2. THE LANDSCAPE DESIGN IS CONCEPTUAL AND REFLECTS THE MINIMUM ACCEPTABLE QUALITY AND SIZE.
3. PLANT MATERIAL SELECTIONS ARE CONCEPTUAL ONLY. FINAL PLANTING SELECTIONS MAY VARY DEPENDING ON AVAILABILITY.
4. ALL PLANTING BEDS SHALL HAVE A MINIMUM 50mm APPROVED MULCH.
5. ALL SOFT LANDSCAPE AREAS SHALL BE IRRIGATED WITH AN EFFICIENT AUTOMATIC IRRIGATION SYSTEM.
6. THIS DRAWING DEPICTS FORM AND CHARACTER AND IS TO BE USED FOR DEVELOPMENT PERMIT SUBMISSION ONLY. IT IS NOT INTENDED FOR USE IN CONSTRUCTION.
7. OFF SITE LANDSCAPE CONSTRUCTION TO MEET OR EXCEED CITY OF KELOWNA BYLAW.

REPRESENTATIVE IMAGES:



SEAL

NO.	DATE (MM/DD/YY)	REVISION
4	09/12/18	RE-ISSUED FOR DEVELOPMENT PERMIT
3	06/20/18	RE-ISSUED FOR DEVELOPMENT PERMIT
2	06/06/18	RE-ISSUED FOR DEVELOPMENT PERMIT
1	05/09/18	ISSUED FOR DEVELOPMENT PERMIT

DESIGN: BD
DRAWN: KD
CHK'D: BD
DATE: 06/20/18
SCALE: 1:200

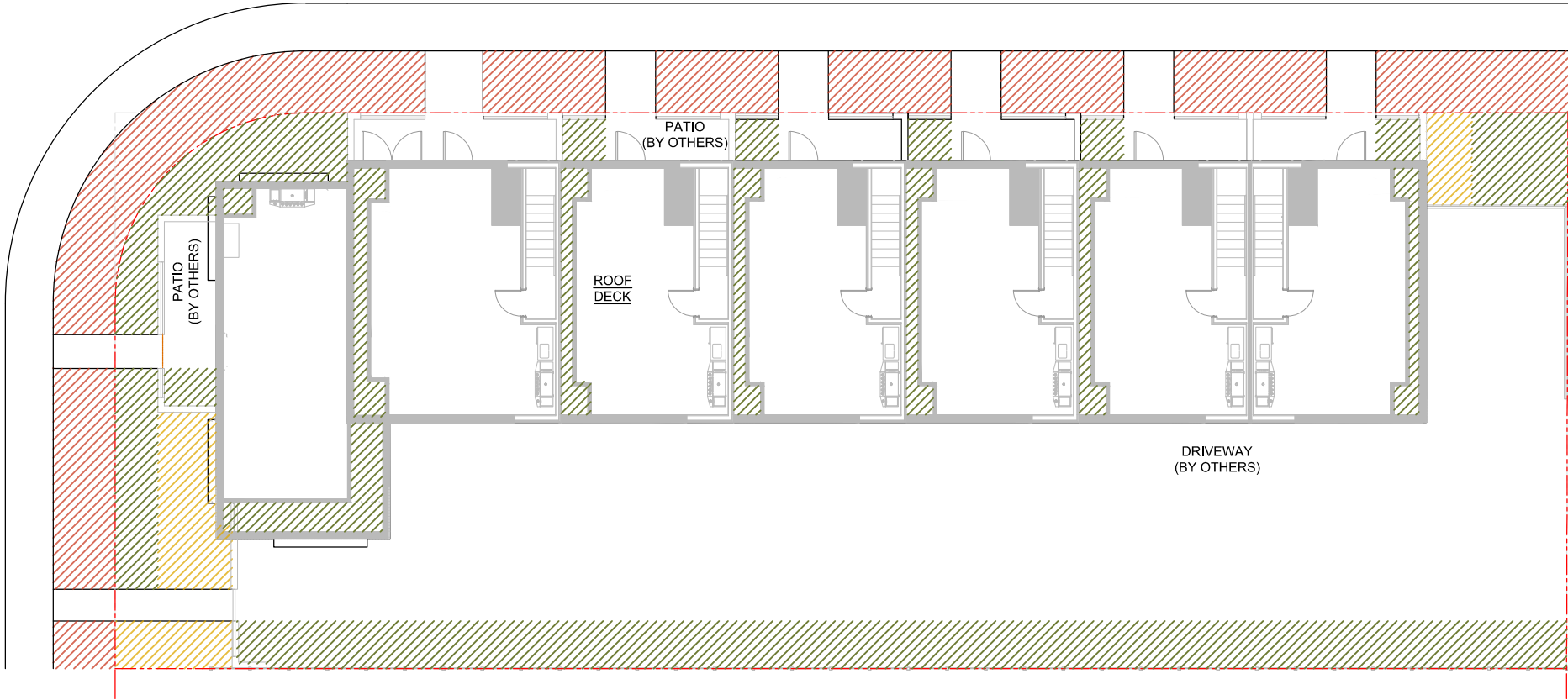
SITE PLAN

LDP-1

Project No. LK-18-239-FDH

RICHTER STREET

MORRISON AVENUE



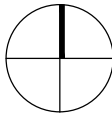
IRRIGATION LEGEND:

- LOW WATER USAGE
GRASSES / PERENNIALS
(138m.sq.)
- MODERATE WATER USAGE
SHRUBS
(20.9m.sq.)
- HIGH WATER USAGE
SOD AREA
(98.3m.sq.)

SCHEDULE C

This forms part of application
DP18-0108/DVP18-0109

Planner Initials KB



SEAL

4	09/12/18	RE-ISSUED FOR DEVELOPMENT PERMIT
3	06/20/18	RE-ISSUED FOR DEVELOPMENT PERMIT
2	06/06/18	RE-ISSUED FOR DEVELOPMENT PERMIT
1	05/09/18	ISSUED FOR DEVELOPMENT PERMIT
NO.	DATE (MM/DD/YY)	REVISION

DESIGN: BD
DRAWN: KD
CHK'D: BD
DATE: 06/20/18
SCALE: 1:200

HYDROZONE PLAN


LDP-2

Project No. LK-18-239-FDH



SF-Rima™

Reduce or eliminate storm water runoff, mitigate the risk of flooding and relieve sewer systems. SF-Rima's innovative design filters and drains storm water back to the native soil and helps with the constant irrigation and cooling of surfaces.

SCHEDULE	C
This forms part of application # DP18-0108/DVP18-0109	
Planner Initials	KB
 City of Kelowna COMMUNITY PLANNING	

Features & Benefits:

- Use in permeable and non-permeable applications
- Ideal for both residential and commercial applications
- Integrate with a complete storm water management system

Colours:



Grey

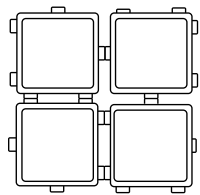


Charcoal

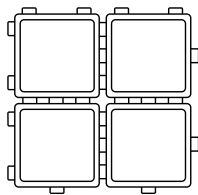
Colour availability and colour finish may vary by region. Every attempt has been made to provide accurate data - please note product measurements, weights and coverage are approximate.

Technical Information

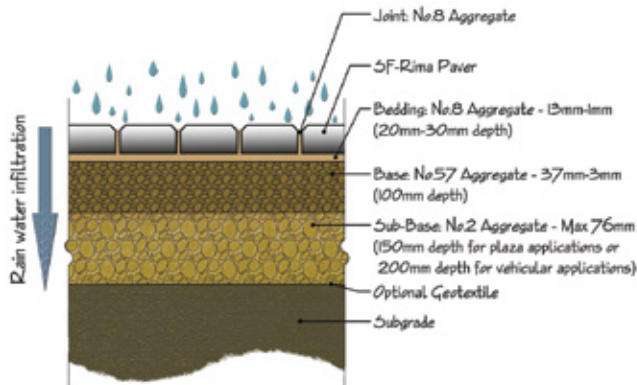
SF-RIMA					
PRODUCT	DIMENSIONS	UNITS/ PALLET	SQFT/ PALLET	BLOCK COVERAGE	PALLET WEIGHT
SFO-RIMA - Turf Layout	254 x 254 x 80 mm 10 x 10 x 3.1"	160	111	1.4 / SqFt	1570 kg 3461 lbs
SFO-RIMA - Water Layout	240 x 240 x 80 mm 9.4 x 9.4 x 3.1"	160	99	1.6 / SqFt	1570 kg 3461 lbs



Turf Growth Layout



Water Drainage Layout



SF-Rima™

Applications:



PERMEABLE



PLAZA



ROADWAY

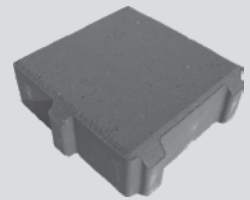


PARKING
LOT



DRIVEWAY

Shapes & Sizes:



SF-RIMA

254 x 254 x 80 mm
10 x 10 x 3.1"

SCHEDULE

C

This forms part of application
DP18-0108/DVP18-0109

Planner
Initials KB



SF-Rima
Grey



Expocrete an Oldcastle® company

British Columbia Alberta Saskatchewan Manitoba

For more info visit: Belgard.com | Expocrete.com

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E:\Local\Work_E\1 Projects\6095 Blobber_TN\6095-A Data\6095-4.1 Current\CurA_2-280001.rtc\6095-4.1 Times measurements.dms

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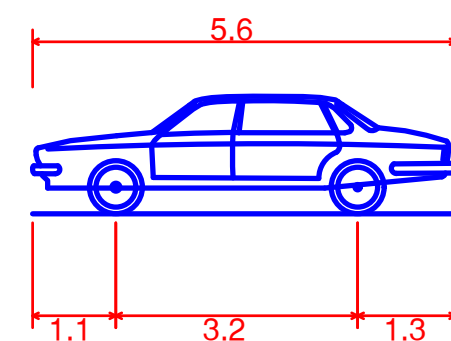
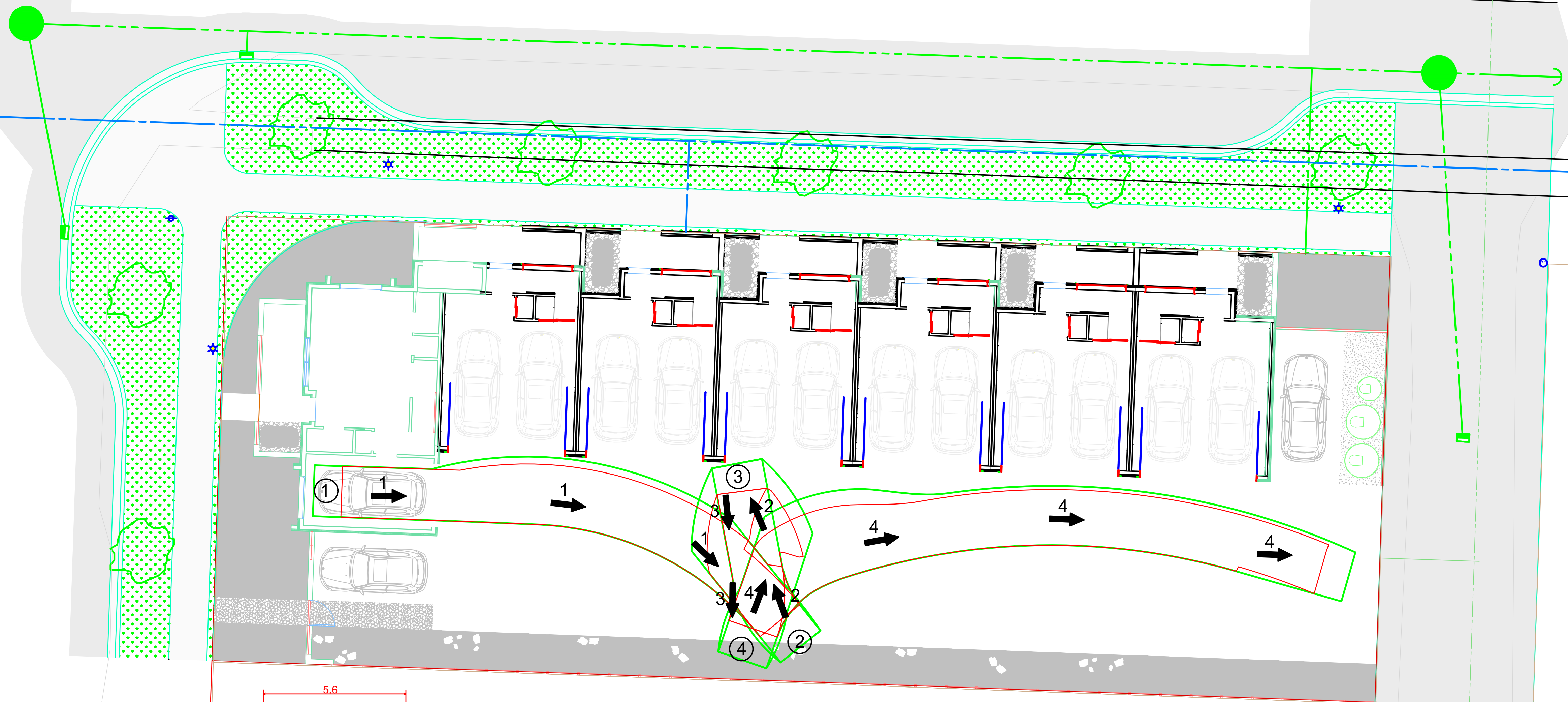
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KB

City of Kelowna
COMMUNITY PLANNING



- P - Passenger Car
- Overall Length
- Overall Width
- Overall Body Height
- Min Body Ground Clearance
- Track Width
- Lock-to-lock time
- Curb to Curb Turning Radius

5.600m
2.000m
1.555m
0.340m
2.000m
4.00s
6.300m

WHEEL MOVEMENT
OVERHANG MOVEMENT

MANHOLE
UTILITY POLE
POWER POLE
LAMP STANDARD
CATCH BASIN
HYDRANT
TREES
SURVEY MONUMENT

 PAVE WITH ASPHALT
 REMOVE-REGRADE-REPLACE
 LEVEL COURSE

NAD 83

Locations and offsets of existing utilities shown on this plan are not guaranteed to be accurate and must be verified in the field prior to construction. The CITY OF KELOWNA does not guarantee their accuracy. Concerned persons should not rely on these documents and should verify all information shown by way of site survey and other appropriate methods. The CITY OF KELOWNA accepts no liability for use of these files or information.



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URBAN PLANNING
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4 E G G					
	NO.	YY/MM/DD	BY	REVISION	CH/K

BASE	AR	DESIGN	AR
APPROVED		KJ	
DATE		2018/10/24	
SCALE		HORIZ.	1:100
		VERT.	1:XX

**SCALE NOT ACCURATE
OVER LONG DISTANCES**

CITY OF KELOWNA
DESIGN AND CONSTRUCTION

UNIT 7 TURNING MOVEMENT
TOWN HOMES DEVELOPMENT
2529 RICHTER STREET

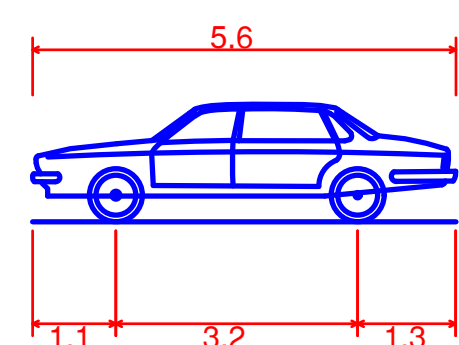
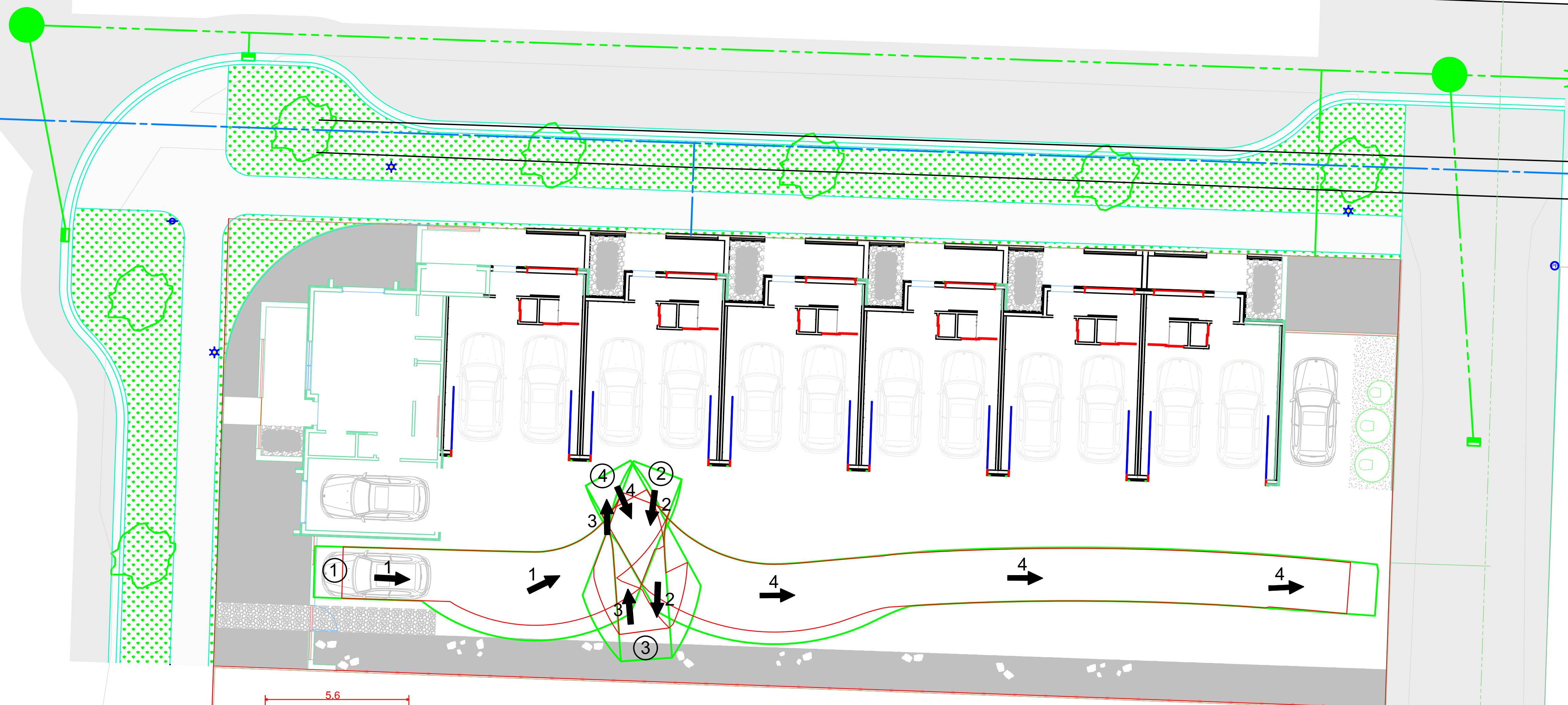
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SHEET NO. 2 OF 3

DRAWING NO.	REV NO.
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- P - Passenger Car
- Overall Length
- Overall Width
- Overall Body Height
- Min Body Ground Clearance
- Track Width
- Lock-to-lock time
- Curb to Curb Turning Radius




5.600m
2.000m
1.555m
0.340m
2.000m
4.00s
6.300m

LEGEND

WHEEL MOVEMENT
OVERHANG MOVEMENT

MANHOLE
UTILITY POLE
POWER POLE
LAMP STANDARD
CATCH BASIN
HYDRANT
TREES
SURVEY MONUMENT

LEGEND

	PAVE WITH ASPHALT
	REMOVE-REGRADE-REPLACE
	LEVEL COURSE

NAD 83

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UNIVERSITY OF TORONTO					
	NO.	YY/MM/DD	BY	REVISION	CH'K

BASE	AR	DESIGN	AR
APPROVED		KJ	
DATE		2018/10/24	
SCALE		HORIZ.	1:100
		VERT.	1:XX

**SCALE NOT ACCURATE
OVER LONG DISTANCES**

CITY OF KELOWNA

DESIGN AND CONSTRUCTION

VISITOR PARKING 2 TURNING MOVEMENT

TOWN HOMES DEVELOPMENT

2529 RICHTER STREET

FILE NO.	Z18-0038
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SHEET NO. 3 OF 3

DRAWING NO.	REV NO
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003

REV NO

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