

Similar to the request for a variance for the triplex, we are requesting a variance for the number of stories for two fourplex buildings at The Site. Flanked by single family buildings of similar height and number of stories, the fourplexes have been designed as a continuation of form and character in keeping with the streetscape established by the flanking homes. The location of the fourplexes is such that they back onto steep grades and do not impact views from homes above. Additionally, single family homes on the opposite side of the same street have their views oriented from the opposite side of the homes. Accordingly, the location of the fourplexes is ideally suited to limit the impact on the remainder of the neighbourhood while again, offering a diversity of housing types in a development that is mostly single family. Further to the original design, our team has responded to comments from the City regarding the design of the fourplexes noting the following:

- Stepping back portions of the second floor and third floor 1.2m back from the garage and front doors.
- Reducing the overhang at the upper level to avoid reducing the 1.2m setback at the upper levels.
- Accentuating the 1.2m step back through the use of lighter finished siding colour.
- Articulating the 4 separate units more clearly by giving space between decks and the central decks and railings. As per our illustrations, the requested variance is minor in character; all buildings in the above study will comply with the maximum building height
- Developing a more comprehensive landscape scheme in order to soften the impact of the building facade from the street. Landscaping strategies include:
 - DP drawings already have narrow street trees between the units which will provide vertical softening, but minimally impact the views from the balconies. Consistent with the design of the previous Phase, there will be a cobble mulch that edges the street mixed with some feature boulders to provide interest, in addition to a mixed palette of shrubs and ornamental grasses. The surrounding slopes are hydroseeded with native grasses and wildflowers.
 - Against the side elevations and in the upslope buffer planting (irrigated) we will supplement with additional native large shrubs/ small trees such as Douglas Maple, Saskatoon Berry and Western Mock Orange to enhance the vertical visual buffering, while not impacting the views from above.

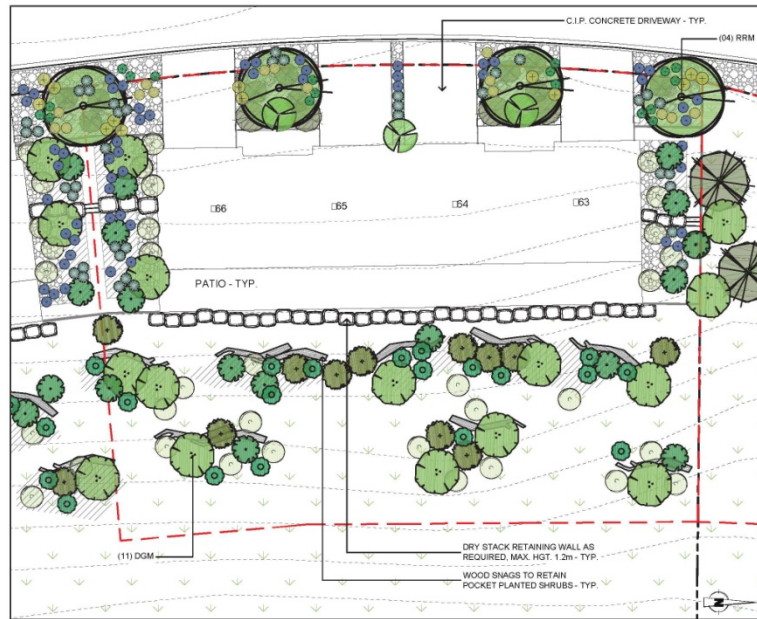
The revised colour/massing study and sketch landscape concept drawings have been included on the following pages.



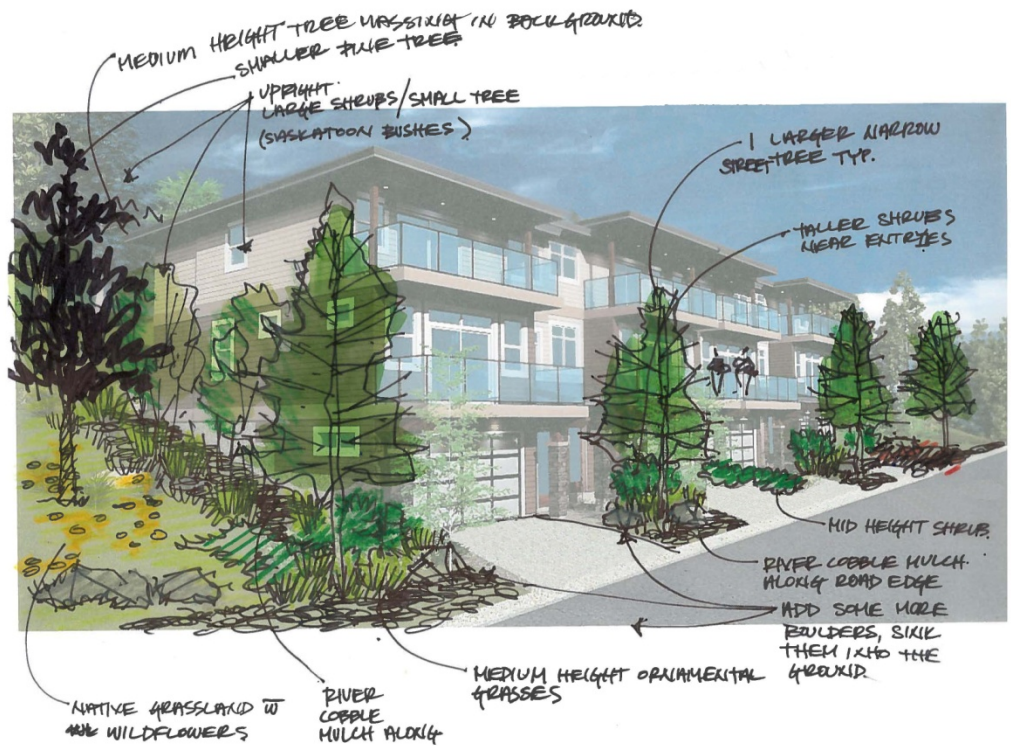
Revised Fourplex Design



Revised Fourplex Design



Proposed Landscape treatment for the Fourplex Design



Proposed Design treatment for the Fourplex Design



Proposed Design treatment for the Fourplex Design

Thank you for the time and effort to work with our team as it pertains to the building designs for the tri and fourplexes at Solstice, Phase 2.

We look forward to your support in response to the DVP for this project.

Sincerely,

Matt Johnston Architect AIBC, LEED AP
Architecturally Distinct Solutions Inc.

Development Permit & Development Variance Permit DP17-0291 & DVP18-0140



This permit relates to the following subject properties:

- Strata Lot 63, Sec 31, TWP 27, ODYD, Strata Plan EPS2195, together with an interest in the common property in proportion to the unit entitlement of the strata lot as shown on Form V; located at 1540 Tower Ranch Dr, Kelowna, BC
- Strata Lot 64, Sec 31, TWP 27, ODYD, Strata Plan EPS2195, together with an interest in the common property in proportion to the unit entitlement of the strata lot as shown on Form V; located at 1544 Tower Ranch Dr, Kelowna, BC
- Strata Lot 65, Sec 31, TWP 27, ODYD, Strata Plan EPS2195, together with an interest in the common property in proportion to the unit entitlement of the strata lot as shown on Form V; located at 1548 Tower Ranch Dr, Kelowna, BC
- Strata Lot 66, Sec 31, TWP 27, ODYD, Strata Plan EPS2195, together with an interest in the common property in proportion to the unit entitlement of the strata lot as shown on Form V; located at 1552 Tower Ranch Dr, Kelowna, BC
- Strata Lot 67, Sec 31, TWP 27, ODYD, Strata Plan EPS2195, together with an interest in the common property in proportion to the unit entitlement of the strata lot as shown on Form V; located at 1556 Tower Ranch Dr, Kelowna, BC
- Strata Lot 68, Sec 31, TWP 27, ODYD, Strata Plan EPS2195, together with an interest in the common property in proportion to the unit entitlement of the strata lot as shown on Form V; located at 1560 Tower Ranch Dr, Kelowna, BC
- Strata Lot 69, Sec 31, TWP 27, ODYD, Strata Plan EPS2195, together with an interest in the common property in proportion to the unit entitlement of the strata lot as shown on Form V; located at 1564 Tower Ranch Dr, Kelowna, BC
- Strata Lot 70, Sec 31, TWP 27, ODYD, Strata Plan EPS2195, together with an interest in the common property in proportion to the unit entitlement of the strata lot as shown on Form V; located at 1568 Tower Ranch Dr, Kelowna, BC

and permits the land to be used for the following development:

Multi-family development (Row Housing)

The present owner and any subsequent owner of the above described land must comply with any attached terms and conditions.

Date of Decision: September 18, 2018

Decision By: CITY COUNCIL

Issued Date:

Development Permit Area: Hillside Development Permit Area

This permit will not be valid if development has not commenced by September 18, 2020.

Existing Zone: RM2 – Low Density Row Housing

This is NOT a Building Permit.

In addition to your Development Permit, a Building Permit may be required prior to any work commencing. For further information, contact the City of Kelowna, Development Services Branch.

NOTICE

This permit does not relieve the owner or the owner's authorized agent from full compliance with the requirements of any federal, provincial or other municipal legislation, or the terms and conditions of any easement, covenant, building scheme or agreement affecting the building or land.

Owner: Parkbridge Lifestyle Communities Inc.

Applicant: Matt Johnston, Architecturally Distinct Solutions Inc.

Ryan Smith
Community Planning Department Manager
Community Planning & Strategic Investments

Date

1. SCOPE OF APPROVAL

This Development Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.

This Development Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this permit, noted in the Terms and Conditions below.

The issuance of a permit limits the permit holder to be in strict compliance with regulations of the Zoning Bylaw and all other Bylaws unless specific variances have been authorized by the Development Permit. No implied variances from bylaw provisions shall be granted by virtue of drawing notations that are inconsistent with bylaw provisions and that may not have been identified as required Variances by the applicant or Municipal staff.

2. CONDITIONS OF APPROVAL

- a) The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A";
- b) The exterior design and finish of the building to be constructed on the land be in accordance with Schedule "B";
- c) Landscaping to be provided on the land be in accordance with Schedule "C"; and
- d) The applicant be required to post with the City a Landscape Performance Security deposit in the form of a "Letter of Credit" in the amount of 125% of the estimated value of the landscaping, as determined by a Registered Landscape Architect.

AND THAT variances to the following sections of Zoning Bylaw No. 8000 be granted:

Section 13.8.6(c): RM2 – Low Density Row Housing Development Regulations

To vary the required maximum height from 2 ½ storeys or 9.5m to 3 storeys or 10.1m proposed;

This Development Permit is valid for two (2) years from the date of September 18, 2020 approval, with no opportunity to extend.

3. PERFORMANCE SECURITY

As a condition of the issuance of this Permit, Council is holding the security set out below to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Developer and be paid to the Developer or his or her designate if the security is returned. The condition of the posting of the security is that should the Developer fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the Municipality may use enter into an agreement with the property owner of the day to have the work carried out, and any surplus shall be paid over to the property own of the day. Should the Developer carry out the development permitted by this Permit within the time set out above, the security shall be returned to the Developer or his or her designate. There is filed accordingly:

- a) An Irrevocable Letter of Credit in the amount of \$65466.25

Before any bond or security required under this Permit is reduced or released, the Developer will provide the City with a statutory declaration certifying that all labour, material, workers' compensation and other taxes and costs have been paid.

4. INDEMNIFICATION

Upon commencement of the works authorized by this Permit the Developer covenants and agrees to save harmless and effectually indemnify the Municipality against:

- a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality said Permit.

All costs, expenses, claims that may be incurred by the Municipality where the construction, engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

**The PERMIT HOLDER is the CURRENT LAND OWNER.
Security shall ONLY be returned to the signatory of the
Landscape Agreement or their designates.**

GENERAL NOTES - ARCH|TECTURAL:

ALL WORK SHALL CONFORM TO THE STANDARDS OF THE N.B.C. OF CANADA 2010 (all applicable section), THE B.C. BUILDING CODE [BCBC] 2012 AND ALL LOCAL CODES, BYLAWS AND AMENDMENTS.

DO NOT SCALE DRAWINGS; DIMENSIONS TAKE PRECEDENCE.

ALL WALLS SHALL VERIFY ALL DATUMS, DIMENSIONS AND LEVELS PRIOR TO COMMENCEMENT OF WORK.

ALL ERRORS AND OMISSIONS TO BE REPORTED IMMEDIATELY TO ARCHITECTURALLY DISTINCT SOLUTIONS.

VARIATIONS AND MODIFICATIONS TO THE WORK SHOWN ON DRAWINGS SHALL NOT BE CARRIED OUT WITHOUT THE EXPRESS WRITTEN PERMISSION OF ARCHITECTURALLY DISTINCT SOLUTIONS.

THESE DRAWINGS ARE THE EXCLUSIVE PROPERTY OF ARCHITECTURALLY DISTINCT SOLUTIONS AND CANNOT BE REPRODUCED WITHOUT THE EXPRESS WRITTEN PERMISSION OF ARCHITECTURALLY DISTINCT SOLUTIONS.

ALL WORK TO BE PERFORMED TO CURRENT GOOD TRADE PRACTICE STANDARDS BY WORKMEN SKILLED IN THEIR TRADES.

ALL MATERIALS TO BE OF GOOD QUALITY, PROPERLY TREATED, STORED AND PROTECTED.

ALL EXTERIOR DIMENSIONS TAKEN FROM OUTSIDE FACE OF WOOD STUDS AND EXTERIOR FACE OF CONCRETE UNLESS NOTED OTHERWISE.

ALL INTERIOR DIMENSIONS TAKEN FROM CENTER LINE OF STUDS U.N.O.

ALL LOAD BEARING LUMBER TO BE SPP #2 OR BETTER U.N.O.

ALL LOAD BEARING WOOD BEAMS TO BE SPP #2 OR BETTER U.N.O.

ALL EXTERIOR WALLS TO BE 24" X 24" C.I. U.N.O.

INTERIOR WALLS TO BE 24" X 24" C.I. U.N.O.; INTERIOR LOAD BEARING WALLS TO BE 2x6 @ 16" O.C. U.N.O. (SHOWN SHADING ON PLAN DRAWINGS)

USE DOUBLE JOISTS UNDER PARTITIONS PARALLEL TO JOISTS UNLESS NOTED OTHERWISE U.N.O.

ALL LOAD BEARING COLLARS TO BE AT LEAST EQUAL TO WEIGHT OF BEAMS AND OF SOIL LUMBER OR LAMINATED STUDS.

UNITS UP TO 450 WEIGHT TO BE 2x12 @ 19" O.C. OR BETTER U.N.O. TO BE SUBSTITUTED TO EQUAL WEIGHT OF MAXIMUM 750'.

UNITS OVER 450 TO BE 2x12 X 2x12 S.F. OR BETTER ENGINEERED UNLESS NOTED OTHERWISE U.N.O.

FRAMING TRAIL TO PROVIDE MIN. 2" CROSS BRACING OR CROSS BLOCKING BETWEEN JOISTS AND RAFTERS @ 7' O.C. MAXIMUM. MINIMUM ONE ROW UNLESS NOTED OTHERWISE BY FLOORING ENGINEER.

ALL FOOTINGS TO BE ON UNDISTURBED NATIVE SOIL, APPROVED ENGINEERING FILL OR BEDROCK AND EXTEND A MINIMUM DEPTH 300mm BELOW FROST LINE FROM FINISHED GRADE.

MINIMUM CONCRETE STRENGTH AT 28 DAYS: FOOTINGS, SLABS, FOUNDATION WALLS 3000PSI. LIGHTWEIGHT CONCRETE TOPPING: 4000PSI.

FOUNDATION PAD FOOTINGS SET AS PER STRUCTURAL NOTES BELOW AND/OR AS NOTED ON FOUNDATION LARGEST PAD AND REINFORCING SETS TO TAKE PRECEDENCE WHERE CONTRADICTION EXISTS.

SECURE SLAB PLATES TO FOUNDATION WALLS WITH 1/2" DIA. X 1/2" LONG ANCHOR BOLTS @ 40" O.C. FOR EXTERIOR WALLS AND 40" FOR INTERIOR WALLS.

ALL WORK MEMBERS IN CONTACT WITH CONCRETE TO BE PROTECTED WITH QUI-LOK GASKET.

PROVIDE DAMPROOFING TO ALL EXTERIOR FOUNDATION WALLS INCLUDING RE-DAMP-PROOFING IN ACCORDANCE WITH BSCB 2012.

PROVIDE A MINIMUM OF 6" CLEARANCE BETWEEN SOIL AND ANY WOOD MEMBERS.

ALWAYS USE SOLID BRICK OR CMU 8" OR 12" AS REQUIRED FOR DESIGN AND TO BE CONFIRMED AT DICATION BY A QUALIFIED ENGINEER.

PROVIDE ALUMINUM FLASHINGS OVER ALL EXTERIOR OPENINGS.

CAULK AND SEAL ALL EXTERIOR OPENINGS IN ACCORDANCE WITH BSCB 2012.

VENTILATION REQUIREMENTS TO CONFORM TO BSCB 9.2.3.3 AND TABLE 9.2.3.3.5.

UNIFORMLY DISTRIBUTE VENTILATION TO ROOMS AS PER BSCB 9.19.1.2.

PROVIDE A MINIMUM CLEARANCE OF 100mm BETWEEN TOP OF ROOF INSULATION AND UNDERSIDE OF ROOF SHEATHING AS PER BSCB 9.19.1.3.

CEILINGING GUIDING SECURITY REQUIREMENTS TO CONFORM TO BSCB 9.2.3.3.7 AND APPROX 4" (100mm) AIR GAP.

ALL EXTERIOR AND REQUIRED GUIDINGS TO BE 3/4" (100mm) HIGH WITH MAX. 3/4" (100mm) APART CLOSING LINES.

ALL HANDRAILS SHALL BE A MINIMUM 24" HIGH ABOVE THE FINISHING.

PROVIDE A MINIMUM 1" (25mm) TO 2" (50mm) CLEARANCE BETWEEN HANDRAILS AND WALLS.

ALWAYS AND DETECTION SYSTEMS TO BE AS PER 3.2.4.1 OF THE BCB.

DRAWINGS:

- A-001 SITE PLAN AND PROJECT INFORMATION
- A-002 ASSEMBLIES
 - A-101 ENTRY LEVEL PLAN
 - A-102 MIDDLE LEVEL PLAN
 - A-103 LOWER LEVEL PLAN
- A-200 ELEVATIONS
 - A-201 ELEVATIONS
- A-300 SECTIONS
- A-500 DETAILS
 - A-501 DETAILS
 - A-502 PARTY WALL DETAILS
- A-600 RENDERS

SITE STATISTICS:

CMC ADDRESS: LOTS 63, 64, 65, 66, TOWER RANCH DRIVE

LEGAL ADDRESS: SUBMISSION OF LOT 3, SEC. 27, TWP. 27 COYD DISTRICT PLAN KAP 80993

ZONING: RM2H

ZONING CALCULATIONS:

CURRENT: City of Kelowna RM2H Zoning

SITE INFORMATION:

	Allowed	Proposed
1. <i>Procedural</i>		
2. <i>Substantive</i>		
3. <i>Administrative</i>		
4. <i>Other</i>		
5. <i>Unspecified</i>		
6. <i>Other</i>		
7. <i>Unspecified</i>		
8. <i>Other</i>		
9. <i>Unspecified</i>		
10. <i>Other</i>		
11. <i>Unspecified</i>		
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96. <i>Other</i>		
97. <i>Unspecified</i>		
98. <i>Other</i>		
99. <i>Unspecified</i>		
100. <i>Other</i>		

	Allowed	Proposed
Gross Site Area=	13,679 sf (1,248 sq)	
Available Site Coverage=	50% (6,840sf)	28.3% (3,876sf)
Coverage + Hardscaping=	55% (7,523sf)	37% (5,000sf)
F.A.R. =	.65 (8,891 sq)	.53 (7,240sf)

UNIT	ENTRANCE LEVEL	MIDDLE FLOOR	UPPER LEVEL	TOTAL
UNIT 1	50	890	870	1,810
UNIT 2	50	890	870	1,810
UNIT 3	50	890	870	1,810
UNIT 4	50	890	870	1,810

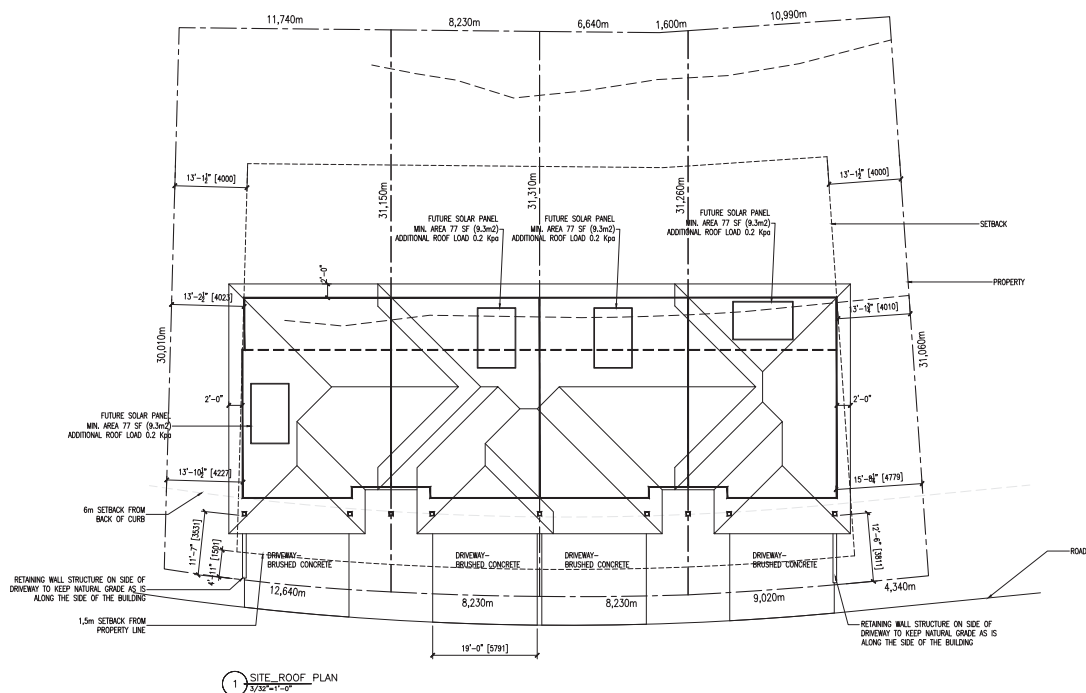
Alford Proposed

Max. Height = 9.5m (31.16 ft) or 2.5 storeys 7.9m (25.92 ft)

Yard setbacks:

front yard -	1.5m Ground Oriented Entry	3.531m
side yard -	4.0m	4.0m

rear yard •	7.5m	T.O.S.
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VARIANCE

CASSIOPEIA FOR DVP

A

This forms part of application

DP17-0291 DVP18-0140

Planner
Initials

TA

City of Kelowna
COMMUNITY PLANNING



DISTINCT SOLUTIONS INC.
phone: 250-448-7800
205-1626 Richter Street
Kelowna, BC V1Y 2M6
www.distinctsolutions.ca

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Revision No., Date and Description
11.03.16-75% Permit Documents
09.12.17 BP
11.09.17-FOR DP
04.02.18 - FOR BP
06.29.18 - FOR REVIEW
07.03.18 - FOR DVP

Plot Date 4-Jul-18	Drawing No. A-001
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PROJECT	SOLSTICE LOTS 63_66
	SOLSTICE PHASE 2
DRAWING TITLE	SITE ROOF PLAN

B



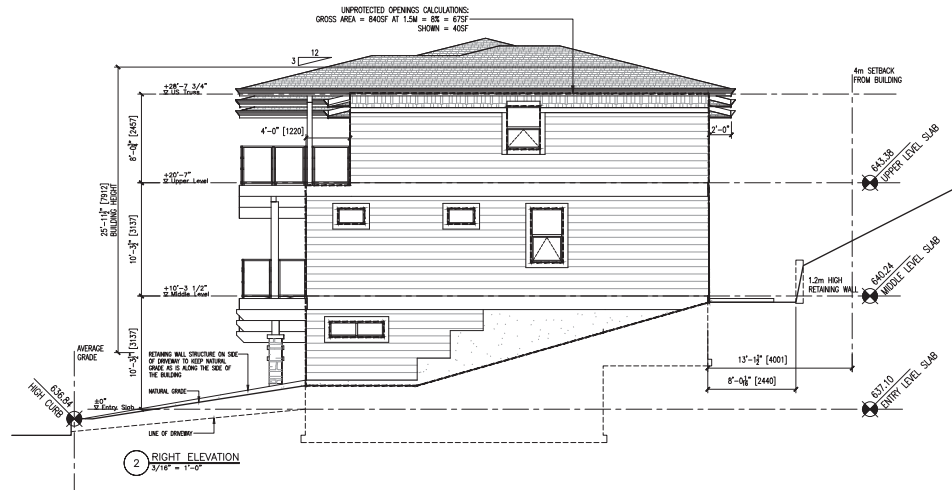
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MONTEREY TAUPE



SANDSTONE BEIGE



GENTEK, PEBBLE



BURNT OCHRE – DEL MARE LEDGESTONE



CASSIOPEIA FOR DVP

Revision No., Date
and Description

Plot Date 17-NOV 2016	Drawing No. A-200
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PROJECT SOLSTICE LOTS 63_66 0000	
DRAWING TITLE A-200 ELEVATIONS	

SCHEDULE

B

This forms part of application

DP17-0291 DVP18-0140

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Initials

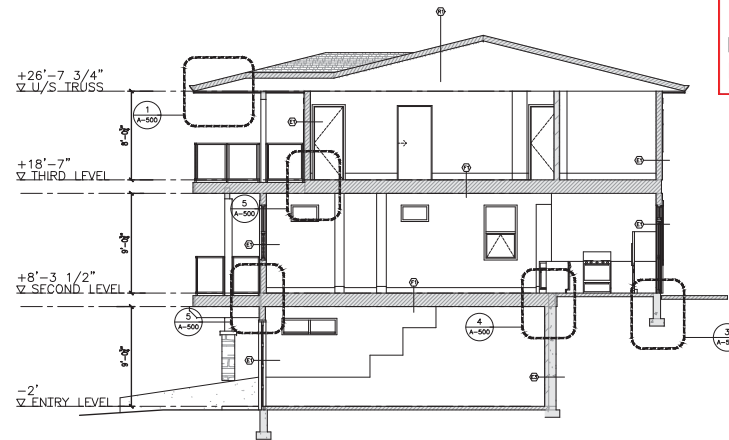
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Kelowna
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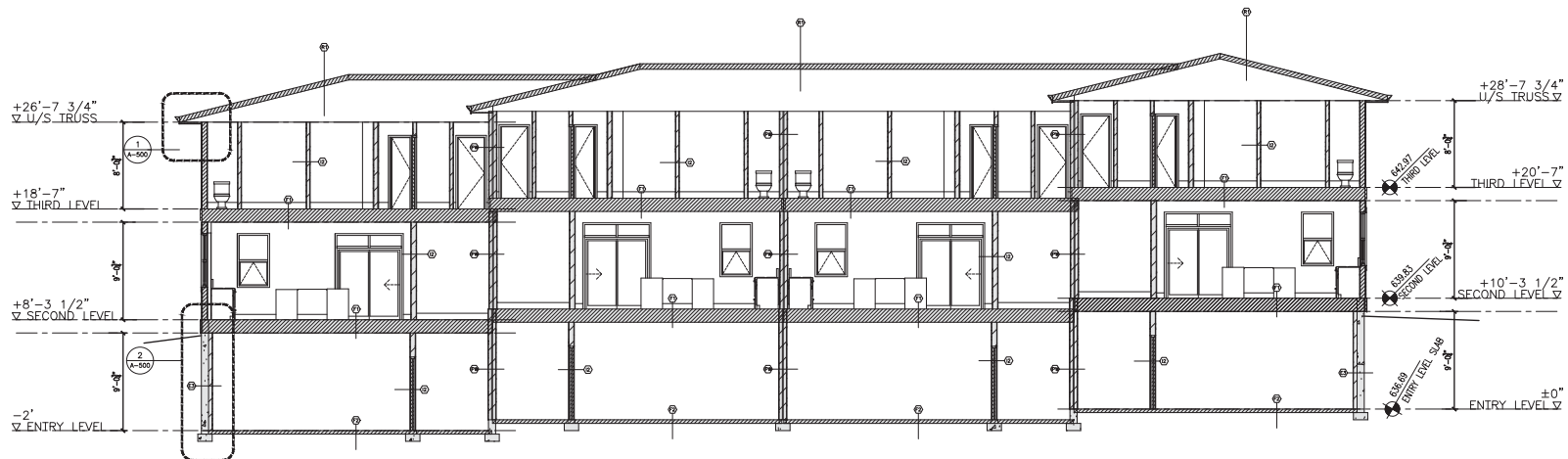


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1 SECTION 1
1/16\"/>



2 SECTION 2
1/16\"/>

Revision No., Date and Description
11.08.17 - FOR DP
04.02.18 - FOR EP
06.28.18 - FOR REVIEW
07.03.18 - FOR DVP

Plot Date 3-Jul-18 Drawing No. A-300

PROJECT SOLISTICE LOTS 63, 66

DRAWING TITLE SECTIONS

CASSIOPEIA
FOR DVP

SCHEDULE

B

This forms part of application

DP17-0291 DVP18-0140

Planner
Initials

TA



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VIEW 1 - FRONT VIEW FROM STREET



VIEW 2 - FRONT VIEW FROM LEFT

Revision No., Date and Description
11.08.17 - FOR DP
04.02.18 - FOR SP
06.28.18 - FOR REVIEW
07.03.18 - FOR DVP

Plot Date	Drawing No.
3-Jul-18	A-RENDER

PROJECT
SOLSTICE LOTS 63, 66
SOLSTICE PHASE 2
DRAWING TITLE
RENDERINGS

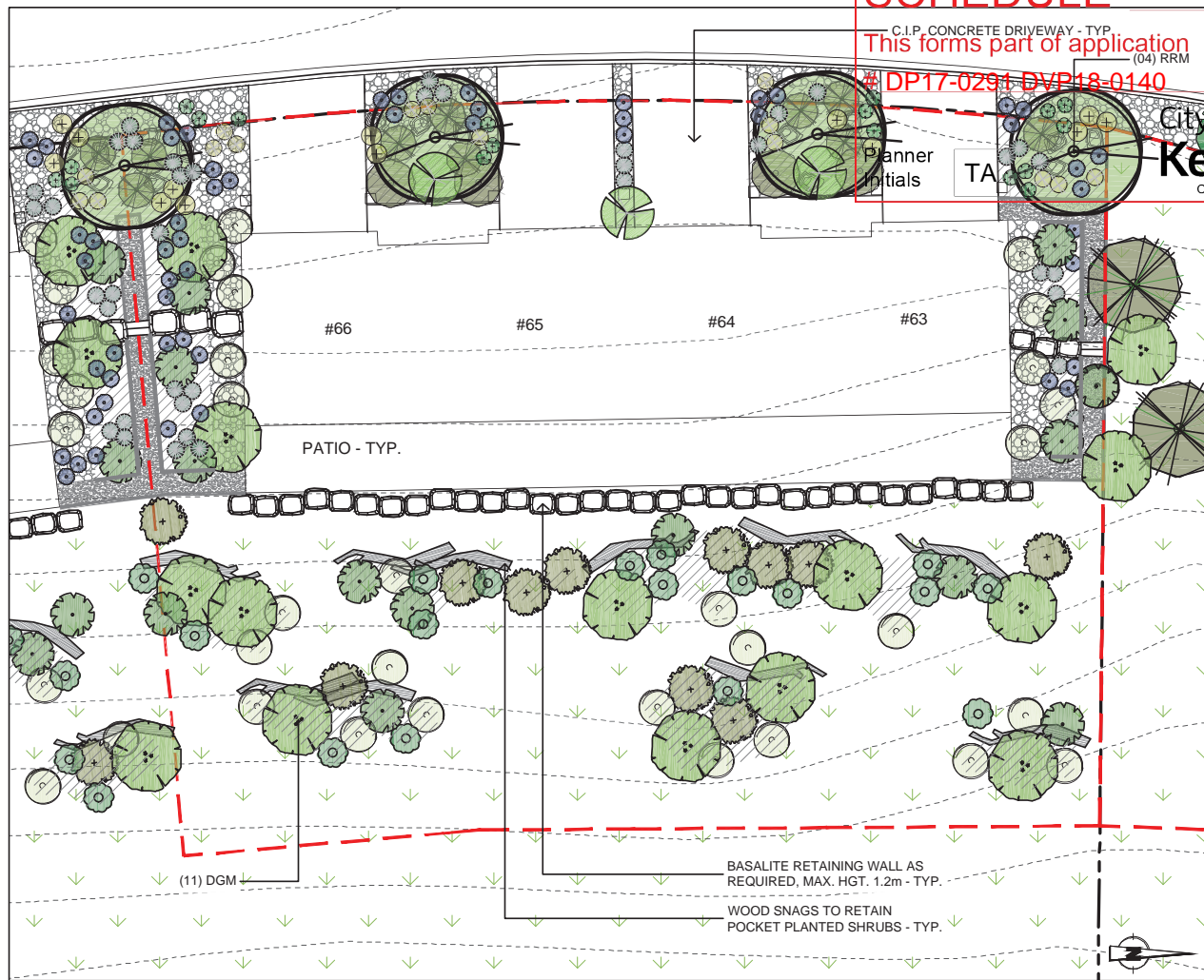
CASSIOPEIA
FOR DVP



C.I.P. CONCRETE DRIVEWAY - TYP
This forms part of application (04) RRM
DP17-0291 DVP18-0140



City of
Kelowna
COMMUNITY PLANNING

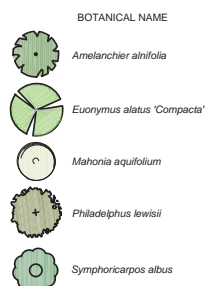


LANDSCAPE PLAN

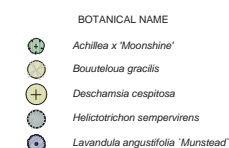
PLANT LIST

SYMBOL	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	MATURE PLANT SIZE (Ht. x Wd.)
TREES						
DGM	11	<i>Acer glabrum</i>	Douglas Maple	#05		12.0m x 6.0m
RRM	4	<i>Acer rubrum</i> 'Red Rocket'	Red Rocket Maple	60mm Cal.	B.&B.	9.00m x 2.50m
SHRUBS						
sks	14	<i>Amelanchier alnifolia</i>	Saskatoon Serviceberry	#02	Potted	1.8m x 1.8m
dbb	3	<i>Euonymus alatus</i> 'Compacta'	Dwarf- Winged Burning Bush	#05	Potted	3.0m x 3.0m
slr	9	<i>Juniperus sabina</i>	Savin Juniper	#01	Potted	1.25m x 2.50m
mel	40	<i>Lavandula angustifolia</i> 'Munstead'	Munstead English Lavender	#01	Potted	0.40m x 0.60m
org	26	<i>Mahonia aquifolium</i>	Oregon Grape	#01	Potted	1.8m x 1.5m
mup	4	<i>Pinus mugo</i> 'Mughus'	Mugo Pine	#05	Potted	1.5m x 1.5m
mco	11	<i>Philadelphus lewisii</i>	Mock Orange	#02	Potted	1.8m x 1.8m
snb	16	<i>Symphoricarpos albus</i>	Snowberry	#01	Potted	1.8m x 1.8m
GRASSES / PERENNIALS						
msy	15	<i>Achillea</i> x 'Moonshine'	Moonshine Yarrow	#01	Potted	0.6m x 0.6m
blg	12	<i>Bouteloua gracilis</i>	Blue Grama	#01	Potted	0.6m x 0.6m
thg	10	<i>Deschamsia cespitosa</i>	Tufted Hair Grass	#01	Potted	0.8m x 0.75m
bog	29	<i>Helictotrichon sempervirens</i>	Blue Oat Grass	#01	Potted	0.75m x 0.75m

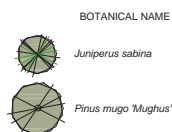
SHRUBS LEGEND



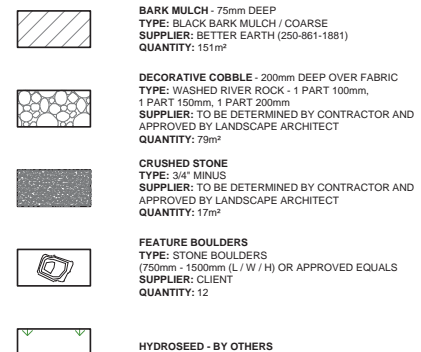
PERENNIALS / GRASSES LEGEND



PLANT LEGEND



LEGEND



EDGER A
TYPE: 2" x 4" BEND-A-BOARD PLASTIC HEADER
w/ STAKES @ 3'-0" O.C.
SUPPLIER: BASALITE CONC. PRODUCTS OR APPROVED EQUAL
QUANTITY: 46 l.m.

NOTE:

QUANTITIES NOTED ARE PER THE EXTENTS SHOWN ON DRAWING. QUANTITIES FOR STREETSCAPE WORK AND HYDROSEEDING ARE NOT INCLUDED. REFER TO STREETSCAPE DRAWING AND S.O.Q. FOR INFORMATION.

SHEET TITLE

MULTI FAMILY LOT 63-66 LANDSCAPE PLAN

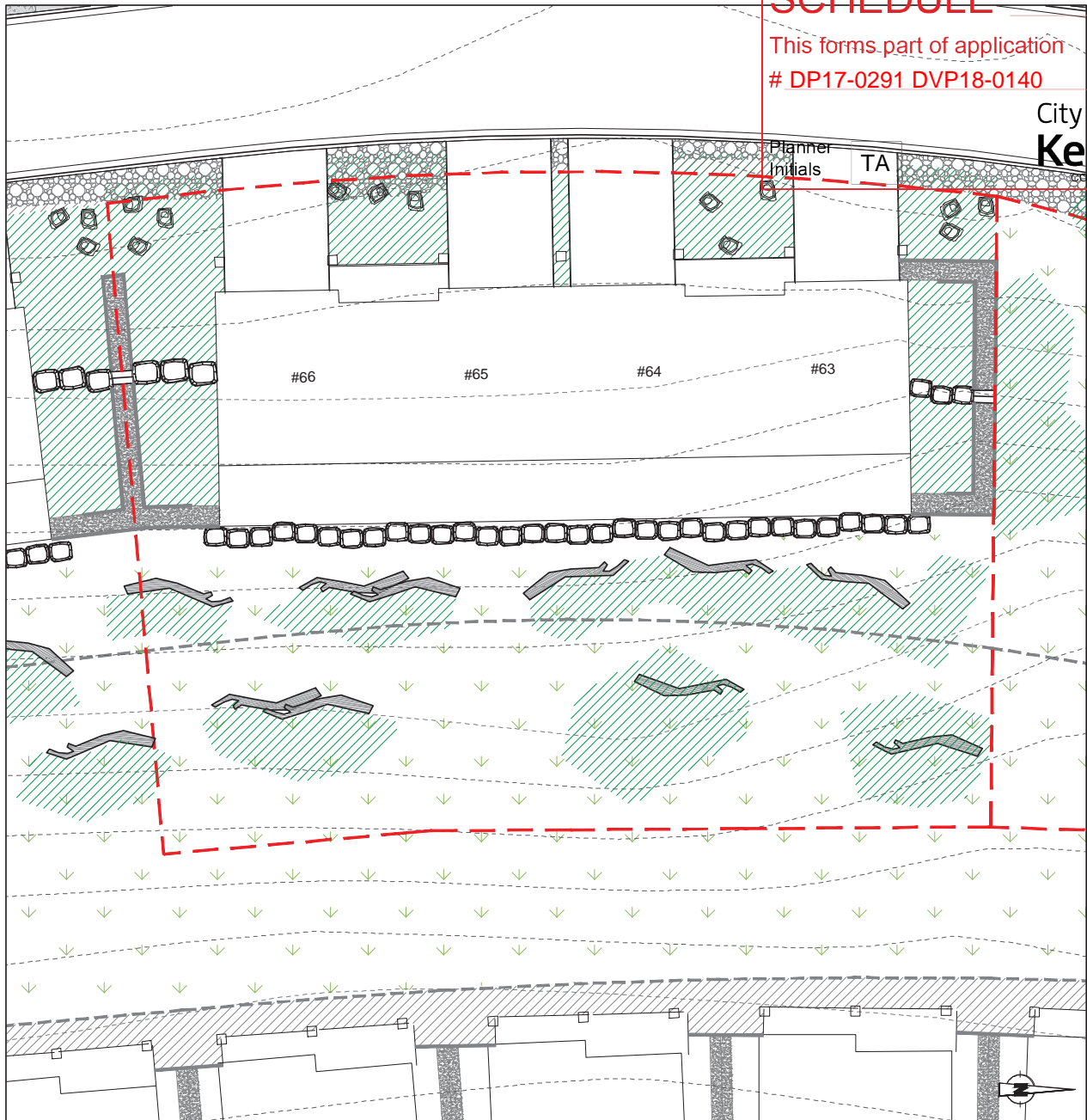
SOLSTICE PHASE 2 - INDIVIDUAL LOT PLANTING PLANS

wsp

SCALE 1:200 DATE 29/06/18



P:\181 - 85 INTERIOR\1813-0500-1000-TOWERFRANK\500 - PRODUCTION\500 - DRAWINGS\501 - CURRENT\LAND PHASE 2 AND LOT PLANS\01180500-1000_L01_PLANTING



HYDROZONE PLAN

LEGEND



LOW WATER REQUIREMENTS
- 266.0m2

SHEET TITLE

MULTI FAMILY LOT 63-66 HYDROZONE PLAN

SOLSTICE PHASE 2 - INDIVIDUAL LOT PLANTING PLANS



SCALE

1:200

DATE

29/06/18

SCHEDULE B

This forms part of application

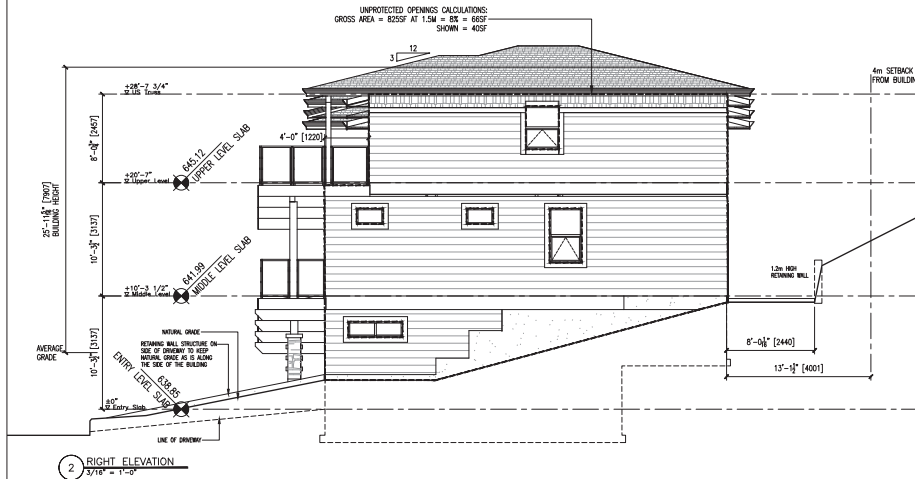
DP17-0291 DVP18-0140

Planner
Initials TA



DISTINCT SOLUTIONS INC.
phone: 250-448-7801
205-1424 Richter Street
Kelowna, BC V1Y 2N3
www.distinctsolutions.ca

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PROJECT MATERIALS:

	<u>LOWER SIDING:</u> WOODSTOCK BROWN		<u>TIMBER BELLYBAND & GARAGE DOOR:</u> SANDSTONE BEIGE		<u>GUTTERS & SOFFITS:</u> GENTEK, ALMOND
	<u>UPPER SHINGLE:</u> MONTEREY TAUPE		<u>DOWNSPOUTS:</u> GENTEK, PEBBLE		<u>STONE:</u> CHARDONNAY - SOUTHERN LEDGESTONE
					OR BURNT OCHRE - DEL MAR LEDGESTONE



**CASSIOPEIA
FOR DVP**

Revision No., Date
and Description
11.03.17 - FOR DP
04.02.18 - FOR BP
07.03.18 - FOR DVP

Plot Date Drawing No.
17-MAY-2018 A-200

PROJECT
SOLSTICE LOTS 47, 70
SOLSTICE PHASE 2
DRAWING TITLE
ELEVATIONS

B

TA



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All trades are to execute the work in accordance with the current municipalities bylaws and codes and in accordance with the local authorities having jurisdiction as well as the current building code - (most recent version) including all amendments and addenda. All trades shall assume full responsibility for the locations and protection of all under and above ground utilities, wires and conduits, communications, including but not limited to, sewer, gas, hydro and telephone.



Revision No., Date and Description
11.03.16 - 75% Permit Document
11.04.16 - geodetic revisions
11.09.17 - FOR DP
04.02.18 - FOR BP
07.03.18 - FOR DVP

Plot Date 17-NOV 2016	Drawing No. A-201
--------------------------	----------------------

PROJECT SOLSTICE LOTS 67_70 SOLSTICE PHASE 2
DRAWING TITLE ELEVATIONS

E

DP17-0291 DVP18-0140



City of Kelowna
COMMUNITY PLANNING

Planner
Initials

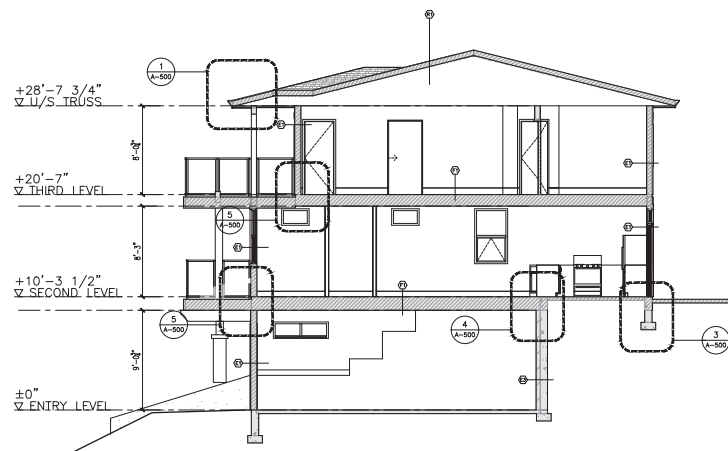
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phone: 250-448-7800
205-1626 Richter Street
Kalamazoo, BC V1Y 2N6
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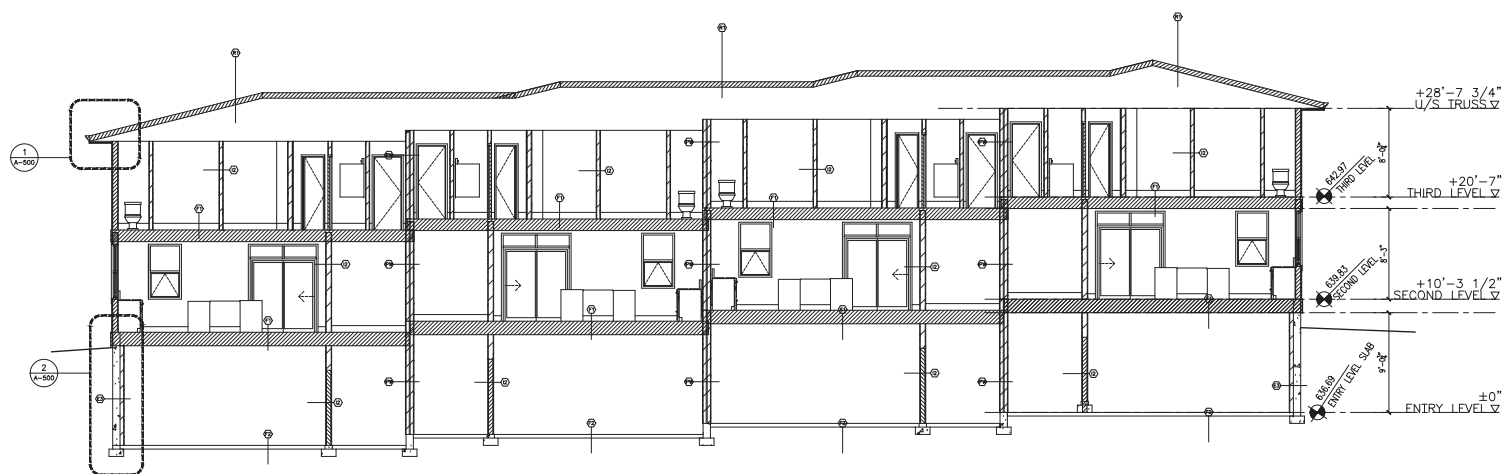
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SECTION 1
3/16" = 1'-0"



SECTION 2
3/16" = 1'-0"

Revision No., Date and Description
11.04.16 - geodetic revisions
11.09.17 - FOR DP
04.02.18 - FOR BP
07.03.18 - FOR DVP

Plot Date	Drawing No.
3-Jul-18	A-300

PROJECT	SOLSTICE LOTS 67_70
	SOLSTICE PHASE 2
DRAWING TITLE	SECTIONS

CASSIOPEIA FOR DVP

SCHEDULE

B

This forms part of application

DP17-0291 DVP18-0140

Planner
Initials

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City of
Kelowna
COMMUNITY PLANNING



VIEW 1 - FRONT VIEW FROM STREET



VIEW 2 - FRONT VIEW FROM LEFT

CASSIOPEIA
FOR DVP

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Revision No., Date and Description
11.08.17 - FOR DP
04.02.18 - FOR SP
07.03.18 - FOR DVP

Plot Date 3-Jul-18 Drawing No. A-600

PROJECT
SOLSTICE LOTS 47, 70
SOLSTICE PHASE 2
DRAWING TITLE
RENDERINGS



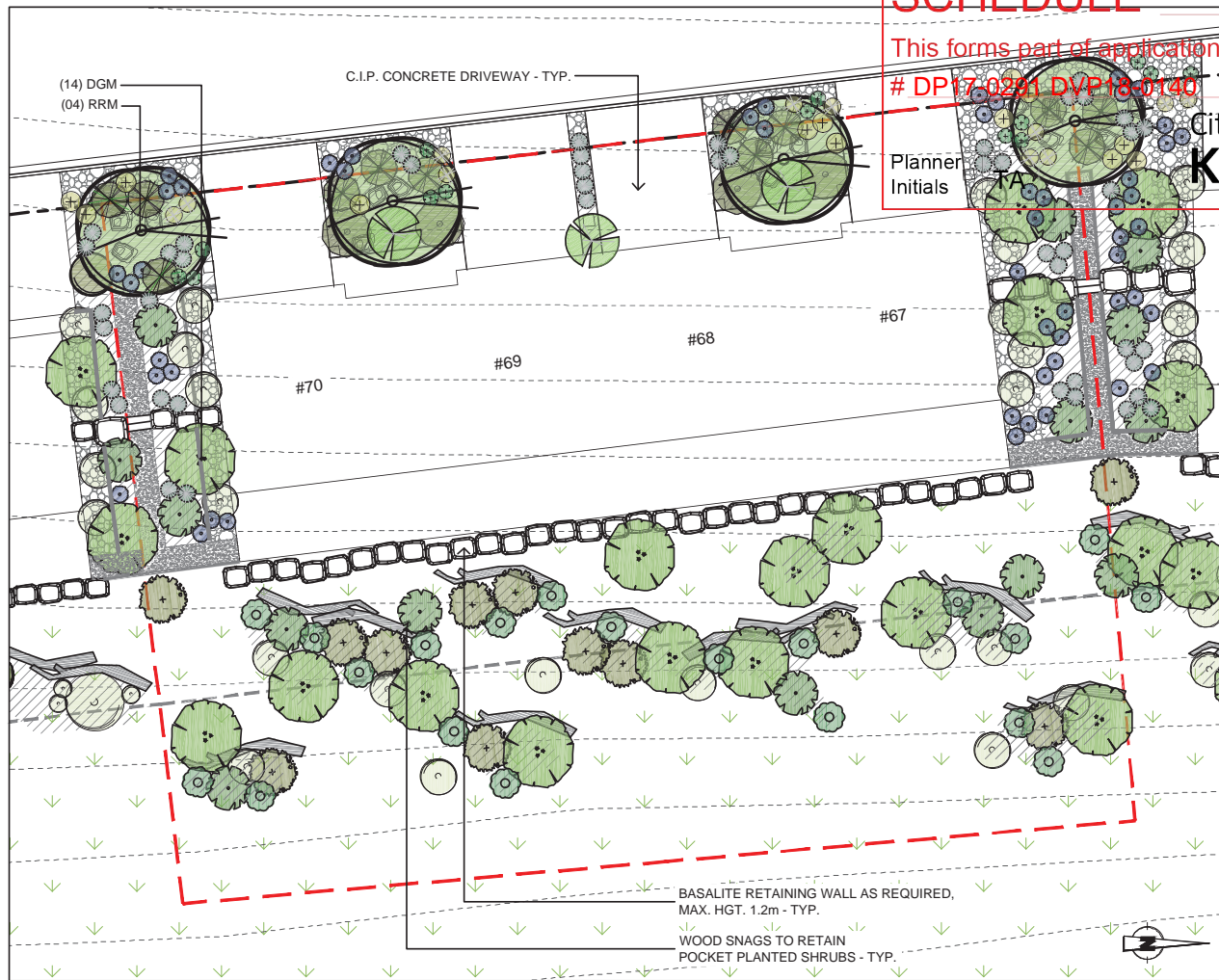
SCHEDULE

C

This forms part of application
DP17-0291 DVP18-0140

Planner
Initials

City of
Kelowna
COMMUNITY PLANNING



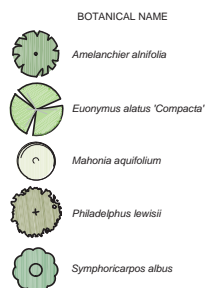
LANDSCAPE PLAN

LEGEND

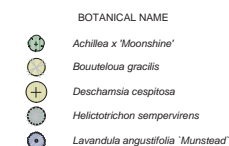
PLANT LIST

SYMBOL	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	MATURE PLANT SIZE (Ht. x Wd.)
TREES						
DGM	14	<i>Acer glabrum</i>	Douglas Maple	#05		12.0m x 6.0m
RRM	4	<i>Acer rubrum</i> 'Red Rocket'	Red Rocket Maple	60mm Cal.	B.&B.	9.00m x 2.50m
SHRUBS						
sks	10	<i>Amelanchier alnifolia</i>	Saskatoon Serviceberry	#02	Potted	1.8m x 1.8m
dbb	3	<i>Euonymus alatus</i> 'Compacta'	Dwarf- Winged Burning Bush	#05	Potted	3.0m x 3.0m
sjr	10	<i>Juniperus sabina</i>	Savin Juniper	#01	Potted	1.25m x 2.50m
mel	34	<i>Lavandula angustifolia</i> 'Munstead'	Munstead English Lavender	#01	Potted	0.40m x 0.60m
org	19	<i>Mahonia aquifolium</i>	Oregon Grape	#01	Potted	1.8m x 1.5m
mup	4	<i>Pinus mugo</i> 'Mughus'	Mugo Pine	#05	Potted	1.5m x 1.5m
mco	11	<i>Philadelphus lewisii</i>	Mock Orange	#02	Potted	1.8m x 1.8m
snb	19	<i>Symphoricarpos albus</i>	Snowberry	#01	Potted	1.8m x 1.8m
GRASSES / PERENNIALS						
msy	11	<i>Achillea x 'Moonshine'</i>	Moonshine Yarrow	#01	Potted	0.6m x 0.6m
blg	9	<i>Bouteloua gracilis</i>	Blue Grama	#01	Potted	0.6m x 0.6m
thg		<i>Deschamsia cespitosa</i>	Tufted Hair Grass	#01	Potted	0.8m x 0.75m
bog	27	<i>Helictotrichon sempervirens</i>	Blue Oat Grass	#01	Potted	0.75m x 0.75m

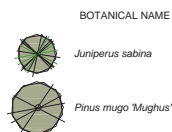
SHRUBS LEGEND



PERENNIALS / GRASSES LEGEND



PLANT LEGEND



BARK MULCH - 75mm DEEP
TYPE: BLACK BARK MULCH / COARSE
SUPPLIER: BETTER EARTH (250-861-1881)
QUANTITY: 151m²

DECORATIVE COBBLE - 200mm DEEP OVER FABRIC
TYPE: WASHED RIVER ROCK - 1 PART 100mm, 1 PART 150mm, 1 PART 200mm
SUPPLIER: TO BE DETERMINED BY CONTRACTOR AND APPROVED BY LANDSCAPE ARCHITECT
QUANTITY: 75m²

CRUSHED STONE
TYPE: 3/4" MINUS
SUPPLIER: TO BE DETERMINED BY CONTRACTOR AND APPROVED BY LANDSCAPE ARCHITECT
QUANTITY: 17m²

FEATURE BOULDERS
TYPE: STONE BOULDERS (750mm - 1500mm (L / W / H) OR APPROVED EQUALS
SUPPLIER: CLIENT
QUANTITY: 12

HYDROSEED - BY OTHERS

EDGER A
TYPE: 2" x 4" BEND-A-BOARD PLASTIC HEADER w/ STAKES @ 3'-0" O.C.
SUPPLIER: BASALITE CONC. PRODUCTS OR APPROVED EQUAL
QUANTITY: 36 l.m.

NOTE:

QUANTITIES NOTED ARE PER THE EXTENTS SHOWN ON DRAWING. QUANTITIES FOR STREETScape WORK AND HYDROSEEDING ARE NOT INCLUDED. REFER TO STREETScape DRAWING AND S.O.Q. FOR INFORMATION.

SHEET TITLE
MULTI FAMILY LOT 67-70 LANDSCAPE PLAN

SOLSTICE PHASE 2 - INDIVIDUAL LOT PLANTING PLANS

wsp

SCALE 1:200 DATE 29/06/18

SCHEDULE

C

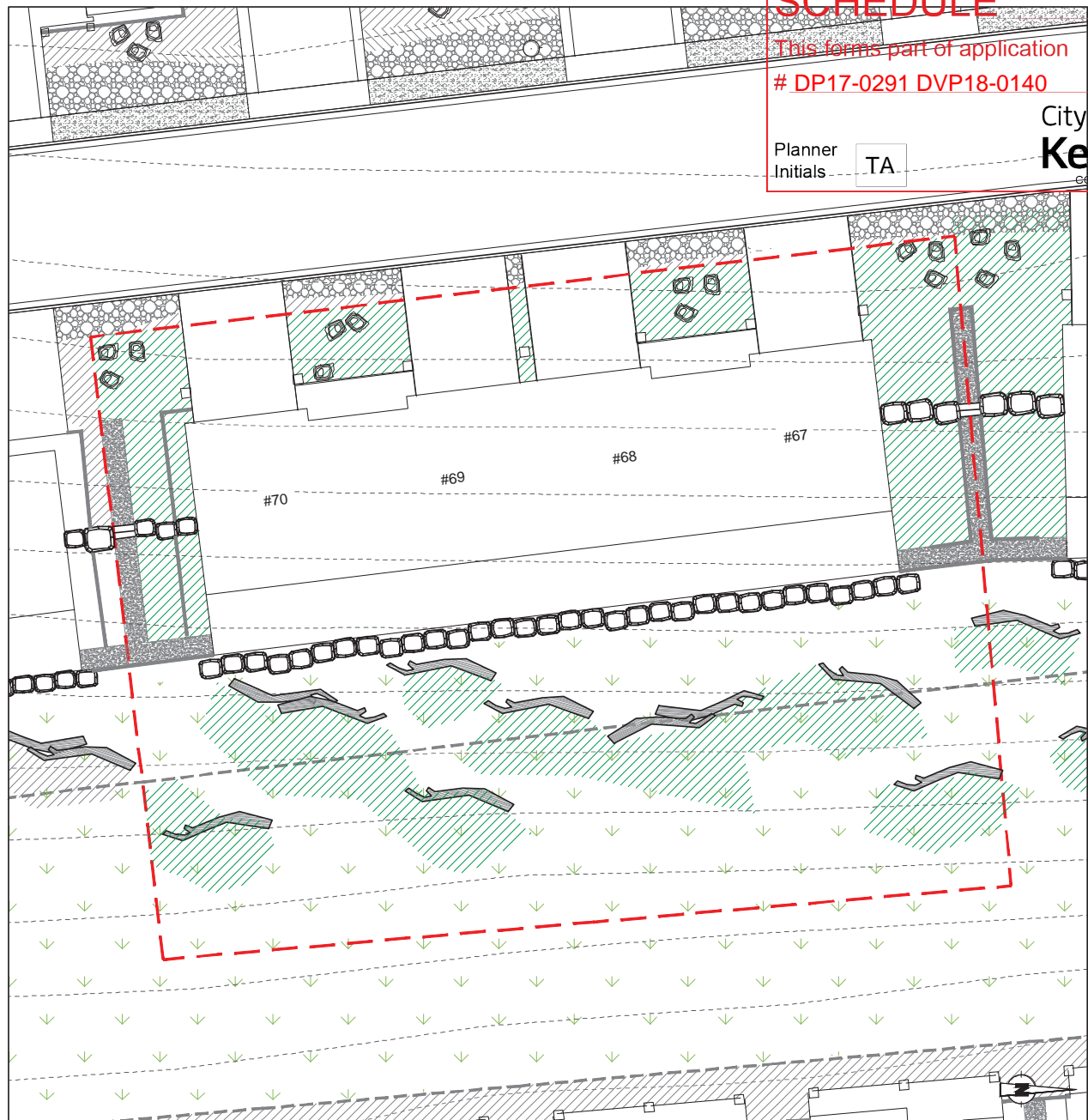
This forms part of application
DP17-0291 DVP18-0140

Planner
Initials TA

City of
Kelowna
COMMUNITY PLANNING



PLAN - 85 INTERIOR 1/13 (500-100L-TOWERMAN) (500 - PRODUCTION) (500 - CURRENT LAND PHASE 2 AND LOT PLANS) (1/13/2018-001) LOT PLANTING



HYDROZONE PLAN

LEGEND



LOW WATER REQUIREMENTS
- 233.0m2

SHEET TITLE
MULTI FAMILY LOT 67-70 HYDROZONE PLAN

SOLSTICE PHASE 2 - INDIVIDUAL LOT PLANTING PLANS

wsp

SCALE 1:200 DATE 29/06/18