

**CITY OF KELOWNA****MEMORANDUM**

Date: February 08, 2018
File No.: DP18-0031
To: Urban Planning Management Planning (LK)
From: Development Engineer Manager (JK)
Subject: 171 Hollywood Rd S Form and Character

The Development Engineering comments and requirements regarding this Development Permit application are as follows:

1. **General.**

- a) All the offsite infrastructure and services upgrades are addressed in the Rezoning Engineering Report under file Z17-0031

James Kay, P.Eng.
Development Engineering Manager

agm

**CITY OF KELOWNA****MEMORANDUM**

Date: February 08, 2018
File No.: DVP18- 0032
To: Community Planning Management (LK)
From: Development Engineer Manager (JK)
Subject: 171 Hollywood Rd S Building Height and side setback variance

The Development Engineering comments and requirements regarding this DVP application are as follows:

This development variance permit application to allow height (4 stories to 5 stories) and south property setback (8.65m to 4.5m) variances to the proposed development does not compromise any municipal services.

A handwritten signature in black ink, appearing to read 'James Kay'.

James Kay, P. Eng.
Development Engineering Manager

agm

June 15, 2018

C&H Properties Inc
1702 Bell Tower
10104-103 Ave
Edmonton, AB T5J 4R5

ATTACHMENT **B**

This forms part of application

DP18-0031
DVP18-0032

Planner
Initials

LK



RE: 191 Hollywood Road S – Lot 2, Plan 76208 (Previously Lot A, Plan 65621)
Development Applications –DP18-0031 & DVP18-0032

As requested, the following is a summary of Rutland Waterworks District's requirements with regard to the above noted address:

Capital Expenditures Charges:

Please pay by separate cheque noting file # 17/12

\$ 211,220

Additional Charges:

1. 38 MM Neptune T-10 Meter

2. Inspection Fees (See attached estimate)

Please pay by separate cheque noting file # 17/12

\$ 860

\$ 18,500

Estimated Water Service Works Deposit/Bonding:

Please pay by separate cheque or letter of credit
noting file # 17/12

\$ 462,500

For a detailed cost breakdown and further requirements, please view the attached report from Mould Engineering dated June 14, 2018.

A water certificate will be issued upon receipt of above noted fees.

Should you have any questions or require further information, please contact the undersigned.

Sincerely,



Kevin Reynolds
Manager

KR:sh

CC: City of Kelowna, Mould Engineering

Development Permit & Development Variance Permit DP18-0031/DVP18-0032



This permit relates to land in the City of Kelowna municipally known as

191 Hollywood Road

and legally known as

for Lot 1 Section 22 Township 26 ODYD Plan Epp51775

and permits the land to be used for the following development:

Mixed Use Development

USE as per Zoning Bylaw

Multiple Dwelling Housing

The present owner and any subsequent owner of the above described land must comply with any attached terms and conditions.

Date of Decision: September 18, 2018

Decision By: CITY COUNCIL

Development Permit Area: Revitalization

This permit will not be valid if development has not commenced by December 5, 2019.

Existing Zone: Future Land Use Designation:

This is NOT a Building Permit.

In addition to your Development Permit, a Building Permit may be required prior to any work commencing. For further information, contact the City of Kelowna, Development Services Branch.

NOTICE

This permit does not relieve the owner or the owner's authorized agent from full compliance with the requirements of any federal, provincial or other municipal legislation, or the terms and conditions of any easement, covenant, building scheme or agreement affecting the building or land.

Owner:

Applicant:

Ryan Smith
Community Planning Department Manager
Community Planning & Strategic Investments

Date

1. SCOPE OF APPROVAL

This Development Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.

This Development Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this permit, noted in the Terms and Conditions below.

The issuance of a permit limits the permit holder to be in strict compliance with regulations of the Zoning Bylaw and all other Bylaws unless specific variances have been authorized by the Development Permit. No implied variances from bylaw provisions shall be granted by virtue of drawing notations that are inconsistent with bylaw provisions and that may not have been identified as required Variances by the applicant or Municipal staff.

2. CONDITIONS OF APPROVAL

- a) The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A";
- b) The exterior design and finish of the building to be constructed on the land be in accordance with Schedule "B";
- c) Landscaping to be provided on the land be in accordance with Schedule "C"; and
- d) The applicant be required to post with the City a Landscape Performance Security deposit in the form of a "Letter of Credit" in the amount of 125% of the estimated value of the landscaping, as determined by a Registered Landscape Architect.

This Development Permit is valid for two (2) years from the date of December 5, 2017 approval, with no opportunity to extend.

3. PERFORMANCE SECURITY

As a condition of the issuance of this Permit, Council is holding the security set out below to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Developer and be paid to the Developer or his or her designate if the security is returned. The condition of the posting of the security is that should the Developer fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the Municipality may use enter into an agreement with the property owner of the day to have the work carried out, and any surplus shall be paid over to the property own of the day. Should the Developer carry out the development permitted by this Permit within the time set out above, the security shall be returned to the Developer or his or her designate. There is filed accordingly:

- a) An Irrevocable Letter of Credit in the amount of **\$ 204,860.94**

Before any bond or security required under this Permit is reduced or released, the Developer will provide the City with a statutory declaration certifying that all labour, material, workers' compensation and other taxes and costs have been paid.

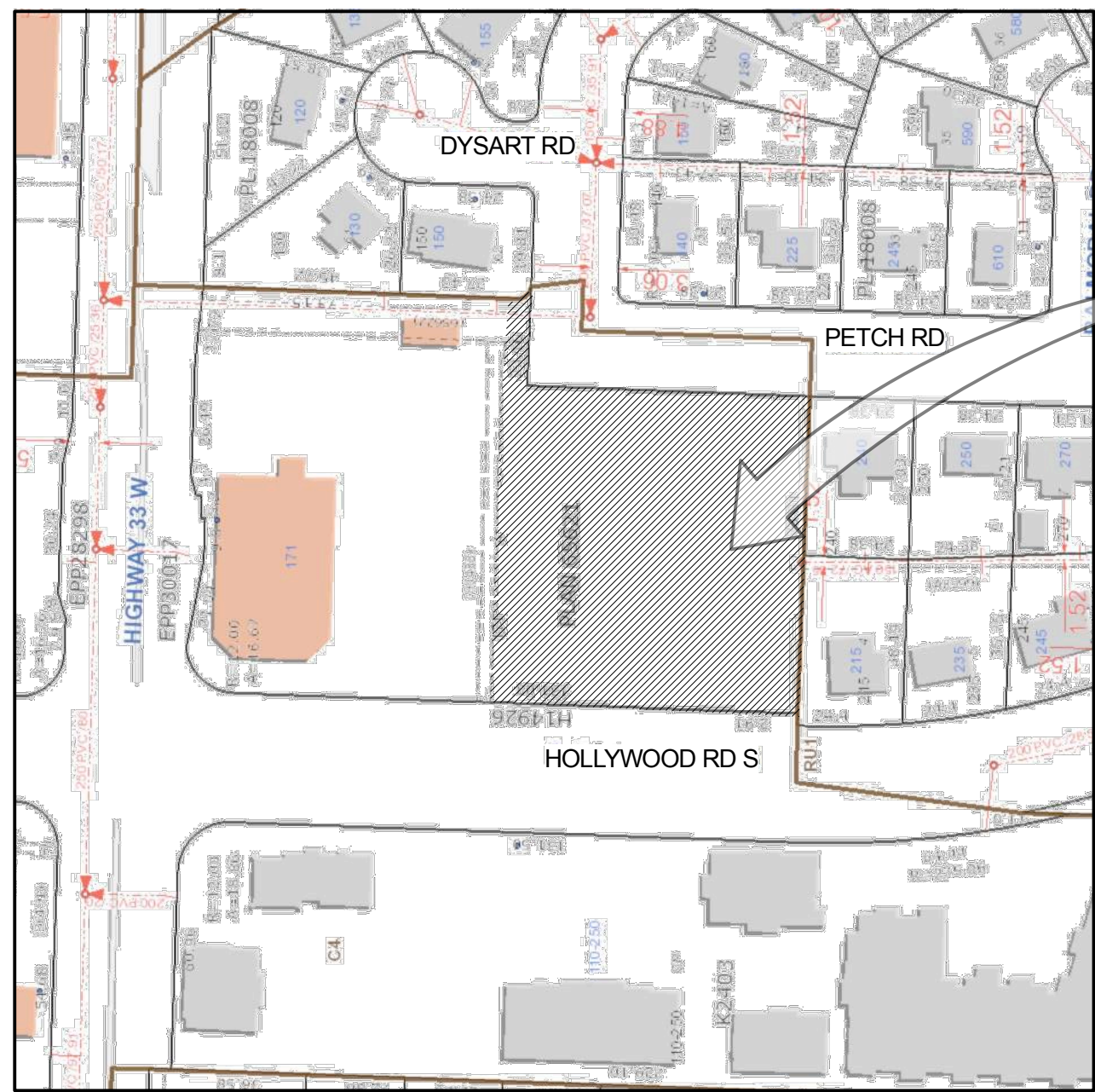
4. INDEMNIFICATION

Upon commencement of the works authorized by this Permit the Developer covenants and agrees to save harmless and effectually indemnify the Municipality against:

- a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality said Permit.

All costs, expenses, claims that may be incurred by the Municipality where the construction, engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

**The PERMIT HOLDER is the CURRENT LAND OWNER.
Security shall ONLY be returned to the signatory of the
Landscape Agreement or their designates.**



A SITE LOCATION
NTS

PROJECT LEGAL DESCRIPTION

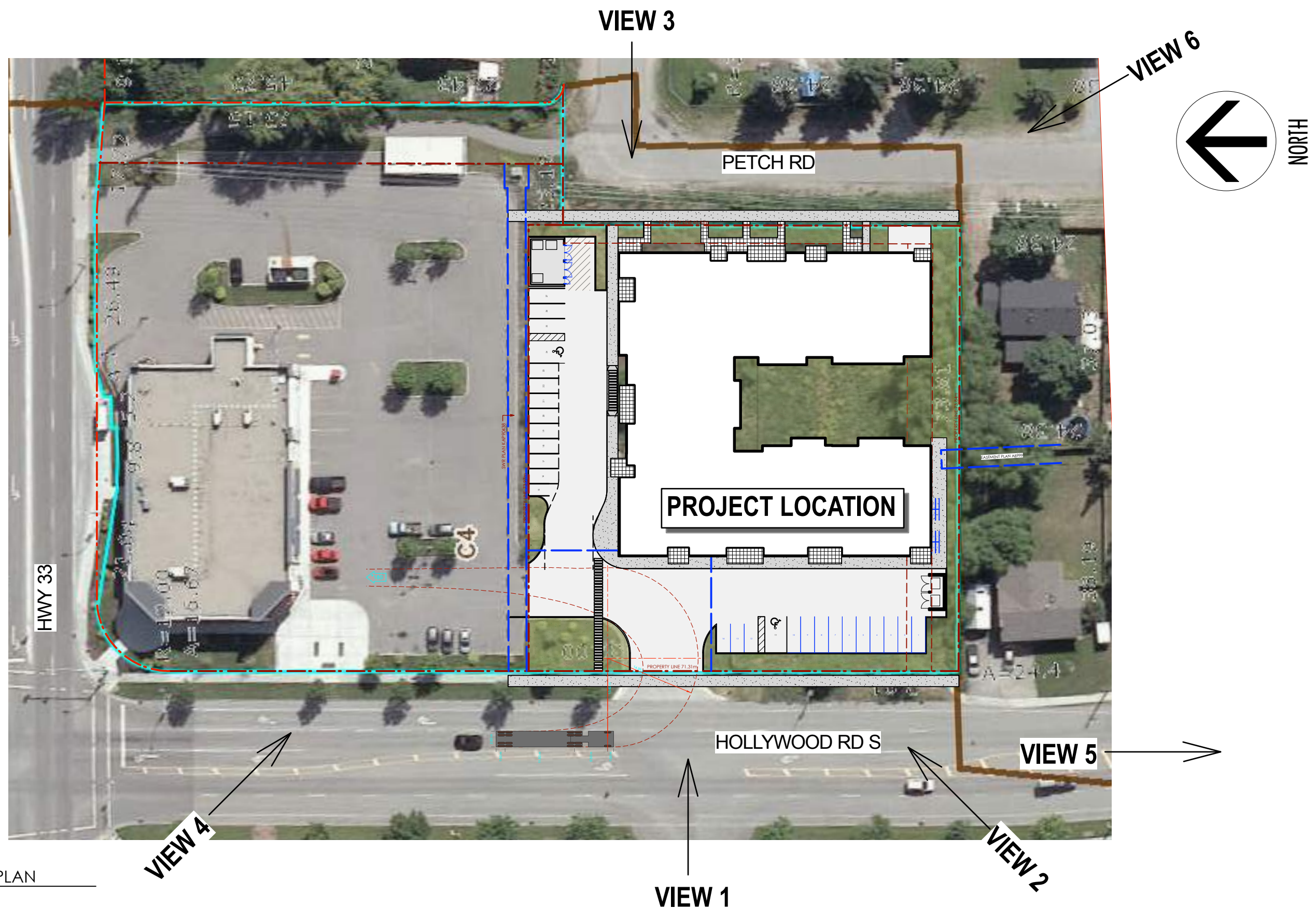
LEGAL DESCRIPTION: LOTS A & B, TP. 26, O.D.Y.D. PL. 19344, EXCEPT PL. 39372
191 Hollywood Rd South Kelowna BC

ZONING INFORMATION

ZONING	C4
MINIMUM LOT WIDTH	MINIMUM 13 m ACTUAL 71.55 m* *ESTIMATED
MINIMUM LOT DEPTH	MINIMUM 30 m ACTUAL 74.13 m* *ESTIMATED
MINIMUM LOT AREA	MINIMUM 460 sm ACTUAL 5302 sm* *ESTIMATED
TOTAL GROSS FLOOR AREAS	
Commercial	789 sm (Includes Lease area only Level 1)
Residential	8097.6 sm (Levels 1-5)
TOTAL	8886.6 sm
BUILDING AREAS for F.A.R.	
COMMERCIAL	8347 sf 775.44 sm
RESIDENTIAL	73420 sf 6820.72 sm
TOTAL	81767 sf 7596.15 sm
BUILDING COVERAGE AREA	
BUILDING AREA	28681.00 SF 2664.465 SM
FLOOR AREA RATIO (FAR)	MAXIMUM 1.300 ACTUAL 7591.7/5302= 1.433 (77 X .2 = .155 INCREASE)
MIXED-USE INCREASE	0.155 0.160 Includes 2 BONUS FOR ALL STALLS COVERED
TOTAL	1.455 1.433
SITE COVERAGE	MAXIMUM 75% ACTUAL 50.25%
SETBACKS	MINIMUM ACTUAL
FRONT	0 m 17M HOLLYWOOD RD
REAR/FLANKING STREET	0 m 3.04M PETCH RD
SIDE (NORTH)	0 m 13.4 m COMMERCIAL (Measure to edge of second floor overhang/canopy)
SIDE (RESIDENTIAL)	9.1 m* 4.5 m Variance required for level 2 setback.
* Per zoning 4.5m for one storey or 1/2 total height of building setback required	
**Variance required: Request a set back of 4.5m. for level 2. Based on building height the required setback is 1/2 the bld. Height (18.1m / 2= 9.05m).	
Level 3, 4, 5 will have the required setback of 9.05m (minimum required setback of 1/2 bldg ht = 9.05m)	
BUILDING HEIGHT	MAXIMUM ACTUAL ***VARIANCE REQUIRED (3.13m)
14.4.6	4 storeys/15m 5 storeys / 18.1m (59'-6")
ADDITIONAL REGULATIONS	
(a) RESIDENTIAL ACCESS TO GRADE SEPARATE FROM COMMERCIAL USES	
(b) MINIMUM AREAS OF PRIVATE OPEN SPACE	
6 sq m / detached dwelling	
10 sq m / 1 bdrm dwelling	
15 sq m / dwelling with +1 bdrm	
10 Studio Units (under 60sq.m)	@6 sm/unit 60 sm PROVIDED
35 1 Bedroom Units	@10 sm/unit 350 sm
39 2 Bedroom Units	@15 sm/unit 585 sm
4 3 Bedroom Units	@15 sm/unit 60 sm
TOTAL PRIVATE OPEN SPACE	1055 sm 11356 SF 1786.281 sm* 19227 SF* *Refer to Area Summary
(c&d)/N/A	
(e) COMMERCIAL SPACE ON 1ST FLOOR MUST OCCUPY 90% OF ALL STREET FRONTAGES OR A MINIMUM OF 75% ON SECONDARY STREET FRONTAGES PROVIDED 100% OF THE PRINCIPAL FRONTAGE HAS A FUNCTIONAL COMMERCIAL SPACE. ACCESS DRIVEWAYS OR OTHER PORTIONS OF THE STREET FRONTAGE NOT USED AS BUILDING WILL NOT BE CONSIDERED FOR THE PURPOSE OF THIS CALCULATION	
LANDSCAPING AND SCREENING	
7.3.2	All site refuse and recycling bins in zones other than agricultural zones, including all other large receptacles used for the temporary storage of materials, require opaque screening from adjacent lots and streets.
7.3.3	All screening will be a minimum of 2.0 m in height to a maximum height that is equivalent to the height of the refuse or recycling bin.
7.3.6	All refuse or recycling bins shall be located a minimum of 3.0 m from any abutting residential zone so as to not obstruct pedestrian or vehicle traffic.
7.6.1	MINIMUM LANDSCAPE BUFFERS
LEVEL	REQ'D
FRONT	2 3 m *NOTE BELOW 3 m
REAR	3 2 m 4.5 m
SIDE @ Residential	3 2 m 2m / 4.5 m* *See Site and Landscape drawings
SIDE @ Commercial	2 0 m
7.6.5	*On corner lots, front yard landscape buffers shall apply to all street
	* Notwithstanding paragraph 7.6.1, buffer widths between a building or structure and the property line may be reduced to the width of the required yard if the required yard is narrower than the buffer specified in that section, with the exception of level 5 buffering.

PARKING STATS

	Sq. Ft.	Sq. m	Sq. Ft.	Sq. m	PARKING CALCULATIONS	STALLS
COMMERCIAL - MAIN FLOOR						
COMMERCIAL BUILDING 1 AREA SUMMARY						
Main Floor	8491	788.814				
TOTAL	8491	788.814			GFA @ 1.75 STALLS per 100 sm =	13.8
Loading						
Commercial	8491	788.814			GFA @ 1 STALL per 1900 sm =	0.4
TOTAL	8491	788.814				0.4
APARTMENT HOUSING						
RESIDENTIAL PARKING SUMMARY						
10 Junior SUITES	@	1 STALL PER SUITE				10.0
18 One bedroom	@	1 STALL PER SUITE				18.0
17 one bed/flex	@	1 STALL PER SUITE				17.0
26 Two bedroom	@	1 STALL PER SUITE				26.0
13 Two bed/flex	@	1 STALL PER SUITE				13.0
4 Three bedroom	@	1 STALL PER SUITE				4.0
88 TOTAL UNITS					RESIDENTIAL STALLS REQUIRED	88.0
88 Res. Stalls	@	1 stall per 7 req'd stalls			Required	13
TOTAL RESIDENTIAL AND VISITOR STALLS REQUIRED						101
VISITOR PARKING CALCULATIONS	No. Residential Stalls required				Required	13
88 Res. Stalls	@	1 stall per 7 req'd stalls				
NO RESIDENTIAL LOADING REQUIRED	N/A					
BIKE STORAGE						
RESIDENTIAL						
Class 1	GFA @ 0.5 Stalls per dwell unit				44.0	44
Class 2	GFA @ 0.1 Stalls per dwell unit				8.8	9
COMMERCIAL						
Class 1	GFA @ 0.2 STALLS per 100 sm =				1.6	2
Class 2	GFA @ 0.6 STALLS per 100 sm =				4.7	5
TOTAL CLASS I STALLS					45.6	46
TOTAL CLASS II STALLS					13.5	14



B SITE CONTEXT PLAN
NTS



RE-ISSUED FOR DP 2018.05.11

BLUEGREEN
ARCHITECTURE INC.
www.bluegreenarchitecture.com

202 - 110 HWY 33 Kelowna BC V1X 1X7
P | 778.753.2650 F | 778.753.1448
2 - 436 Lorne Street, Kamloops BC V1C 1W3
P | 250.374.1112 F | 250.374.2279

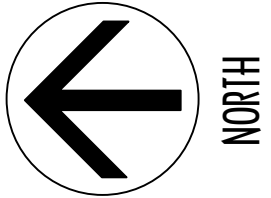
SOHO MIXED USE DEVELOPMENT
KEOWNA BC

PROJECT INFORMATION

DATE 2018.05.11
SCALE NTS
ISSUED FOR DP
PROJECT 17.538

A0.1



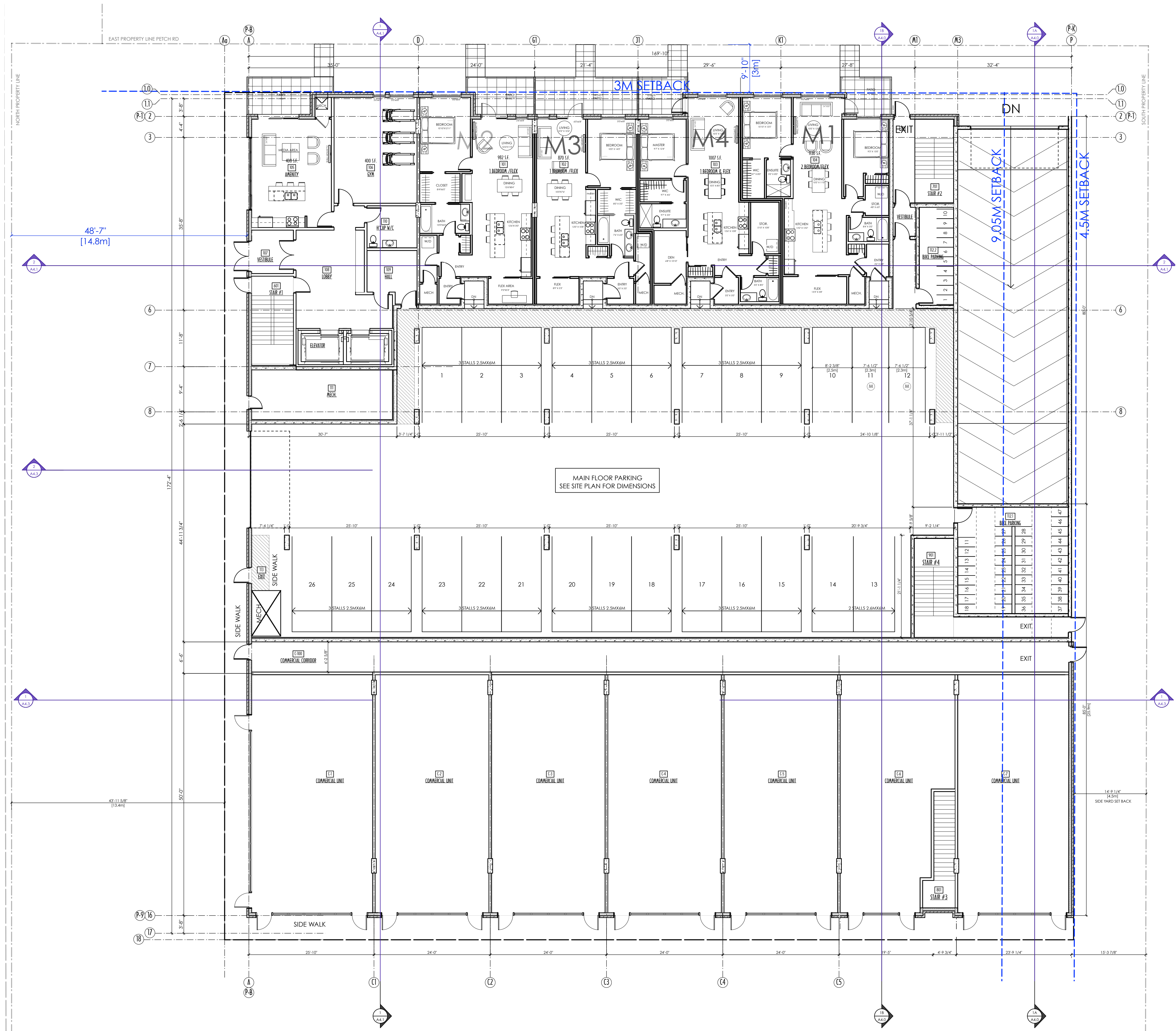
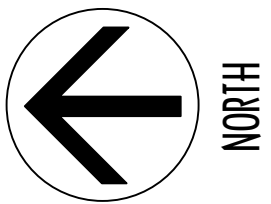


BASED ON 115 STALLS WE ARE ALLOWED THE FOLLOWING:
40% MEDIUM STALLS MAX. (= 46 STALLS MAX)
SHOWN: 43 STALLS
10% COMPACT STALLS MAX. (=12 STALLS MAX).
SHOWN: 11 STALLS

OPTION 2 PARKING COUNT RESIDENTIAL					
LOCATION	FULL SIZE (2.5X6)	Medium (2.3x4.8m) (M)	Compact (2.0x3.4) (C)	H'cap	Total Req. 88 + 13
U/G BASEMENT	32	20	10	0	62
U/G LEVEL 01 RESIDENTIAL	24	2	0	0	26
GRADE (EXTERIOR) RESIDENCE	0	0	0	0	0
GRADE (EXTERIOR) VISITOR	3	8	1	1	13
U/G LEVEL 01 VISITOR	0	0	0	0	0
				Total for residence:	88
				Total for Visitor:	13

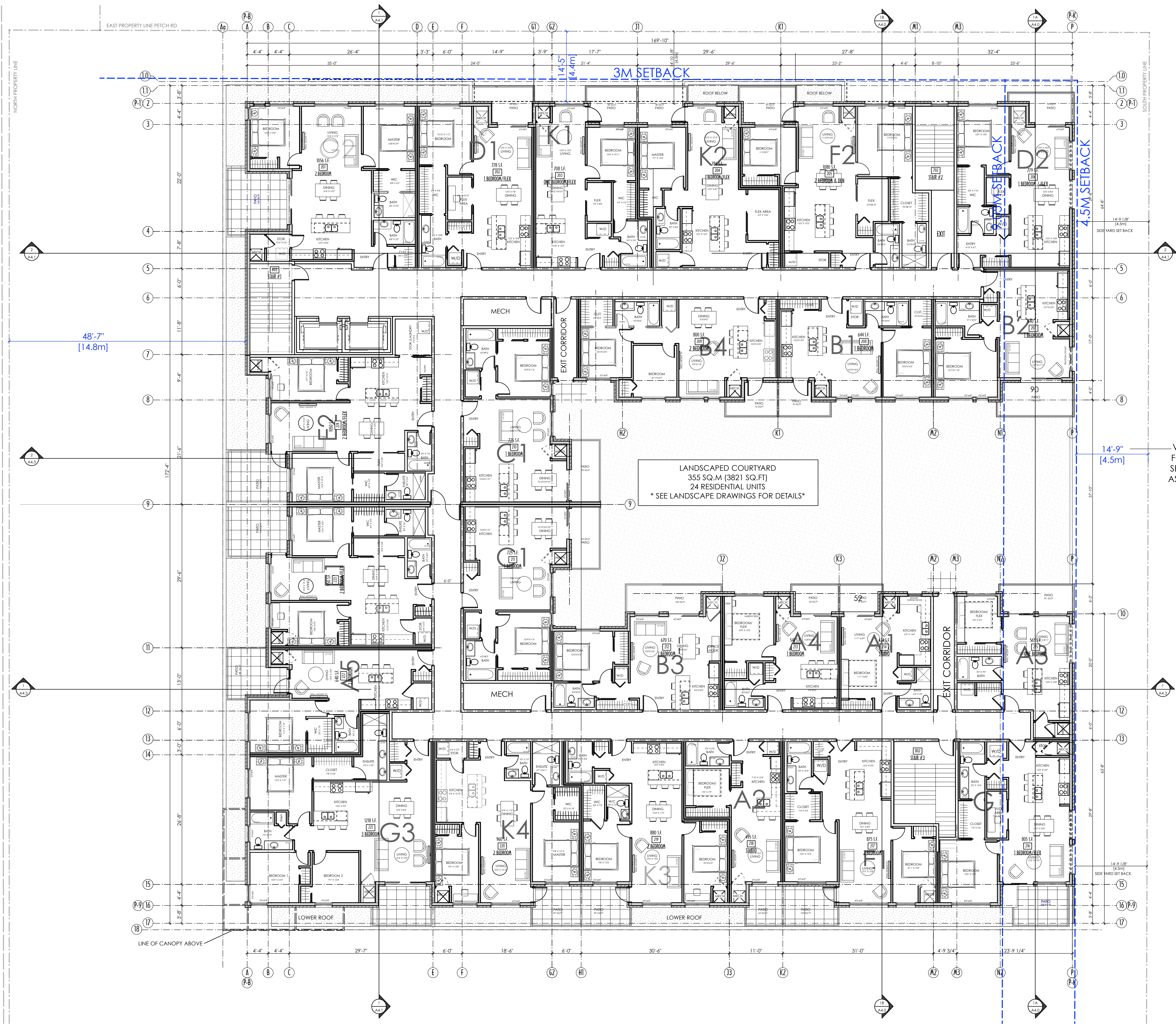
OPTION 2 PARKING COUNT COMMERCIAL					
LOCATION	FULL SIZE (2.5X6)	Medium (2.3x4.8m) (M)	Compact (2.0x3.4) (C)	H'cap	Total Req. 14
U/G BASEMENT	0	0	0	0	0
U/G LEVEL 01	0	0	0	0	0
GRADE (EXTERIOR)	0	13	0	1	14

RE-ISSUED FOR DP 2018.05.11



UNIT SCHEDULE OPTIONS - REVISED PLANS 2018.03.20							
LEVEL	Studio/Junior Suite (under 600 sq.ft)	One Bedroom	One Bedroom & Flex/Den	Two Bedroom	Two Bedroom & Flex	Three Bedroom	Total Bid. Unit #
LEVEL 01	0	0	3	0	1	0	4
LEVEL 02	4	6	5	5	3	1	24
LEVEL 03	2	4	3	7	3	1	20
LEVEL 04	2	4	3	7	3	1	20
LEVEL 05	2	4	3	7	3	1	20
	10 (11%)	18 (20%)	17 (19%)	26 (30%)	13 (15%)	4 (5%)	88

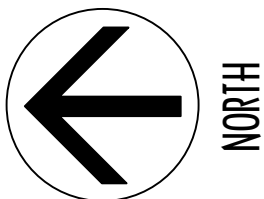
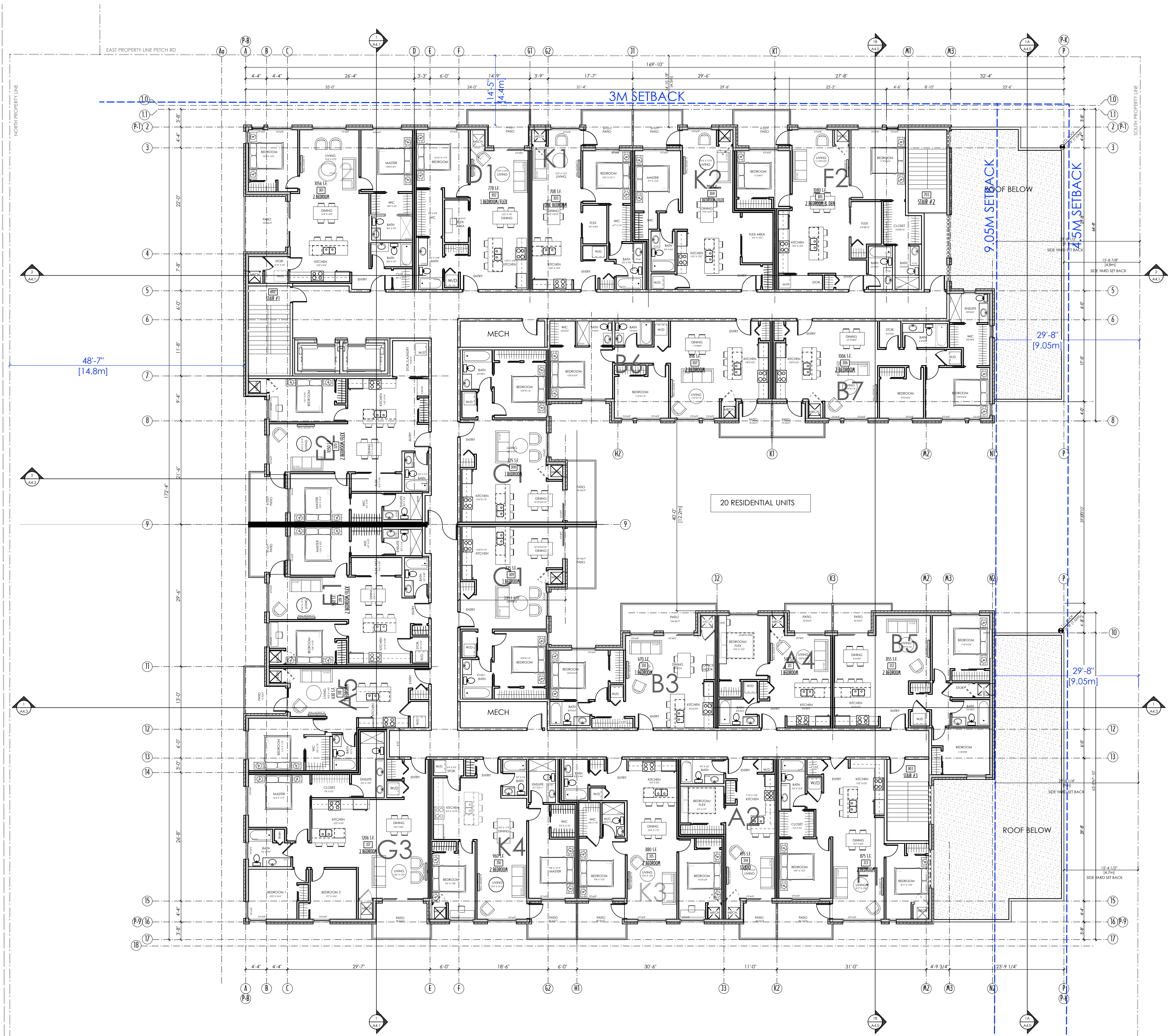
11% UNDER 600SQ.FT 40% ONE BEDROOM 44% TWO BEDROOM 5% 3 BEDROOM



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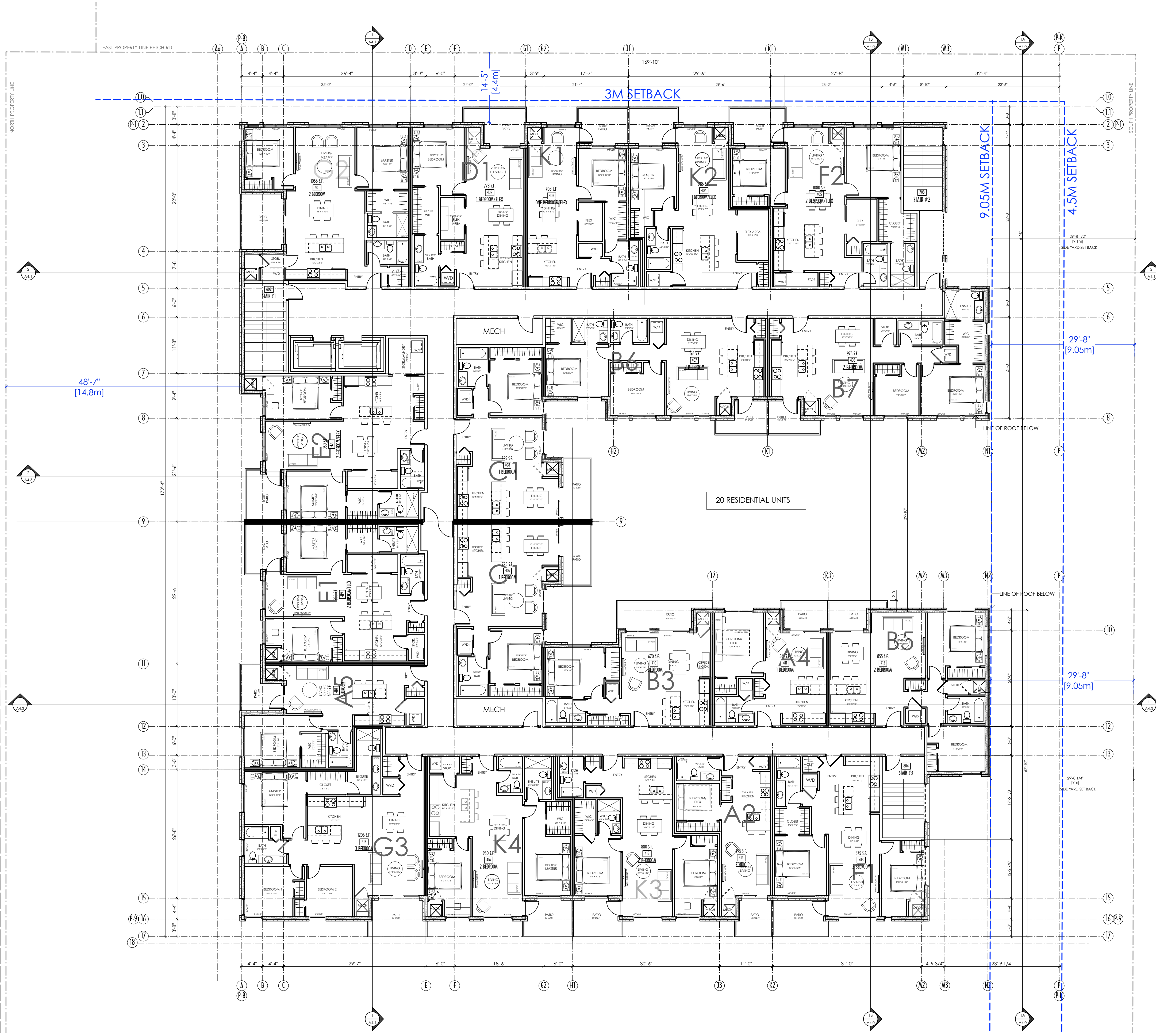
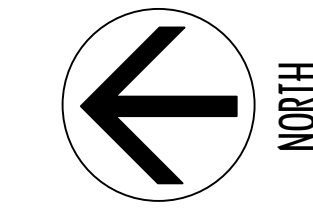
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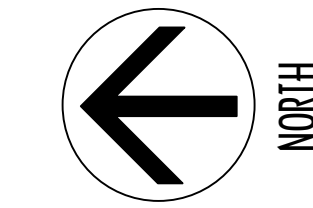
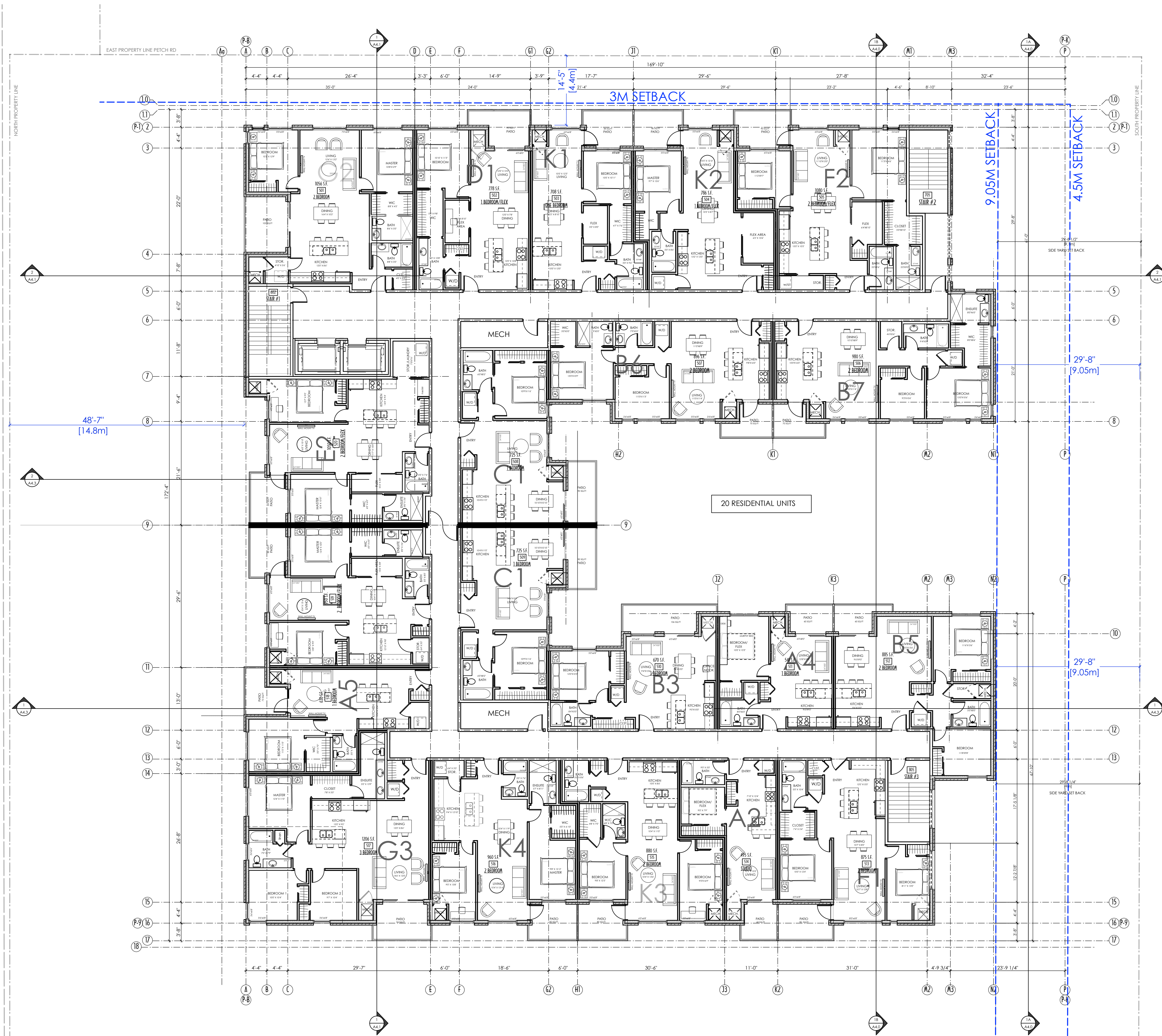
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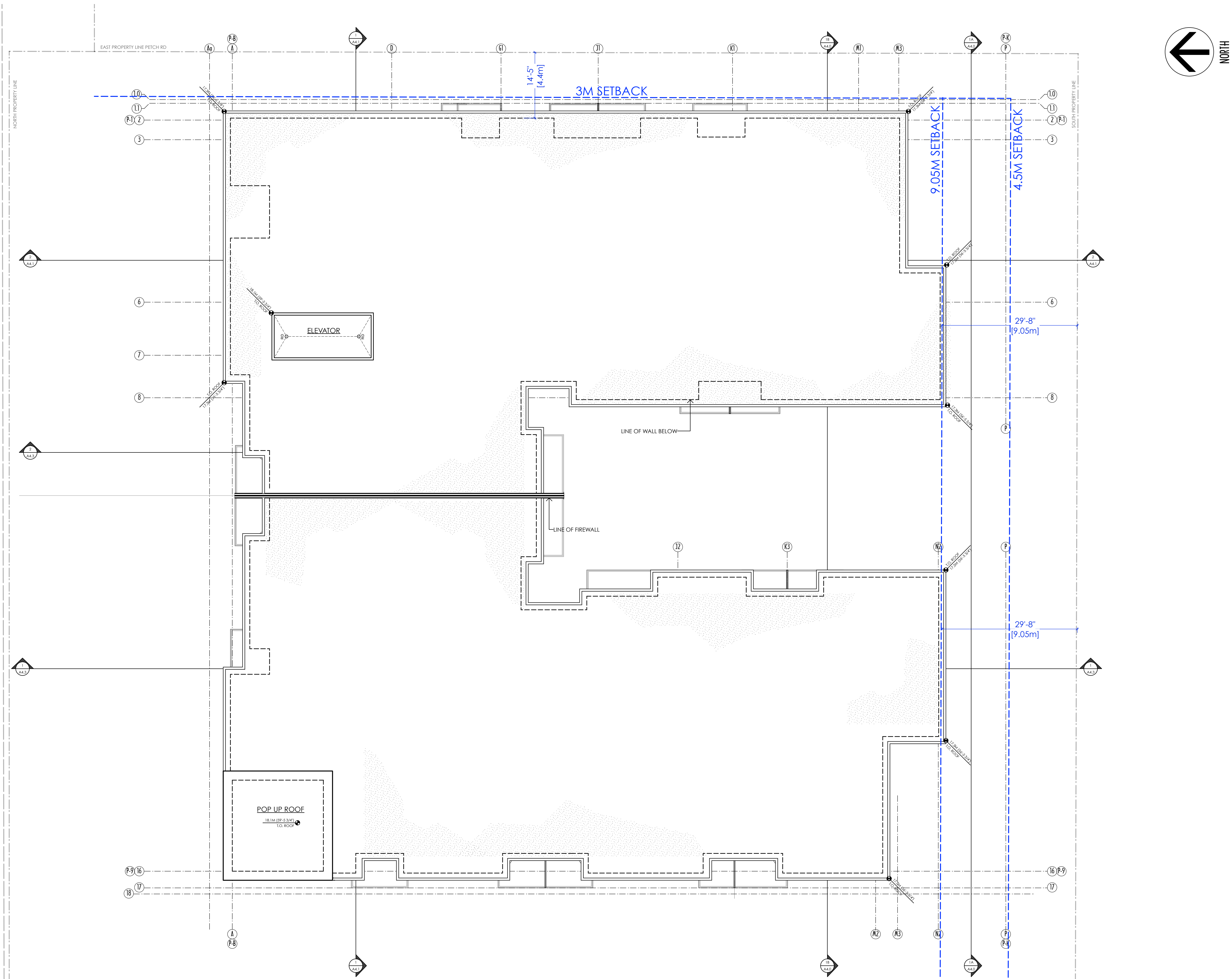
UNIT SCHEDULE OPTIONS - REVISED PLANS 2018.03.20							
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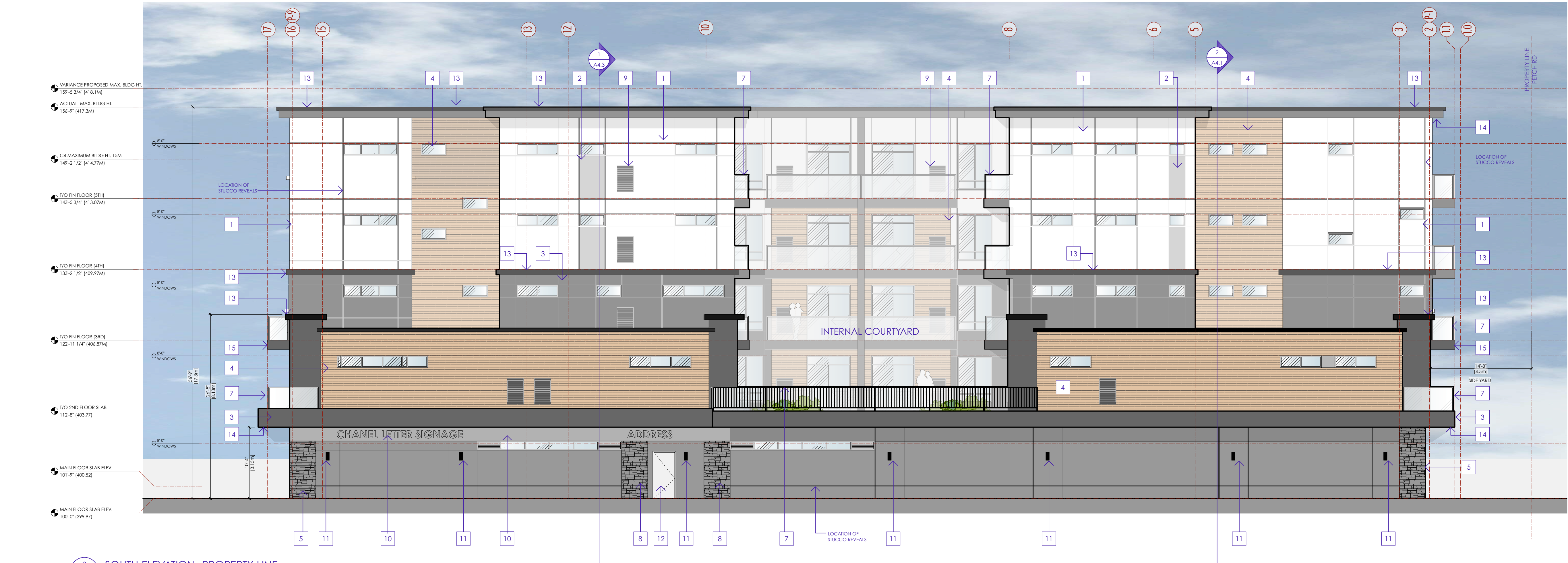
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RE-ISSUED FOR DP 2018.05.11



1 WEST ELEVATION HOLLYWOOD
A2.0
1/8" = 1'-0"

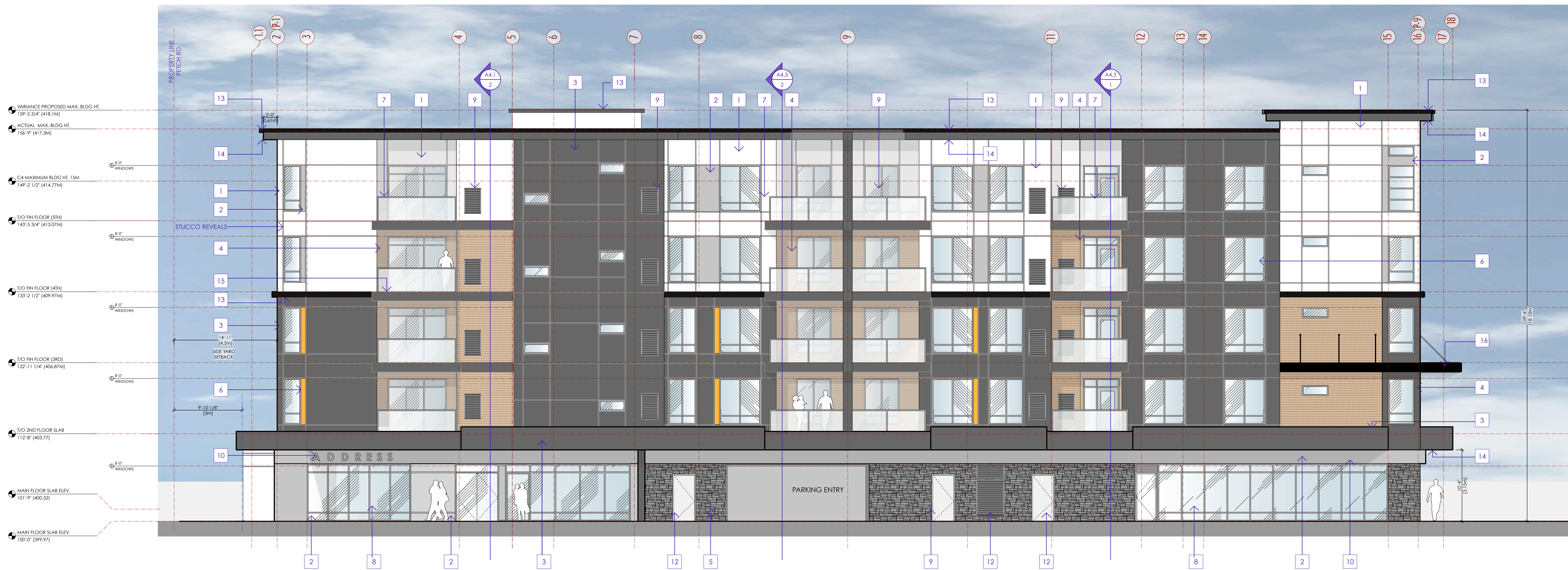


2 SOUTH ELEVATION- PROPERTY LINE
A2.0
1/8" = 1'-0"

EXTERIOR FINISH LEGEND	
1	STUCCO: WHITE COL: SW 7656 RHINESTONE SHERWIN WILLIAMS
2	STUCCO: LIGHT GREY COL: SW 7660 EARL GREY SHERWIN WILLIAMS
3	STUCCO: DARK GREY COL: SW 7076 CYBERSPACE SHERWIN WILLIAMS
4	RUSTIC SERIES BY WOODTONES LAP SIDING FAUX WOOD FINISH W/ W/ METAL TRIMS (ALUMINUM FINISH) COL: SUMMER WHEAT
5	CULTURED STONE BY BORAL PRO-FIT TERRAIN LEDGESTONE COL: TREK
6	STUCCO ACCENT 2: ORANGE COL: SW 0012 EMPIRE GOLD SHERWIN WILLIAMS
7	METAL RAILING & GUARD COL: BLACK
8	COMMERCIAL STORE FRONT GLAZING ANODIZED ALUMINUM
9	MECHANICAL GRILLE COL: BLACK
10	SIGNAGE LOCATION
11	WALL SCONCE LIGHTING COL: BLACK
12	PRE-FINISHED STEEL DOOR BLACK
13	PRE-FINISHED METAL FLASHING AT PARAPET & BANDING GENTEX - BLACK FASCIA - BLACK
14	METAL SOFFIT GENTEX - BLACK
15	TRIM BOARD W/ PRE-FINISHED METAL FLASHING AT PATIO BASE GENTEX - BLACK
16	METAL DECORATIVE CANOPY W/ ACCENT LIGHTING



1 EAST ELEVATION PETCH RD.
A2.0 1/8" = 1'-0"



1 NORTH ELEVATION- PARKING LOT
A2.0 1/8" = 1'-0"

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6	STUCCO ACCENT 2: ORANGE COL: SW0012 EMPIRE GOLD SHERWIN WILLIAMS
7	METAL RAILING & GUARD COL: BLACK
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RE-ISSUED FOR DP 2018.05.11



SCHEDULE

This forms part of application
DP18-0031 DVP18-0032

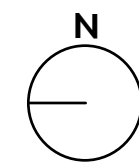
City of Kelowna
COMMUNITY PLANNING

Planner Initials LK

206 - 1889 Spall Road
Kelowna, BC V1Y 4R2
T (250) 868-9270
www.outlanddesign.ca



KEY MAP 1:1000



PROJECT TITLE

171 HOLLYWOOD ROAD SOUTH

Kelowna, BC

DRAWING TITLE

CONCEPTUAL LANDSCAPE PLAN

ISSUED FOR / REVISION		
1	18.01.23	Development Permit
2	18.05.07	Development Permit
3		
4		
5		

PROJECT NO	17-104
DESIGN BY	SF
DRAWN BY	MC
CHECKED BY	FB
DATE	MAY. 7, 2018
SCALE	1:200

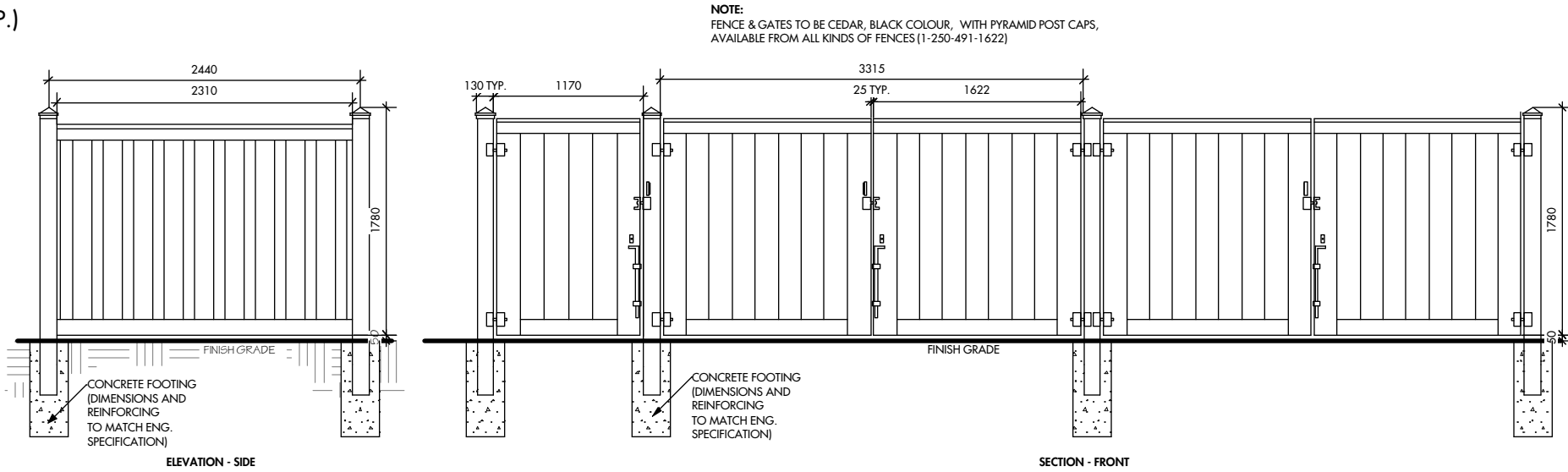
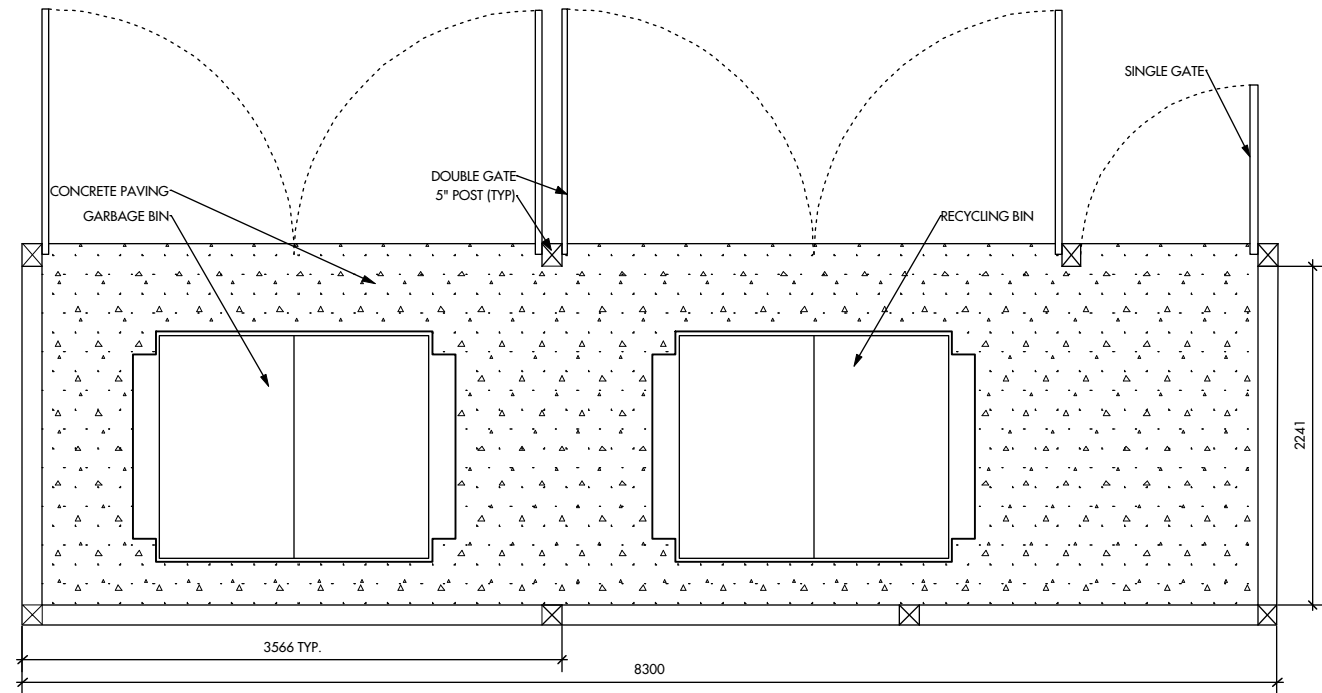
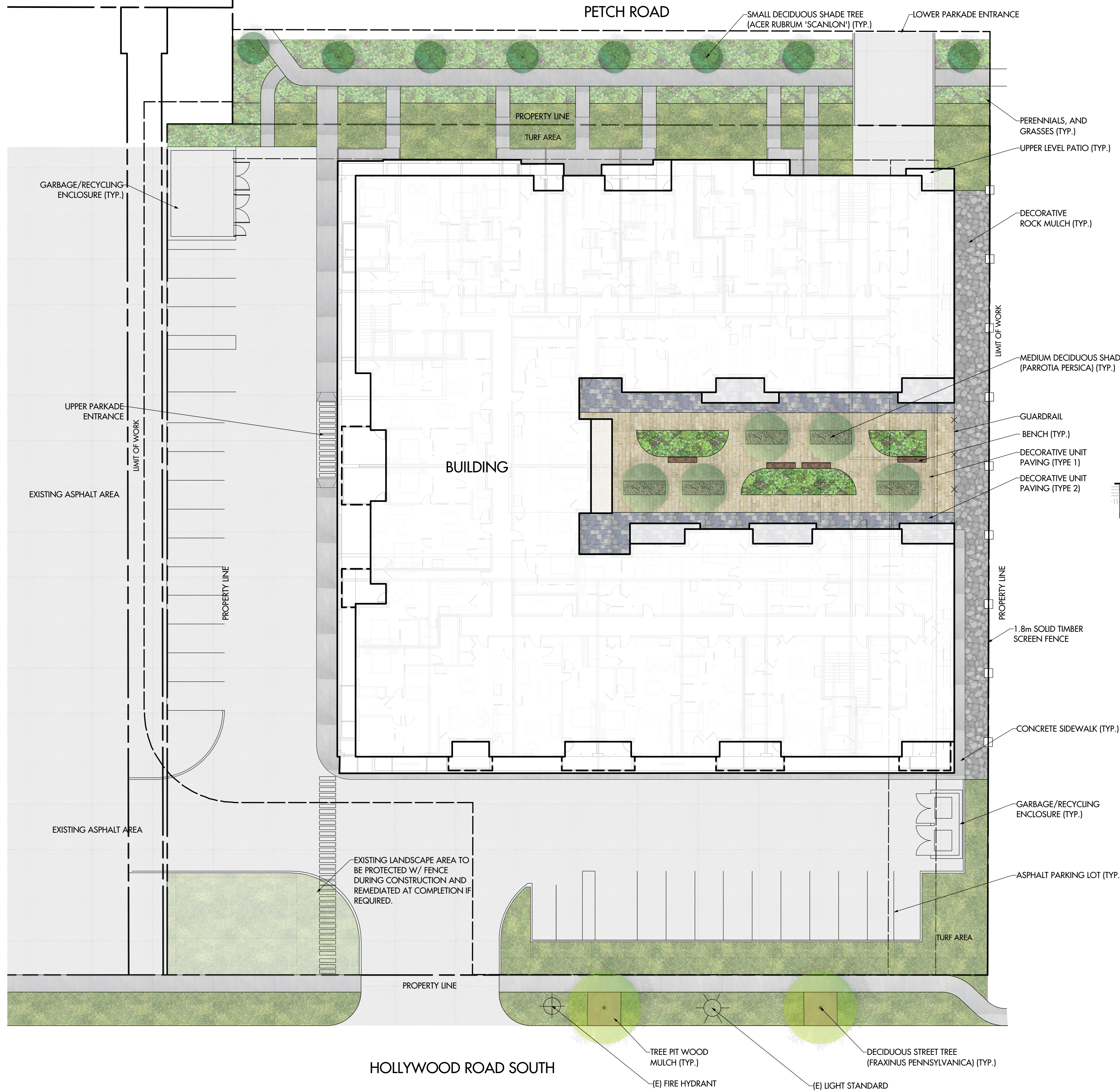
SEAL



DRAWING NUMBER

L1/1

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NOTES

1. PLANT MATERIAL AND CONSTRUCTION METHODS SHALL MEET THE CANADIAN LANDSCAPE STANDARD (FIRST EDITION).
2. ALL SOFT LANDSCAPE AREAS SHALL BE WATERED BY A FULLY AUTOMATIC TIMED UNDERGROUND IRRIGATION SYSTEM.
3. TREE AND SHRUB BEDS TO BE DRESSED IN A MINIMUM 50mm WOOD MULCH. DO NOT PLACE WEED MAT UNDERNEATH TREE AND SHRUB BEDS.
4. TREE AND SHRUB BEDS TO RECEIVE A MINIMUM 450mm DEPTH TOPSOIL PLACEMENT.
5. TURF AREAS FROM SOD SHALL BE NO. 1 GRADE GROWN FROM CERTIFIED SEED OF IMPROVED CULTIVARS REGISTERED FOR SALE IN B.C. AND SHALL BE TOLERANT OF DROUGHT CONDITIONS. A MINIMUM OF 150mm DEPTH OF GROWING MEDIUM IS REQUIRED BENEATH TURF AREAS. TURF AREAS SHALL MEET EXISTING GRADES AND HARD SURFACES FLUSH.
6. ALL OFFSITE WORKS TO BE UNDERTAKEN IN ACCORDANCE WITH CITY OF KELOWNA BYLAW 7900.

PLANT LIST

BOTANICAL NAME	COMMON NAME	QTY	SIZE/SPACING & REMARKS
PARROTIA PERSICA	PERSIAN IRONWOOD	5	6cm CAL.
FRAXINUS PENNSYLVANICA	GREEN ASH	2	6cm CAL.
ACER RUBRUM 'SCANLON'	SCANLON RED MAPLE	8	6cm CAL.
SHRUBS			
HYDRANGEA PANICULATA 'GRANDIFLORA'	PEEGEE HYDRANGEA	11	#02 CONT. /2.0M O.C. SPACING
MAHONIA AQUIFOLIUM	OREGON GRAPE HOLLY	30	#02 CONT. /1.2M O.C. SPACING
PHILLYREA LATIFOLIA	GREEN OLIVE TREE	11	#02 CONT. /2.0M O.C. SPACING
VIBURNUM JAPONICUM	JAPANESE VIBURNUM	11	#02 CONT. /2.0M O.C. SPACING
PERENNIALS, GRASSES & GROUNDCOVERS			
ACHILLEA FILIPENDULA 'CORONATION GOLD'	CORONATION GOLD YARROW	46	#01 CONT. /0.6M O.C. SPACING
DESCHAMPSIA CESPITOSA 'BRONZESCHLEIER'	BRONZE TUFTED HAIR GRASS	46	#01 CONT. /0.6M O.C. SPACING
EUPHORBIA CHARACIAS 'HUMPTY DUMPTY'	HUMPTY DUMPTY SPURGE	104	#01 CONT. /0.4M O.C. SPACING
HOSTA HALCYON	HALCYON HOSTA	17	#01 CONT. /1.0M O.C. SPACING
LAVANDULA ANGUSTIFOLIA 'MUNSTEAD'	MUNSTEAD ENGLISH LAVENDER	46	#01 CONT. /0.6M O.C. SPACING
PENNISETUM ALOPECUROIDES	FOUNTAIN GRASS	17	#01 CONT. /1.0M O.C. SPACING
RUDBECKIA FULGIDA 'GOLDSTURM'	GOLDSTURM CONEFLOWER	46	#01 CONT. /0.6M O.C. SPACING

