

# DEVELOPMENT PERMIT APPLICATION / DESIGN RATIONALE



**A17-47**  
**Kelowna Ford Lincoln**  
**Kelowna, B.C.**

**July 2018**

**Prepared For:**

**Mr. Dan Assam & Dean Bradshaw**  
**Kelowna Ford Lincoln**

**To be Submitted to:**

**City of Kelowna**  
**Development Services**

**Prepared by:**

**Architecture**  
**Interior Design and Planning**  
**Building Envelope Consulting**



**ARCHITECTURE**

**Garry Tomporowski Architect Ltd**  
**Kelowna, B.C. 250.979.1668**

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## 1.0 OVERVIEW

The new Kelowna Ford Lincoln dealership presents a new generation dealership concept in one of Kelowna's old industrial zones. It joins other new auto dealerships and innovative designs in the area. Kelowna Ford Lincoln & PC Urban along with their consulting group headed by GTA Architects Ltd., are extending their expertise into the core of Enterprise Way & Dilworth Rd to expand a rapidly consolidated urban location.

Special attention has been paid to the landscaping both at the front edge (Enterprise) of the building and side yards (Dilworth). This helps to provide a gentle transition between the busy roads to the exciting facade and interior of the project.

## 2.0 PROJECT DESCRIPTION

The building and site will be located in the Industrial sections of the City close to both Hwy 97 and Enterprise Way. Both roads are major traffic arteries and see hundreds of vehicles every day. The site is flanked by existing industrial / commercial properties to either side yard and to the rear yard, which will through time, evolve.

The Kelowna Ford Lincoln dealership is currently located at 2540 Enterprise Way, in Kelowna, BC. The new dealership will be substantially different from the existing and the building footprint will be expanded to match the New Corporate Ford building template. The site is approximately 2.5 acres in size and the new building with the second level is 38,000 sq. ft. The ownership group has also acquired the property to the North of the building itself. This property will be used to provide additional staff & inventory parking (used and new). This site will undergo minor landscape improvements & renovations to visually tie it into the overall Kelowna Ford Lincoln concept design.

GTA has revised the Concept drawings and details for the main building as provided by R.H. Carter Ltd., and the Ford Canada Design Team. As such, GTA will incorporate the concepts of their designs with the Owners specific requirements.

The functions within the dealership are summarized in clearly defined modules, such as: the showroom, reception, workshop, parts service and minimal tire storage is part o the main floor. A small second floor is used for offices, a corporate board room and a staff lunch room with outdoor patio.

Outside, curtain wall glass is developed as part of the main facade of the building. This, along with the curved white frame provides the visual framework for the showroom. With its clear, simple shape, this design element is used in all the principal elements of the dealership branding.

The well articulated landscape plan will complement the building and define the parking and inventory area. A vegetative buffer along the fence separating the automobile areas and we will reduce the massing of these areas and soften them considerably.

GTA has reviewed the Sustainability Checklist in preparation of the project and we have included as many options as possible for consideration at this time, and many more will be considered during the Building Permit Drawings stage.

### 3.0 NO VARIANCES REQUESTED

### 4.0 SITE AND PARKING ACCESS

Required parking is located around the building. There are enough visitor and staff parking stalls on site. No off-street parking spots are required.

The design of the building in relation to the surrounding roads has been considered to accommodate all types of emergency and delivery vehicles, maintenance vehicles, garbage trucks and snow removal vehicles, which will be necessary from time to time. Pedestrian access to the site will be through a defined front entrance.

Site access is conceived of as entering/exiting off Dilworth road. The public face of the building and entry will be off Enterprise Way. The site access points will accommodate two-way driveway entries to the property. The entry off Enterprise will be situated away from the Dilworth/Enterprise intersection and West of the Main Fire hall entrance so as not to conflict with operations of either.

The parking is provided outside of the building, along the front and east side, occupying the closest rows of stalls which are accessed from either Dilworth or Enterprise Way.

The areas designated for the display and inventory vehicles are to be shaded with vegetation to reduce the heat island effect. In addition, the pavement will be treated with controlled cuts, and sloped towards the landscaped beds to avoid an excess of storm water runoff from the site to the seepage system.

Site lighting will be carefully designed and selected to assist in achieving as much of the 'dark sky' effect as possible.

### 5.0 URBAN CONNECTIVITY

The other major driver is access to shopping, and restaurants without the need to take a vehicle. Kelowna Ford Lincoln is well positioned to take advantage of the proximity of the services in the area.

In summary, the proposed building form for the Ford Lincoln dealership will provide an attractive and sensitive transition between the older buildings and zones in the area and the new updated facilities such as Turner Volkswagon. We ask that the City consider the benefits of this proposal and accept an application for rezoning as requested.

### 6.0 SUSTAINABILITY

The use of materials from natural sources is used to as large an extent as possible, and thereby reduces the carbon foot print as much as possible. Envelope details that prevent water and moisture ingress, yet still allow the assemblies to dry, prevent mold growth and healthy living is being incorporated. Reducing thermal bridging combined with appropriate thermal insulation will reduce heating and cooling loads. South and west facing windows will be specified to have appropriate shading and glazing coefficients to utilize the summer sun by blocking the heat while still allowing the winter sun to penetrate, reducing cooling and heating loads in the summer and winter seasons respectively. Providing windows in all of the occupied spaces allows natural day lighting and views reducing energy consumption required for illumination.



Other sustainable measures will include drought resistant landscaping. Eco-friendly waste receptacles and an electric vehicle charging stations will be incorporated into the parking area.

## 7.0 CRIME PREVENTION

The design of the building and landscaping promote natural surveillance and does not provide opportunistic hiding spaces. The entrances are clearly visible from the street and well lit sidewalks will surround the site & building.

Site lighting to the streetscape and pathways will be designed and located to illuminate the faces of users. It will provide illumination levels that do not create high contrast areas that could potentially conceal offenders, yet ensure safety for users and visitors.

## 8.0 LANDSCAPE

The Owner has selected Bench Landscape Architecture to create an interesting and articulate landscape solution which responds to the architectural style of the project. This will also compliment the governing character which has been previously established in the surrounding neighborhood. A number of the shrubs, both annual and perennial have been selected with these elements in mind and they appear as border plantings, plantings in pots and in shrub beds throughout the site to accentuate a relaxed and inviting atmosphere.

This unique and attractive project will endure due to its sense of community, and the fact that it presents a prominent streetscape and connection to the surrounding neighborhood. It provides an abundance of landscape features and carefully orchestrated internal traffic patterns and areas of repose to enrich and add to the buying experience.

## 9.0 SUMMARY

Kelowna Ford, PC Urban and the GTA design team feel that the combination of a cutting edge design coupled with leading edge technology, pedestrian-friendly landscape features, and modern building materials will provide for a very functional and highly desired neighbourhood project.

It is also our desire that this project will become one to set the standards for others in this area. It's critical to the continued sustainability and growth of our inner City, and to enrich the streetscape by "bridging" the massing between these two different zones.

We look forward to the enthusiastic support and recognition from staff and Council for all this project brings to our community.

## 10.0 APPENDIX AND ATTACHMENTS

- Letter of Agency
- Site Profile
- D.P Application Documents
- Soils Report
- State of Title Certificate
- Small and large scale drawings
- USB drive that contains all submission documents

**END**

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# CITY OF KELOWNA

## MEMORANDUM

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**Date:** August 13, 2018  
**File No.:** DP18-0169  
**To:** Community Planning (AC)  
**From:** Development Engineering Manager (JK)  
**Subject:** 1655 Dliworth Drive



Development Engineering Department have the following comments and requirements associated with this application. The road and utility upgrading requirements outlined in this report will be a requirement of this development. The Development Engineering Technologist for this project is Aaron Sangster. All Servicing and Road requirements will be address in S17-0057, Z17-0055

1. Domestic Water and Fire Protection

- (a) The existing lot is serviced with a 38mm copper diameter water service. The developer's consulting mechanical engineer will determine the domestic and fire protection requirements of this proposed development and establish hydrant requirements and service needs. The applicant, at his cost, will arrange for the removal of the existing service and the installation of one new larger metered water service.
- (b) A water meter is mandatory for this development and must be installed inside the building on the water service inlet as required by the City Plumbing Regulation and Water Regulation bylaws. The developer or building contractor must purchase the meter from the City at the time of application for a building permit from the Inspection Services Department, and prepare the meter setter at his cost.
- (c) Landscaped boulevards, complete with underground irrigation systems, must be integrated with the on-site irrigation system.

2. Sanitary Sewer

- (a) The existing lot is serviced with 100mm diameter sanitary service. The developer's consulting mechanical engineer will determine the requirements of this proposed development and establish the required size and preferred location of the new service. Only one service will be permitted for this development. The applicant, at his cost, will arrange for the removal of all existing service and the installation of a new larger service.

3. Storm Drainage

- (a) The developer must engage a consulting civil engineer to provide a storm water management plan for the site, which meets the requirements of the Subdivision, Development and Servicing Bylaw No. 7900. The storm water management plan must also include provision of lot grading plan, minimum basement elevation

(MBE), if applicable, and provision of a storm drainage service for the development and / or recommendations for onsite drainage containment and disposal systems. The existing lot is serviced with a 150mm diameter over-flow storm service.

(b) Provide the following drawings:

- (i) A detailed Stormwater Management Plan for this development; and,
- (ii) An Erosion and Sediment Control Plan

### 3. Road Improvements

(a) All road requirements will be addressed in S17-0057 and in submitted TIA.

### 6. Subdivision

(a) Grant Statutory Rights of Way if required for utility services.

(b) If any road dedication or closure affects lands encumbered by a Utility right-of-way (such as Hydro, Telus, Gas, etc.) please obtain the approval of the utility. Any works required by the utility as a consequence of the road dedication or closure must be incorporated in the construction drawings submitted to the City's Development Manager.

### 7. Electric Power and Telecommunication Services

(a) All proposed distribution and service connections are to be installed underground.

(b) Streetlights must be installed on roads.

(c) Make servicing applications to the respective Power and Telecommunication utility companies. The utility companies are required to obtain the City's approval before commencing construction.

(d) Re-locate existing poles and utilities, where necessary. Remove aerial trespass (es).

### 8. Engineering

Road and utility construction design, construction supervision, and quality control supervision of all off-site and site services including on-site ground recharge drainage collection and disposal systems, must be performed by an approved consulting civil engineer. Designs must be submitted to the city engineering department for review and marked "issued for construction" by the City Engineer before construction may begin.

### 9. Design and Construction

(a) Design, construction supervision and inspection of all off-site civil works and site servicing must be performed by a Consulting Civil Engineer and all such work is subject to the approval of the City Engineer. Drawings must conform to City standards and requirements.

(b) Engineering drawing submissions are to be in accordance with the City's "Engineering Drawing Submission Requirements" Policy. Please note the number of sets and drawings required for submissions.

- (c) Quality Control and Assurance Plans must be provided in accordance with the Subdivision, Development & Servicing Bylaw No. 7900 (refer to Part 5 and Schedule 3).
- (d) A “Consulting Engineering Confirmation Letter” (City document ‘C’) must be completed prior to submission of any designs.
- (e) Before any construction related to the requirements of this subdivision application commences, design drawings prepared by a professional engineer must be submitted to the City’s Works & Utilities Department. The design drawings must first be “Issued for Construction” by the City Engineer. On examination of design drawings, it may be determined that rights-of-way are required for current or future needs.

10. Servicing Agreements for Works and Services

- (a) A Servicing Agreement is required for all works and services on City lands in accordance with the Subdivision, Development & Servicing Bylaw No. 7900. The applicant’s Engineer, prior to preparation of Servicing Agreements, must provide adequate drawings and estimates for the required works. The Servicing Agreement must be in the form as described in Schedule 2 of the bylaw.
- (b) Part 3, “Security for Works and Services”, of the Bylaw, describes the Bonding and Insurance requirements of the Owner. The liability limit is not to be less than \$5,000,000 and the City is to be named on the insurance policy as an additional insured.

11. Geotechnical Report

As a requirement of this application the owner must provide a geotechnical report prepared by a Professional Engineer qualified in the field of hydro-geotechnical survey to address the following:


- (a) Area ground water characteristics.
- (b) Site suitability for development, unstable soils, etc.
- (c) Drill and / or excavate test holes on the site and install piezometers if necessary. Log test hole data to identify soil characteristics, identify areas of fill if any. Identify unacceptable fill material, analyse soil sulphate content, Identify unsuitable underlying soils such as peat, etc. and make recommendations for remediation if necessary.
- (d) List extraordinary requirements that may be required to accommodate construction of roads and underground utilities as well as building foundation designs.
- (e) Additional geotechnical survey may be necessary for building foundations, etc.

<b>ATTACHMENT</b>		<b>A</b>
This forms part of application # <b>DP18-0169</b>		
Planner Initials	<b>AC</b>	 <b>City of Kelowna</b> <small>COMMUNITY PLANNING</small>

12. Development Permit and Site Related Issues

Access and Manoeuvrability:

- (i) Access to the site does not meet the throat length requirement of 15 m as laid out by TAC standard.
- (ii) A MSU standard size vehicle must be able to manoeuvre onto and off the site without requiring a reverse movement onto public roadways. If the development plan intends to accommodate larger vehicles movements should also be illustrated on the site plan.
- (iii) Perimeter access must comply with the BC Building Code. Fire Truck access designs and proposed hydrant locations will be reviewed by the Fire Protection Officer.
- (iv) The future, access and egress to the site may be restricted to right-in and right-out onto Enterprise Way with a future median.

  
\_\_\_\_\_  
James Kay, P. Eng.  
Development Engineering Manager  
AS

<b>ATTACHMENT</b>		<b>A</b>
This forms part of application		
# DP18-0169		
Planner Initials	AC	 City of <b>Kelowna</b> COMMUNITY PLANNING

# DRAFT Development Permit DP18-0169

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This permit relates to land in the City of Kelowna municipally known as

2250 Enterprise Way

and legally known as

Lot B, District Lots 531 & 127, ODYD, Plan EPP82754

and permits the land to be used for the following development:

## **Car Dealership**

The present owner and any subsequent owner of the above described land must comply with any attached terms and conditions.

Date of Decision: Oct 9<sup>th</sup> 2018

Decision By: CITY COUNCIL

Issued Date:

Development Permit Area: Comprehensive

**This permit will not be valid if development has not commenced by two years after the Date of Decision by Council.**

Existing Zone: I2 – General Industrial

Future Land Use Designation: Industrial

## **This is NOT a Building Permit.**

In addition to your Development Permit, a Building Permit may be required prior to any work commencing. For further information, contact the City of Kelowna, Development Services Branch.

## **NOTICE**

This permit does not relieve the owner or the owner's authorized agent from full compliance with the requirements of any federal, provincial or other municipal legislation, or the terms and conditions of any easement, covenant, building scheme or agreement affecting the building or land.

Owner: PC Urban Enterprise Holdings Ltd. Inc. No. BC 1099976

Applicant: Ford Lincoln Dealership

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Ryan Smith  
Community Planning Department Manager  
Community Planning & Strategic Investments

Date

## 1. SCOPE OF APPROVAL

This Development Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.

This Development Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this permit, noted in the Terms and Conditions below.

The issuance of a permit limits the permit holder to be in strict compliance with regulations of the Zoning Bylaw and all other Bylaws unless specific variances have been authorized by the Development Permit. No implied variances from bylaw provisions shall be granted by virtue of drawing notations that are inconsistent with bylaw provisions and that may not have been identified as required Variances by the applicant or Municipal staff.

## 2. CONDITIONS OF APPROVAL

- a) The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A";
- b) The exterior design and finish of the building to be constructed on the land be in accordance with Schedule "B";
- c) Landscaping to be provided on the land be in accordance with Schedule "C"; and
- d) The applicant be required to post with the City a Landscape Performance Security deposit in the form of a "Letter of Credit" in the amount of 125% of the estimated value of the landscaping, as determined by a Registered Landscape Architect.

This Development Permit is valid for two (2) years from the Date of Decision by Council, with no opportunity to extend.

## 3. PERFORMANCE SECURITY

As a condition of the issuance of this Permit, Council is holding the security set out below to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Developer and be paid to the Developer or his or her designate if the security is returned. The condition of the posting of the security is that should the Developer fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the Municipality may use enter into an agreement with the property owner of the day to have the work carried out, and any surplus shall be paid over to the property own of the day. Should the Developer carry out the development permitted by this Permit within the time set out above, the security shall be returned to the Developer or his or her designate. There is filed accordingly:

- a) An Irrevocable Letter of Credit in the amount of **\$193,539.38**

Before any bond or security required under this Permit is reduced or released, the Developer will provide the City with a statutory declaration certifying that all labour, material, workers' compensation and other taxes and costs have been paid.

## 4. INDEMNIFICATION

Upon commencement of the works authorized by this Permit the Developer covenants and agrees to save harmless and effectually indemnify the Municipality against:

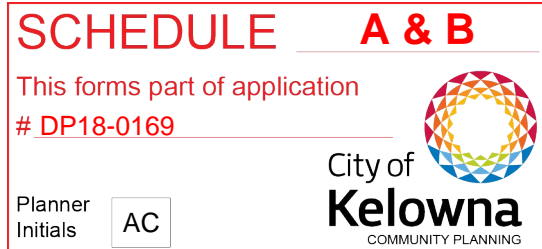
- a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality said Permit.

All costs, expenses, claims that may be incurred by the Municipality where the construction, engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

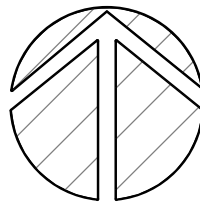
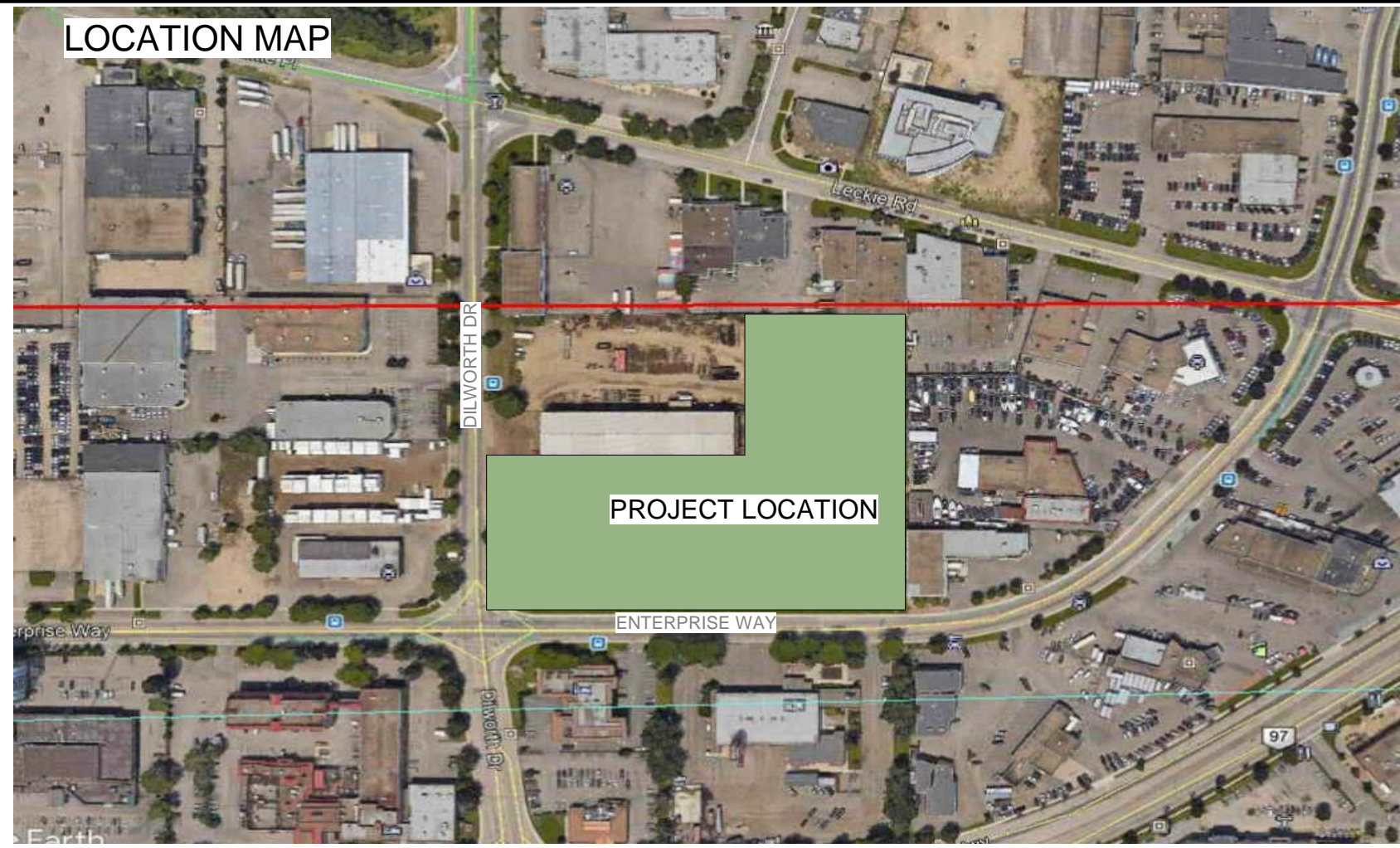
**The PERMIT HOLDER is the CURRENT LAND OWNER.  
Security shall ONLY be returned to the signatory of the  
Landscape Agreement or their designates.**



# NEW FORD&LINCOLN DEALERSHIP



1655 Dilworth Drive, Kelowna, BC



NORTH

## CONSULTANTS:

### ARCHITECTURAL:

**GTA ARCHITECTURE LTD.**  
CONTACT: GARRY TOMPOROWSKI  
243 - 1889 SPRINGFIELD ROAD  
KELOWNA, B.C., V1V 1S9  
PHONE: (250) 979-1668, FAX: (250) 979-4366  
EMAIL: garry@gtarch.ca

### CIVIL:

**CTQ CONSULTANTS LTD**  
CONTACT: MURRAY NOBLE  
1334 ST. PAUL STREET, KELOWNA,  
BC V1Y 2E1, CANADA  
PHONE: (250)-979-1221  
EMAIL: MNOBLE@CTQCONSULTANTS.CA

### LANDSCAPE:

**BENCH SITE DESIGN INC**  
CONTACT: XENIA SEMENIUK  
4-1562 WATER STREET, KELOWNA  
BC V1Y 1J7, CANADA  
PHONE: (250)-808-5113  
EMAIL: XEINA@BENCHDESIGN.COM

### SURVEYOR:

**RUNNALLS DENBY-BRITISH COLUMBIA LAND SURVEYORS**  
CONTACT: NEIL DENBY  
259A LAWRENCE AVENUE, KELOWNA,  
BC, V1Y 6L2  
PHONE: (250) 763-7322  
EMAIL: ROB@RUNNALLSDENBY.COM

### MECHANICAL:

**WILLIAMS ENGINEERING**  
CONTACT: MARTINO FANFANI  
1912 ENTERPRISE, KELOWNA  
BC V1Y 1J7, CANADA  
PHONE: (778)-484-2981  
EMAIL: MFANFANI@WILLIAMS.COM

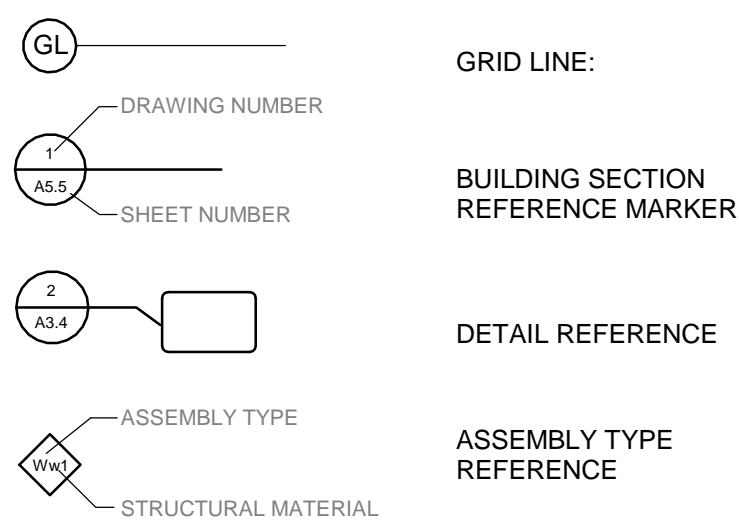
### STRUCTURAL:

**R&A ENGINEERS**  
CONTACT: GREG WYLIE  
202-3401 33rd STREET, VERNON  
BC V1Y 1J7, CANADA  
PHONE: (250)-308-7911  
EMAIL: GREG@RAENGINEERING.CA

### ELECTRICAL:

**WILLIAMS ENGINEERING**  
CONTACT: MARTIN LINDQUIST  
4-1562 WATER STREET, KELOWNA  
BC V1Y 1J7, CANADA  
PHONE: (250)-808-5113  
EMAIL: MLINDQUIST@WILLIAMS.COM

## SYMBOL LEGEND:



## LIST OF DRAWINGS:

ARCHITECTURAL LIST	
SHEET NUMBER	SHEET NAME
A0.0	COVER SHEET
A0.1	PERSPECTIVE VIEWS
A0.2	PERSPECTIVE VIEWS B
A1.0	SITE PLAN
A2.0	MAIN FLOOR PLAN - OVERALL
A2.3	SECOND FLOOR OVERALL
A2.8	AREA PLAN
A3.0	ELEVATIONS
A3.51	INTERIOR ELEVATION
A4.0	BUILDING SECTIONS

## PROJECT INFO:

**CIVIL ADDRESS:** 1655 Dilworth Dr, Kelowna, BC

### LEGAL DESCRIPTION:

KID: 806047 Plan #: EPP67320  
Lot#: 1 Block:  
District Lot 127&531.

**ZONING:** I-3(REZONE TO I-2)

**LOT AREA:** 21,911m<sup>2</sup>

## FLOOR AREAS:

GROSS FLOOR AREA	
LEVEL NAME	AREA
GROUND FLOOR GROSS AREA	3,313.7 m <sup>2</sup>
SECOND FLOOR GROSS AREA	957.2 m <sup>2</sup>
TOTAL GROSS AREA	4,270.9 m <sup>2</sup>

OCCUPANCY AREA	
OCCUPANCY TYPE	AREA
OCCUPANCY D	1,299.5 m <sup>2</sup>
OCCUPANCY E	937.5 m <sup>2</sup>
OCCUPANCY F-1	151.5 m <sup>2</sup>
OCCUPANCY F-2	1,880.8 m <sup>2</sup>

NET FLOOR AREA	
LEVEL NAME	AREA
GROUND FLOOR NET AREA	3,278.2 m <sup>2</sup>
2nd FLOOR NET AREA	915.0 m <sup>2</sup>
TOTAL NET AREA:	4,193.3 m <sup>2</sup>

## CITY OF KELOWNA ZONING BYLAW NO. 8000 ANALYSIS:

### SECTION 7 – LANDSCAPING AND SCREENING

#### 7.3 REFUSE AND RECYCLING BINS

7.3.2 REFUSE & RECYCLING BINS SCREENING FROM ADJACENT STREETS AND LOTS  
(PROPOSED: BINS SCREENED)

#### 7.6 MINIMUM LANDSCAPE BUFFERS

7.6.1  
b) LEVEL 2: MIN 3.0m BUFFER  
c) LEVEL 3: MIN 3.0m BUFFER OR OPAQUE BARRIER

TABLE 7.1 MIN. LANDSCAPE BUFFER TREATMENT LEVELS SCHEDULE

FRONT: LEVEL 2	3.0m
REAR YARD: LEVEL 3	3.0m
NORTH SIDE YARD: LEVEL 3	3.0m
SOUTH SIDE YARD: LEVEL 3	3.0m

### SECTION 9 - PARKING AND LOADING

#### 8.1 OFF-STREET VEHICLE PARKING

##### 8.1.2. MIN NUMBER SPACES

TABLE 8.1

-GENERAL INDUSTRIAL USE: 2.0 PER 100m<sup>2</sup> GFA

TOTAL PARKING REQUIRED: 86 (4270/50=86)  
TOTAL PARKING PROPOSED: 463 (UNCOVERED)  
TOTAL VISITOR PARKING REQUIRED: N/A

#### 8.1.7 PARKING SPACES FOR THE DISABLED

a) PER B.C. BUILDING CODE(3.8.3.4.2): 1/100

PROP:  
2(182 VISITOR AND EMPLOYEE PARKING STALLS)

#### 8.1.11 SIZE AND RATIO

**FULL SIZE:**  
a) MIN WIDTH: 2.5m  
MIN LENGTH: 6m  
MIN HEIGHT: 2.0m

PROP: 370  
PROP: 2.5m  
PROP: 6.0m  
PROP: 2.0m

**MID SIZE:** MAX NUMBER: 40%  
**SMALL SIZE:** MAX NUMBER: 10%

PROP: 91 (20%)  
PROP: 0 (0%)

#### 8.4 OFF-STREET BICYCLE PARKING

##### 8.4.1 NUMBER OF SPACES

TABLE 8.3: GENERAL INDUSTRIAL USE

CLASS I: N/R  
CLASS II: 0.30 PER 100m<sup>2</sup> GFA: 13 SPACES REQUIRED PROP: 13

#### 8.4.6 DEVELOPMENT STANDARDS

BICYCLE PARKING MIN WIDTH: 0.6m  
MIN LENGTH: 1.8m  
MIN HEIGHT: 1.9m

### SECTION 15.2 - I5 - GENERAL INDUSTRIAL

#### 15.2.2. PRINCIPLE USES:

- (d) AUTOMOTIVE AND EQUIPMENT REPAIR SHOPS  
(e) AUTOMOTIVE AND MINOR RECREATION VEHICLE SALES/RENTALS

#### 15.2.4 SUBDIVISION REGULATIONS

MINIMUM LOT WIDTH: 40.0m. (EXISTING : 195.9m)  
MINIMUM LOT DEPTH: 35.0m (EXISTING: 165.4m)  
MINIMUM LOT AREA: 10,000 m<sup>2</sup>. (EXISTING: 21,911m<sup>2</sup>)

#### 15.2.5 DEVELOPMENT REGULATIONS

MAX HEIGHT: 14.0m  
SITE COVERAGE: 60%  
MAX FLOOR AREA RATIO: 1.5  
MIN FRONT YARD: 7.5m

PROP: 9.8m  
PROP: 15%  
PROP: 0.19  
PROP: 18.7m

MIN SIDE YARD: 0.0m EAST SIDE(ABUT C-10)  
6.0m WEST SIDE(FLANKING STREET)

PROP: 21.0m(E)  
PROP: >50m(W)

MIN REAR YARD: 0.0m(ADJACENT TO INDUSTRIAL)

PROP: >50m

## B.C. BUILDING CODE (2012) ANALYSIS:

MAJOR OCCUPANCY CLASSIFICATION: D, E, F1, F2  
GOVERNING CODE PART: PART 3

GRADE ELEVATION:  
BUILDING HEIGHT: 2 STOREYS  
BUILDING AREA: 3,313m<sup>2</sup>  
SPRINKLERS: NFPA 13  
FACING NO. OF STREETS: 2

### BASIC CODE CLASSIFICATION:

#### 3.2.2.61. GROUP D, up to 2 Storeys, Sprinklered

- SPRINKLERED  
- MAX. 2 STOREYS  
- MAX. AREA: 3,000 m2 IF 1 STOREY  
- COMBUSTIBLE OR NONCOMBUSTIBLE  
- FLOORS: 45 min FRR  
- LOADBEARING WALLS: 45 min FRR, OR BE NONCOMBUSTIBLE CONSTRUCTION

#### 3.2.2.67. GROUP E, up to 2 Storeys, Sprinklered

- SPRINKLERED  
- MAX. 2 STOREYS  
- MAX. AREA: 3,000 m2 IF 1 STOREY  
- COMBUSTIBLE OR NONCOMBUSTIBLE  
- FLOORS: 45 min FRR  
- LOADBEARING WALLS: 45 min FRR

#### 3.2.2.70. GROUP F DIV. 1, up to 2 Storeys, Sprinklered

- SPRINKLERED  
- MAX. 2 STOREYS  
- MAX. AREA: 2,400 m2 IF 1 STOREY  
- COMBUSTIBLE OR NONCOMBUSTIBLE  
- FLOORS: 45 min FRR  
- LOADBEARING: 45 min FRR, OR BE NONCOMBUSTIBLE CONSTRUCTION

#### 3.2.2.77. GROUP F DIV. 2, up to 2 Storeys, Sprinklered

- SPRINKLERED  
- MAX. 2 STOREYS  
- MAX. AREA: 4,500 m2 IF 1 STOREY  
- COMBUSTIBLE OR NONCOMBUSTIBLE  
- FLOORS: 45 min FRR  
- LOADBEARING: 45 min FRR, OR BE NONCOMBUSTIBLE CONSTRUCTION

#### 3.1.3.1 FIRE SEPARATION

BETWEEN OCCUPANCY D AND E: N/R  
BETWEEN OCCUPANCY D AND F-2: N/R  
BETWEEN OCCUPANCY E AND F-2: N/R  
BETWEEN OCCUPANCY F-2 AND F-1: 2HR

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www.gtarch.ca

DEVELOPED BY:

PROJECT

NEW FORD  
LINCOLN

1655 DILWORTH DR, KELOWNA, BC

SHEET TITLE

COVER SHEET

DRAWN BY: FF DRAWING NO.

DESIGNED BY: Designer

SCALE: As indicated

DATE: 01/29/18 FILE: A17-47

A0.0



SCHEDULE

A & B

This forms part of application  
# DP18-0169

Planner  
Initials AC

City of  
Kelowna  
COMMUNITY PLANNING



FRONT VIEW



SOUTHEAST VIEW



SOUTHWEST VIEW

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LINCOLN  
1655 DILWORTH DR, KELOWNA, BC

SHEET TITLE  
PERSPECTIVE VIEWS

DRAWN BY:	FF	DRAWING NO.	A0.1
DESIGNED BY:	Designer		
SCALE:	12" = 1'-0"		
DATE:	04/18/18	FILE:	A17-47



SCHEDULE

A & B

This forms part of application

# DP18-0169

Planner

Initials

AC

City of Kelowna

COMMUNITY PLANNING



STREET CORNER VIEW(SOUTHWEST)



STREET ENTRANCE VIEW(SOUTH)



EAST VIEW



REAR VIEW(NORTHEAST)

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REVISED  
DEVELOPMENT  
PERMIT

01	NOV 07, 2017	FF	ISSUE FOR DEVELOPMENT PERMIT
02	NOV 10, 2017	FF	ISSUE FOR REVIEW
03	NOV 23, 2017	FF	ISSUE FOR DEVELOPMENT PERMIT
04	FEB 06, 2018	FF	ISSUE FOR REVISED DEV. PERMIT
05	FEB 15, 2018	FF	ISSUE FOR REVISED DEV. PERMIT

NO.	DATE	BY	REVISION
-----	------	----	----------

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NEW FORD  
LINCOLN  
1655 DILWORTH DR, KELOWNA, BC

SHEET TITLE

PERSPECTIVE VIEWS  
B

DRAWN BY:	Author	DRAWING NO.
DESIGNED BY:	Designer	A0.2
SCALE:	12" = 1'-0"	
DATE:	2018-08-01 9:51:13 AM	FILE: A17-47





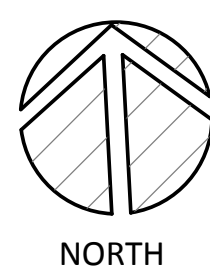












STALL TYPE	COUNT	PERCENTAGE
TYPE 1 FULL SIZE	332	74%
TYPE 2 MEDIUM SIZE	112	25%
TYPE 3 HANDICAPPED	2	0%
TOTAL PARKING STALLS:	446	

ISSUED FOR  
BUILDING  
PERMIT

NO.	DATE	BY	DESCRIPTION
-----	------	----	-------------

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PROJECT

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SHEET TITLE

## SITE PLAN

DRAWN BY: EF

DESIGNED BY: Designer

SCALE: As indicated

DATE: 01/29/18

DRAWING NO.

A1.01

FILE: A17-47





1 GROUND FLOOR PLAN  
A2.0 1" = 10'-0"

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PROJECT

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LINCOLN

1655 DILWORTH DR., KELOWNA, BC

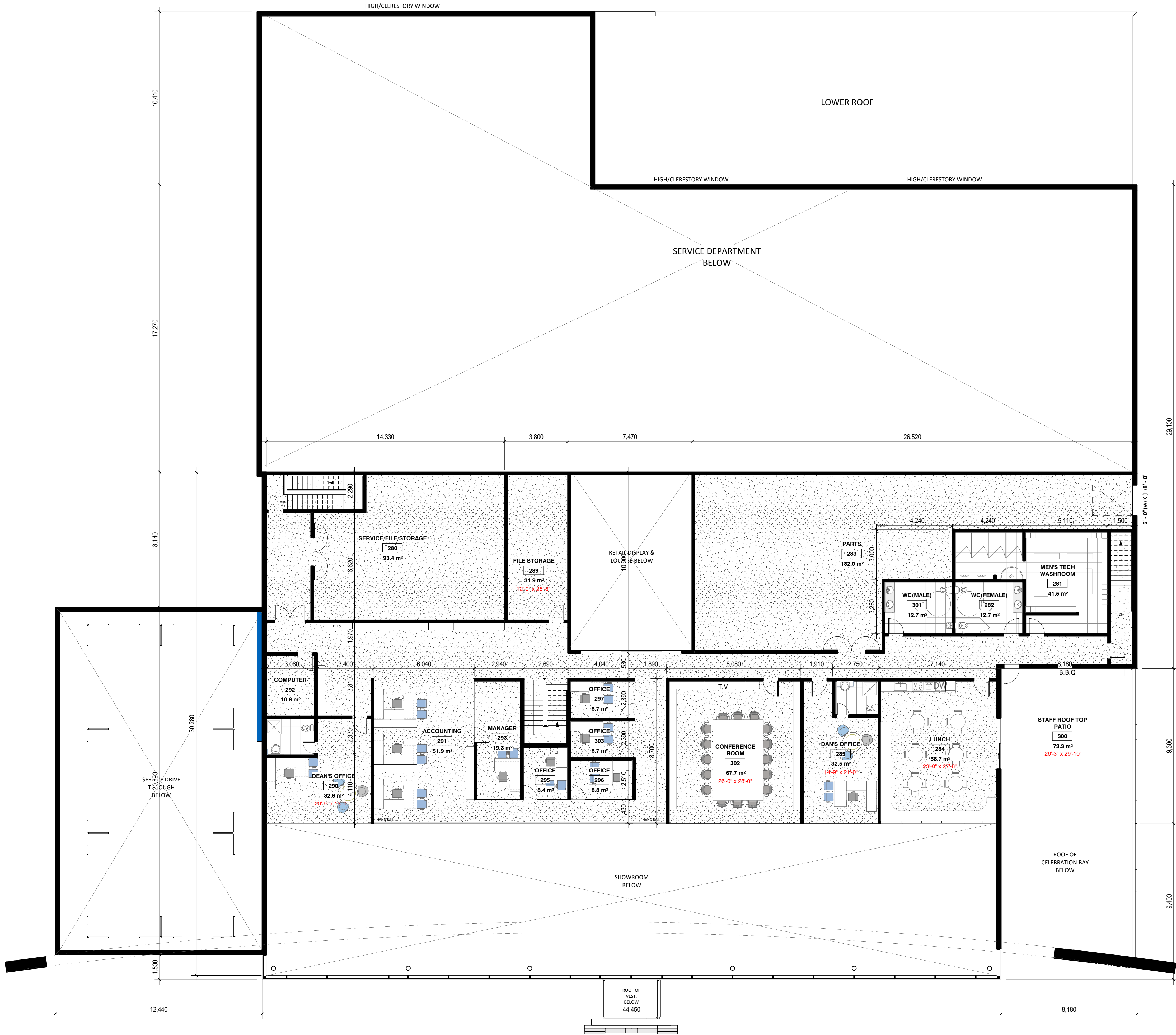
SHEET TITLE

MAIN FLOOR PLAN -  
OVERALL

DRAWN BY:	FF	DRAWING NO.	A2.0
DESIGNED BY:	Designer	SCALE:	1" = 10'-0"
DATE:	01/29/18	FILE:	A17-47







Second Floor Plan  
1" = 10'-0"

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DEVELOPED BY:

PROJECT

NEW FORD LINCOLN

1655 DILWORTH DR, KELOWNA, BC

SHEET TITLE

SECOND FLOOR OVERALL

DRAWN BY:	FF	DRAWING NO.	A2.3
DESIGNED BY:	Designer	SCALE:	1" = 10'-0"
DATE:	01/29/18	FILE:	A17-47



OCCUPANCY AREA LEGEND

- OCCUPANCY D
- OCCUPANCY E
- OCCUPANCY F-1
- OCCUPANCY F-2

OCCUPANCY AREA	
OCCUPANCY TYPE	AREA
OCCUPANCY D	1,299.5 m²
OCCUPANCY E	937.5 m²
OCCUPANCY F-1	151.5 m²
OCCUPANCY F-2	1,880.8 m²

SCHEDULE A & B

This forms part of application  
# DP18-0169

Planner  
Initials

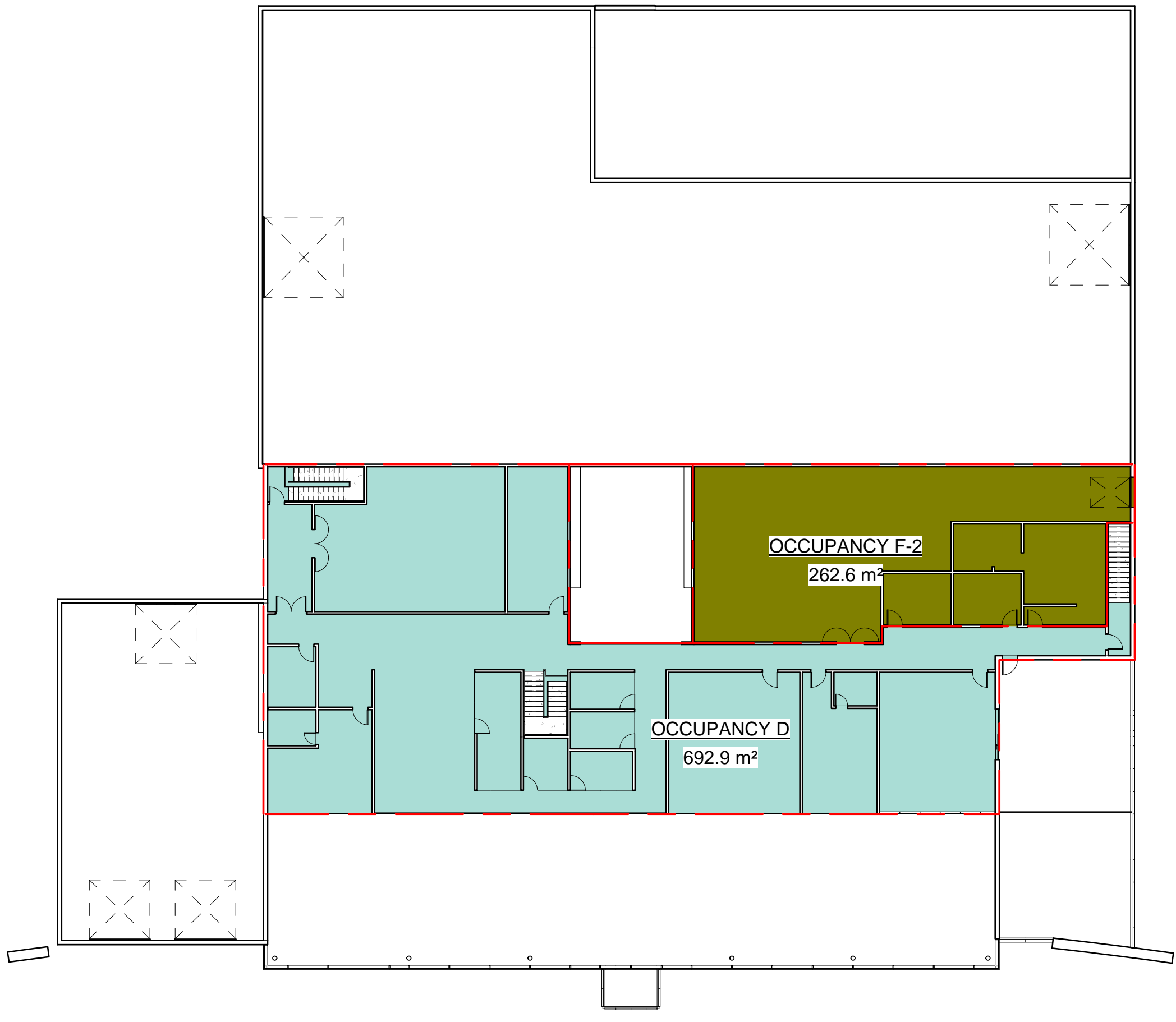
AC

City of  
Kelowna

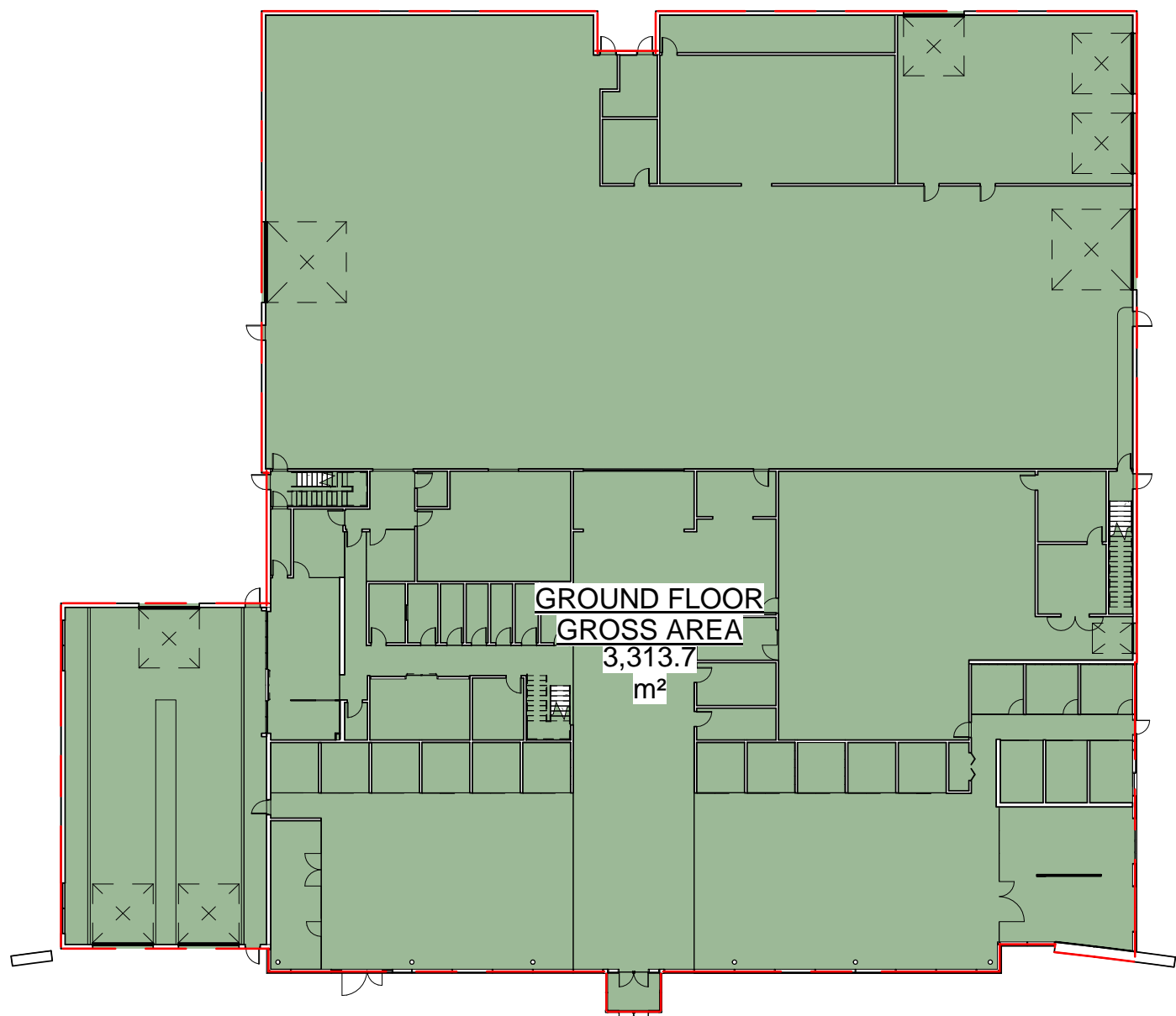
COMMUNITY PLANNING



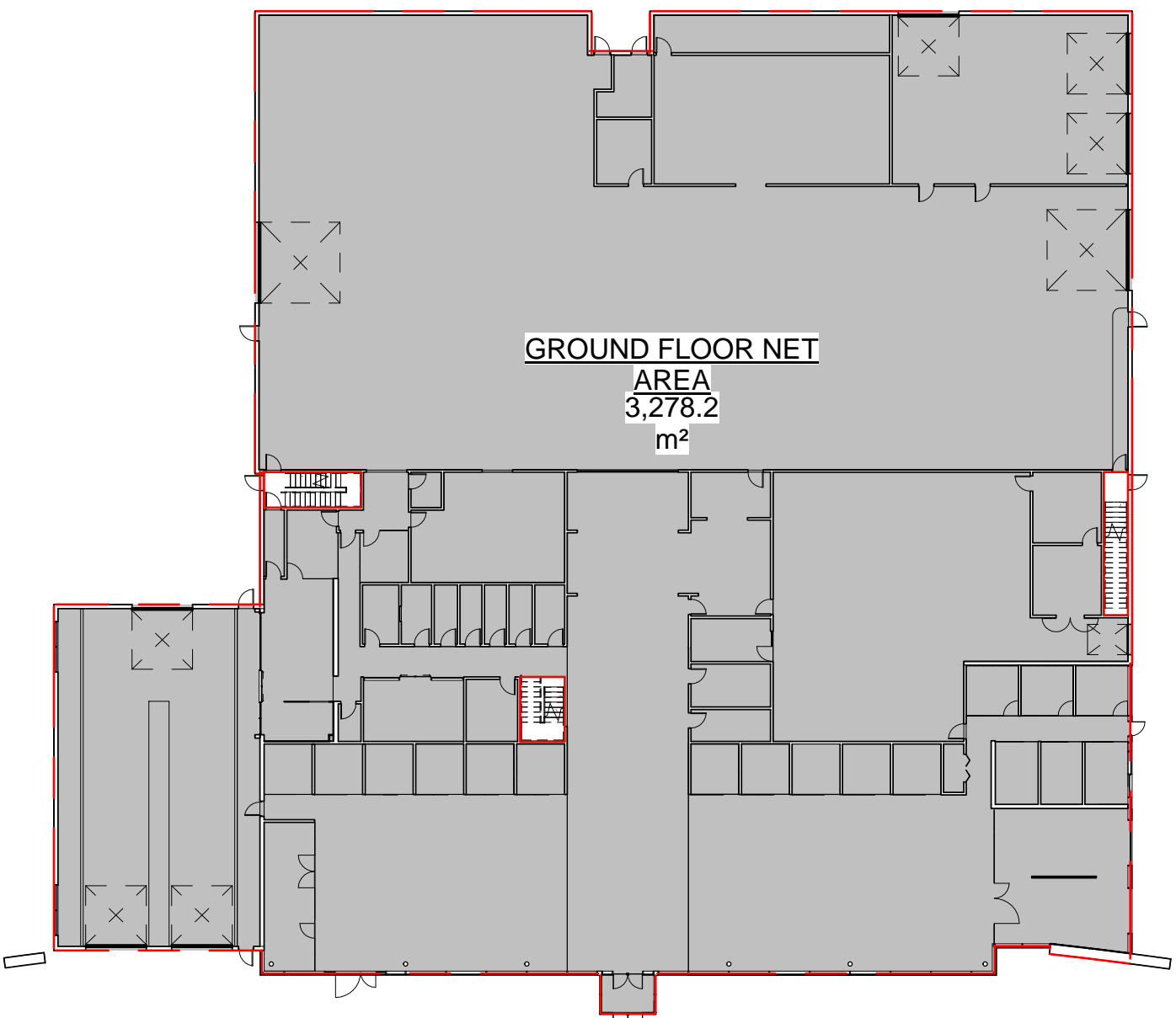
1 GROUND FLOOR - OCCUPANCY  
A2.8 3/64" = 1'-0"



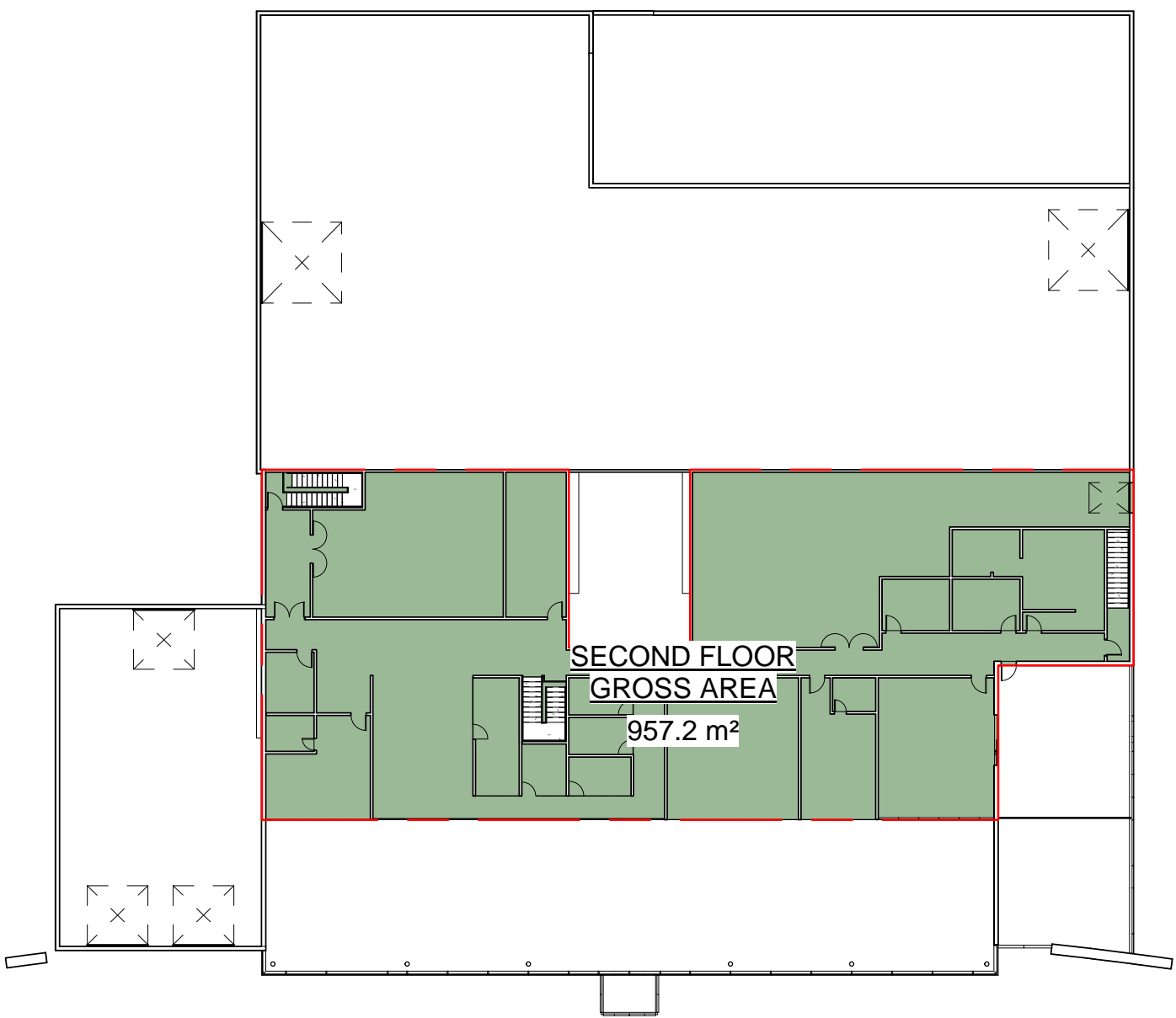
2 SECOND FLOOR - OCCUPANCY  
A2.8 3/64" = 1'-0"



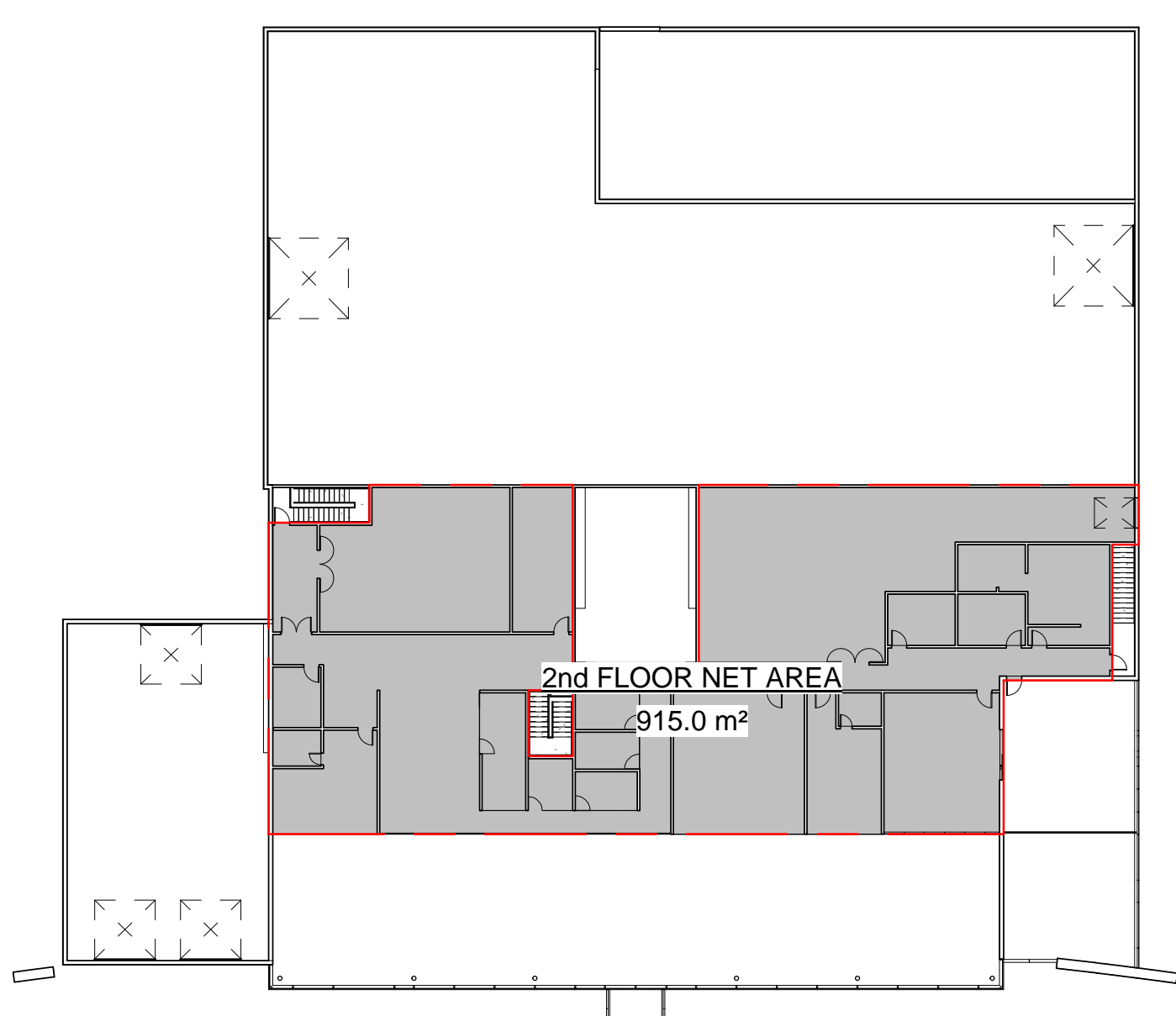
4 GROUND FLOOR GROSS AREA  
A2.8 1/32" = 1'-0"



3 GROUND FLOOR NET AREA  
A2.8 1/32" = 1'-0"



5 SECOND FLOOR GROSS AREA  
A2.8 1/32" = 1'-0"



6 SECOND FLOOR NET AREA  
A2.8 1/32" = 1'-0"

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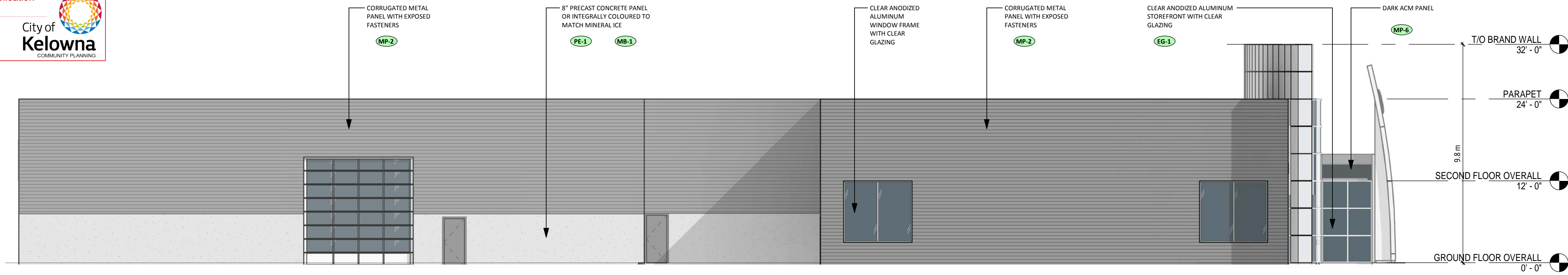
1655 DILWORTH DR, KELOWNA, BC

SHEET TITLE

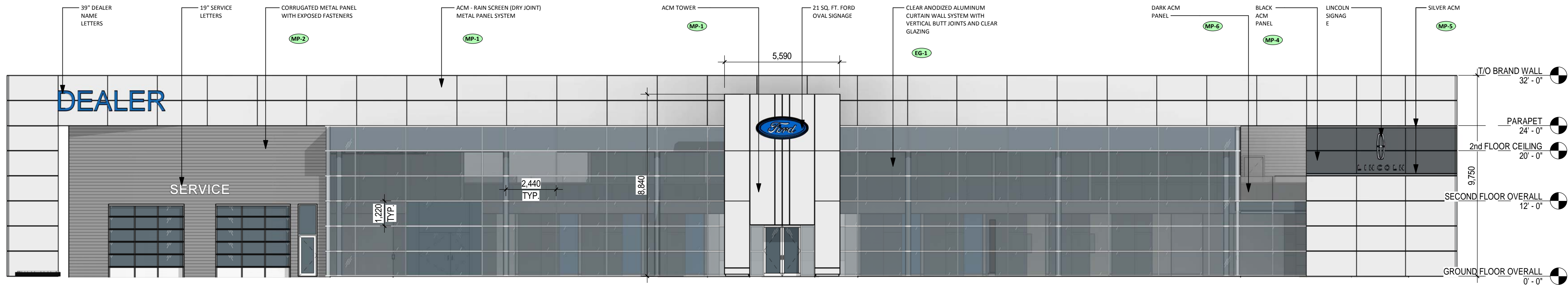
AREA PLAN

DRAWN BY:	Author	DRAWING NO.
DESIGNED BY:	Designer	A2.8
SCALE:	As indicated	
DATE:	04/12/18	FILE: A17-47





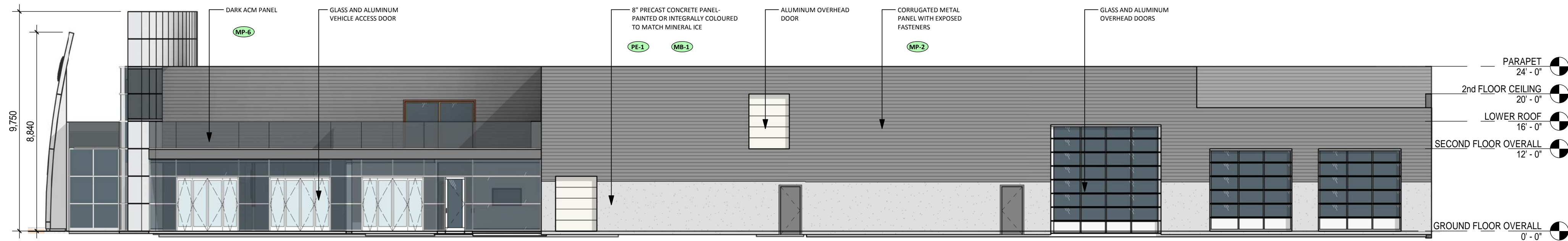
1 Side Elevation  
A3.0 3/32" = 1'-0"



2 Front Elevation  
A3.0 3/32" = 1'-0"

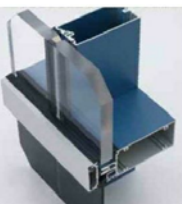


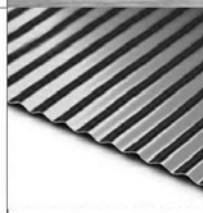
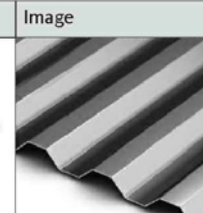






3 REAR ELEVATION  
A3.0 3/32" = 1'-0"



4 SIDE ELEVATION  
A3.0 3/32" = 1'-0"

#### MATERIAL BOARD

Code	Description	Image	Specification			Contact
EG-1	Showroom Curtain Wall		Manufacturer	Glass	Solarban	Glass
				Frame	Kawneer	Vitro Architectural Glass (formerly PPG)
				Frame	Solarban 60	
				Frame	Kawneer, 1600 System Curtain Wall (or) Kawneer Trifab 451T Storefront	Frame Kawneer Company Canada Ltd.
				Finish	Glass	Clear
			Frame	Clear Anodized		
			Other	Expressed Horizontal Mullions and vertical butt-jointed glazing. Regional solar needs may require alternate glass specifications.		
MB-1	Service Walmart Car Wash		Manufacturer	Richvale York Block		Richvale York Block
			Description	Split Face Scored CMU		
			Finish	Light Grey		
MP-1	Entrance Tower and Brand Wall		Manufacturer	Alpolic		Alpolic Materials
			Description	Aluminum Composite Materials (ACM) Panels		
			Finish	Hairline Aluminum 4MM4HLZ		
MP-2	Exterior Fascia		Manufacturer	Alcoa		Reynobond Alcoa North America
			Description	Corrugated Metal Panel Siding 7/8" Profile		
			Finish	Colourweld 500 Slate Grey (BNSA1798), 30 Gloss		
Code	Description	Image	Specification			Contact
MP-3	Exterior Fascia and Facade at Service Drive Through		Manufacturer	Alcoa		Reynobond Alcoa North America
			Description	Ribbed Metal Panel 7.2 Rib Siding		
			Finish	Colorweld 500 - Slate Grey (BNSA1798), 30 Gloss		
MP-6	Exterior Fascia at Celebration Bay. Option for Show- room Glazing Fascia		Manufacturer	Alpolic		Alpolic Materials
			Description	Aluminum Composite Materials (ACM) Panels		
			Finish	MICA MZG Grey 4MM4MZG		
PE-1	Exterior Paint (Field for Tertiary Elevations)		Manufacturer	Benjamin Moore		Benjamin Moore
			Description	Ultra Spec Exterior Satin		
			Finish	2132-70 Mineral Ice		
PE-2	Exterior Paint		Manufacturer	Benjamin Moore		Benjamin Moore
			Description	Ultra Spec Exterior Satin		
			Finish	2121-20 Steel Wool		
PE-3	Exterior Paint		Manufacturer	Benjamin Moore		Benjamin Moore
			Description	Ultra Spec Exterior Satin		
			Finish	2112-50 Stormy Monday		

#### WALL FINISHES LEGEND

REFER TO DCD FOR SPECIFICATIONS

##### ITEM NO. DESCRIPTION

- (MP-1) ACM HAIRLINE ALUMINUM
- (MP-2) CORRUGATED METAL PANEL GREY
- (MP-3) RIBBED METAL PANEL GREY
- (MP-4) ACM BLACK
- (MP-5) ACM SILVER
- (MP-6) ACM GREY
- (PE-1) PAINT LIGHT GREY
- (PE-2) PAINT DARK GREY
- (PE-3) PAINT MEDIUM GREY
- (MB-1) SPLIT FACE SCORED CMU
- (EG-1) CURTAIN WALL STOREFRONT GLAZING SYSTEM

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DEVELOPED BY:

PROJECT

NEW FORD  
LINCOLN  
1655 DILWORTH DR, KELOWNA, BC

SHEET TITLE

ELEVATIONS

DRAWN BY: FF

DRAWING NO.

DESIGNED BY: WEISS

A3.0

SCALE: As indicated

DATE: 01/29/18

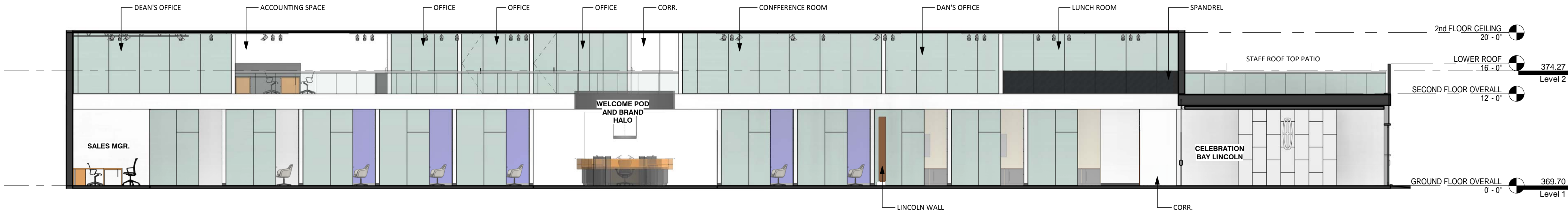
FILE: A17-47



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1  
A3.51  
FRONT INTERIOR ELEVATION  
1/8" = 1'-0"



3  
A3.51  
3D View 9



4  
A3.51  
3D View 10

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PROJECT

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LINCOLN  
1655 DILWORTH DR, KELOWNA, BC

SHEET TITLE

INTERIOR ELEVATION

DRAWN BY:	Author	DRAWING NO.
DESIGNED BY:	Designer	A3.51
SCALE:	1/8" = 1'-0"	
DATE:	03/06/18	FILE: A17-47



SCHEDULE

A & B

This forms part of application

# DP18-0169

Planner  
Initials

AC

City of  
Kelowna  
COMMUNITY PLANNING

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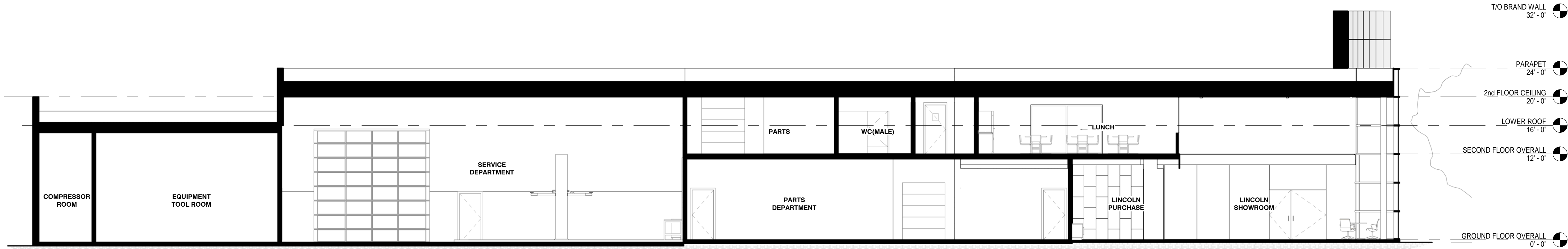
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TELEPHONE: (250)979-1668  
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DEVELOPED BY:

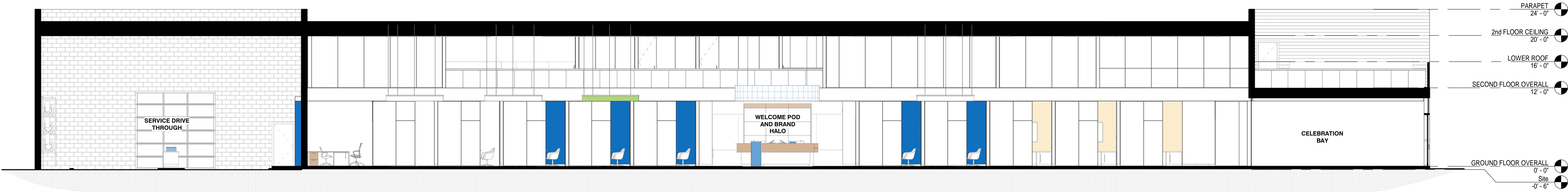
PROJECT  
NEW FORD  
LINCOLN  
1655 DILWORTH DR, KELOWNA, BC

SHEET TITLE  
BUILDING SECTIONS

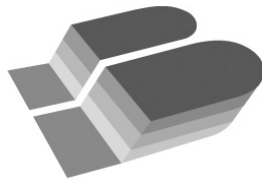
DRAWN BY:	Author	DRAWING NO.	A4.0
DESIGNED BY:	Designer	SCALE:	
DATE:	01/29/18	FILE:	



1 N-S BD SECTION  
A4.0 1/8" = 1'-0"



2 W-E BD SECTION  
A4.0 1/8" = 1'-0"



<b>SCHEDULE</b>		<b>C</b>
This forms part of application # <b>DP18-0169</b>		
Planner Initials	AC	 City of <b>Kelowna</b> COMMUNITY PLANNING

September 21, 2018

City of Kelowna  
1435 Water Street  
Kelowna, B.C.  
V1J 1J4

Attention: Community Planning & Real Estate Division

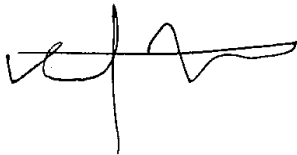
**Project:** Trophy Ford Lincoln Commercial Development

---

Please be advised that a landscape security bond of **\$193,539.38** will be required for the Trophy Ford Lincoln Commercial Development project. This sum is equal to 125% of the estimated installed cost for all soft landscape. The estimate includes trees, shrubs, grasses, perennials, topsoil, mulch, irrigation and bicycle racks. Please see the attached Estimate of Probable Costs for Bonding for a detailed breakdown of these costs.

Should you require any additional information, please do not hesitate to contact me.

Sincerely,



Keith Nyhof, BCSLA, CSLA  
Registered Landscape Architect

cc

Mark Aquilon, GTA Architecture Ltd.



**SCHEDULE**

**C**

This forms part of application  
# DP18-0169

Planner  
Initials

AC

City of  
**Kelowna**  
COMMUNITY PLANNING

## Trophy Ford Lincoln Commercial Development

### Estimate of Probable Costs for Bonding

Prepared on: September 21, 2018

Items Description	Units	Qty.	Price	Item Total
<b>1.0 Plant Material</b>				
1.1 Trees				
1.1.1 6cm Cal.: Deciduous Tree	ea.	41	\$550.00	\$22,550.00
			<i>Sub-Total</i>	<i>\$22,550.00</i>
1.2 Shrubs, Perennials, Grasses				
1.2.1 #5 Pot: Shrubs (3.0m O.C.)	ea.	20	\$45.00	\$900.00
1.2.2 #2 Pot: Shrubs (1.8m O.C.)	ea.	355	\$25.00	\$8,875.00
1.2.3 #1 Pot: Grasses (0.75m O.C.)	ea.	347	\$15.00	\$5,205.00
1.2.4 #1 Pot: Perennials (0.9m O.C.)	ea.	710	\$15.00	\$10,650.00
			<i>Sub-Total</i>	<i>\$25,630.00</i>
1.3 Seed & Sod				
1.3.1 Sodded Lawn	m <sup>2</sup>	817	\$8.00	\$6,536.00
			<i>Sub-Total</i>	<i>\$6,536.00</i>
			<b>1.0 Total</b>	<b>\$54,716.00</b>
<b>2.0 Topsoil &amp; Mulch</b>				
2.1 Topsoil				
2.1.1 Tree Pit Topsoil (900mm Depth)	m <sup>3</sup>	37	\$45.00	\$1,660.50
2.1.2 Shrub Bed Topsoil (450mm Depth)	m <sup>3</sup>	821	\$45.00	\$36,945.00
2.1.3 Lawn Topsoil (150mm Depth)	m <sup>3</sup>	122	\$45.00	\$5,490.00
			<i>Sub-Total</i>	<i>\$44,095.50</i>
2.2 Mulch				
2.2.1 Decorative Stone Mulch (75mm Depth)	m <sup>3</sup>	137	\$55.00	\$7,535.00
			<i>Sub-Total</i>	<i>\$7,535.00</i>
			<b>2.0 Total</b>	<b>\$51,630.50</b>
<b>3.0 Servicing</b>				
3.1 Irrigation				
3.1.1 Sleeving	l.s.	1	\$1,250.00	\$1,250.00
3.1.2 Point of Connection	l.s.	1	\$750.00	\$750.00
3.1.3 Control System	l.s.	1	\$1,500.00	\$1,500.00
3.1.4 Irrigation System (heads, pipes, valves)	m <sup>2</sup>	2649	\$15.00	\$39,735.00
			<i>Sub-Total</i>	<i>\$43,235.00</i>
			<b>3.0 Total</b>	<b>\$43,235.00</b>
<b>4.0 Site Construction</b>				
4.1 Site Furniture				
4.1.1 Bike Rack (2 bikes per bike rack)	ea.	7	\$750.00	\$5,250.00
			<i>Sub-Total</i>	<i>\$5,250.00</i>
			<b>4.0 Total</b>	<b>\$5,250.00</b>
			<b>Subtotal</b>	<b>\$154,831.50</b>
			<b>Security Total (125%)</b>	<b>\$193,539.38</b>

/VOLUMES/BENCH/400 - PROJECTS/2018/18-011\_TROPHYFORDLINCOLN\_COMMERCIALDEVELOPMENT/440 - PRODUCTION/00-18-011\_CONCEPT\_LAYOUTS\_MDWG

SCHEDULE

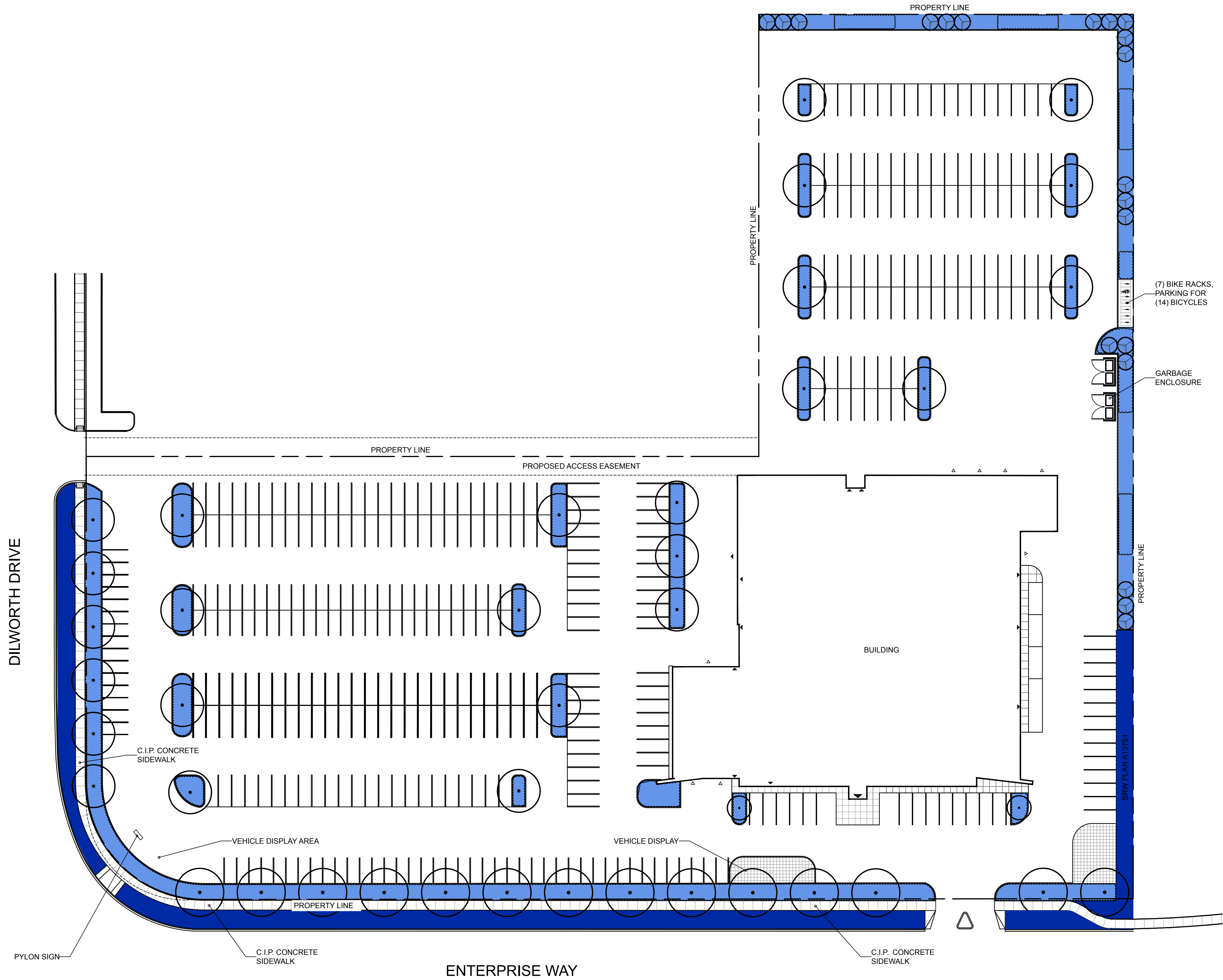
C

This forms part of application  
# DP18-0169

Planner  
Initials  
AC

City of  
Kelowna

COMMUNITY PLANNING



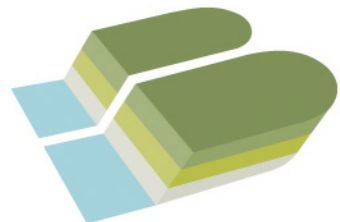
LEGEND:

- MODERATE WATER USE
- HIGH WATER USE

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REVISIONS / ISSUED:

5	SEP 21/18	REISSUED FOR DP
4	AUG 29/18	REISSUED FOR DP
3	JUL 26/18	ISSUED FOR DP
2	APR 25/18	REISSUED FOR REVIEW
1	APR 18/18	ISSUED FOR REVIEW
NO.	DATE	DESCRIPTION



**BENCH**  
SITE DESIGN  
[ 4-1562 water street kelowna bc V1Y 1J7 ]  
[ 1 250 860 6778 ]

CLIENT:

**TROPHY VENTURES**  
KELOWNA, B.C.

PROJECT:

**TROPHY FORD LINCOLN**  
KELOWNA, B.C.

SHEET TITLE

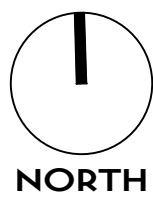
**HYDROZONE PLAN**

DESIGN BY	EB
DRAWN BY	EB
CHECKED BY	KN
PROJECT NO.	18-011
SCALE	AS SHOWN

SHEET NO.

**L-2**

1 OVERALL HYDROZONE PLAN  
L-2 SCALE: 1:400



0 8 16 24 32 40m  
SCALE: 1:400

NOT FOR CONSTRUCTION



/VOLUMES/BENCH/400 - PROJECTS/2018/18-011\_TROPHYFORDLINCOLN\_COMMERCIALDEVELOPMENT/440 - DRAWINGS/00-CURRENT/00\_18-011\_CONCEPT\_LAYOUTS\_M.DWG

PLANT LIST:

TREES

Botanical Name	Common Name	Size/Spacing	Root
<i>Acer x freemanii</i> 'Jeffersred'	Autumn Blaze maple	6cm Cal.	B&B
<i>Carpinus betulus</i> 'Fastigiata'	Common hornbeam	6cm Cal.	B&B
<i>Ginkgo biloba</i> 'Autumn Gold'	Maidenhair tree	6cm Cal.	B&B
<i>Magnolia</i> 'Butterflies'	Magnolia	6cm Cal.	B&B

SHRUBS

Botanical Name	Common Name	Size/Spacing	Root
<i>Berberis thunbergii</i> 'Gentry'	Royal Burgundy barberry	#02 Cont./1.0m O.C.	Potted
<i>Caragana frutex</i> 'Globosa'	Globe pea-shrub	#02 Cont./1.0m O.C.	Potted
<i>Juniperus sabina</i> 'Scandia'	Scandia juniper	#02 Cont./1.5m O.C.	Potted
<i>Juniperus scopulorum</i> 'Moonglow'	Moonglow juniper	#05 Cont./3.0m O.C.	Potted
<i>Rhus aromatica</i> 'Gro-low'	Gro-low sumac	#02 Cont./2.0m O.C.	Potted
<i>Sorbaria sorbifolia</i> 'Sem'	Sem false spirea	#02 Cont./1.8m O.C.	Potted

PERENNIALS

Botanical Name	Common Name	Size/Spacing	Root
<i>Artemisia ludoviciana</i> 'Valerie Finnis'	Western mugwort	#01 Cont./0.6m O.C.	Potted
<i>Artemisia schmidtiana</i> 'Nana'	Silver Mound artemisia	#01 Cont./0.6m O.C.	Potted
<i>Aster alpinus</i> 'Albus'	White summer aster	#01 Cont./0.3m O.C.	Potted
<i>Baptisia spherocharpa</i> 'Screamin' Yellow'	Yellow wild indigo	#01 Cont./1.2m O.C.	Potted
<i>Echinacea purpurea</i> 'PowWow White'	Coneflower	#01 Cont./0.5m O.C.	Potted
<i>Lavandula angustifolia</i> 'Hidcote'	English lavender	#01 Cont./0.5m O.C.	Potted

GRASSES

Botanical Name	Common Name	Size/Spacing	Root
<i>Sesleria autumnalis</i>	Autumn moor grass	#01 Cont./0.3m O.C.	Potted

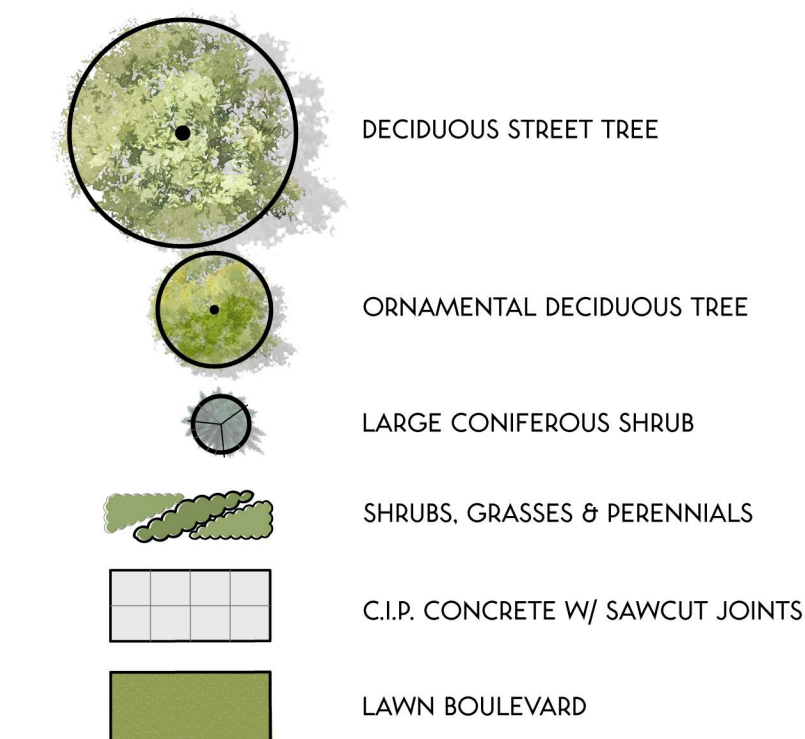
SCHEDULE C

This forms part of application  
# DP18-0169

Planner  
Initials AC



LEGEND:

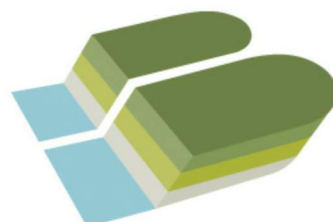


DEVELOPMENT PERMIT NOTES:

- A PLANT MATERIALS AND CONSTRUCTION METHODS SHALL CONFORM TO MINIMUM STANDARDS ESTABLISHED IN THE LATEST EDITION OF THE B.C. LANDSCAPE STANDARDS, PUBLISHED BY B.C.N.T.A. AND B.C.S.L.A. AS WELL AS THE CITY OF KELOWNA LANDSCAPE STANDARDS IN BYLAW 7900.
- B THE LANDSCAPE DESIGN DESIGNATED HEREIN IS CONCEPTUAL BUT REFLECTS THE MINIMUM CITY OF KELOWNA FORM AND CHARACTER REQUIREMENTS
- C PLANT MATERIAL SELECTIONS ARE CONCEPTUAL ONLY. FINAL PLANTING SELECTIONS MAY VARY DEPENDING UPON AVAILABILITY AT THE TIME OF CONSTRUCTION.
- D TREES SHALL BE INSTALLED IN DEFINED SOIL PITS OR PLANTING BED AREAS. ADEQUATE SOIL VOLUME SHALL BE PROVIDED BASED ON THE SPECIFIED TREE SPECIES AND LOCATION.
- E ORNAMENTAL SHRUB, GRASS AND PERENNIAL CLUSTERS ARE TO BE PLACED WITHIN DEFINED PLANTING BEDS. ALL PLANTING BEDS SHALL HAVE A MIN. OF 450mm (18") IMPORTED GROWING MEDIUM AND 75mm (3") OF DECORATIVE ROCK.
- F DECORATIVE ROCK AREAS SHALL HAVE A MIN. OF 75mm (3") OF 25mm (1") DECORATIVE CRUSHED ROCK. COMMERCIAL GRADE LANDSCAPE FABRIC SHALL BE INSTALLED BELOW ALL DECORATIVE ROCK AREAS.
- G TREE SOIL PITS TO HAVE 75mm (3") OF OGOGROW MULCH.
- H TURF AREAS SHALL BE LOW WATER USE 'NO. 1 PREMIUM' SOD WITH HAVE A MIN. OF 150mm (6") IMPORTED GROWING MEDIUM.
- I A HIGH EFFICIENCY IRRIGATION SYSTEM SHALL BE INSTALLED FOR ALL ORNAMENTAL LANDSCAPE AREAS AND SHALL CONFORM TO THE CITY OF KELOWNA'S IRRIGATION STANDARDS IN BYLAW 7900.

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NO.	DATE	DESCRIPTION
5	SEP 21/18	REISSUED FOR DP
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3	JUL 26/18	ISSUED FOR DP
2	APR 25/18	REISSUED FOR REVIEW
1	APR 18/18	ISSUED FOR REVIEW



1 4-1562 water street kelowna bc v1y 1z7 |  
1 250 860 6778 |

CLIENT:

TROPHY VENTURES  
KELOWNA, B.C.

PROJECT:

TROPHY FORD  
LINCOLN  
KELOWNA, B.C.

SHEET TITLE

LANDSCAPE PLAN

DESIGN BY EB

DRAWN BY EB

CHECKED BY KN

PROJECT NO. 18-011

SCALE AS SHOWN

SHEET NO.

L-1



1 OVERALL LANDSCAPE PLAN  
L-1 SCALE 1:400



0 8 16 24 32 40m  
SCALE: 1:400

NOT FOR CONSTRUCTION



## APPLICATION IDENTIFICATION

Owner:	Trophy Ventures	Subject Address:	1655 Dilworth Drive, Kelowna, BC	
Agent if applicable:	Mark Aquilon	Telephone:	(250) 979-1668	
Title:	Project Manager	Fax No:		
Company:	GTA Architecture Ltd.	Email:	mark@gtarch.ca	
City:	Kelowna	Mailing Address:	243 - 1889 Springfield Road, Kelowna	
		Province:	BC	Postal Code: V1Y 5V5

## LANDSCAPE WATER CONSERVATION CHECKLIST

Note: all boxes are to be checked - see instruction page

- ☒ Install Backflow prevention devices to meet City of Kelowna standards to isolate the outdoor irrigation system from the potable water system.
- ☒ Group planting into 'hydrozones' of high, medium and low water-use plants or unirrigated/unwatered areas.
- ☒ Minimize mown turf areas that are high water use areas - ideally to 50% of the landscape area or less - substitute with areas of lower water use treatments like unwatered native woods or meadow, mulch, spaced wood deck, pervious paving.
- ☒ Provide adequate topsoil or growing medium of depth and quality to meet the BC Landscape Standard, published by the BC Society of Landscape Architects and the BC Landscape and Nursery Association. General minimum depths over poor subsoils are 150mm for lawn and 300mm for shrubs groundcover.
- ☒ Group irrigation circuits/zones into 'hydrozones' of high, medium, and low or unirrigated areas consistent with the landscape planting plan. Provide a separate irrigation valve for each irrigated hydrozone.
- ☒ Minimize use of high-volume spray heads, and employ drip or low volume irrigation where practical.
- ☒ When spray or rotor irrigation is used, design and install head to head coverage in accordance with manufacturer's specifications, and avoid overspray outside landscape areas.
- ☒ Ensure matched precipitation rates within all irrigation circuits.
- ☒ Design and install pipe and head layout so flow velocity does not exceed 1.5 m/s, and to minimize elevation change or pressure variation in circuits. Provide check valves to stop low head drainage.
- ☒ Ensure irrigation mainlines are proved leak-free with hydrostatic tests.
- ☒ Provide pressure regulating devices to ensure irrigation outlets are operating at the manufacturer's optimum pressure range.
- ☒ Install - and program to minimize water use - 'Smart Controllers' to meet standards of the City of Kelowna Water Regulation Bylaw.
- ☒ Install an irrigation master shut-off valve (isolation valve) located outside the building in a location accessible to the City that when closed shall stop the supply of water from the potable water supply to the outdoor irrigation system and shall be capable of being closed and locked off by the City.

Applicant Notes on the Landscape Water Conservation Checklist:

## LANDSCAPE WATER CONSERVATION TABLE

Applicant: **BENCH Site Design Inc. on Behalf of Trophy Ventures and GTA Architecture Inc.** Address: **4 - 1562 Water Street, Kelowna BC V1Y 1J7**

### Step 1: Measure Total Landscape Area (LA)

Area of site that will absorb water:

**2686** sq.m.

Note: INCLUDE BOULEVARD, and proposed lawn, plants, mulch, PERVIOUS decks or paving. Do not include building areas, driveways, patios, decks or walks unless pervious.

Step 2: Divide Into Landscape Treatments*		Plant Factor	Irrig Efficiency	Hydrozone Area (Sq.m.)	% of Total LA	Estimated Water Use (cu.m.)
		(PF)	(IE)	(HA)		(WU)
Note: each of the areas below are a 'HYDROZONE'						
<b>Unwatered Pervious Areas (not impervious paving)</b>						
Mulch (Stone, bark or sand)		N/A	N/A	0	0%	N/A
Pervious deck (Spaced wood deck)		N/A	N/A	0	0%	N/A
Pervious paving (Granular paving)		N/A	N/A	0	0%	N/A
Naturalized meadow (wildflowers)		N/A	N/A	0	0%	N/A
Naturalized area (Existing natural area)		N/A	N/A	0	0%	N/A
Other: Restoration Area		N/A	N/A	0	0%	N/A
Swimming or ornamental pool		1	1	0	0%	0
<b>Watered Planting Beds (shrubs or groundcover)</b>						
<i>Planting Type</i>	<i>Irrig Efficiency</i>					
Low water use plants	High (Drip or Bubbler)	0.3	0.9	0	0%	0
Low water use plants	Low (Spray or Rotor)	0.3	0.7	0	0%	0
Moderate water use plants	High (Drip or Bubbler)	0.5	0.9	1690	63%	939
Moderate water use plants	Low (Spray or Rotor)	0.5	0.7	0	0%	0
High water use plants	High (Drip or Bubbler)	0.7	0.9	0	0%	0
High water use plants	Low (Spray or Rotor)	0.7	0.7	0	0%	0
<b>Watered Mown Lawn Areas</b>						
	Low	1	0.7	996	37%	1423
<b>Special Landscape Areas (SLA)</b>						
Vegetable Garden	High (Drip or Bubbler)	1	0.9	0	0%	0
Vegetable Garden	Low (Spray or Rotor)	1	0.7	0	0%	0
Sports Lawn	Low (Spray or Rotor)	1	0.7	0	0%	0
Rainwater or Recycled Water Use		0.3	1	0	0%	0
<b>Totals</b>				<b>2686</b>	<b>100%</b>	<b>2362</b>
Special Landscape Area (SLA) Sub total				0		


\*If proposed design conditions are not shown on the form please contact Water Smart at 250-868-3339

## SCHEDULE **C**

This forms part of application  
# **DP18-0169**

Planner Initials

AC


City of  
**Kelowna**  
COMMUNITY PLANNING


## CALCULATE & COMPARE WATER BUDGET TO ESTIMATED WATER USE

Note: For Evapotranspiration (ET<sub>o</sub>) in Kelowna use 1000mm/yr

	Amount	Units
Total Landscape Area	2686	sq.m.
Landscape Maximum Water Budget (WB)	2686	cu.m./yr.
Estimated Landscape Water Use (WU)	2362	cu.m./yr.
<span style="color: blue;">Under (-OVER)</span> Budget (Must be under Water Budget WB)	<span style="color: blue;">324</span>	cu.m./yr.
	<b>OK</b>	

I have identified and confirmed, by completing the attached 'Landscape Water Conservation Checklist' above, that the project will conform to current landscape and irrigation water conservation practices listed in the checklist. I also acknowledge that the landscape treatments of the project will conform to the Hydrozone areas identified by me in the 'Landscape Water Conservation Calculation Table' above.



Signature of Applicant

Date: 21-Sep-18

## FOR CITY OF KELOWNA OFFICE USE ONLY

The Irrigation Application and calculations above satisfy the requirements of the Water Regulation Bylaw 10480 Section 4.4.2 and 4.4.3. and is hereby APPROVED with the signature of the Water Manager or designate.

Signature of Kelowna Water Smart designate


For Water Manager

Date: \_\_\_\_\_

Print Name

**NOTE: Post Signed and approved application at Smart Controller for future reference**

Page 3 of 3

<b>SCHEDULE</b>		<b>C</b>
This forms part of application		
# <b>DP18-0169</b>		
Planner Initials	<div style="border: 1px solid black; padding: 2px;">AC</div>	 <b>City of Kelowna</b> COMMUNITY PLANNING