

DEVELOPMENT PERMIT



APPROVED ISSUANCE OF DEVELOPMENT PERMIT

File Number DP16-0027 & DVP16-0028
Issued To: Eidos Architecture Inc.
Site Address: 800 Academy Way
Legal Description: Lot 1, Section 3 & 10, Township 23, ODYD, Plan EPP45918
Zoning Classification: RM5 - Multiple Unit Residential (Medium Density)
Development Permit Area: Comprehensive Development Permit Area

SCOPE OF APPROVAL

This Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.

This Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this Permit, noted in the Terms and Conditions below.

The issuance of a Permit limits the Permit Holder to be in strict compliance with regulations of the Zoning Bylaw and all other Bylaws unless specific Variances have been authorized by the Permit. No implied Variances from bylaw provisions shall be granted by virtue of drawing notations that are inconsistent with bylaw provisions and that may not have been identified as required Variances by the applicant or Municipal staff.

1. TERMS AND CONDITIONS

THAT Development Permit No. DP16-0027 & DVP16-0028 for Lot 1, Section 3 & 10, Township 23, ODYD, Plan EPP45918, located at 800 Academy Way, Kelowna, BC to allow the construction of a single storey commercial building to be approved subject to the following:

- a) The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A";
- b) The exterior design and finish of the building to be constructed on the land be in accordance with Schedule "B";
- c) Landscaping to be provided on the land be in accordance with Schedule "C";
- d) The applicant be required to post with the City a Landscape Performance Security deposit in the form of a "Letter of Credit" in the amount of 125% of the estimated value of the landscaping, as determined by a Registered Landscape Architect;

AND FURTHER THAT this Development Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

AND THAT the variance to the following section Zoning Bylaw No. 8000 be granted:

Section 8.1 - Parking Schedule

Vary the parking requirements from 316 parking stalls required to 174 parking stalls proposed.

2. PERFORMANCE SECURITY

As a condition of the issuance of this Permit, Council is holding the security set out below to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Permit Holder and be paid to the Permit Holder if the security is returned. The condition of the posting of the security is that should the Permit Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the Municipality may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Permit Holder, or should the Permit Holder carry out the development permitted by this Permit within the time set out above, the security shall be returned to the Permit Holder. There is filed accordingly:

- a) Cash in the amount of \$ 99,397.50 OR
- b) A Certified Cheque in the amount of \$ 99,397.50 OR
- c) An Irrevocable Letter of Credit in the amount of \$ 99,397.50 .

Before any bond or security required under this Permit is reduced or released, the Developer will provide the City with a statutory declaration certifying that all labour, material, workers' compensation and other taxes and costs have been paid.

3. DEVELOPMENT

The land described herein shall be developed strictly in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit that shall form a part hereof.

If the Permit Holder does not commence the development permitted by this Permit within two years of the date of this Permit, this Permit shall lapse.

This Permit IS NOT a Building Permit.

4. APPLICANT'S AGREEMENT

I hereby declare that all of the above statements and the information contained in the material submitted in support of this Permit are to the best of my belief, true and correct in all respects. Upon issuance of the Permit for me by the Municipality, then in such case, I covenant and agree to save harmless and effectually indemnify the Municipality against:

- a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality granting to me the said Permit.
- b) All costs, expenses, claims that may be incurred by the Municipality if the construction by me of engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

I further covenant and agree that should I be granted a Development Permit and/or Development Variance Permit, the Municipality may withhold the granting of any Occupancy Permit for the occupancy and / or use of any building or part thereof constructed upon the hereinbefore referred to land until all of

the engineering works or other works called for by the Permit have been completed to the satisfaction of the Municipal Engineer and Divisional Director of Community Planning & Real Estate.

Should there be any change in ownership or legal description of the property, I undertake to notify the Community Planning Department immediately to avoid any unnecessary delay in processing the application.

I HEREBY UNDERSTAND AND AGREE TO ALL THE TERMS AND CONDITIONS SPECIFIED IN THIS PERMIT.

_____	_____
Signature of Owner / Authorized Agent	Date

_____	_____
Print Name in Bold Letters	Telephone No.

5. APPROVALS

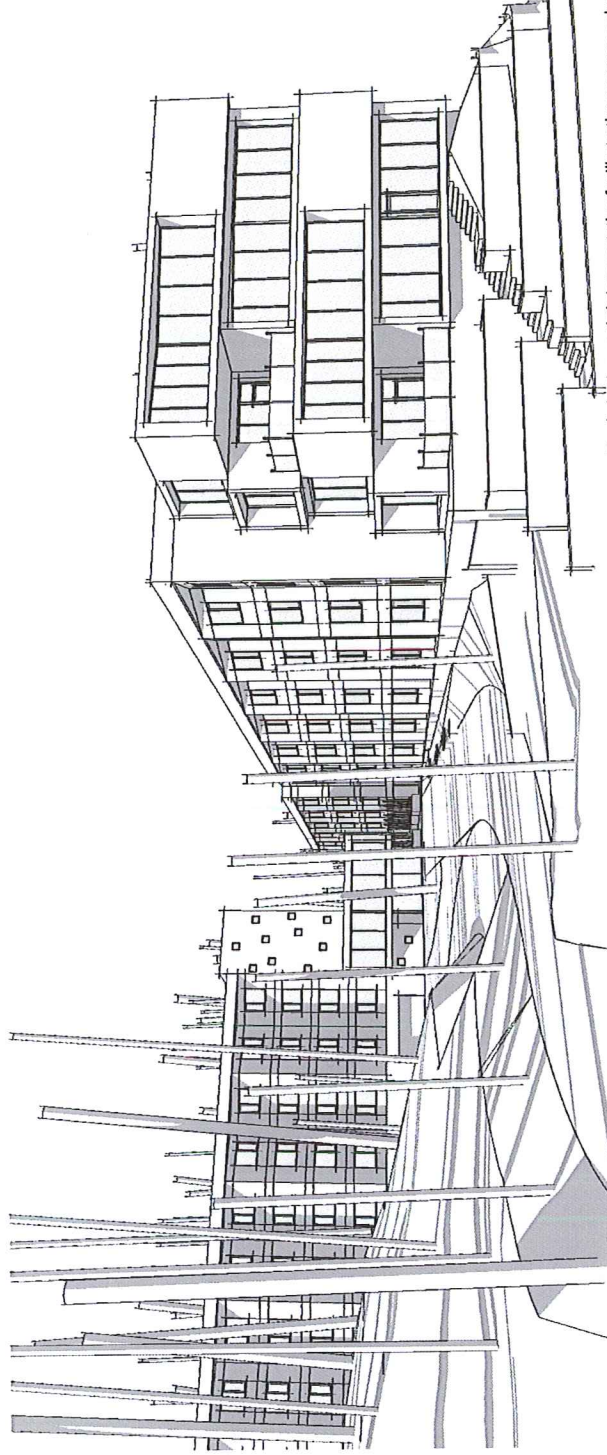
Issued and approved by Council on the _____ day of _____, 2016.

_____	_____
Ryan Smith, Community Planning Department Manager Community Planning & Real Estate	Date

**The PERMIT HOLDER is the CURRENT LAND OWNER.
Security shall be returned to the PERMIT HOLDER.**

Development Permit Application
Planning Rationale & Urban Design Brief

800 Academy Way Residences - University South Village
Kelowna, British Columbia
January 15, 2016



Rendering is an artistic interpretation for illustrative purposes only.

SCHEDULE A/B
This forms part of development
Permit # 0016-0027

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1.0 Character & Image:

Traditionally, the student residence has served to isolate students from the surrounding community. This has limited a student's personal interactions and experiences to within the boundaries of the campus. Suburban campuses particularly can afford the space so there has been little reason for them to do otherwise. In order to remain relevant, student residences must be willing to adapt. The recent increase in the number of emerging community-University partnerships has resulted in the necessity for exactly that: the reconsideration and adaptation of student residences within their adopted communities. The extension of a progressive university culture beyond the campus boundary can benefit the school, the community, and the students equally.

In harmony with the aspirations of post-secondary student life, the design for this privately owned and operated student housing project endeavours to facilitate study, socializing and solidarity. The units are democratically designed but the placement of the units in each building allows for individual degrees of preference for study versus socialization. The unique articulated form of the exterior facade highlights a clean functional design with a modern aesthetic appealing to young adults.

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800 Academy Way - Development Permit Application

Kelowna, British Columbia, January 16, 2016

1.1 Preliminary Development Information

PROJECT: 800 Academy Way
 CLIENT: Beaumont Timber Company
 PROJECT NO.: 15-005
 LEGAL ADDRESS: 800 Academy Way
 Lot 1, Section 3/10, Township 23, OODY, Plan EPP45918
 CURRENT ZONING: RM-5
 PROPOSED ZONING: Single Occupant Rental Student Housing (29m2 per unit)
 ISSUED FOR: Development Permit

SUMMARY (ZONING ANALYSIS TABLE)

SITE DETAILS	Minimum		Proposed	
	(acres)	(m2)	(acres)	(m2)
Site Area:	0.345	1,400.0	15,069.5 +/-	14,512 +/-

Site Width:	Minimum		Proposed	
	(m)	(ft)	(m)	(ft)
	30	98.4 +/-	136.3 +/-	453.6 +/-

Site Depth:	Minimum		Proposed	
	(m)	(ft)	(m)	(ft)
	35	114.8 +/-	134.8 +/-	442.0 +/-

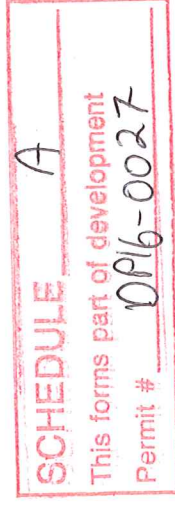
Site Coverage (area):	Minimum		Proposed	
	(m2)	(ft2)	(m2)	(ft2)
Buildings	5,804.8	62,482.3 +/-	3,499.0 +/-	37,665.0 +/-
Buildings, Driveways, Parking	9,432.8	101,533.8 +/-	4,431.0 +/-	47,691.0 +/-

Site Coverage (percentage):	Maximum		Proposed	
Buildings	40%	40%	24%	24%
Buildings, Driveways, Parking	65%	65%	31%	31%

DEVELOPMENT INFORMATION

Number & Breakdown of Units:		Type	Building A	Building B	Total
1	Micro Unit	47	47	32	79
2	Micro Unit	47	47	32	79
3	Micro Unit	47	47	32	79
4	Micro Unit	47	47	32	79
Total			188	128	316

Floor Area:		Units (ft2)	Amenity (ft2)	Circ/Service (ft2)	Gross (m2)	Gross (ft2)	Net (m2)*	Net (ft2)*
Building C								
P1		14,365 +/-	165 +/-	3,735 +/-	1,856 +/-	19,977 +/-	0 +/-	0
1		14,365 +/-	320 +/-	3,735 +/-	1,697 +/-	18,265 +/-	1,335 +/-	14,365
2		14,365 +/-	320 +/-	3,735 +/-	1,711 +/-	18,420 +/-	1,335 +/-	14,365
3		14,365 +/-	320 +/-	3,735 +/-	1,697 +/-	18,265 +/-	1,335 +/-	14,365
4		14,365 +/-	320 +/-	3,735 +/-	1,711 +/-	18,420 +/-	1,335 +/-	14,365
Subtotal		57,460 +/-	970 +/-	34,917 +/-	8,672 +/-	93,347 +/-	5,340 +/-	57,460



Building D		Units (ft2)	Amenity (ft2)	Circ/Service (ft2)	Gross (m2)	Gross (ft2)	Net (m2)*	Net (ft2)*
Level								
P1		9,780 +/-	2,025 +/-	17,700 +/-	1,644 +/-	17,700 +/-	0 +/-	0
P2		9,780 +/-	1,785 +/-	14,150 +/-	1,503 +/-	16,175 +/-	0 +/-	0
1		9,780 +/-	185 +/-	2,670 +/-	1,322 +/-	14,235 +/-	909 +/-	9,780
2		9,780 +/-	185 +/-	2,975 +/-	1,202 +/-	12,940 +/-	909 +/-	9,780
3		9,780 +/-	185 +/-	2,680 +/-	1,175 +/-	12,645 +/-	909 +/-	9,780
4		9,780 +/-	185 +/-	2,680 +/-	1,158 +/-	12,460 +/-	909 +/-	9,780
Subtotal		39,120 +/-	4,180 +/-	42,855 +/-	8,004 +/-	86,155 +/-	3,636 +/-	39,120
Total		96,580 +/-	5,150 +/-	77,772 +/-	16,676 +/-	179,502 +/-	8,976 +/-	96,580

* Net area as defined by the City of Kelowna Bylaw No. 8000

Floor Area Ratio:

	Maximum	Proposed
	1.2*	0.62

*Based on providing required parking below habitable space of a principle building per RMS

Building Height (storeys):

	Maximum	Proposed
	4.5	4.5

Building Height:

	Maximum	Proposed
	15	15.2 +/-
	59	59 +/-
	15.2	15.2 +/-
	50.0	50.0

Building Setbacks (from property line):

	Required	Proposed
	(ft)	(ft)
Front	6	19.7 +/-
Side (East)	7	6 +/-
Side (North)	7	23.0 +/-
Rear (West)	9	7 +/-
Side (South)	7	29.5 +/-
	23.0	23.0 +/-

Private Open Space:

	Required	Proposed
	(m2)	(ft2)
	2,370	25,511.3
	2,378 +/-	25,600.0 +/-

Parking Stalls:

	Required	Proposed*
	188	48
Use	188	116
Building A Apartment Housing - Micro Unit	128	116
Building B Apartment Housing - Micro Unit	128	116
Surface Stalls	316	10
Total	316	174**

*Refer to University Village Student Housing Parking Review, June 2, 2014

Loading Spaces:

	Required	Proposed
	0	0

Bicycle Parking:

	Required	Proposed
	158	158
Class I	32	32
Class II	32	32

**Variance requested to alter the required parking stalls as prescribed by the City of Kelowna Parking Bylaw from 1 stall per bachelor unit to 0.55 stalls per student micro unit.

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Kelowna, British Columbia,
January 16, 2016

2.0 Neighborhood Context:

The following is an excerpt from the University South Development Plan dated September 2010 prepared by CTQ consultants for Watermark Developments Ltd.:

University Village has been planned and designed on the premise that although not located directly on UBCO lands, it will form an integral part of the campus community. The vision incorporated a symbiotic relationship between the growing institutional precinct and the Village by offering residential homes, commercial services, public and private schools and parks that university students, staff, local residents and visitors can all enjoy. The physical proximity to the university and the site terrain facilitates pedestrian movement, cycling and enhanced mobility between the Village and campus, and throughout the Village. Furthermore, the University Village calls for relatively high residential density with a concentration of apartment style condominiums that will support close to 2,000 people with a diverse demographic cross section. The Village character will be further enhanced by commercial retail and offices to add life to the streets and a true complete community lifestyle.

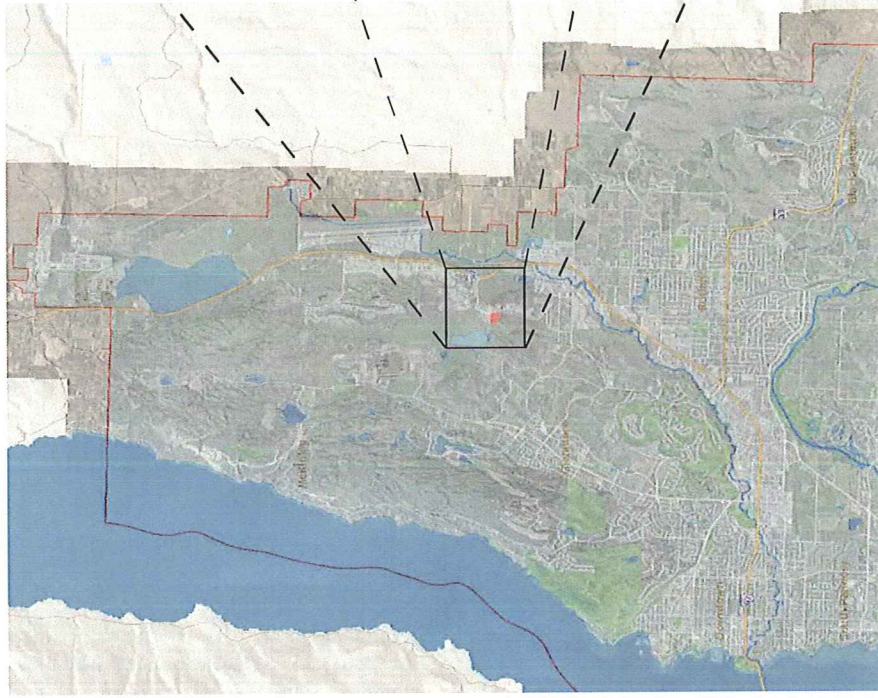
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Kelowna, British Columbia,

2.1 Location



Map of City of Kelowna N.T.S.

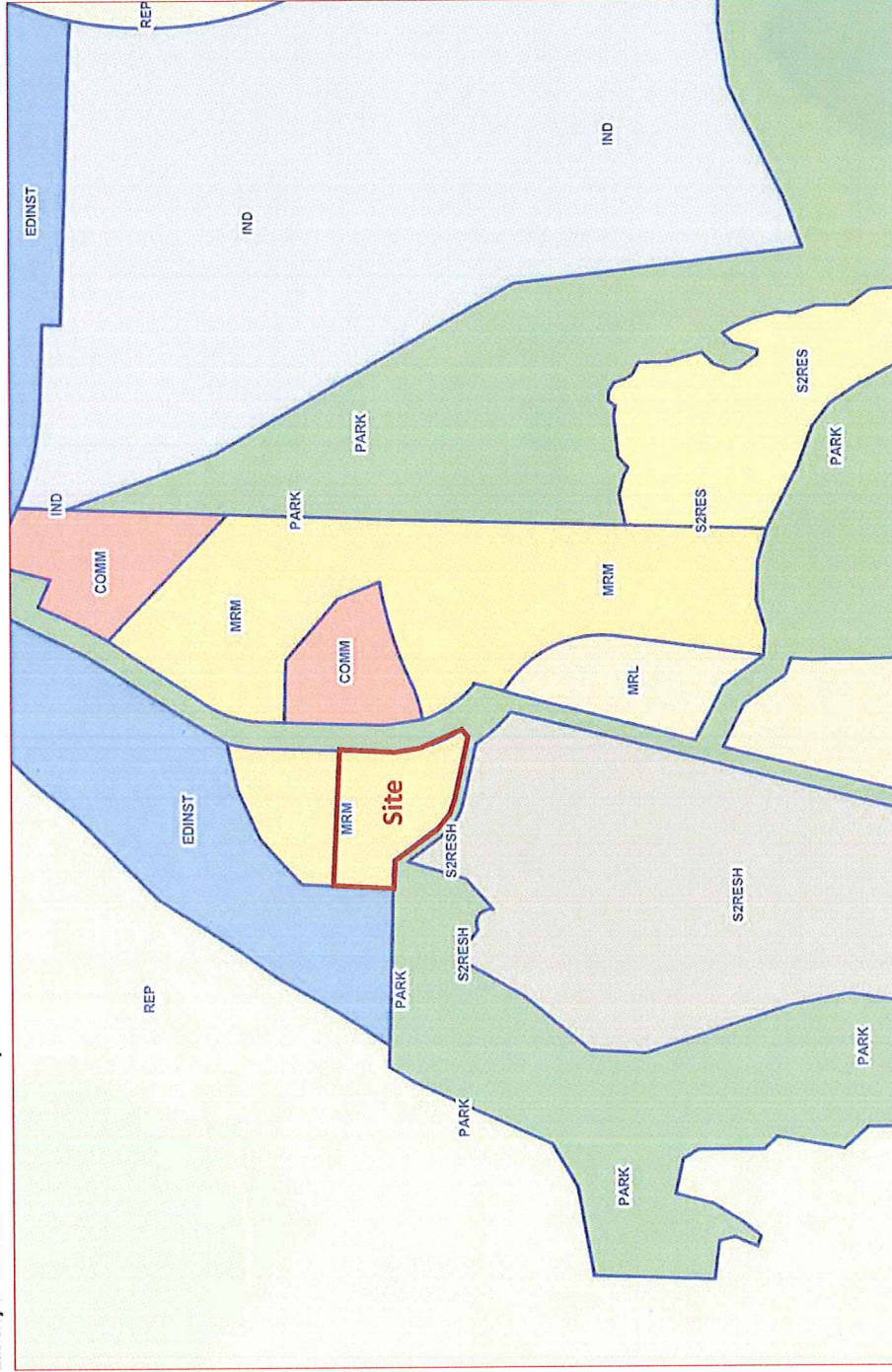


Subject Land & Context Plan N.T.S.

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2.2 City of Kelowna Official Community Plan



City of Kelowna OCP - Future Land Use N.T.S.



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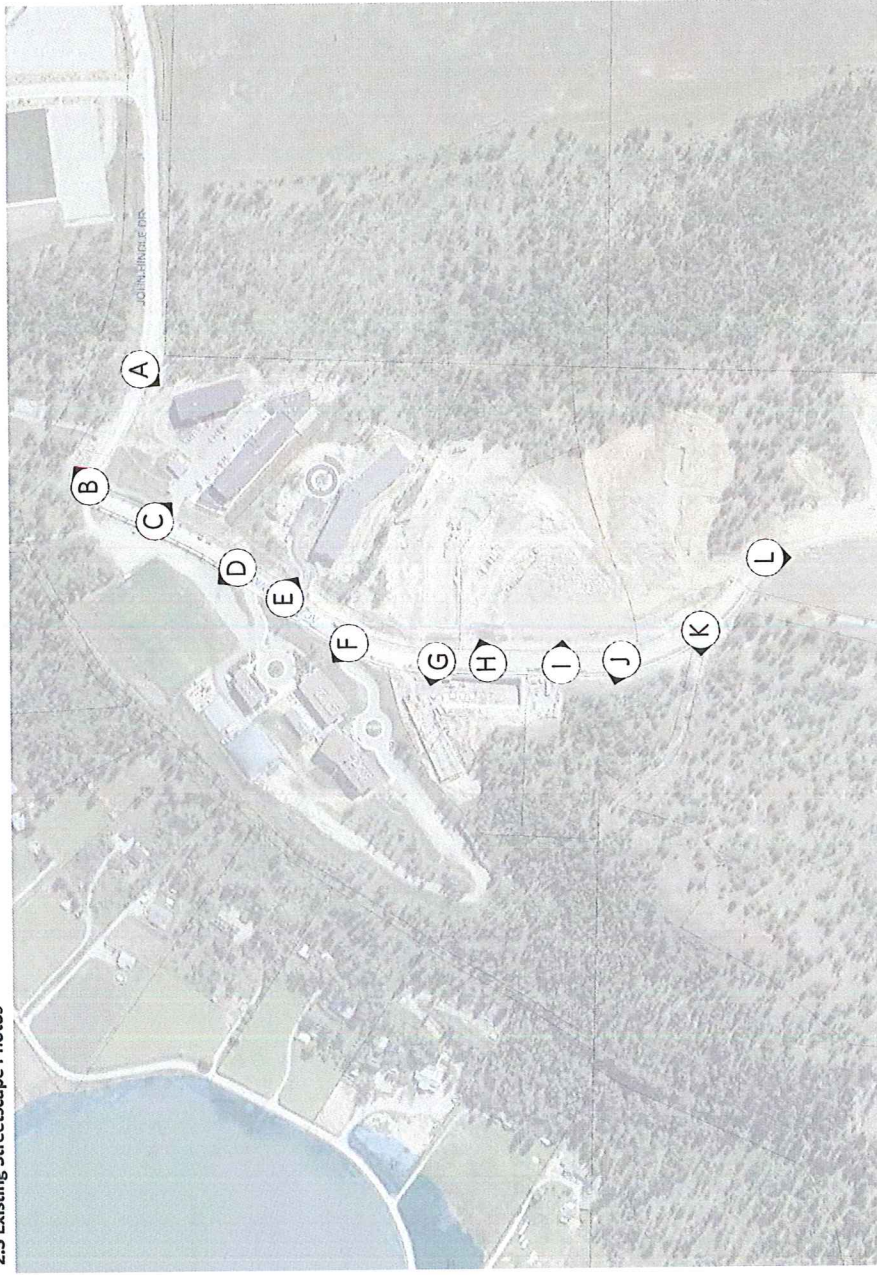


- Legend**
- Future Land Use Text
 - Future Land Use
 - Agri-Business
 - Commercial
 - Educational/Major Institutional
 - First Nations Reserve
 - Future Urban Reserve
 - Health District
 - Industrial
 - Industrial - Limited
 - Industrial - Transitional
 - Multiple Unit Residential - Cluster Housing
 - Multiple Unit Residential (High Density)
 - Multiple Unit Residential (Medium Density)
 - Multiple Unit Residential (Low Density)
 - Mixed Use (Residential / Commercial)
 - Mixed Use Tourism
 - Major Park/Open Space (public)
 - Public Service/Utilities
 - Private Recreation
 - Resource Protection Area
 - Service Commercial
 - Single / Two Unit Residential
 - Single / Two Unit Residential - Hillside
 - Transportation Corridor



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2.3 Existing Streetscape Photos



Existing Streetscapes Keyplan N.T.S.



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Existing Streetscapes



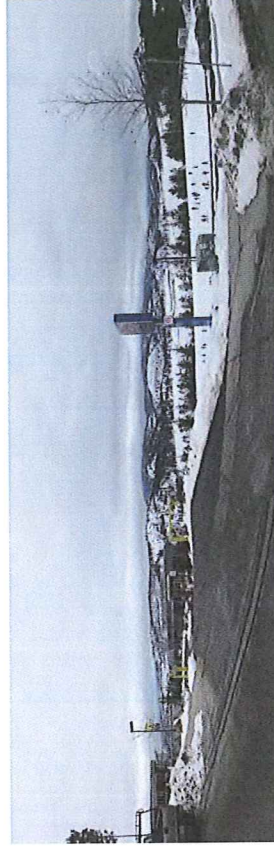
(A) South Side of John Hindle Dr. - Academy Hill



(B) North Side of John Hindle Dr. - UBCO Campus



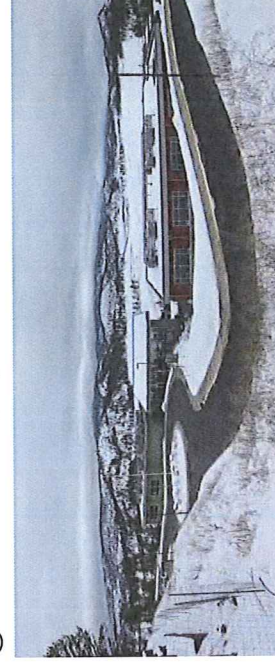
(C) East Side of Academy Way - Academy Hill



(D) West Side of Academy Way - Aberdeen Hall



(E) East Side of Academy Way - U ONE



(F) West Side of Academy Way - Aberdeen Hall

IDOS

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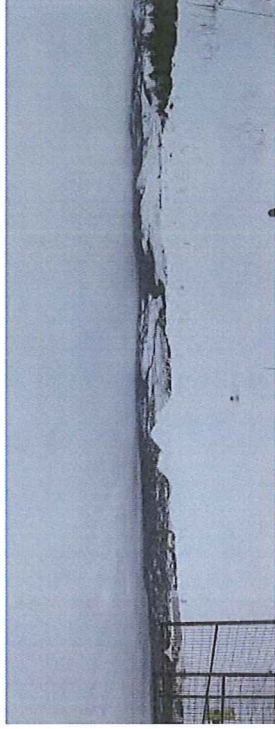
Existing Streetscapes



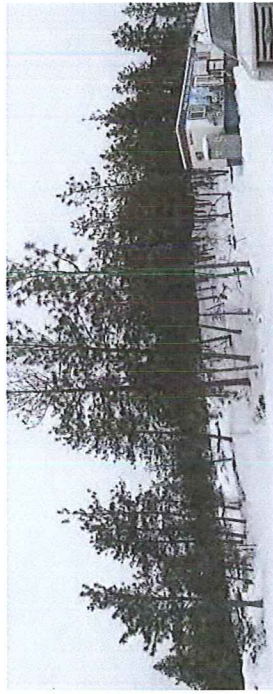
(G) West Side of Academy Way - 840 Academy Way



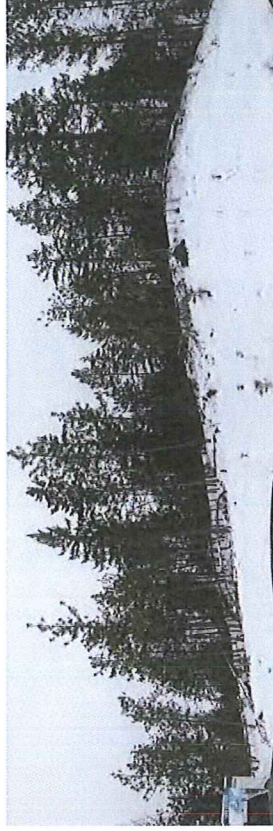
(H) East Side of Academy Way - U TWO



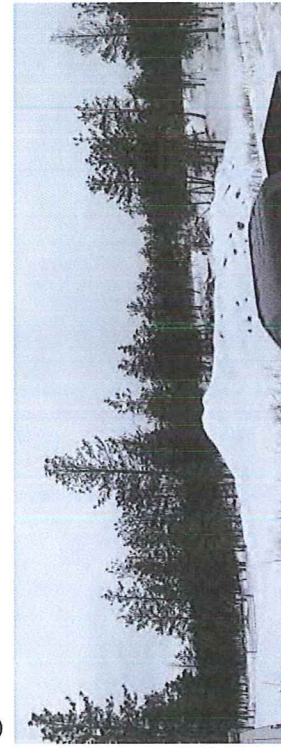
(I) East Side of Academy Way - Future Village Centre



(J) West Side of Academy Way - 800 Academy Way



(K) West Side of Academy Way - Access Trail to Future Park



(L) South End of Academy Way - View to Future Development



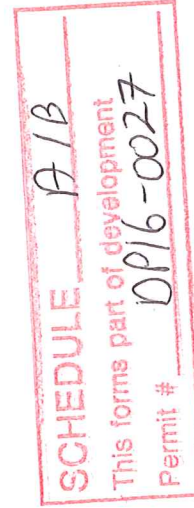
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3.0 Site Design

For the overall site layout, the main design intent was to establish a harmonious relationship between the new built forms and the site's existing natural features. The strategy was to identify suitable building locations that would result in minimal site disturbance while still meeting the requirements of the project's built program. It was determined that the best solution would be to house the residences within two, four-storey buildings connected by a common, multi-level, below grade parkade. The resultant configuration would have the two buildings sited roughly perpendicular to each other. Building C, containing 188 units, is located in an area that runs parallel along the site's northern property line, while Building D, containing 128 units, is located in a natural hollow between two existing knolls and is set back from the Academy Way frontage. Additionally, by locating the majority of parking stalls under the two buildings, a significant amount of the site will be preserved. The location of the site access along the Academy Way frontage was primarily selected to facilitate a relatively level transition onto the site. In conjunction with the site access location, the routing of the access drive was laid out to follow the site's existing topography. By avoiding key rock outcrops and locating the parking within the confines of the two building footprints, blasting and excavating will be kept to a minimum, concentrating it to limited areas versus leveling the entire site. With less blasting and site disturbance, the project will be able to achieve numerous tangible benefits by maintaining a significant portion of the existing vegetation that would otherwise take decades to re-establish and replace. This is a critical factor when trying to establish a strong connection between the building's residents and nature.



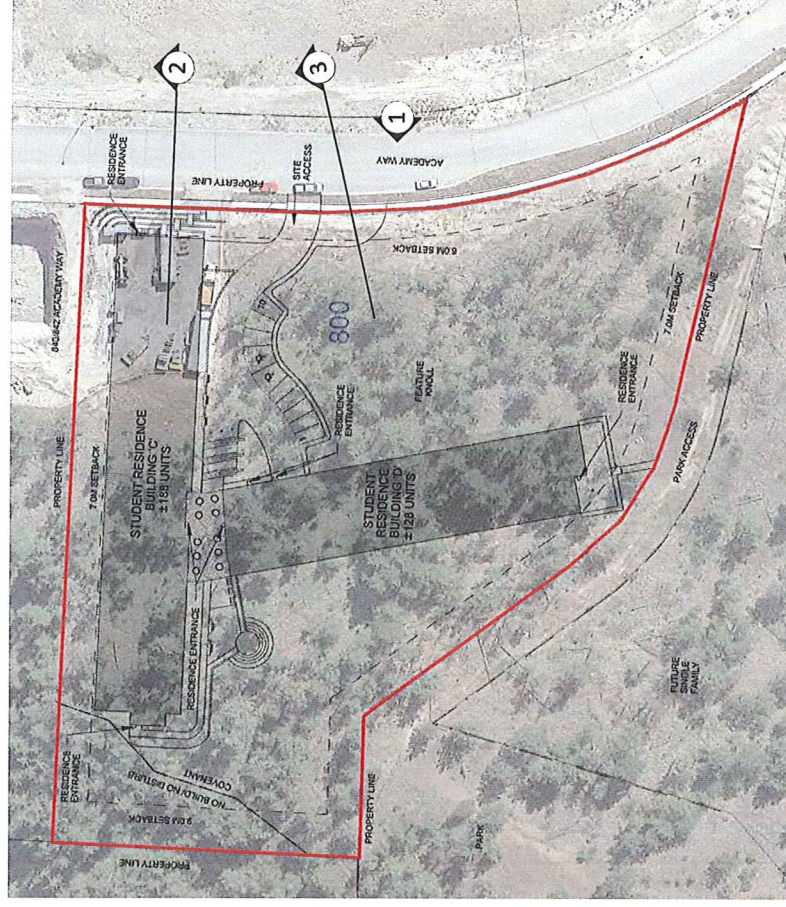
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3.2 Site Layout



Proposed Site
Scale 1:1000



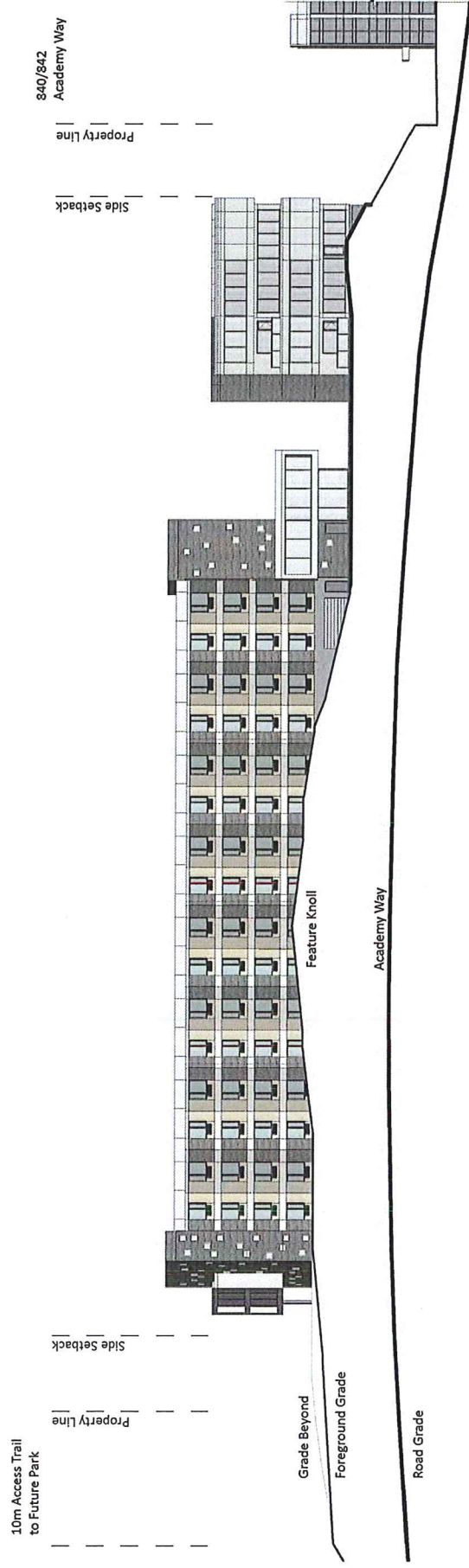
Proposed Site Plan
Scale 1:1000



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3.3 Academy Way Street Elevation

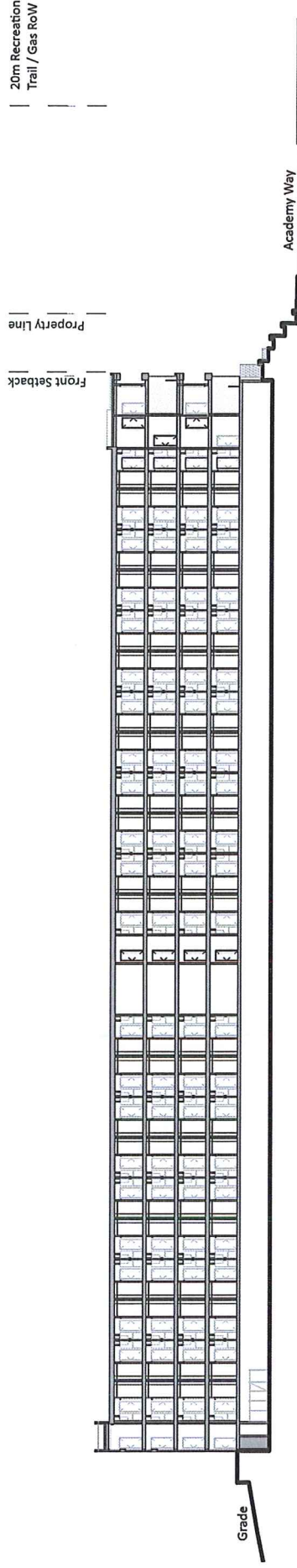


1 - Academy Way Street Elevation
Scale 1/32" = 1'-0"

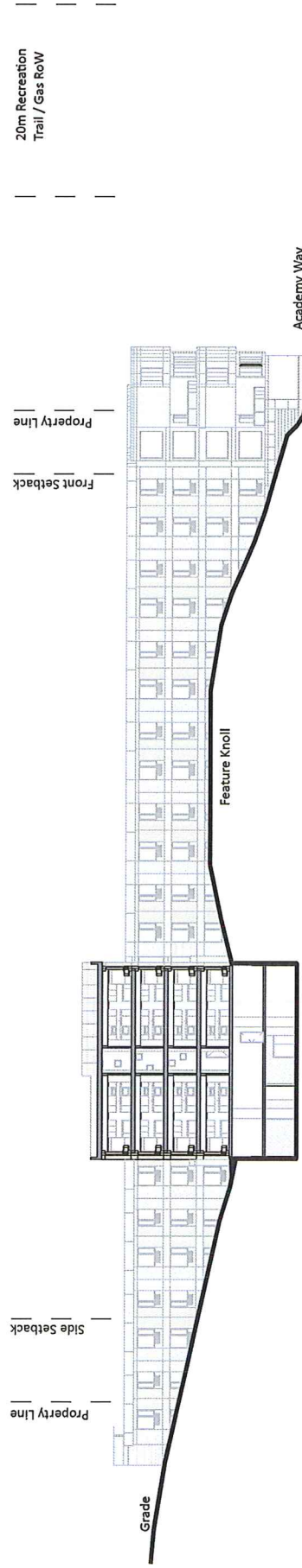
SCHEDULE A
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3.4 Site Cross Section



2 - Site Section Through Building C
Scale 1/32" = 1'-0"



3 - Site Section Through Building D
Scale 1/32" = 1'-0"



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3.5 Landscape Design

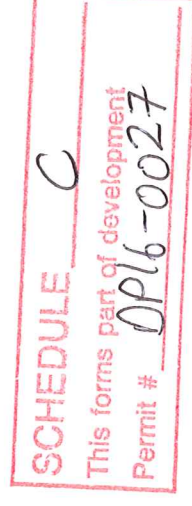
The Academy Way student residences are sited adjacent to the main UBCO campus, along a major access route for both vehicular, pedestrian and cycling circulation, and across the street from a future commercial hub. Being off campus, the key element to the design was to recreate a campus experience for the students residing within the residence buildings. The two residence buildings are set back from the frontage of Academy Way, nestled into the topography of the site to retain the natural knoll features. To reinforce pedestrian character of the project the development will provide a pedestrian friendly, boulevard treatment along the sidewalk and street frontage with the installation of deciduous trees and a turf boulevard.

It is the intention of the landscape scheme to retain the majority of the natural setting and for the populated exterior spaces to provide a harmonious transition from the façade of the buildings into the natural environment. The portions of the site requiring a more intensively landscaped finish are minimized, using a mass planting style of indigenous and drought tolerant plant choices that are evocative of the natural context.

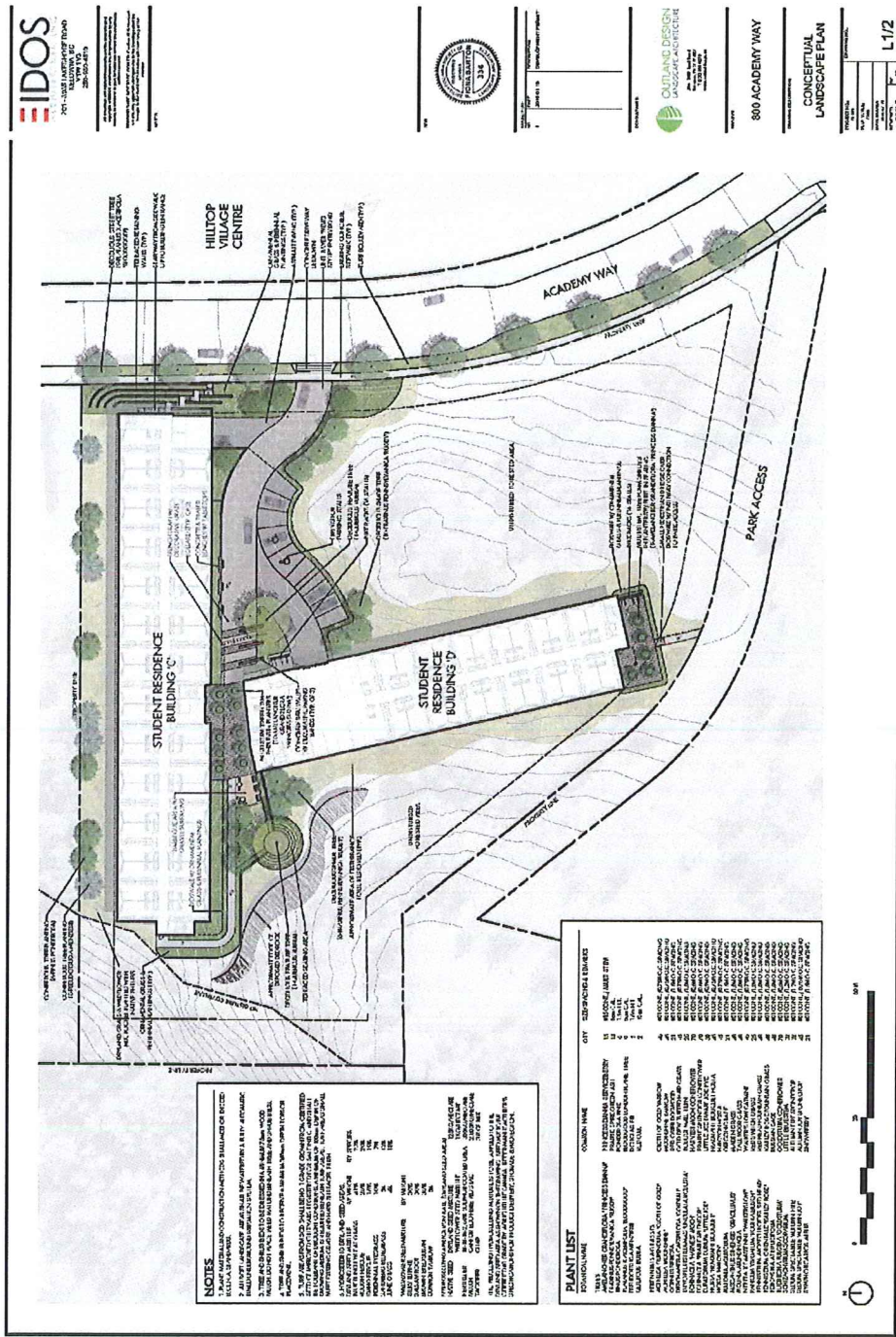
The pedestrian and vehicular access point to the site is located on Academy Way and comprises a 'mews' style of circulation, using pedestrian scaled materials such as decorative concrete paving and site furniture that provides opportunities for gathering. Ornamental landscaping and address monumentation is utilized to emphasize the entry point to the development.

Upon entering the site, the mews provides wayfinding to the building entrances and is reinforced by soft landscaping in the form of ornamental shrub planting along the building foundation and a deciduous feature tree. A set of three lectern style benches run parallel with the mews and are intended to provide a seating opportunity with southern exposure for students who wish to study outside and have a tabletop on which to put textbooks or a laptop computer.

The pedestrian character of the mews is further reinforced by three perpendicular, architectural concrete seat walls that play off the geometry of the architecture and 'throat' up the entrance to the building entry plaza. The plaza is comprised of decorative paving and shaded by a canopy of deciduous shade trees. To the rear of the entry plaza is an additional gathering space for outdoor events such as bbq's and frosh week festivities. These events are catered to with the installation of a bbq area and a terraced seating area. Further outdoor gathering space is provided at the end of Building 'D' with a south facing terrace. A narrow planting area lines the perimeter of the terrace to reinforce the edges of the space and create an intimate outdoor area. This terrace is furnished with large raised planters with shade trees and circular benches. These are located in close proximity to each other to encourage social interaction and allow views to the park system beyond. The adjacent Southeast portion of the site reinforces the park setting through the retention of the natural forested area. A connection from the terrace is provided to the park access and the existing flume trail system located to the West.

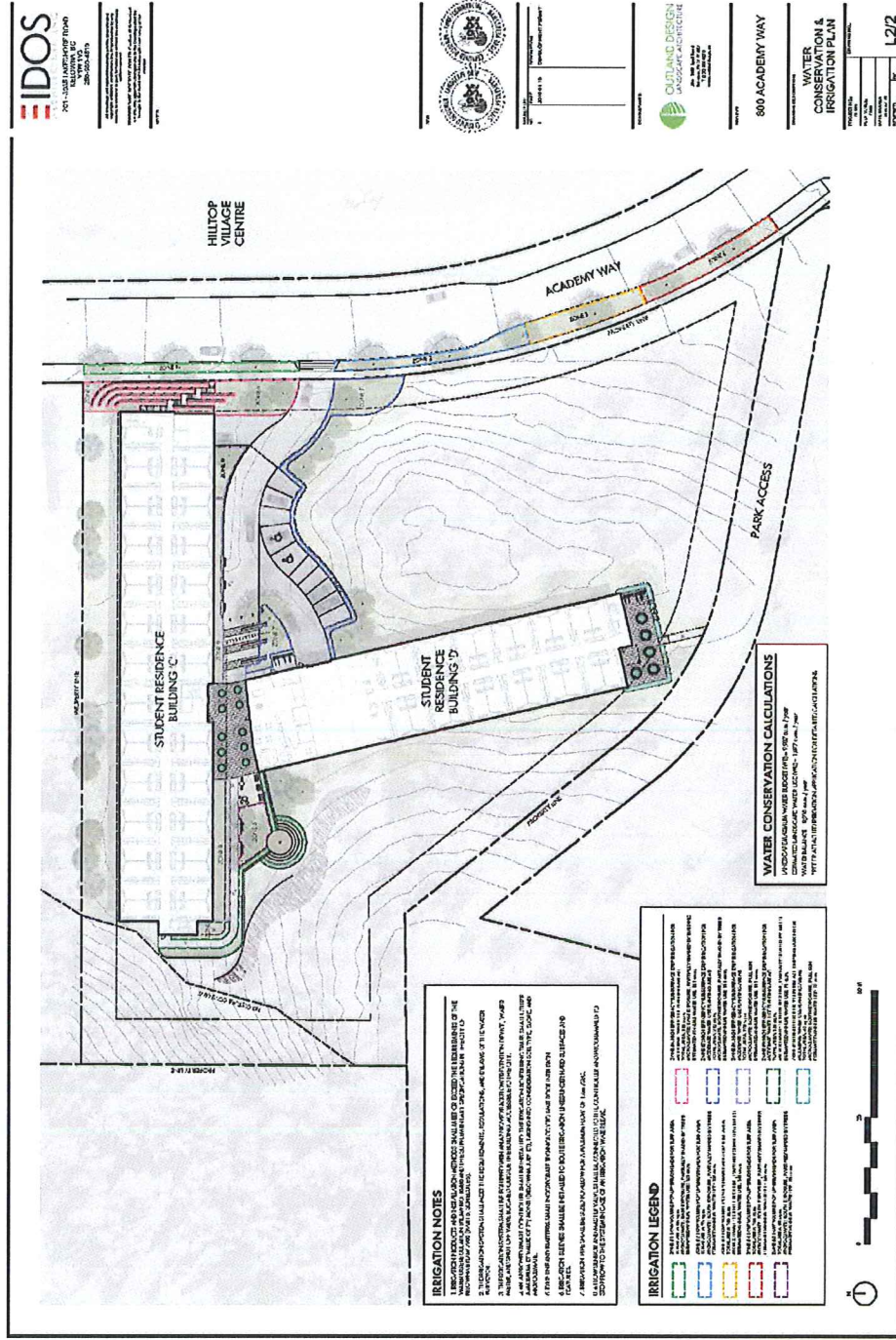


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January 15, 2015

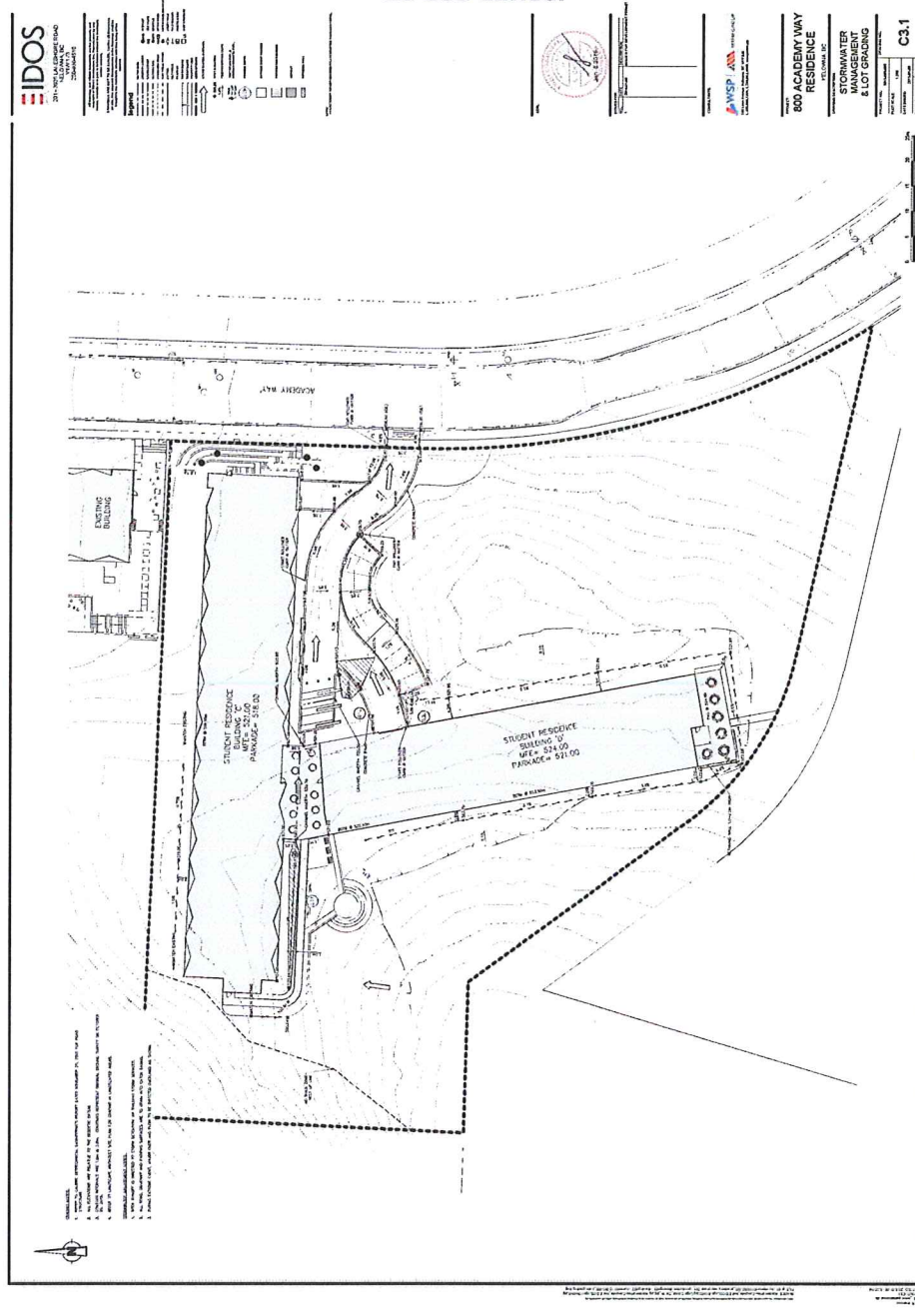


Water Conservation & Irrigation Plan N.T.S.



SCHEDULE C
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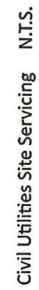
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Civil Stormwater Management & Lot Grading Plan N.T.S.



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4.0 Architectural Treatment:

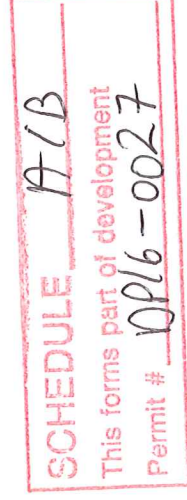
The residences are divided into two four-storey rectangular buildings connected by a common, below grade parkade. Building 'C', aligned along the northern property line, will house ±188 single occupancy 'micro' units. Building 'D', located mid-site perpendicular to Building 'C' will house ±128 units, the operations offices, and amenity centre. Approaching the site from the north, Building 'C' presents a dynamic, cantilevered solid and glass form housing six of the project's study rooms along with two levels of roof top decks. The main entrance is located in the heart of the site, at the end of the access Mews off Academy Way. Within this extensively glazed two-storey volume, located at the north end of Building 'D', the main entrance will also contain the social amenity spaces for the residences. The amenity program consists of a Club Lounge and Games Room on the entry grade level and will easily be accessed from residents in Building 'C'. The Fitness Centre on the second level, will have extensive views down to Academy Way to the east and the preserved forest and outdoor amenity to the west.

A methodical rhythm along the façade of both buildings is set up by repeating the resident unit form. Each resident unit is the same but together they weave a pattern of solid and transparent surfaces. The vertical circulation cores located at the ends of the circulation corridors will contain patterned glazing to bring in natural light and provide access to views. The solid surfaces will consist of fiber cement siding in warm wood tone and contrasting earth tone fiber cement panels for a robust and low maintenance cladding appropriate for the buildings use, as well as to satisfy the wildfire covenant.

Sustainability:

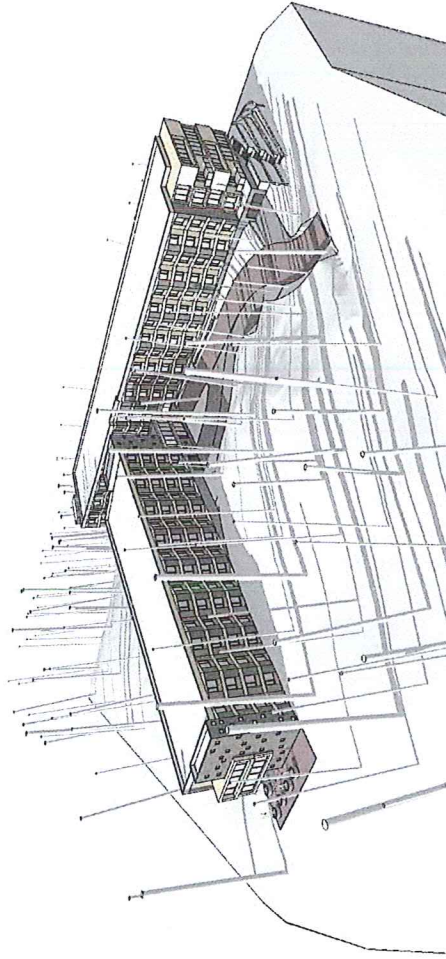
The design of the proposed new student housing takes into account the following sustainability strategies:

- Selecting plant species that are low maintenance, thereby conserving water,
- Limiting site disturbance to reduce the impact on the City storm system,
- Adding trees on the site and adjacent to the buildings, sidewalks and parking area that provide shade,
- Establishing a recycling program on the site,
- Increasing the density of the existing site to increase the efficiency of land use,
- Design the building systems for the efficient use of energy, water, and other resources,
- Design the building envelope to include high efficiency glazing, and increased insulation in wall cavities and roofing system,
- Use low V.O.C. emitting materials and materials that contain re-cycled content,
- Use regional materials and services where possible,
- Utilize natural ventilation,
- Provide access to natural light and views.

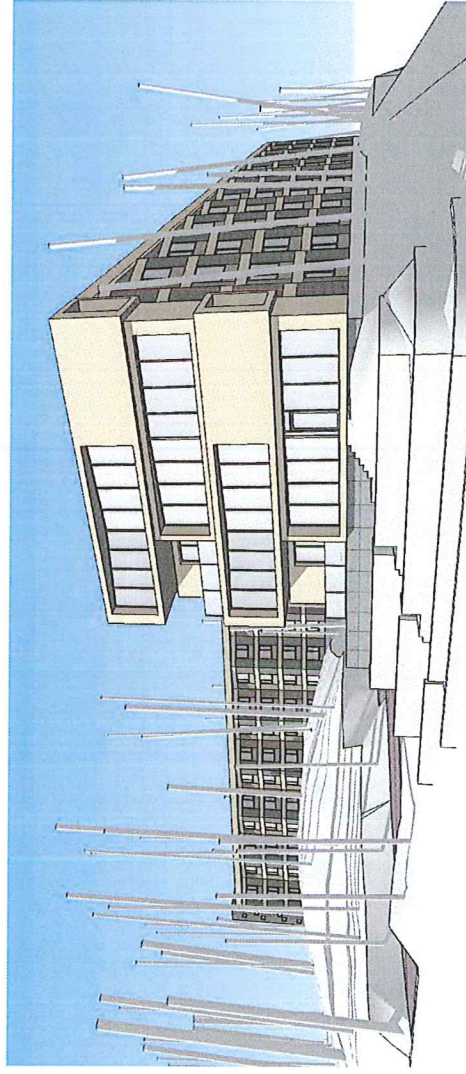


800 Academy Way - Development Permit Application Kelowna, British Columbia, January 16, 2016

4.1 Conceptual Renderings



Rendering is an artistic interpretation for illustrative purposes only.



Rendering is an artistic interpretation for illustrative purposes only.



South East Corner Aerial View

This view illustrates how the two buildings are located within the site's existing natural terrain and existing wooded forest. It reveals the extent to which the design has integrated the two buildings while preserving a significant portion of the site's original character.

North East Corner Academy Way View

The East elevation of Building C is the important building interface with Academy Way. To enhance the connectivity along this portion of the street edge a dynamic form of extensively glazed student study spaces are stacked the full height of the building. This will provides an animated interface that engages both the building inhabitants and the passing pedestrian.

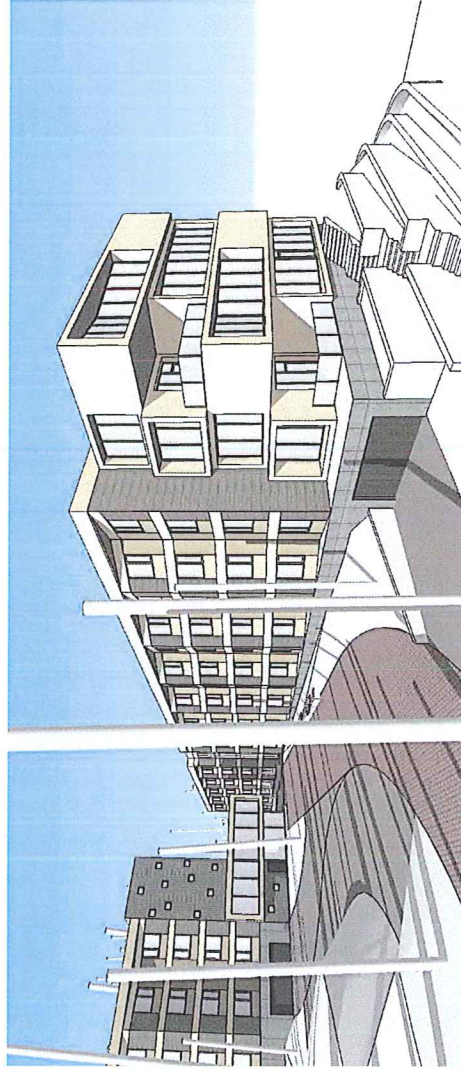
SCHEDULE

B

This forms part of development

Permit # 0916-0027

800 Academy Way - Development Permit Application Kelowna, British Columbia, January 16, 2016



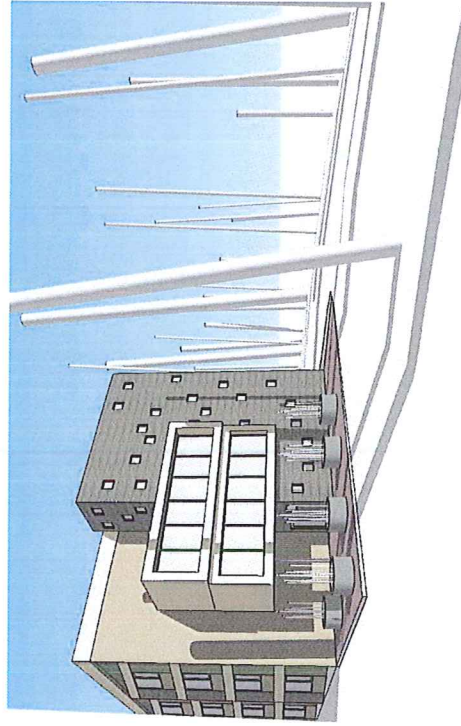
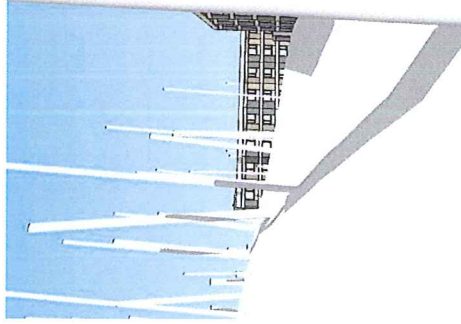
Site Access and Pedestrian Mews

The design solution for the Academy Way access is to create a Mews with a hierarchical preference towards the pedestrian and cyclist user. This is achieved through the use of materials that are commonly associated with the pedestrian realm. Additionally, the Mews will have lighting and planters with integrated informal seating so as to provide opportunity for spontaneous social interactions. The Mews will also serve the more utilitarian access requirements for the project, including resident vehicle access to the two parkades, on site visitor parking and service and emergency vehicle access.

Main Entry / Amenity Centre

Located centrally within the site is the main entry and amenity centre. This two storey volume will serve as a link between the two buildings though common, social amenity spaces. It will provide the opportunity for the residents to congregate and connect with one another outside of the confines of their individual suites. The amenity spaces will include a club room, play room and fitness centre. The club and play rooms are located on the grade level and will serve as the social living room for the project. The fitness centre, located on the second level, will have extensively glazed openings on the east and west facades providing views over the Mews to the east and views over the outdoor amenity and natural forest woods to the west.

800 Academy Way - Development Permit Application
Kelowna, British Columbia,
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Rendering is an artistic interpretation for illustrative purposes only.

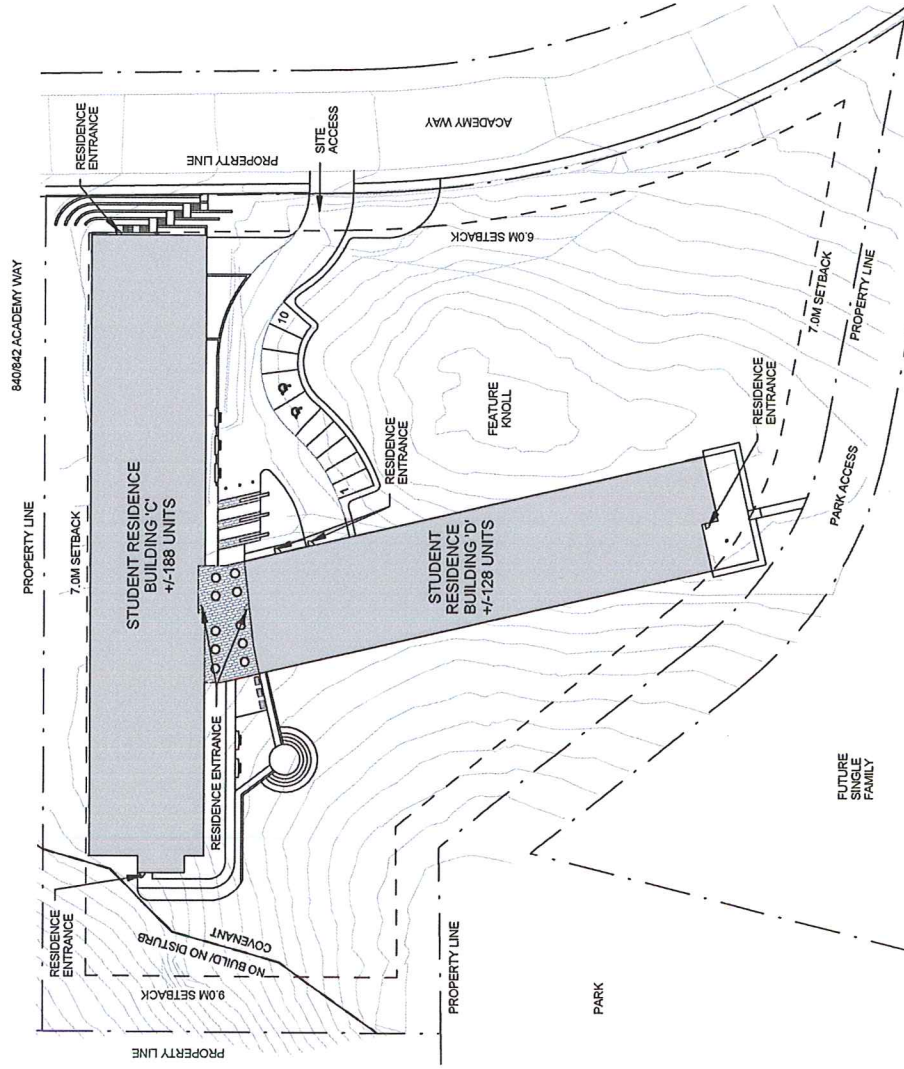
South East Corner Aerial View

To respond to the neighbouring park access trail directly south of the site, the south end of Building D has two levels of elevated, glazed study rooms. This provides both a visual connection to the trail for students studying and a covered area for an on site outdoor amenity space located at grade level. This area of the site will serve as both a serene, tranquil area for study and a connective recreation hub to the surrounding neighbourhood's parks and the building.

SCHEDULE B
This forms part of development
Permit # **DPL6-0027**

800 Academy Way - Development Permit Application
Kelowna, British Columbia,
January 16, 2016

4.2 Architectural Drawings



SCHEDULE A
This forms part of development
Permit # **DP16-0027**

Kelowna, British Columbia,
January 16, 2016

SCHEDULE A
This forms part of development
Permit # DP16-0027

January 16, 2016

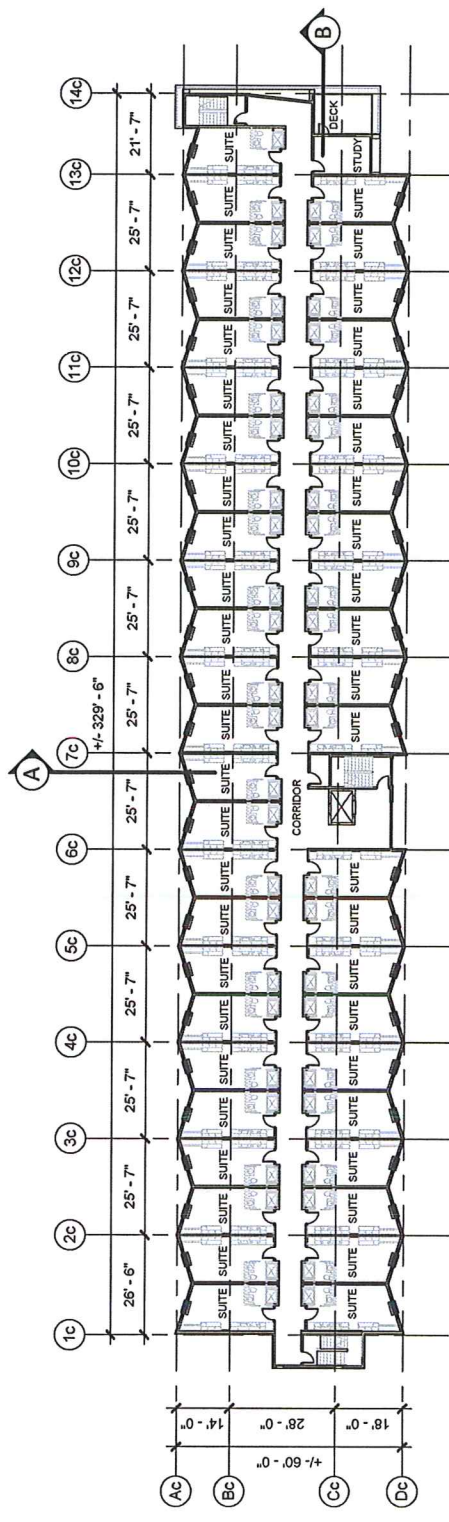
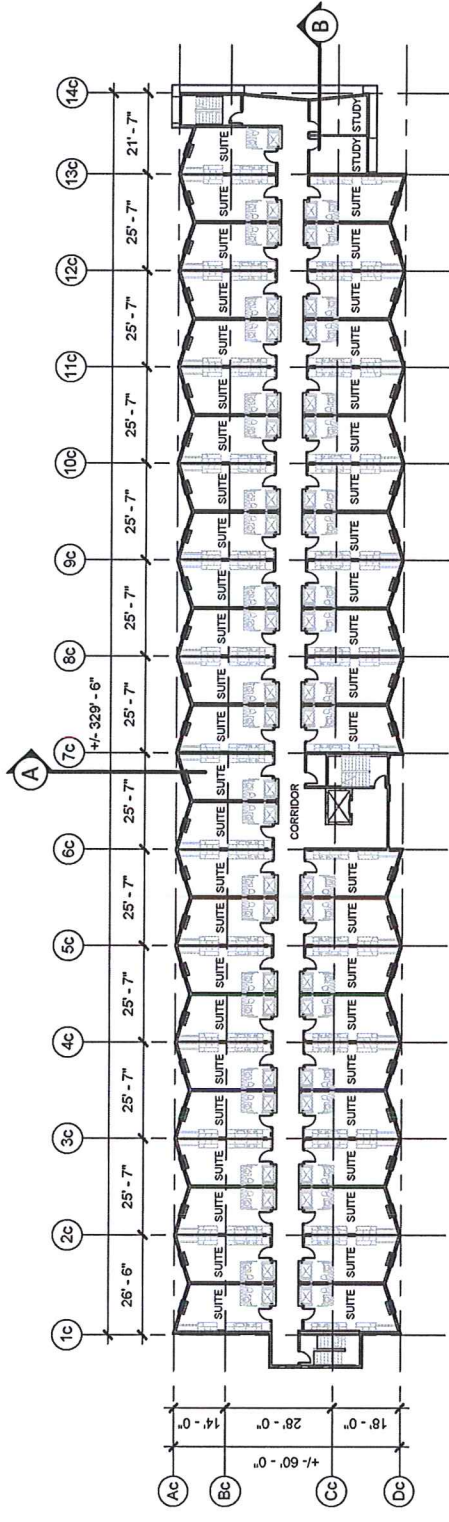


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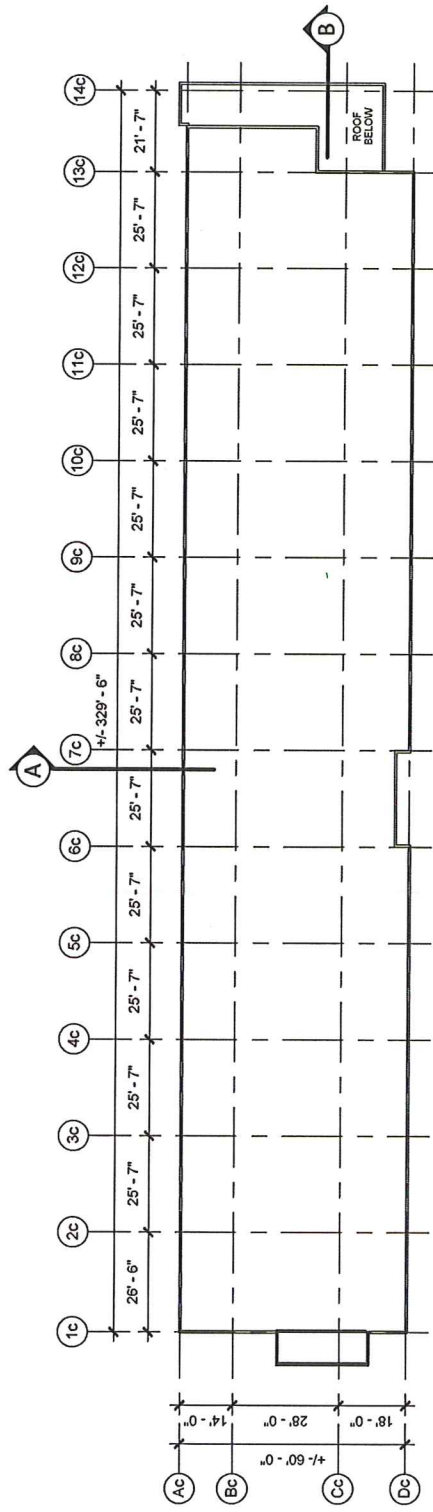
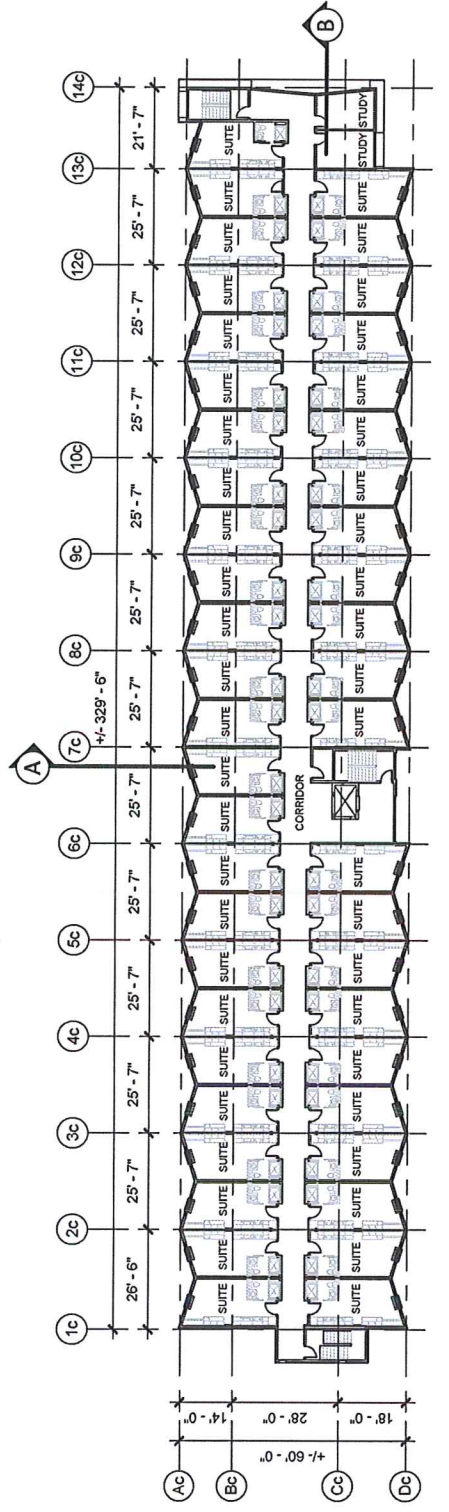
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800 Academy Way - Development Permit Application
Kelowna, British Columbia,
January 16, 2016



SCHEDULE A
This forms part of development
Permit # **DP16-0027**

800 Academy Way - Development Permit Application
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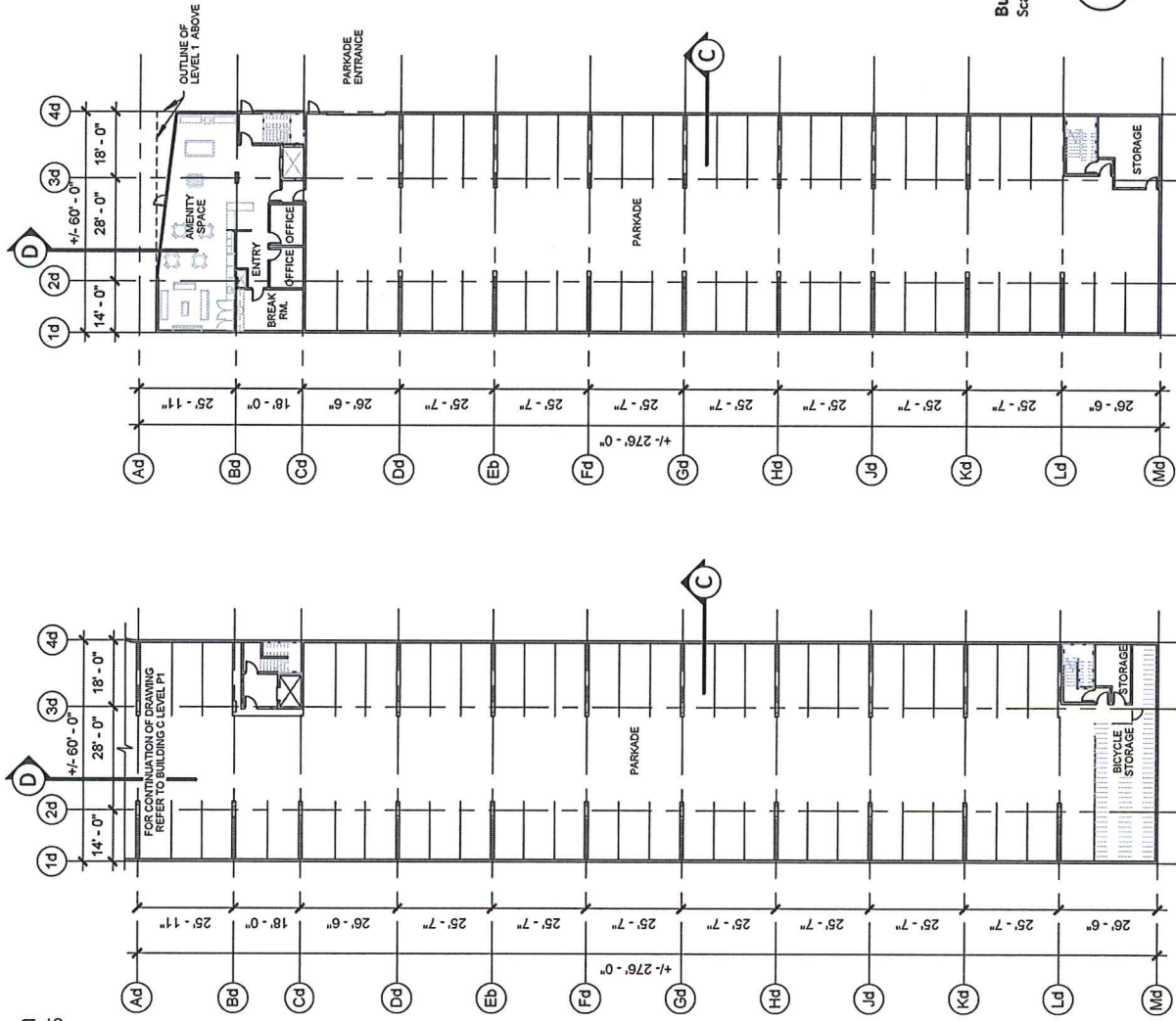
SCHEDULE A
This forms part of development
Permit # **DP16-0027**

800 Academy Way - Development Permit Application
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January 16, 2016

SCHEDULE A
This forms part of development
Permit # DP16-0027



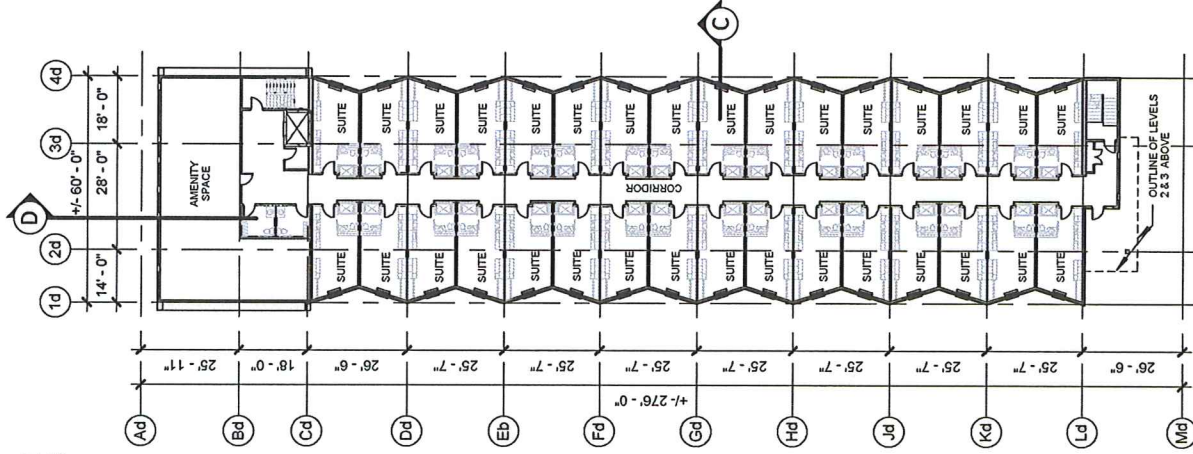
Building D - Level P1
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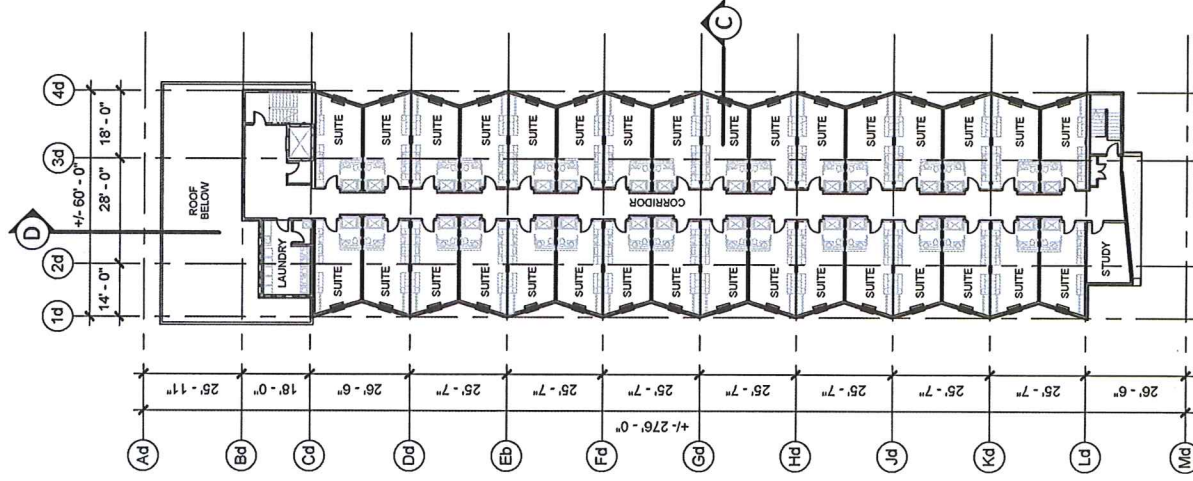
Building D - Level P2
Scale 1/32" = 1'-0"



SCHEDULE A
This forms part of development
Permit # DP16-0027



Building D - Level 1
Scale 1/32" = 1'-0"



Building D - Level 2
Scale 1/32" = 1'-0"



Unit Application
January 16, 2016

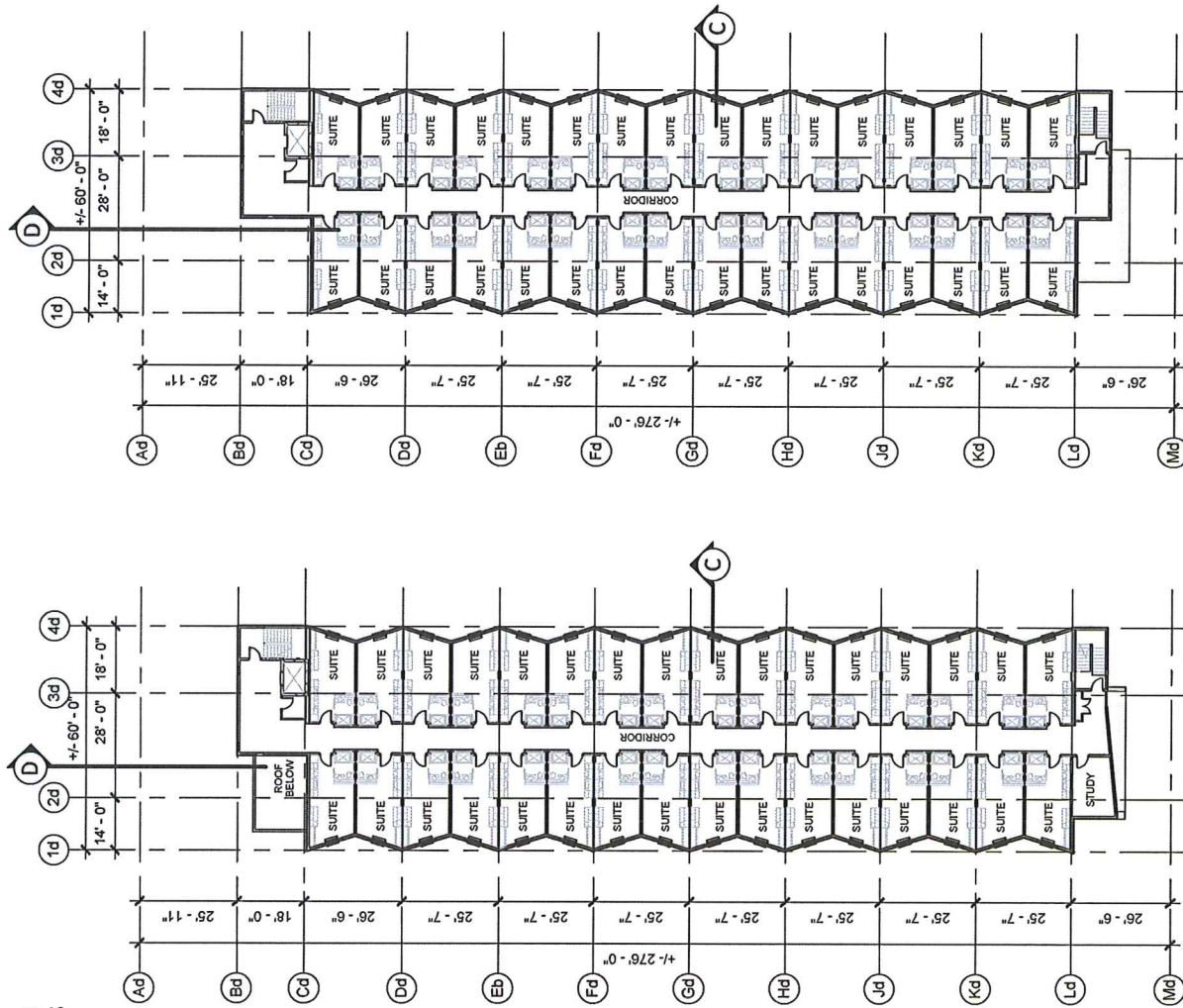
January 16, 2016

SCHEDULE A
This forms part of development
Permit # **DP16-0027**

Building D - Level 3
Scale 1/32" = 1'-0"

Building D - Level 4
Scale 1/32" = 1'-0"

30



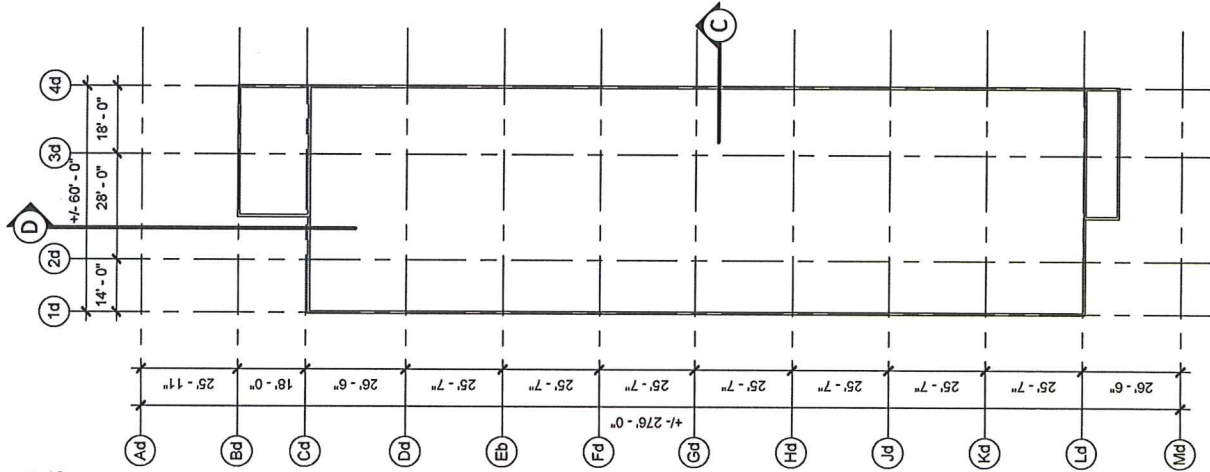
800 Academy Way - Development Permit Application
Kelowna, British Columbia, January 16, 2016

SCHEDULE A
This forms part of development
Permit # **DP16-0027**

Building D - Roof
Scale 1/32" = 1'-0"

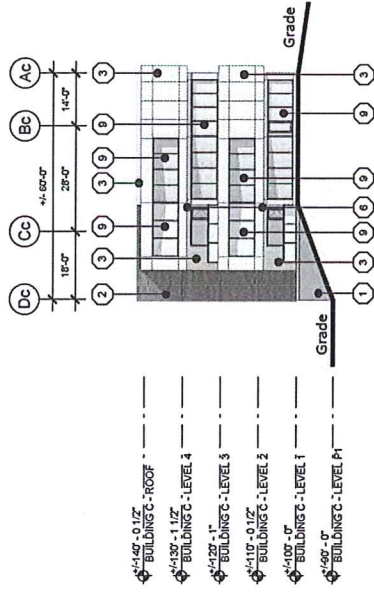


IDOS



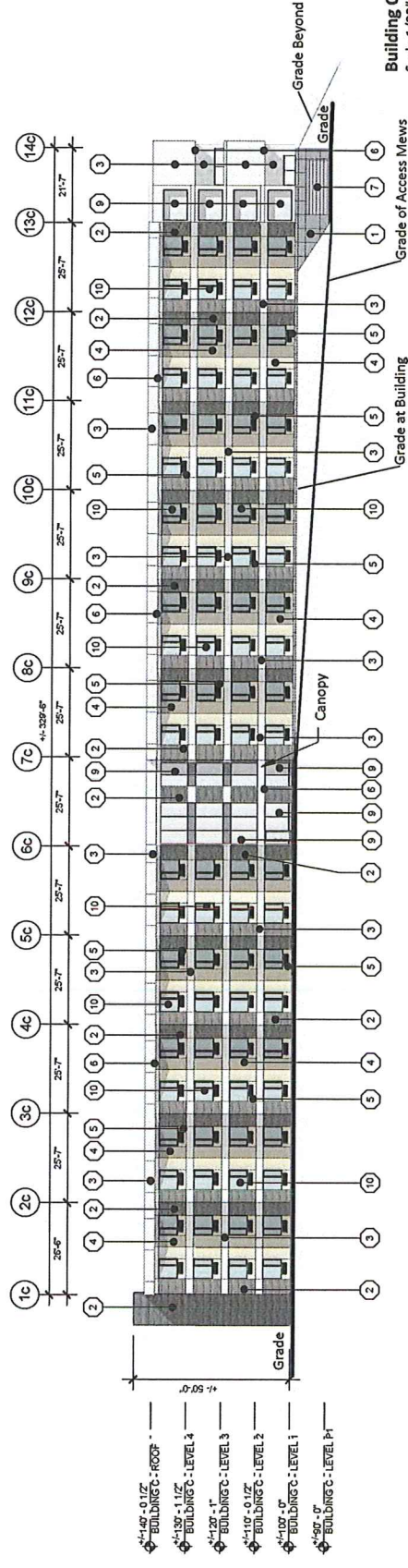
800 Academy Way - Development Permit Application
Kelowna, British Columbia,
January 16, 2016

SCHEDULE B
This forms part of development
Permit # DP16-0027



Building C - East Elevation
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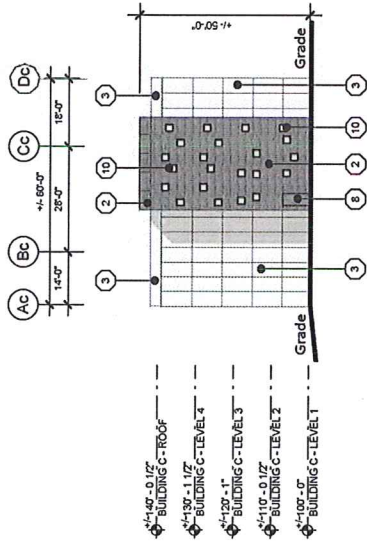
Exterior Cladding Material Legend	
①	Concrete Faced Insulation
②	Fibre Cement Siding (Wood Grain)
③	Fibre Cement Panel (Off White)
④	Fibre Cement Panel (Dark Beige)
⑤	Fibre Cement Infill Panel (Light Beige)
⑥	Fibre Cement Soffit (Wood Grain)
⑦	Overhead Door
⑧	Metal Door
⑨	Glazing Frame Type 1 (Clear Anodized)
⑩	Glazing Frame Type 2 (Light)



Building C - South Elevation
Scale 1/32" = 1'-0"

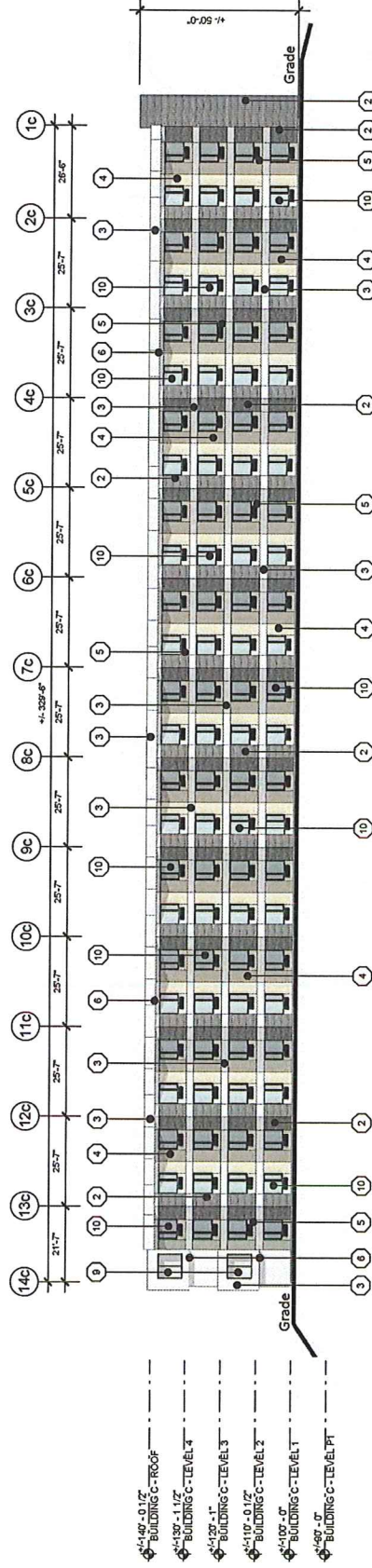
800 Academy Way - Development Permit Application Kelowna, British Columbia, January 16, 2016

SCHEDULE B
This forms part of development
Permit # **DP16-0027**



Building C - West Elevation
Scale 1/32" = 1'-0"

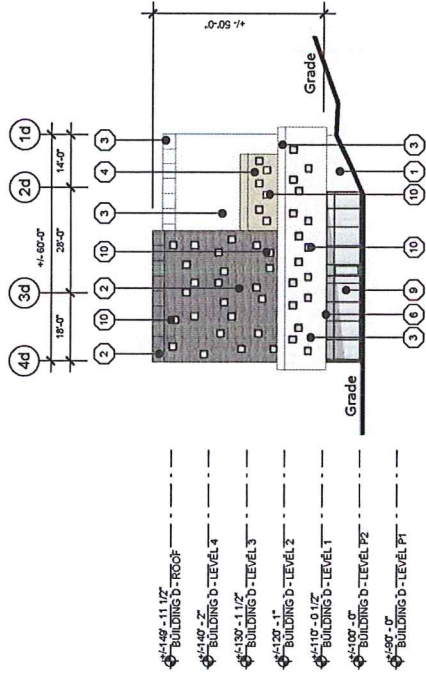
Exterior Cladding Material Legend	
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2	Fibre Cement Siding (Wood Grain)
3	Fibre Cement Panel (Off White)
4	Fibre Cement Panel (Dark Beige)
5	Fibre Cement Infill Panel (Light Beige)
6	Fibre Cement Soffit (Wood Grain)
7	Overhead Door
8	Metal Door
9	Glazing Frame Type 1 (Clear Anodized)
10	Glazing Frame Type 2 (Light)



Building C - North Elevation
Scale 1/32" = 1'-0"

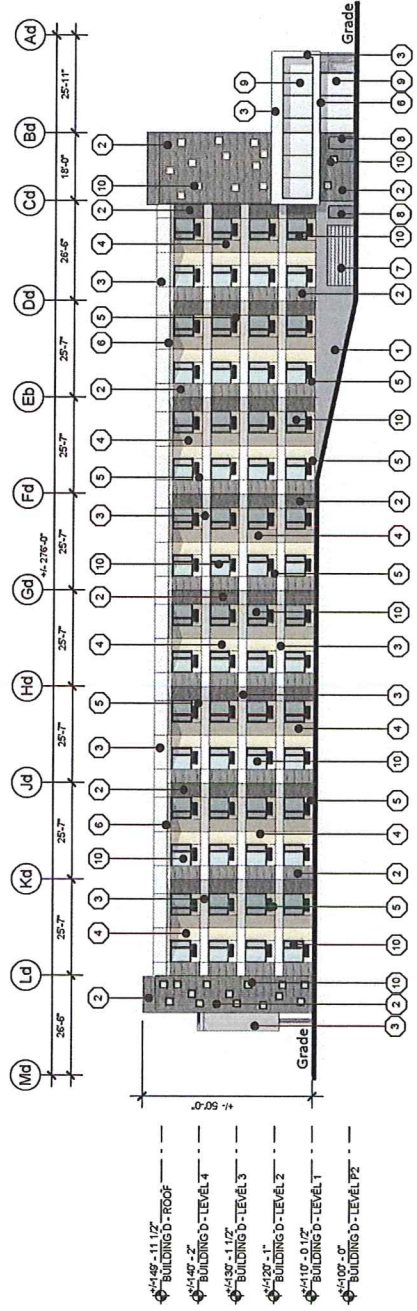
800 Academy Way - Development Permit Application
Kelowna, British Columbia,
January 16, 2016

SCHEDULE B
This forms part of development
Permit # **DP16-0027**



Building D - North Elevation
Scale 1/32" = 1'-0"

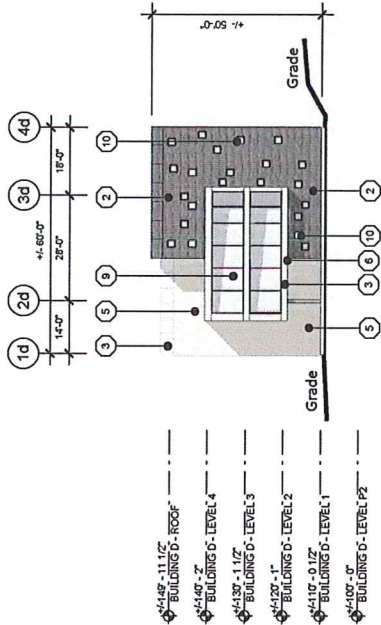
Exterior Cladding Material Legend	
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3	Fibre Cement Panel (Off White)
4	Fibre Cement Panel (Dark Beige)
5	Fibre Cement Infill Panel (Light Beige)
6	Fibre Cement Soffit (Wood Grain)
7	Overhead Door
8	Metal Door
9	Glazing Frame Type 1 (Clear Anodized)
10	Glazing Frame Type 2 (Light)



Building D - East Elevation
Scale 1/32" = 1'-0"

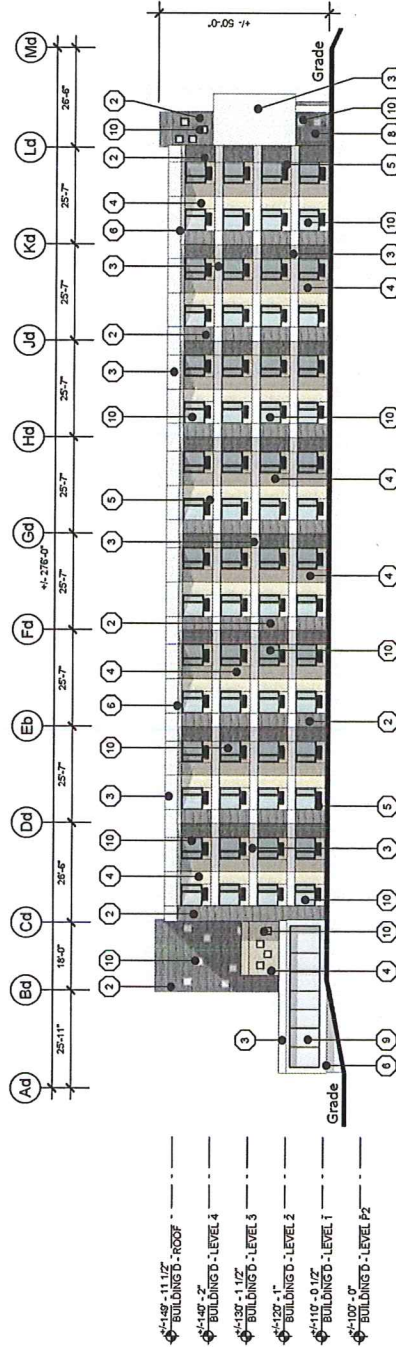
800 Academy Way - Development Permit Application
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January 16, 2016

SCHEDULE B
This forms part of development
Permit # **DP16-0027**



Exterior Cladding Material Legend	
1	Concrete Faced Insulation
2	Fibre Cement Siding (Wood Grain)
3	Fibre Cement Panel (Off White)
4	Fibre Cement Panel (Dark Beige)
5	Fibre Cement Infill Panel (Light Beige)
6	Fibre Cement Soffit (Wood Grain)
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8	Metal Door
9	Glazing Frame Type 1 (Clear Anodized)
10	Glazing Frame Type 2 (Light)

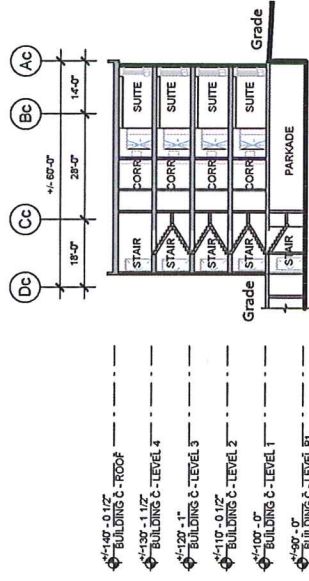
Building D - South Elevation
Scale 1/32" = 1'-0"



Building D - West Elevation
Scale 1/32" = 1'-0"

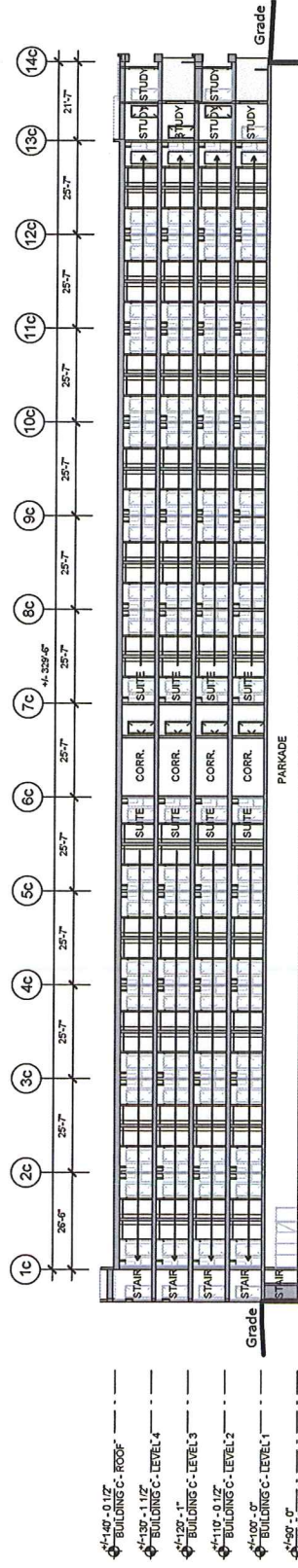
800 Academy Way - Development Permit Application

Kelowna, British Columbia,
January 16, 2016



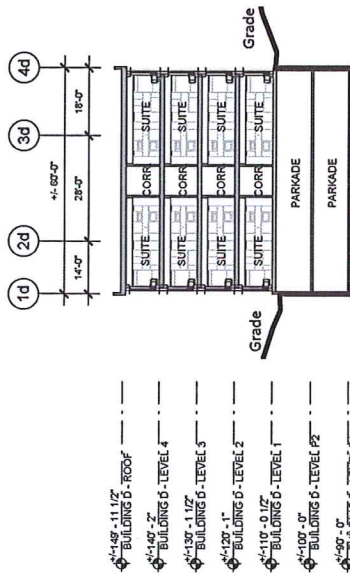
Building C - Section A
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SCHEDULE A/B
This forms part of development
Permit # DP16-0027

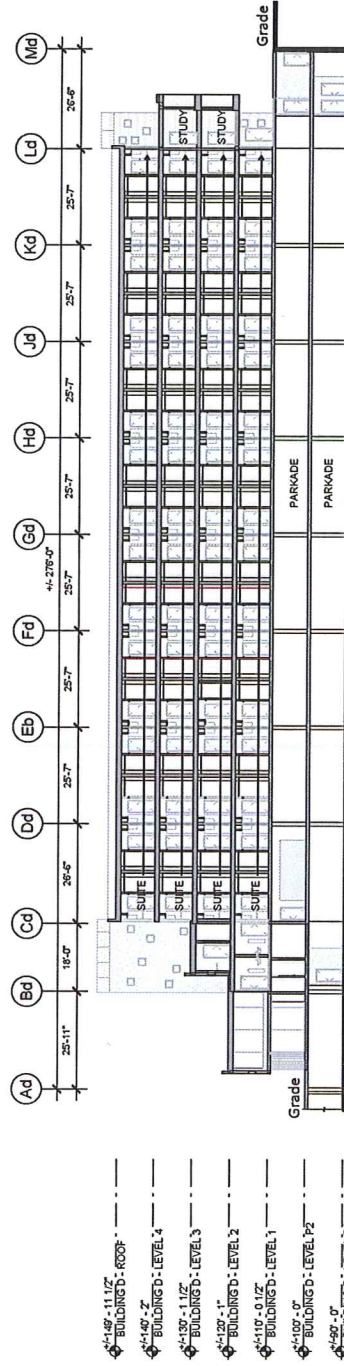


Building C - Section B
Scale 1/32" = 1'-0"

800 Academy Way - Development Permit Application Kelowna, British Columbia, January 16, 2016



SCHEDULE A/B
This forms part of development
Permit # DP16-0027





OUTLAND DESIGN
LANDSCAPE ARCHITECTURE

Friday, January 15, 2016

800 Academy Way
C/o Eidos Architecture Incorporated
201-3935 Lakeshore Road
Kelowna, BC V1W 1V3
Attn: Tim McLennan, Architect, AIBC, MRAIC, Principal
Via email to: tmclennan@eidosarchitecture.ca

Re: Proposed 800 Academy Way Development – Preliminary Cost Estimate for Bonding

Dear Tim:

Please be advised of the following preliminary cost estimate for bonding of the proposed landscape works shown in the 800 Academy Way conceptual landscape plan dated 16.01.15;

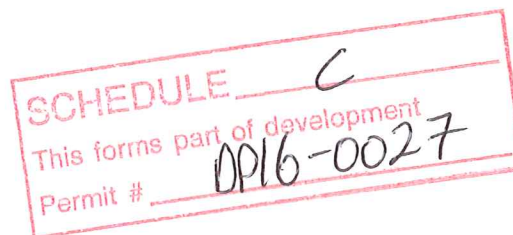
- 3,352 square metres (36,080 square feet) of improvements = \$79,518.00

This preliminary cost estimate is inclusive of trees, shrubs, dryland seed, turf, mulch, topsoil & irrigation.

You will be required to submit a performance bond to the City of Kelowna in the amount of 125% of the preliminary cost estimate. Please do not hesitate to contact me with any questions about the landscape plan.

Best regards,

Fiona Barton, MBCSLA, CSLA
as per
Outland Design Landscape Architecture



CITY OF KELOWNA
MEMORANDUM

Date: March 2, 2016
File No.: DP16-0027
To: Community Planning (AC)
From: Development Engineering Manager (SM)
Subject: 800 Academy Way Lot 1, Plan EPP45919

The Development Engineering Department has the following comments and requirements associated with this application. The road and utility upgrading requirements outlined in this report will be a requirement of this development.

The Development Engineering Technologist for this project is Jason Ough

1. General

- a) Subdivision requirements have been addressed in the Development Engineering report under file S09-0074.
- b) Provide Right of Way and Easement as may be required.
- c) This proposed subdivision may require the installation of centralized mail delivery equipment. Please contact Rick Ould, Delivery Planning Officer, Canada Post Corporation, 530 Gaston Avenue, Kelowna, BC V1Y 2K0 to obtain further information and to determine suitable location(s) within the development.
- d) A Statutory 219 Covenant of No Occupancy Permit is required until such time that Bylaw conforming fireflow and domestic water demand capacity is in place.

2. Geotechnical Study

A comprehensive Geotechnical Study is required to be prepared by a Professional Engineer competent in the field of geotechnical engineering. The study is to address the following:

- a) Overall site suitability for development.
- b) Presence of ground water and/or springs.
- c) Presence of fill areas.
- d) Presence of swelling clays.
- e) Presence of sulfates.
- f) Potential site erosion.
- g) Provide recommendations for on-site storm water disposal.
- h) Provide specific requirements for footings and foundation construction.

8. Development Permit and Site Related Issues

- a) Access and Manoeuvrability
 - (i) An SU-9 standard size vehicle must be able to manoeuvre onto and off the site without requiring a reverse movement onto public roadways. If the development plan intends to accommodate larger vehicles movements should also be illustrated on the site plan.

Steve Muenz, P. Eng.
Development Engineering Manager

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CITY OF KELOWNA
MEMORANDUM

Date: March 2, 2016
File No.: DVP16-0028
To: Community Planning (AC)
From: Development Engineering Manager (SM)
Subject: 800 Academy Way Lot 1, Plan EPP45919

Development Engineering Services comments and requirements pertaining to this Development Permit application to reduce the parking requirements are as follows:

- a) Additional information is required in order to support a parking stall reduction from 316 to 174 as proposed.
- b) Provide a Traffic consultant's detailed rationale in support of this parking variance. On-street parking is not an option and should not be affected due to on-site under-supply.
- c) If on-street parking becomes an issue due to approved variances, the City should have the authority to limit or eliminate parking due to decreased road capacity and/or diminished safety conditions.

Steve Muenz, P.Eng.
Development Engineering Manager

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