
CITY OF KELOWNA

MEMORANDUM

Date: August 07, 2018
File No.: DP18-0096
To: Community Planning (AC)
From: Development Engineering Manager (JK)
Subject: 1717 Harvey Ave (REVISED)

ATTACHMENT A	
This forms part of application	
# <u>LUC18-0005</u> DP18-0096	
Planner Initials	AC
 City of Kelowna COMMUNITY PLANNING	

The Development Engineering Department has the following comments and requirements associated with this Development Permit application. The road and utility upgrading requirements outlined in this report will be a requirement of this development. The Development Engineering Technologist for this project is Jason Angus.

1. General.

- a. This Development Permit to convert the old Volkswagen dealership into six commercial retail units with the beginning of a pedestrian path from Harvey to Dickson will be required at Building Permit to complete the following works as laid out in this Engineering Memo:
 - i. Frontage Improvements on Harvey Ave
 - ii. Water service upgrade
 - iii. Sanitary service upgrade
- b. The discharge of the land use contract from the subject property does not compromise any City of Kelowna municipal infrastructure.
- c. Provide easements as may be required

2. Domestic Water and Fire Protection

- a. Provide an adequately sized domestic water and fire protection system complete with individual lot connections. The water system must be capable of supplying domestic and fire flow demands of the project in accordance with the Subdivision, Development & Servicing Bylaw. Provide water calculations for this property to confirm this. Ensure every building site is located at an elevation that ensures water pressure is within the bylaw pressure limits.

3. Sanitary Sewer

- a. Our records indicate that this property is currently serviced with a 150mm-diameter sanitary sewer service. The applicant's consulting mechanical engineer will determine the requirements of the proposed development and establish the service needs. Only one service will be permitted for this development. If required, the applicant will arrange for the removal and disconnection of the existing service and the installation of one new service at the applicant's cost.

4. Drainage

- a. Provide a detailed Storm Water Management Plan for this development as per the Subdivision, Development and Servicing Bylaw #7900.

5. Road Improvements

- a. Harvey Ave and the access road must be upgraded to an urban standard along the full frontage of this proposed development, including curb and gutter, sidewalk, drainage system including catch basins, manholes and pavement removal and replacement, street lighting and re-location or adjustment of utility appurtenances if required to accommodate the upgrading construction.

6. Development Permit and Site Related Issues

- a. By Registered plan to provide the following
 - i. Grant statutory rights-of-way if required for utility services and/or pedestrian access.
 - ii. Road dedication is needed for the right-in and right-out of the highway frontage lane. *This will be deferred until a major development is proposed on the property or consolidation of 1717 Harvey Ave and 164-1710 Dickson Ave.*

7. Power and Telecommunication Services and Street Lights

- a. All proposed distribution and service connections are to be installed underground. Existing distribution and service connections, on that portion of a road immediately adjacent to the site, are to be relocated and installed underground.
- b. Streetlights must be installed on all roads.
- c. Make servicing applications to the respective Power and Telecommunication utility companies. The utility companies are required to obtain the City's approval before commencing construction.
- d. Remove existing poles and utilities, where necessary. Remove aerial trespass (es)

8. Design and Construction

- a. Design, construction supervision and inspection of all off-site civil works and site servicing must be performed by a Consulting Civil Engineer and all such work is subject to the approval of the City Engineer. Drawings must conform to City standards and requirements.
- b. Engineering drawing submissions are to be in accordance with the City's "Engineering Drawing Submission Requirements" Policy. Please note the number of sets and drawings required for submissions.
- c. Quality Control and Assurance Plans must be provided in accordance with the Subdivision, Development & Servicing Bylaw No. 7900 (refer to Part 5 and Schedule 3).
- d. A "Consulting Engineering Confirmation Letter" (City document 'C') must be completed prior to submission of any designs.

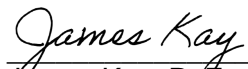
- e. Before any construction related to the requirements of this subdivision application commences, design drawings prepared by a professional engineer must be submitted to the City's Development Engineering Department. The design drawings must first be "Issued for Construction" by the City Engineer. On examination of design drawings, it may be determined that rights-of-way are required for current or future needs

9. Servicing Agreements for Works and Services

- a. A Servicing Agreement is required for all offsite works and services on City lands in accordance with the Subdivision, Development & Servicing Bylaw No. 7900. The applicant's Engineer, prior to preparation of Servicing Agreements, must provide adequate drawings and estimates for the required works. The Servicing Agreement must be in the form as described in Schedule 2 of the bylaw.
- b. Part 3, "Security for Works and Services", of the Bylaw, describes the Bonding and Insurance requirements of the Owner. The liability limit is not to be less than \$5,000,000 and the City is to be named on the insurance policy as an additional insured.

10. Bonding and Levy Summary

- a. Bonding To be Determined



James Kay, P. Eng.
Development Engineering Manager

JA

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Development Permit DP18-0096



This permit relates to land in the City of Kelowna municipally known as

1717 Harvey Avenue

and legally known as

Lot B, District Lot 129, Plan KAP68674

and permits the land to be used for the following development: Retail Commercial and Restaurant

The present owner and any subsequent owner of the above described land must comply with any attached terms and conditions.

Date of Decision:

Decision By: CITY COUNCIL OR UP

Issued Date:

Development Permit Area: (N/A for DVP's)

This permit will not be valid if development has not commenced by August 27, 2019.

Existing Zone: C10 – Service Commercial Future Land Use Designation: MXR – Mixed Use (Residential / Commercial)

This is NOT a Building Permit.

In addition to your Development Permit, a Building Permit may be required prior to any work commencing. For further information, contact the City of Kelowna, Development Services Branch.

NOTICE

This permit does not relieve the owner or the owner's authorized agent from full compliance with the requirements of any federal, provincial or other municipal legislation, or the terms and conditions of any easement, covenant, building scheme or agreement affecting the building or land.

Owner: Al Stober Construction Ltd

Applicant: Meiklejohn Architects

Ryan Smith
Community Planning Department Manager
Community Planning & Strategic Investments

Date:

1. SCOPE OF APPROVAL

This Development Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.

This Development Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this permit, noted in the Terms and Conditions below.

The issuance of a permit limits the permit holder to be in strict compliance with regulations of the Zoning Bylaw and all other Bylaws unless specific variances have been authorized by the Development Permit. No implied variances from bylaw provisions shall be granted by virtue of drawing notations that are inconsistent with bylaw provisions and that may not have been identified as required Variances by the applicant or Municipal staff.

2. CONDITIONS OF APPROVAL

- a) The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A";
- b) The exterior design and finish of the building to be constructed on the land be in accordance with Schedule "B";
- c) Landscaping to be provided on the land be in accordance with Schedule "C"; and
- d) The applicant be required to post with the City a Landscape Performance Security deposit in the form of a "Letter of Credit" in the amount of 125% of the estimated value of the landscaping, as determined by a Registered Landscape Architect.

This Development Permit is valid for two (2) years from the date of August 27, 2017 approval, with no opportunity to extend.

3. PERFORMANCE SECURITY

As a condition of the issuance of this Permit, Council is holding the security set out below to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Developer and be paid to the Developer or his or her designate if the security is returned. The condition of the posting of the security is that should the Developer fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the Municipality may use enter into an agreement with the property owner of the day to have the work carried out, and any surplus shall be paid over to the property own of the day. Should the Developer carry out the development permitted by this Permit within the time set out above, the security shall be returned to the Developer or his or her designate. There is filed accordingly:

- a) An Irrevocable Letter of Credit in the amount of **\$174,300.00**

Before any bond or security required under this Permit is reduced or released, the Developer will provide the City with a statutory declaration certifying that all labour, material, workers' compensation and other taxes and costs have been paid.

4. INDEMNIFICATION

Upon commencement of the works authorized by this Permit the Developer covenants and agrees to save harmless and effectually indemnify the Municipality against:

- a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality said Permit.

All costs, expenses, claims that may be incurred by the Municipality where the construction, engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

**The PERMIT HOLDER is the CURRENT LAND OWNER.
Security shall ONLY be returned to the signatory of the
Landscape Agreement or their designates.**

Re: Development Permit Submission

Design Rationale – 1717 Harvey Ave.

April 11, 2018

The latest addition to the Landmark Town Centre is going to be the development of the Landmark District Market. The design will provide for 6 new retail tenants that will create amenities to the Landmark area. It was an intentional decision to re-purpose the existing building in order to give the area a more small scale pedestrian friendly experience.

Architectural Design

The building will be divided into smaller tenancies with the introduction of storefront openings along the east side of the building. The use of awnings and sign carriers will assist in defining the individual spaces. The north side of the building will remain relatively intact with paint and signage being applied. The intent is to give the project a bit of a warehouse/industrial character. The windows and storefronts will be introduced using black aluminium. Prominent architectural sign carriers that are positioned away from the building face will help to shield the past use and introduce a new focus to the building. The west side will be used to create a green pedestrian connection to the south side of the building. Two retail patio areas will be located on the south side and are anticipated that they will become perfect seasonal opportunity for the tenants.

Landscape Design

Because we are creating a pedestrian friendly realm, the landscape will include the introduction of walkways and patios all around the building that are intended to animate the space more effectively. This will include a mixture of materials including cast in place concrete, brick pavers and street furniture and trees. The greening up and reconfiguration of the existing parking lot will serve to diminish the importance of the car and emphasize the importance of the pedestrian. We are creating this as a walkable amenity for the tenants of the Landmark area.

Conclusion

In summary we feel that this unstructured design approach with a well design public realm and appropriately detailed storefronts will be a welcome evolution to one of Kelowna's premier urban neighbourhoods.

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Legend

- 1717 Harvey Ave
- Feature 1



Google Earth

© 2018 Google

1717 harvey ave



80 m



1717 Harvey Ave

existing car lots

april 10, 2018

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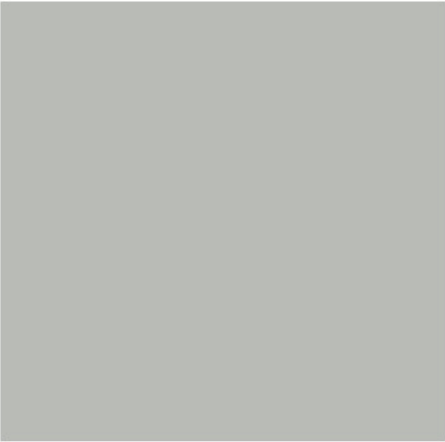
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Planner
Initials

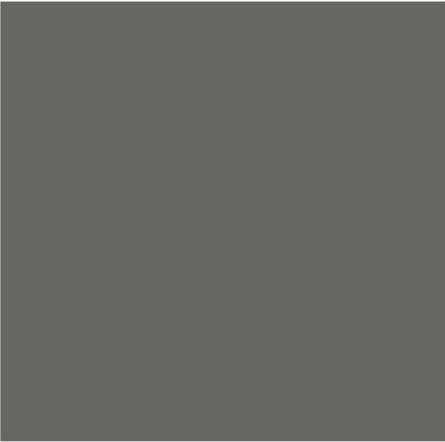
AC

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Kelowna
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coventry gray HC-169



kendall charcoal HC-166



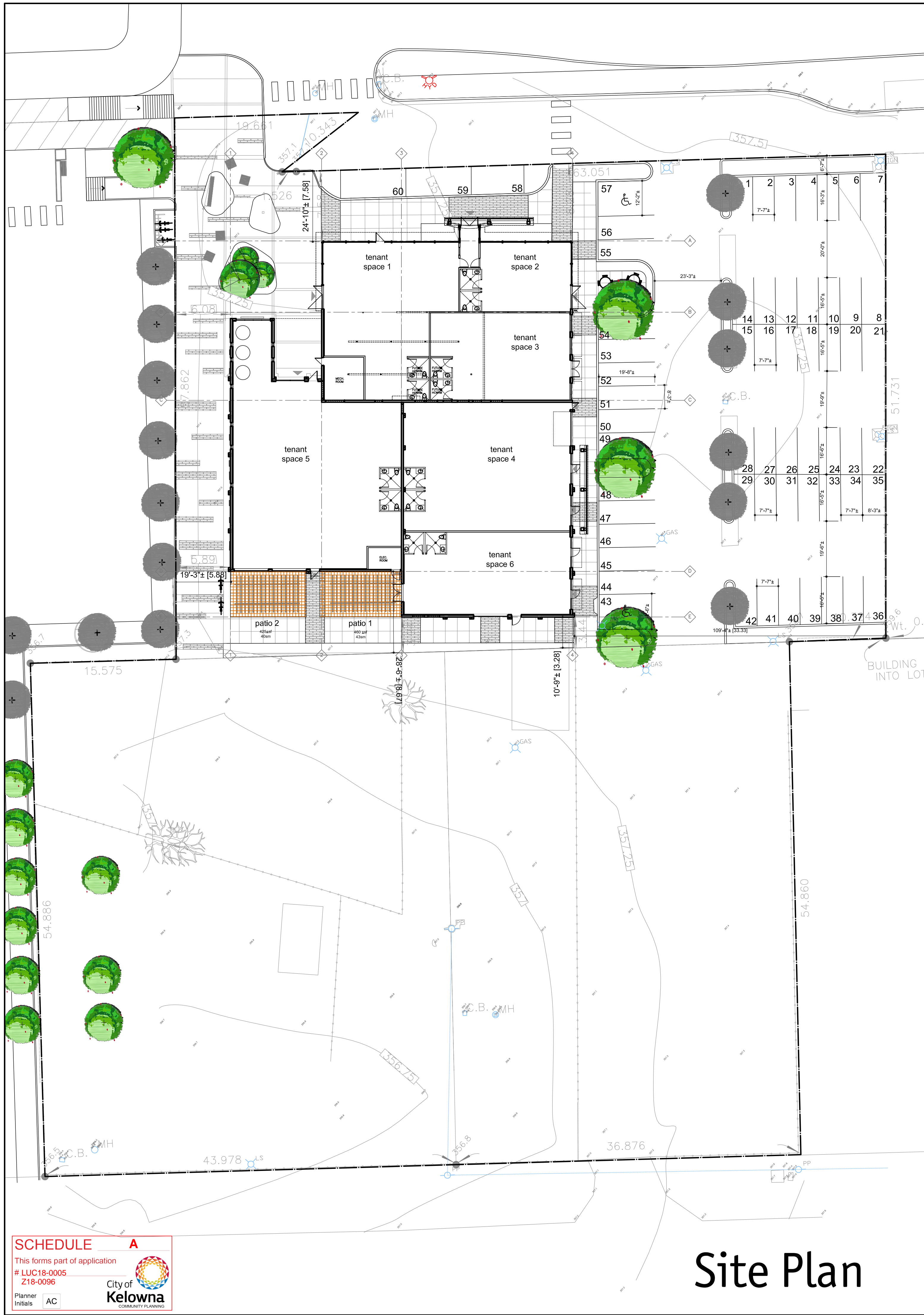
rockport gray HC-105



van deusen blue HC-156



wood trellis



ZONING SUMMARY

TURNER VOLKSWAGEN	
ADDRESS	1717 HARVEY AVE
LEGAL DESCRIPTION	LOTS B&C, PLAN KAP68674 AND LOT 2, PLAN 25004
DEVELOPMENT PERMIT AREA	N/A
EXISTING ZONING	C10
EXISTING LEGAL USE	AUTO DEALERSHIP
GRADES	EXISTING AVERAGE - LEVEL FINISH AVERAGE - LEVEL
NUMBER OF BUILDINGS	1 STOREY COMMERCIAL BUILDING

CRITERIA FOR ALL TYPES OF APPLICATION: C10 SERVICE COMMERCIAL

	ZONING STANDARD	PROPOSAL
SITE AREA (sm)	1000	±4026
SITE WIDTH (m)	30	±76
SITE DEPTH (m)	30	±51.6

PARKING

OFF-STREET PARKING	60 stalls min. (see parking calcs)	±60 stalls (EXIST.)
HEIGHT OF BUILDING (S)# OF STOREYS	12.0 m/ 3 storeys	±5.5 m/ 1 storey

COVERAGE

SITE COVERAGE OF BUILDING(S) (%)	60% MAX.	±1280/ ±4026 = ±31.8%
SITE COVERAGE INCLUDING BUILDINGS, DRIVEWAYS AND PARKING (%)	N/A	N/A

ADDITIONAL REQUIREMENTS FOR COMMERCIAL, INDUSTRIAL AND MULTIPLE UNIT / INTENSIVE RESIDENTIAL APPLICATIONS: C10 SERVICE COMMERCIAL

	ZONING STANDARD	PROPOSAL
NUMBER OF BICYCLE PARKING SPACES (COMMERCIAL)	Class I: 0.2 per 100sm x 1280sm Total = 3 bikes min. Class II: 0.6 per 100sm x 1280sm Total = 8 bikes min.	Class I: 3 stall bike rack (confirm with tenants) Class II: 8 stall bike racks (see site plan)

NUMBER OF LOADING SPACES	1/ 1900sm = 1 space min	min 1 space (see site plan)
DRIVE AISLE WIDTH (m) (IF PROPOSED)	7.0m	±7.0m (exist.)
SETBACKS TO PARKING (m):		
NORTH (FRONT)	3.0m	±2.0m (exist.)
SOUTH (REAR)	N/A	N/A
WEST (SIDE)	N/A	N/A
EAST (SIDE)	N/A	N/A
FLOOR AREA NET	5,507sm max.	±1280sm

FAR

FLOOR AREA RATIO (F.A.R.)	0.65 MAX.	±1280/ ±4026 = 0.318
BUILDING (S) SETBACKS (m):		
NORTH (FRONT)	2.0m	±7.58m
SOUTH (REAR)	0.0m	±3.28m
WEST (SIDE)	0.0m	±5.88m
EAST (SIDE)	0.0m	±33.3m
DAYLIGHT ANGLE (IF A TOWER)	N/A	N/A
PODIUM HEIGHT (IF PROPOSED)	N/A	N/A
FLOOR PLATE SIZE (IF REQUIRED)	N/A	N/A

PARKING CALCULATIONS

STALL SIZE	WIDTH	LENGTH	HEIGHT	PARKING RATIO required	PARKING RATIO proposed
FULL SIZE STALL	8'-3"	2.5m	19'-8" 6.0m	-	-
MEDIUM SIZE STALL (40% max)	7'-6"	2.3m	15'-9" 4.8m	24	42 (EXIST.)
COMPACT SIZE STALL (10% max)	6'-6"	2.0m	11'-2" 3.4m	6	-
DISABLED STALL	12'-2"	3.7m	19'-8" 6.0m	1	2
DRIVE AISLES (2-way 90° pkg)	23'-0"	7.0m			

PARKING REQUIREMENTS:	COMMERCIAL:	no of stalls
	Liquor Primary Establishment, Minor:	
	1 per 4 seats of capacity x 183 ppl	46 stalls
	Retail Store GFA less than 1,000sm:	
	2 stalls/ 100sm x 660sm	14 stalls
	TOTAL PARKING REQUIRED:	60 stalls
	TOTAL PARKING PROVIDED:	
	PARKING @ GRADE:	±60 stalls (EXIST.)



FIRE PROTECTION: 3.2.4/ 3.2.5/ 3.2.6.

LOCATION OF HYDRANT TO BUILDING ENTRY	90 m MAX.	3.2.5.5.
STANDPIPE/HOSE	N/A	3.2.5.8.
SPRINKLERED	N/A	
FIRE ALARM SYSTEM	N/A (CONFIRM ON SITE)	3.2.4.1.(2)(f)
EXIT LIGHTS	YES	
EMERGENCY LIGHTING	YES	

OCCUPANT LOAD SEE A201.1

LEVEL 1 (retail):		180 PERSONS
LEVEL 1 (restaurant):		183 PERSONS
	BUILDING TOTAL	363 PERSONS

EXIT FACILITIES 3.1 TO 3.6

REQUIRED EXITS	REQUIRED WIDTHS	PROVIDED WIDTHS
	min. 800mm door width as per 3.4.3.2.(A)	
LEVEL 1 (doors)	6.1mm/ person X 363 persons max. = 2,214mm MIN.	min.10 doors @ 3'-0" width = 30'-0" (9,144 mm)
EXIT THROUGH LOBBY	NO	3.4.4.2.
PANIC HARDWARE REQ'D	yes (at exterior doors - confirm with tenants)	3.4.6.16.(2)
EXIT EXPOSURE	ok	3.2.3.13.
MAX. TRAVEL DISTANCE	30m (15m for single exit)	3.4.2.5.(1)
EXIT RATINGS REQUIRED:		
STAIR SHAFTS	N/A	3.4.4.1.
CORRIDORS	N/A	3.3.2.6.(4)

REQUIRED FIRE SEPARATIONS 3.1.3.1.

TENANTS / MAJOR OCCUPANCIES		
GROUP A2 TO E	2 HR	
SERVICES ROOMS	1 HR	3.8.2.
JANITOR ROOM	1 HR	

BUILDING FIRE SAFETY

SOFFIT PROTECTION	N/A	3.2.3.16.
FLAME SPREAD RATINGS	COMPLY WITH	3.1.13.2
METAL DECK ASSEMBLIES	N/A	3.1.14.2.
ROOF COVERING CLASSIFICATION	CLASS "A"	3.1.15.2.
ATTIC FIRESTOPS	N/A	3.1.11.
MAX. ATTIC AREA	N/A	3.1.11.5.
MAX. CRAWLSPACE AREA	N/A	3.1.11.6.
CONCEALED FLOOR AREA	N/A	3.1.11.5.

ACCESSIBILITY REQUIREMENTS 3.8.

	REQUIRED	PROVIDED
ACCESS TO MAIN ENTRANCES	YES	YES
ACCESS TO ALL FLOORS	YES	YES
ACCESSIBLE WASHROOM	YES	YES

WASHROOM FIXTURES REQUIREMENTS

WASHROOM REQUIREMENTS TO BE CONFIRMED BY FUTURE TENANTS AS PART OF THEIR LEASEHOLD IMPROVEMENTS PERMIT APPLICATION (N.I.C.)

BUILDING CODE REVIEW

OCCUPANCY	GROUP A2	GROUP D	GROUP E	GROUP F2
ARTICLE	3.2.2.25	3.2.2.58	3.2.2.64	3.2.2.74
NO. OF STOREYS	1 STOREY	1 STOREY	1 STOREY	1 STOREY
NO. OF STREETS FACING	2	2	2	2
MAX. BUILDING AREA	PROPOSED ±13,680 (±1,280sm)		CODE MAXIMUM 1,500 sm (3.2.2.64.(1))	
CONSTRUCTION TYPE	COMBUSTIBLE / NON-COMBUST.			
SPRINKLERED	NO			
ASSEMBLY RATINGS:				
FLOOR	N/A			
WALLS/ BEARING STRUCTURE	45 MINUTES			
ROOFS	45 MINUTES			

SPATIAL SEPARATION: 3.2.3.1.C

	NORTH (FRONT) & EAST WALL	WEST WALL	SOUTH WALL
WALL AREA		±152.2sm	±89.4sm
OPENING AREA	WINDOW OPENINGS & WALL CONSTRUCTION UNRESTRICTED.	±10.7sm	±13.3sm
% PROVIDED		±7.1%	±14.9%
LIMITING DISTANCE	EXCEED 9.0m, OR BLOG FACES A STREET IN ACCORDANCE WITH 3.2.3.10	5.88m	3.28m
% PERMITTED		±25%	±15.5%
CONSTRUCTION TYPE		Combust.	Combust.
CLADDING MATERIAL		Non combust.	Non combust.
REQUIRED RATINGS		45 MINUTES	1 HOUR

BUILDING FLOOR AREAS

	GFA (±sf)	GFA (±sm)
LEVEL 1	13,680	1,280
BUILDING FOOTPRINT FOR SITE COVERAGE	13,680	1,280
TOTAL FLOOR AREA FOR FAR (SEE A201.1 FOR LEASE AREA)	13,680	1,280

233 BERNARD AVENUE
KELOWNA, B.C.
V1Y 6N2
TEL: 250.762.3004
EMAIL: kel-mat@shaw.ca



2018-04-10

DP



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No.	Date	Revision
01	2018-04-10	issued DP

Project Title

EXISTING BUILDING
FACADE UPGRADE

1717 HARVEY AVE KELOWNA V1Y 6G3
LOT B DL 129 ODYD PLAN KAP68674

Drawing Number

A2.01

DRAWINGS ARE NOT TO BE SCALED.
ALL DIMENSIONS SHALL BE VERIFIED ON JOB

Drawing Title

ZONING &
CODE SUMMARY

20' = 12"

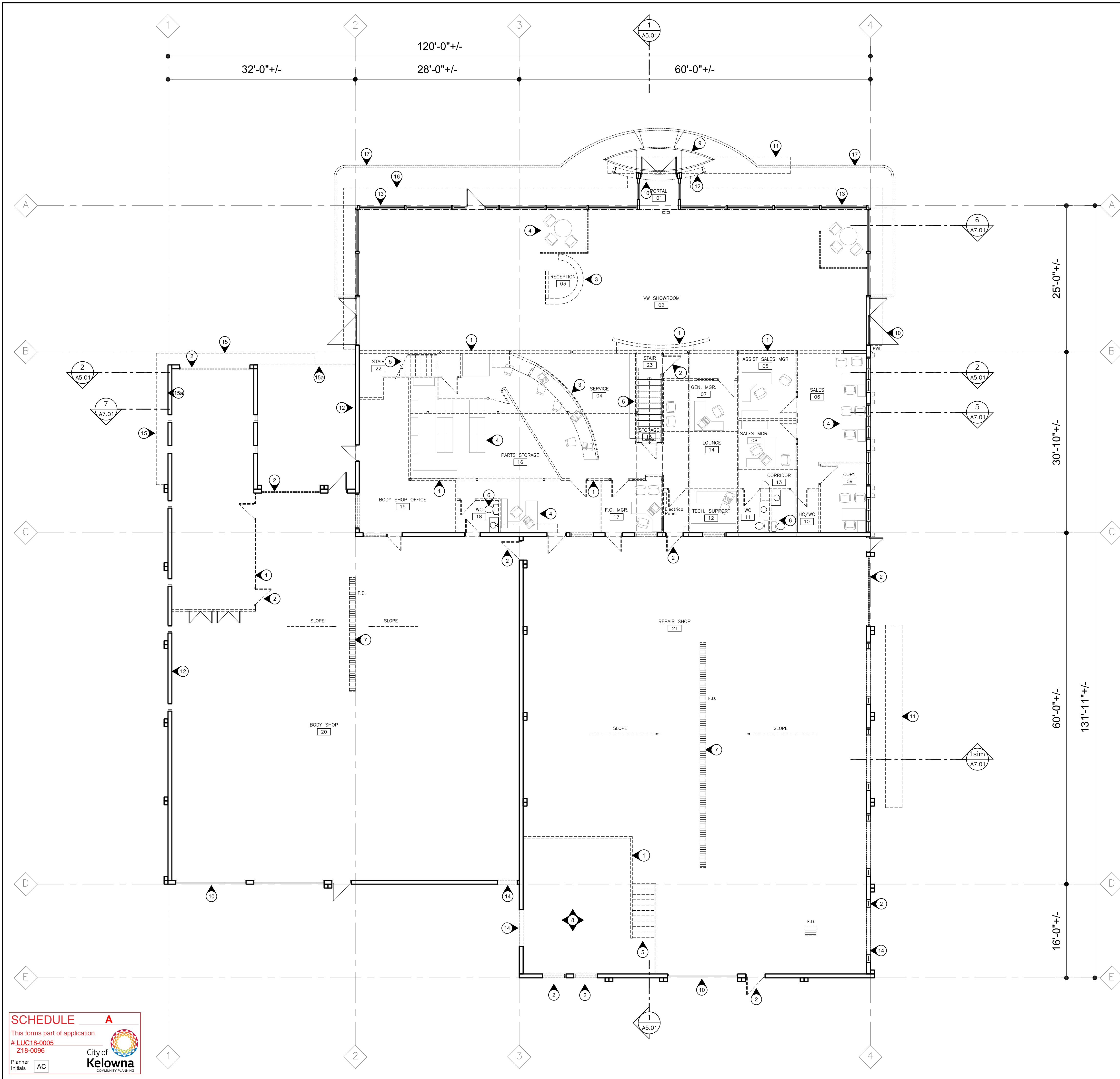
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Job No.	m+m 17-1786
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Drawn	ES
Checked	JM

SCHEDULE A

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Z18-0096

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COMMUNITY PLANNING



DEMOLITION KEY NOTE LEGEND:

All demolition items to be removed from site unless noted or as directed by owner.

All existing services affected by new construction to be patched & repaired.

Provide all temporary framing and support/shoring during demolition & construction. Remove and dispose all shoring and attachments off site upon completion.

1. Remove existing wall. Note: all existing services/wiring to be v.o.s. & capped/relocated as directed by elec
2. Remove existing door & window.
3. Remove existing millwork.
Note: confirm on site locations of existing trenches for existing power, clean & prepare trenches as required for new concrete fill.
4. Remove existing shelving/furniture where applicable
5. Remove existing stairs
6. Remove existing plumbing fixtures.
Cap existing plumbing lines & locate existing mains for future connections
7. Remove existing trench drain.
8. Remove existing mezzanine framing & sheathing
9. Remove curved canopy (v.o.s.)
10. Existing doors to remain (protect during construction)
11. Excavation as required for new exterior screens.
Provide conduit as required for lighting.
12. Existing walls to remain where applicable.
Patch & make good all surfaces & ensure all air barriers/ vapour barriers are sealed
13. Existing windows to remain (protect during construction)
14. Existing wall to be cut & removed as required to suit new openings. Provide shoring & new lintels as required (struct. to review on site)
15. Existing fabric awning & framing to be removed to suit new exterior finishes.
- 15a. Existing metal cladding to remain (protect during awning removal)
16. Existing canopy/fascia to be retained.
Existing surfaces to be prepared for new finishes (see renovation elevations)
17. Existing sidewalk /curb to be removed.

233 BERNARD AVENUE
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2018-04-10
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TRUE NORTH

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**EXISTING BUILDING
FACADE UPGRADE**

1717 HARVEY AVE KELOWNA V1Y 6G3
LOT B DL 129 ODYD PLAN KAP68674

Drawing Number

A3.01

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Drawing Title
**MAIN FLOOR
DEMOLITION**

1/8"=1'0"

Date	2018-04-10
Job No.	m+m 17-1786
Scale	A5 SHOWN
Drawn	ES
Checked	JM

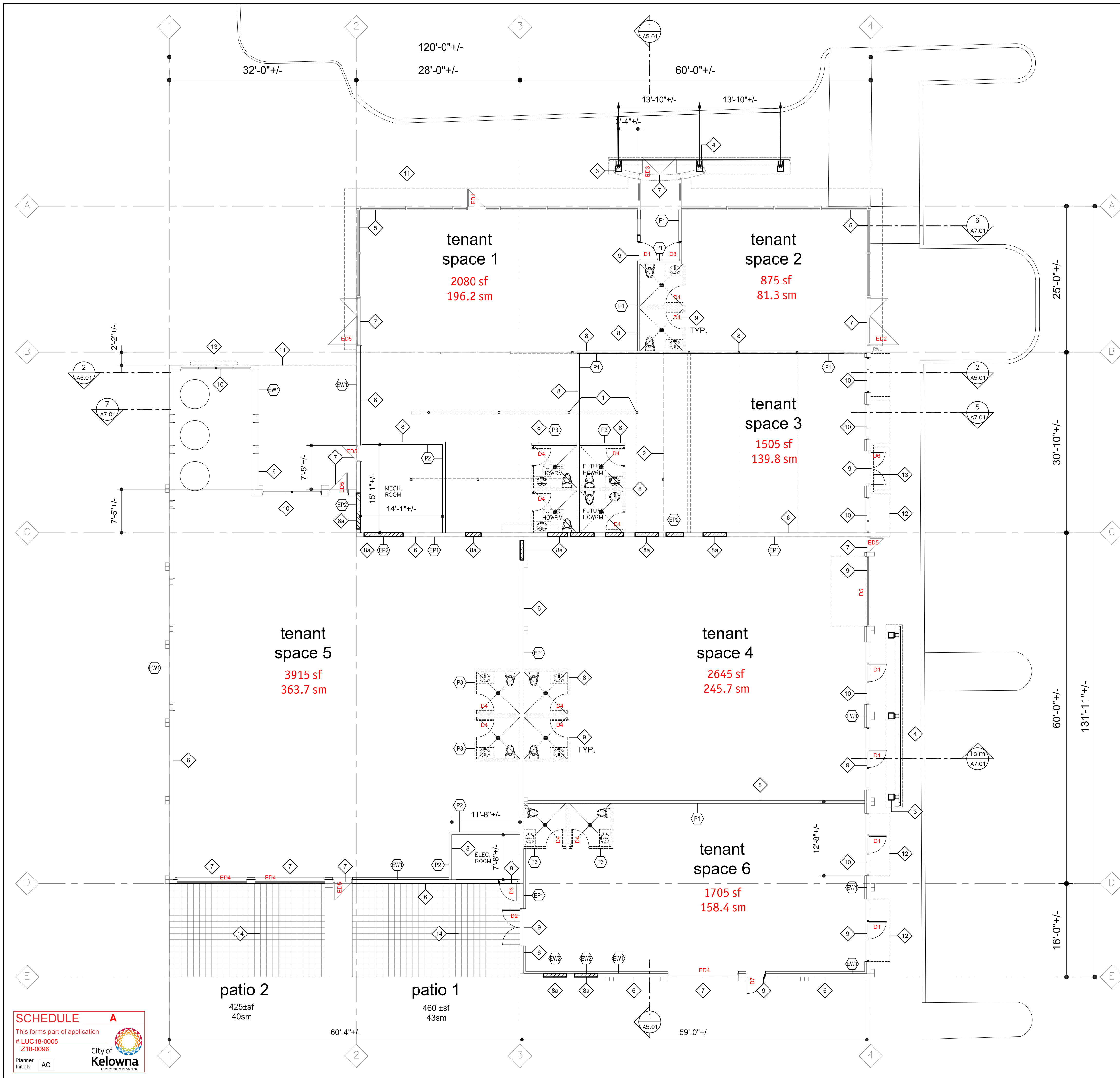
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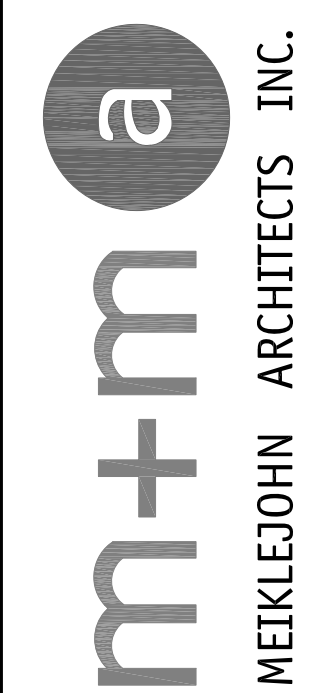
Planner
Initials AC

City of Kelowna
COMMUNITY PLANNING



- RENOVATION KEY NOTE LEGEND:** #
- EXISTING COLUMN (V.O.S.)
NOTE: ALL EXPOSED COLUMNS TO HAVE 1 HR RATED
GWB ENCLOSURE (SEE WALL TYPES)
 - EXISTING BEAM (V.O.S.)
 - NEW CONC. PIERS FOR NEW TRELLIS
(SEE DETAILS / STRUCT.)
 - NEW WOOD/ STEEL TRELLIS/ SCREEN (SEE DETAILS)
 - EXISTING WINDOW TO REMAIN, PROTECT DURING
CONSTRUCTION & CLEAN ALL SURFACE AT
COMPLETION OF WORK
 - EXISTING WALL TO REMAIN. PATCH & MAKE GOOD ALL
SURFACES/ FINISHES
 - EXISTING DOOR TO REMAIN. PATCH & MAKE GOOD ALL
SURFACES/ FINISHES. CLEAR ALL SURFACES AFTER
CONSTRUCTION COMPLETION. CONDITION OF EXIST.
HARDWARE TO BE SITE REVIEWED & REPLACED WITH
NEW HARDWARE WHERE REQUIRED
 - NEW PARTITION WALL (SEE WALL ASSEMBLY TYPES)
 - NEW INFILL WALL TO MATCH EXIST WALL THICKNESS &
MATERIAL TYPES (V.O.S.)
 - NEW DOOR (SEE DOOR SCHEDULE)
 - NEW WINDOW (SEE WINDOW SCHEDULE)
 - EXISTING CANOPY ABOVE
 - NEW FABRIC AWNING SCREWED TO EXIST. WALL
(CONFIRM ANCHOR DETAILS WITH AWNING MANUF. -
PROVIDE ENG. SHOP DWGS.)
 - CANOPY / SIGN BOX ABOVE (SEE DETAILS)
 - NEW C.I.P. CONC. PATIO
(TO BE CONFIRMED BY TENANTS)

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FACADE UPGRADE**

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LOT B DL 129 ODYD PLAN KAP68674

Drawing Number

A3.02

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Drawing Title
**MAIN FLOOR
RENOVATIONS**

1/8"=1'0"

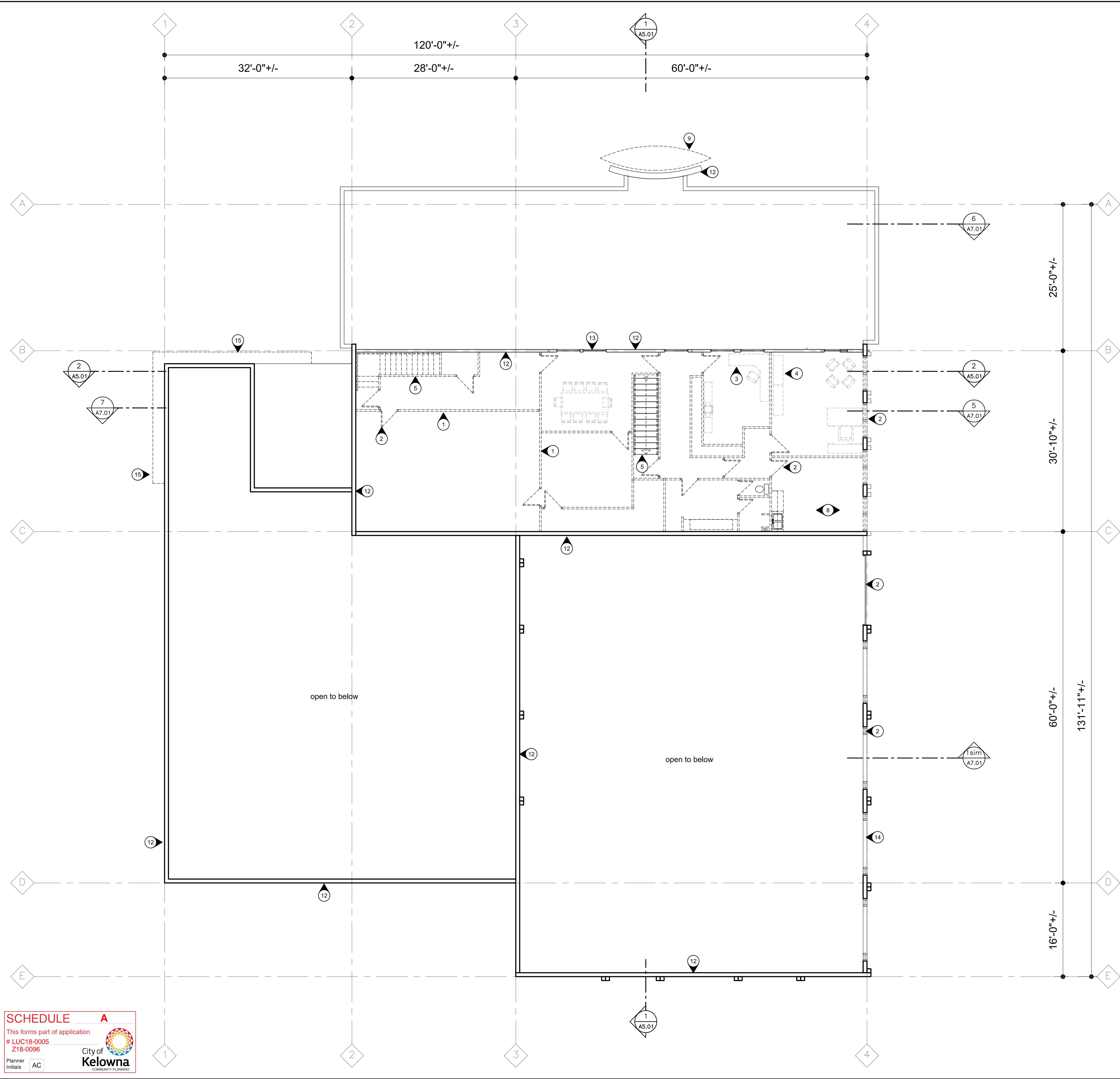
Date	2018-04-10
Job No.	m+m 17-1786
Scale	A5 SHOWN
Drawn	SN
Checked	JM

SCHEDULE A

This forms part of application
LUC18-0005
Z18-0086

Planner Initials AC

City of Kelowna
COMMUNITY PLANNING



Note:
See A301 for demolition key note legend.

233 BERNARD AVENUE
KELOWNA, B.C.
V1Y 6N2
TEL: 250.762.3004
EMAIL: kel-mai@shaw.ca



2018-04-10

DP



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No.	Date	Revision
01	2018-04-10	issued DP

Project Title

EXISTING BUILDING
FACADE UPGRADE

1717 HARVEY AVE KELOWNA V1Y 6G3
LOT B DL 129 ODYD PLAN KAP68674

Drawing Number

A3.03

DRAWINGS ARE NOT TO BE SCALED.
ALL DIMENSIONS SHALL BE VERIFIED ON JOB

Drawing Title

2ND FLOOR
DEMOLITION

1/8"=1'0"

Date	2018-04-10
Job No.	m+m 17-1786
Scale	A5 SHOWN
Drawn	ES
Checked	JM

SCHEDULE

A

This forms part of application

LUC18-0005

Z18-0096

Planner

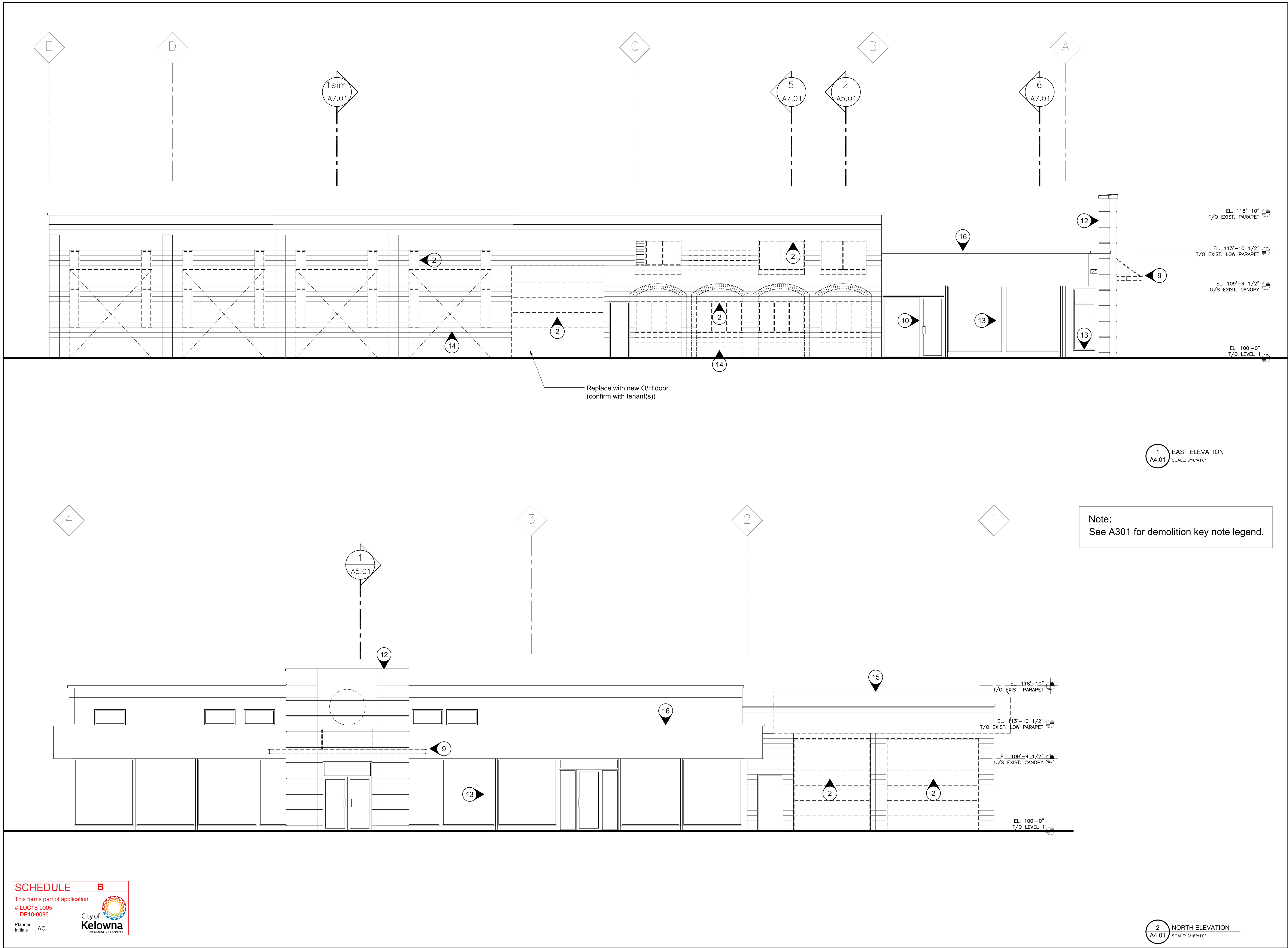
Initials

AC

City of Kelowna

COMMUNITY PLANNING

2018-04-10
DP



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No.	Date	Revision
01	2018-04-10	issued DP

Project Title
**EXISTING BUILDING
FACADE UPGRADE**

1717 HARVEY AVE KELOWNA V1Y 6G3
LOT B DL 129 ODYD PLAN KAP68674

Drawing Number

A4.01

DRAWINGS ARE NOT TO BE SCALED.
ALL DIMENSIONS SHALL BE VERIFIED ON JOB

Drawing Title
**EXTERIOR ELEVATION
DEMOLITION**

3/16"=1'0"

Date	2018-04-10
Job No.	m+m 17-1786
Scale	AS SHOWN
Drawn	ES
Checked	JM

A compass rose with a circle and a vertical line. The top half of the circle is shaded black. The text "TRUE NORTH" is written above the circle.

No.	Date	Revision
01	2018-04-10	issued DP

EXISTING BUILDING FACADE UPGRADE

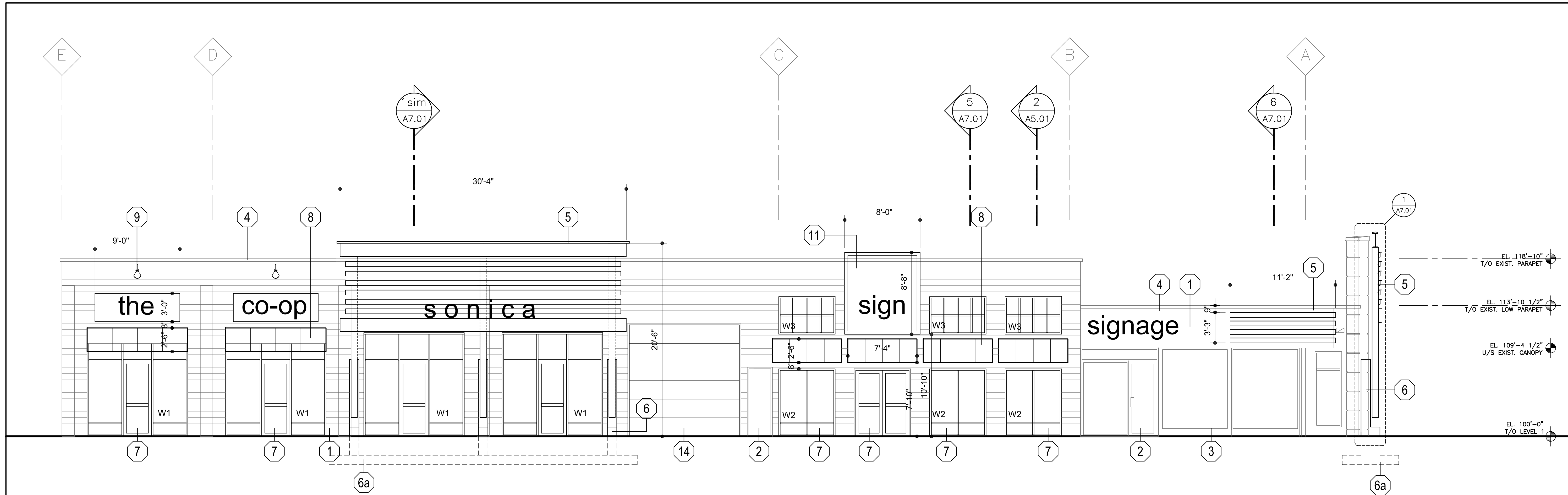
A4.02

Drawing Title
**EXTERIOR ELEVATION
 DEMOLITION**

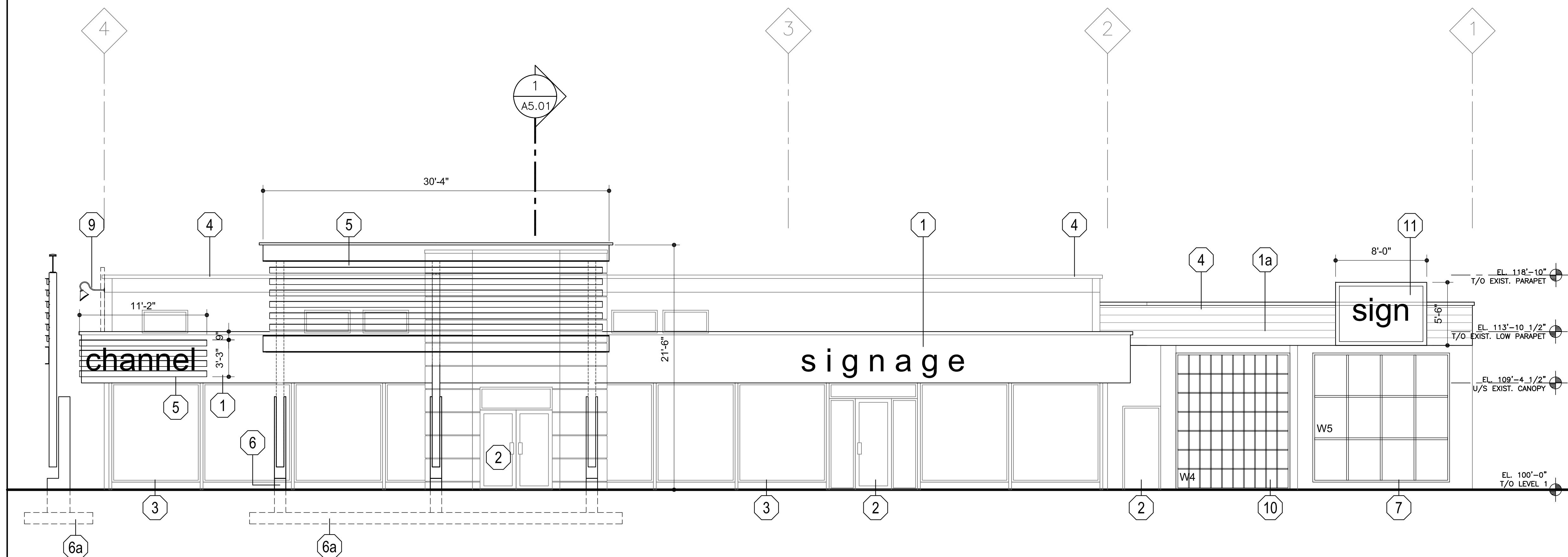
Date	2018-04-10
Job No.	m+m 17-1786
Scale	AS SHOWN
Drawn	ES
Checked	JM



2018-04-10
DP



1 EAST ELEVATION
SCALE: 3/16"=1'0"



2 NORTH ELEVATION
SCALE: 3/16"=1'0"

ELEVATION KEY NOTES		
ALL COLOURS TO BE CHOSEN BY ARCHITECT FROM APPROVED PRODUCT MANUF.'S STANDRAD LINE OF COLOURS.		
1	NEW PAINT FINISH ON EXIST. WALLS & FASCIA	
1a	NEW PAINT FINISH OVER EXIST. METAL CLADDING	
2	EXIST. DOORS TO REMAIN (NEW PAINT FINISHES WHERE APPLICABLE)	
3	EXIST. WINDOWS TO REMAIN	
4	NEW FINISHES/ NEW FLASHING CAP WHERE APPLICABLE.	
5	NEW WOOD/STEEL TRELLIS/ SCREEN	
6	CONC. PILASTER	
6a	NEW FOUNDATIONS FOR WOOD/STEEL TRELLIS/SCREEN	
7	NEW ALUM. STORE FRONT WINDOWS & DOORS	
8	NEW FABRIC AWNINGS (CONFIRM WITH TENANT)	
9	NEW BLDG / SIGNAGE LIGHTING	
10	NEW DECORATIVE GLASS SCREEN /DOOR (CONFIRM WITH TENANT)	
11	NEW ILLUMINATED SIGNAGE	
12	NEW PAINTED METAL DOOR	
13	NEW BLOCK INFILL TO MATCH EXIST. WALLS	
14	NEW O/H DOOR - PAINT FINISH	
15	NEW SCREEN AROUND NEW PATIOS (CONFIRM WITH TENANT)	



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No.	Date	Revision
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Project Title
**EXISTING BUILDING
FACADE UPGRADE**

1717 HARVEY AVE KELOWNA V1Y 6G3
LOT B DL 129 ODYD PLAN KAP68674

Drawing Number

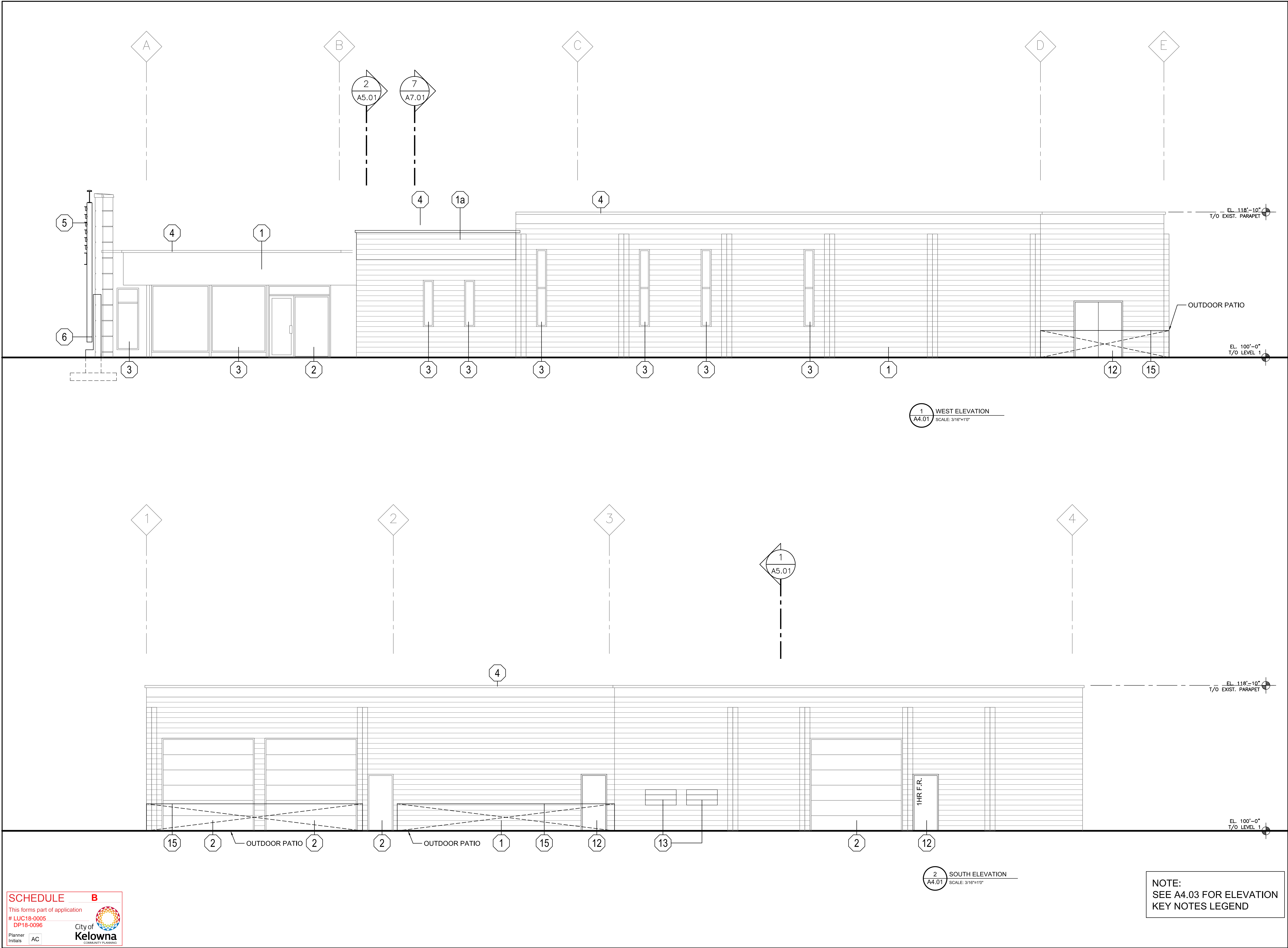
A4.03

DRAWINGS ARE NOT TO BE SCALED.
ALL DIMENSIONS SHALL BE VERIFIED ON JOB

Drawing Title
EXTERIOR ELEVATIONS

3/16"=1'0"

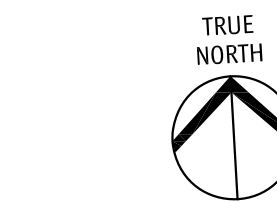
Date	2018-04-10
Job No.	m+m 17-1786
Scale	AS SHOWN
Drawn	ES
Checked	JM



233 BERNARD AVENUE
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m+m+a
MEIKLEJOHN ARCHITECTS INC.

2018-04-10
DP



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No.	Date	Revision
01	2018-04-10	issued DP

Project Title
**EXISTING BUILDING
FACADE UPGRADE**

1717 HARVEY AVE KELOWNA V1Y 6G3
LOT B DL 129 ODYD PLAN KAP68674

Drawing Number

A4.04

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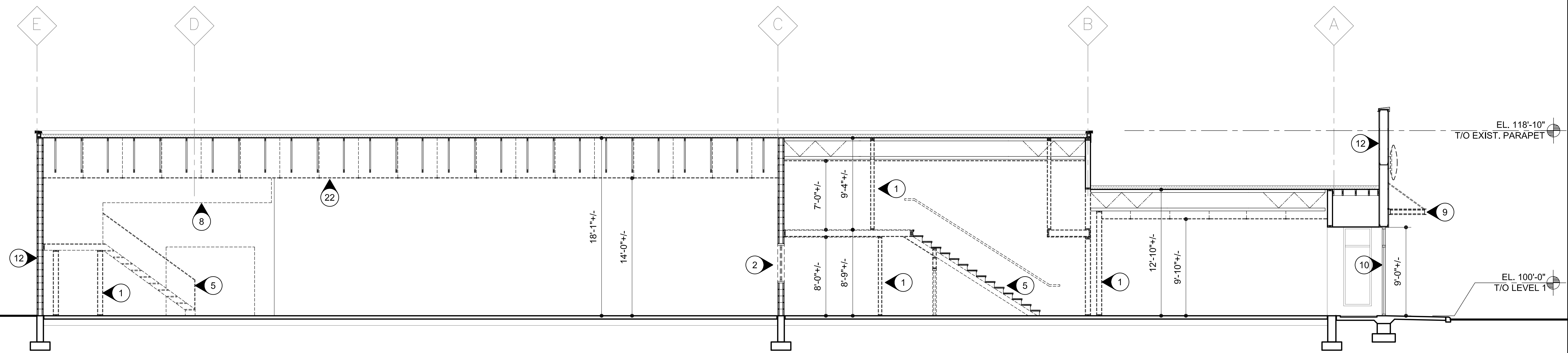
Drawing Title
**EXTERIOR ELEVATIONS
RENOVATION**

3/16"=1'0"

Date	2018-04-10
Job No.	m+m 17-1786
Scale	AS SHOWN
Drawn	ES
Checked	JM

2018-04-10
DP

Note:
See A301 for demolition key note legend.



1 BUILDING SECTION
SCALE: 3/16"=1'0"



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No.	Date	Revision
01	2018-04-10	issued DP

Project Title
**EXISTING BUILDING
FACADE UPGRADE**

1717 HARVEY AVE KELOWNA V1Y 6G3
LOT B DL 129 ODYD PLAN KAP68674

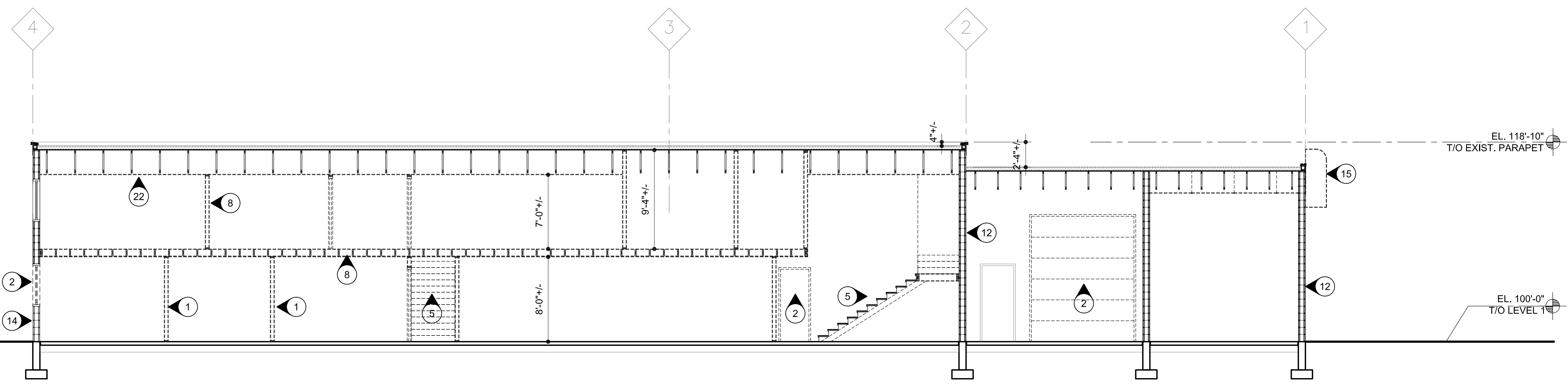
Drawing Number
A5.01

DRAWINGS ARE NOT TO BE SCALED.
ALL DIMENSIONS SHALL BE VERIFIED ON JOB

Drawing Title
**BUILDING SECTION
DEMOLITION**

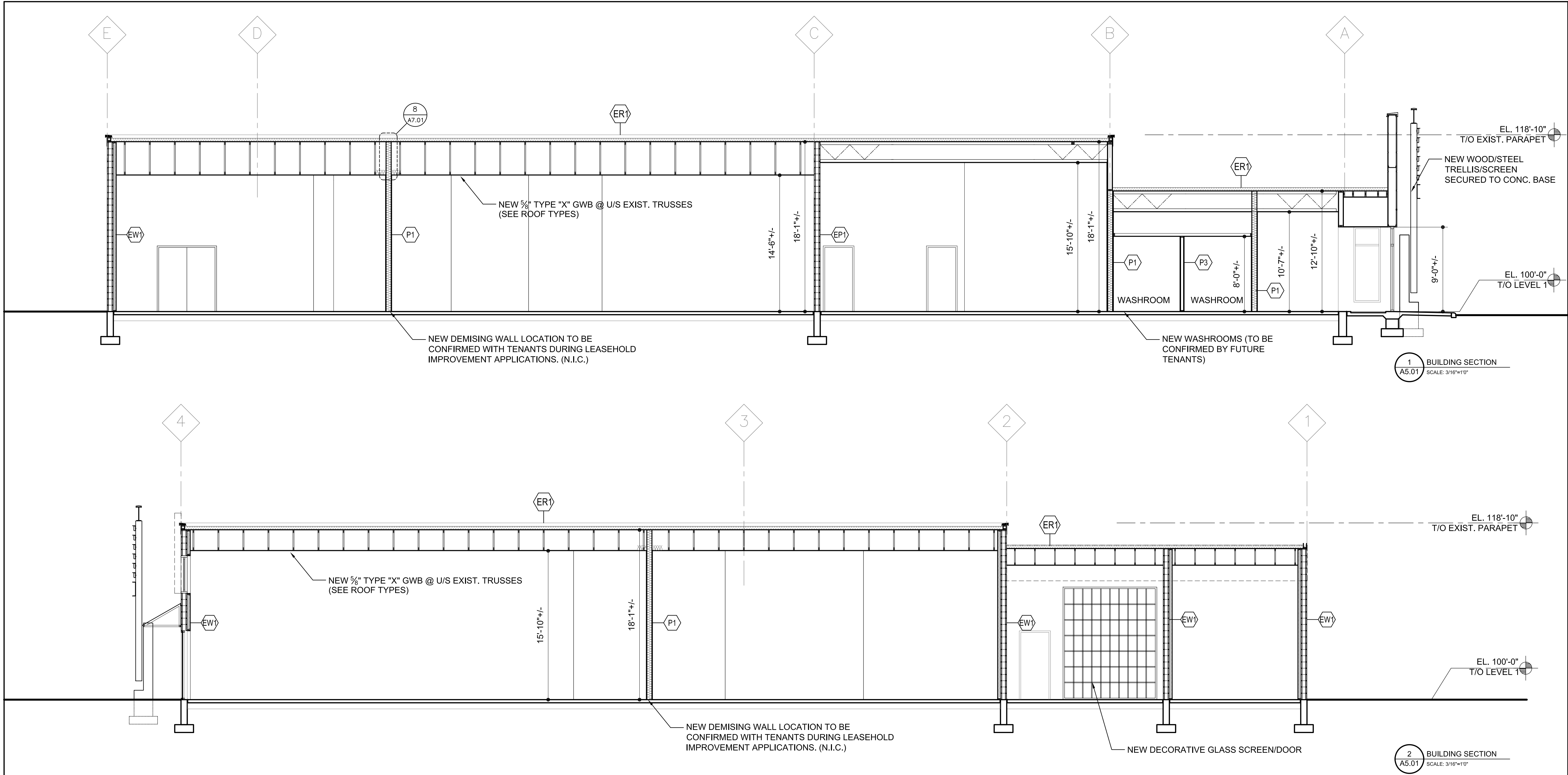
3/16"=1'0"	
Date	2018-04-10
Job No.	m+m 17-1786
Scale	AS SHOWN
Drawn	ES
Checked	JM

2 BUILDING SECTION
SCALE: 3/16"=1'0"



SCHEDULE B
This forms part of application
LUC18-0005
DP18-0096
City of Kelowna
COMMUNITY PLANNING
Planner Initials AC

2018-04-10
DP



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No.	Date	Revision
01	2018-04-10	issued DP

Project Title
**EXISTING BUILDING
FACADE UPGRADE**

1717 HARVEY AVE KELOWNA V1Y 6G3
LOT B DL 129 ODYD PLAN KAP68674

Drawing Number

A5.02

DRAWINGS ARE NOT TO BE SCALED.
ALL DIMENSIONS SHALL BE VERIFIED ON JOB

Drawing Title
BUILDING SECTION

RENOVATION

3/16"=1'0"

Date	2018-04-10
Job No.	m+m 17-1786
Scale	A5 SHOWN
Drawn	ES
Checked	JM

PLAN - BC INTERIOR\5117\17M-00803-00 LANDMARK CAMPUS GREENING INITIATIVE\01 - PRODUCTION DRAWINGS\01 - DRAWINGS\02 - CURRENT\511717M-00803_LDP_MKTDSTRCT.DWG



LANDSCAPE PLAN LEGEND:

- PROPERTY LINE
- BUILDING ENTRY
- BIKE RACK
- CONCRETE PAVING
- SPECIALTY PAVING
- REMOVABLE BOLLARD
- SPECIALTY SEATING
- TRELLIS

PLANTING LEGEND:

- PROPOSED DECIDUOUS TREE
- NATIVE GRASS, SHRUB AND PERENNIAL PLANTING

LANDSCAPE DEVELOPMENT DATA:

- PLANT MATERIALS AND CONSTRUCTION METHODS SHALL CONFORM TO MINIMUM STANDARDS ESTABLISHED IN THE CANADIAN LANDSCAPE STANDARDS (CURRENT EDITION).
- THE LANDSCAPE DESIGN DESIGNATED HEREIN IS CONCEPTUAL BUT REFLECTS THE MINIMUM ACCEPTABLE QUALITY AND SIZE.
- PLANT MATERIAL SELECTIONS ARE CONCEPTUAL ONLY. FINAL PLANTING SELECTIONS MAY VARY DEPENDING UPON AVAILABILITY.
- ALL PLANTERS SHALL HAVE APPROVED MULCH.
- ALL LANDSCAPE AREAS TO BE IRRIGATED WITH AN EFFICIENT AUTOMATIC IRRIGATION SYSTEM.
- THIS DRAWING DEPICTS FORM AND CHARACTER AND IS TO BE USED FOR DEVELOPMENT PERMIT SUBMISSION ONLY. IT IS NOT INTENDED FOR USE AS A CONSTRUCTION DOCUMENT.

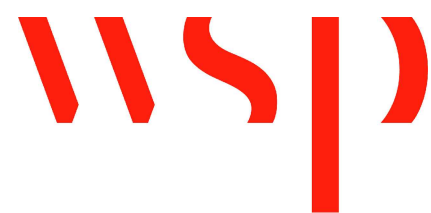


SCHEDULE C
This forms part of application
LUC18-0005
DP18-0096
City of Kelowna
COMMUNITY PLANNING
Planner Initials AC



REVISIONS / ISSUED		
NO.	DATE	DESCRIPTION
2	MAR 13/18	ISSUED FOR DEVELOPMENT PERMIT
1	MAR 06/18	ISSUED FOR REVIEW

PROJECT
LANDMARK CAMPUS GREENING INITIATIVE
CLIENT
AL STOBBER CONSTRUCTION LTD.
CONSULTANT



LANDSCAPE ARCHITECTURE | URBAN DESIGN | PLANNING | ENGINEERING
540 Leon Ave. Kelowna, BC V1Y 6J6 T: 250.869.1334 F: 250.862.4849 www.wmm.ca

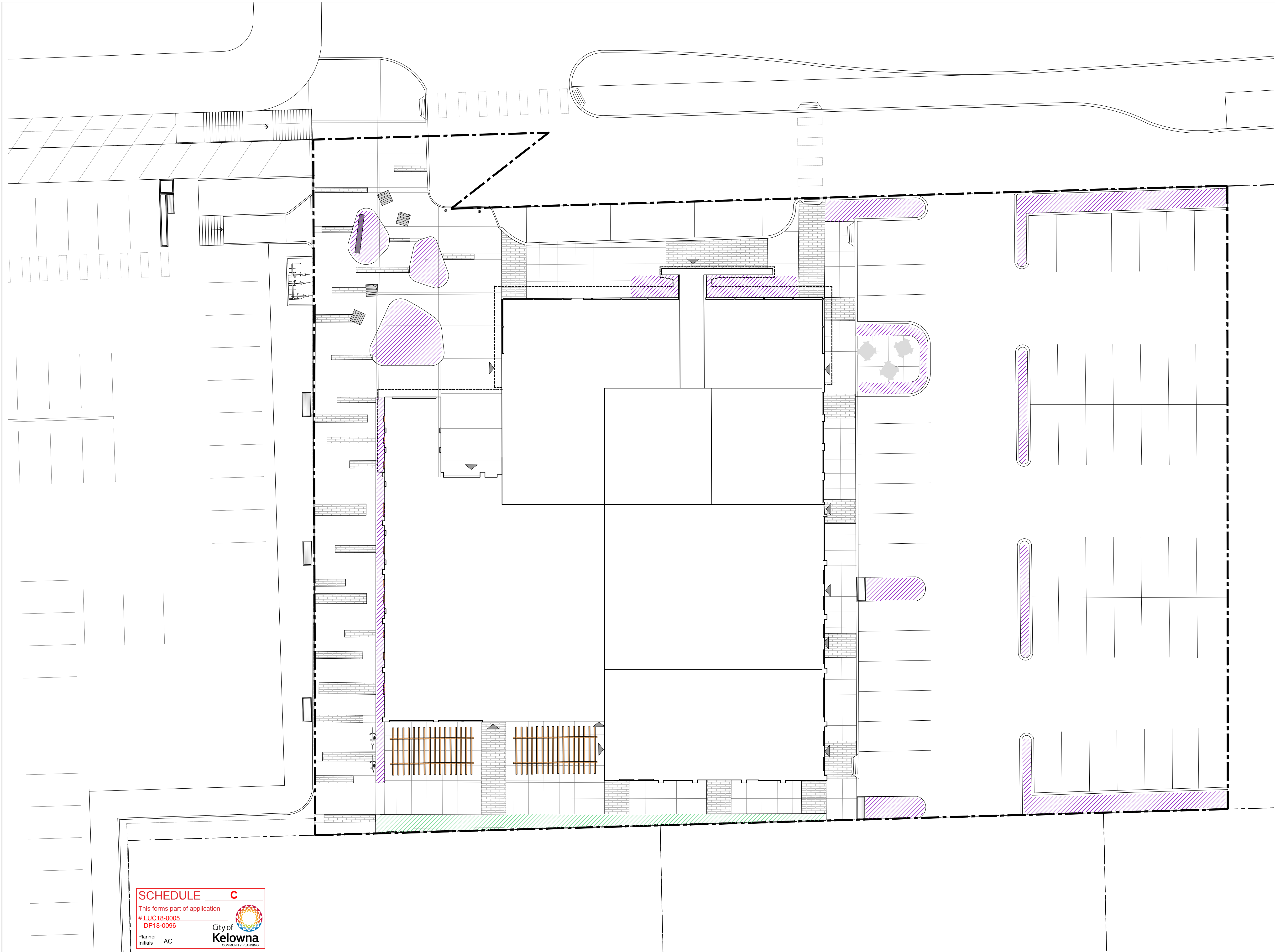
DESIGN BY	RTE
DRAWN BY	CR
CHECKED BY	RF
PROJECT NO.	17M-00803
SCALE	1:150

SHEET TITLE
**LANDMARK HARVEY
LANDSCAPE PLAN**

SHEET NO.

LDP-1

P:\51 - BC INTERIOR\5117\17M-00803-00 LANDMARK CAMPUS GREENING INITIATIVE\01 - PRODUCTION DRAWINGS\01 - DRAWINGS\02 - CURRENT\511717M-00803_LDP-MKTDISTRICT.DWG



HYDROZONE LEGEND:

- MODERATE WATER USAGE**
GRASSES / PERENNIAL MIXED PLANTING/
WOOD MULCH (0.75m -1.0m O.C.)
- 187.0 sq.m.
- HIGH WATER REQUIREMENTS**
SOD AREA
- 0.0 sq.m.
- LOW WATER USAGE**
SHRUB PLANTING/ WOOD
MULCH (0.5m -0.75m O.C.)
- 36.0 sq.m.

SCHEDULE

C

This forms part of application

LUC18-0005

DP18-0096

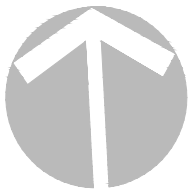
Planner

Initials

AC

City of Kelowna

COMMUNITY PLANNING

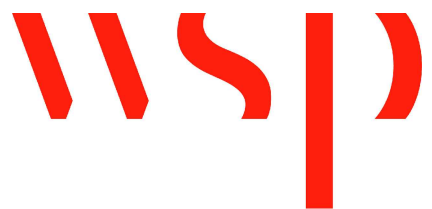


REVISIONS / ISSUED		
2	MAR 13/18	ISSUED FOR DEVELOPMENT PERMIT
1	MAR 06/18	ISSUED FOR REVIEW
NO.	DATE	DESCRIPTION

PROJECT
LANDMARK CAMPUS GREENING INITIATIVE

CLIENT
AL STOBBER CONSTRUCTION LTD.

CONSULTANT



LANDSCAPE ARCHITECTURE | URBAN DESIGN | PLANNING | ENGINEERING
540 Leon Ave., Kelowna, BC V1Y 6J6 T: 250.869.1334 F: 250.862.4849 www.wmm.ca

DESIGN BY	RTE
DRAWN BY	CR
CHECKED BY	RF
PROJECT NO.	17M-00803
SCALE	1:150

SHEET TITLE
LANDMARK HARVEY
HYDROZONE PLAN

SHEET NO.

LDP- 2