
CITY OF KELOWNA
MEMORANDUM

Date: June 14, 2018
File No.: Z18-0030

To: Community Planning Department (JR)

From: Development Engineering Manager (Revised Comments)

Subject: 5321 Grouse Avenue Land Use Contract to RU1 – Large Lot Housing

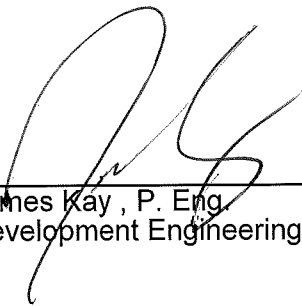
Development Engineering Services have the following requirements associated with this rezoning application to facilitate a building addition to the primary dwelling and garage and also the addition of a secondary suite within the primary dwelling.

1. Domestic Water and Fire Protection

The property is located in South Mission Water ESA 14 CWS-20 The water charge for this property as proposed is an additional 0.5 equivalent dwelling units (EDU). therefore the fee is (0.5 of \$4,029.00) **\$2,014.50** (effective to 2018-09-29)

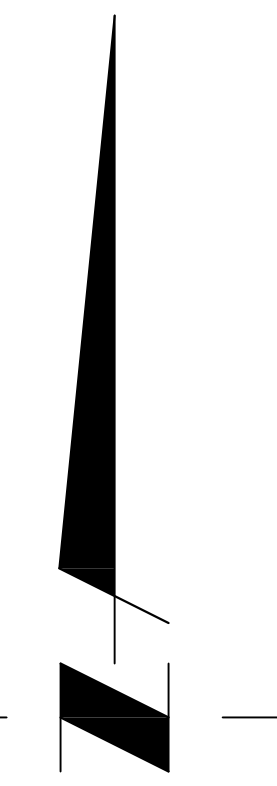
2. Sanitary Sewer

The property is located in Sewer Connection Area No. 28 (Okaview). The sewer charge for this property as proposed is 0.5 equivalent dwelling units (EDU). Therefore the fee is (0.5 of \$16,200) **\$8,100.00**.



James Kay , P. Eng.
Development Engineering Manager
JF

ATTACHMENT		A
This forms part of application		
# LUC18-0002		
Z18-0030		
Planner Initials	JR	 City of Kelowna COMMUNITY PLANNING



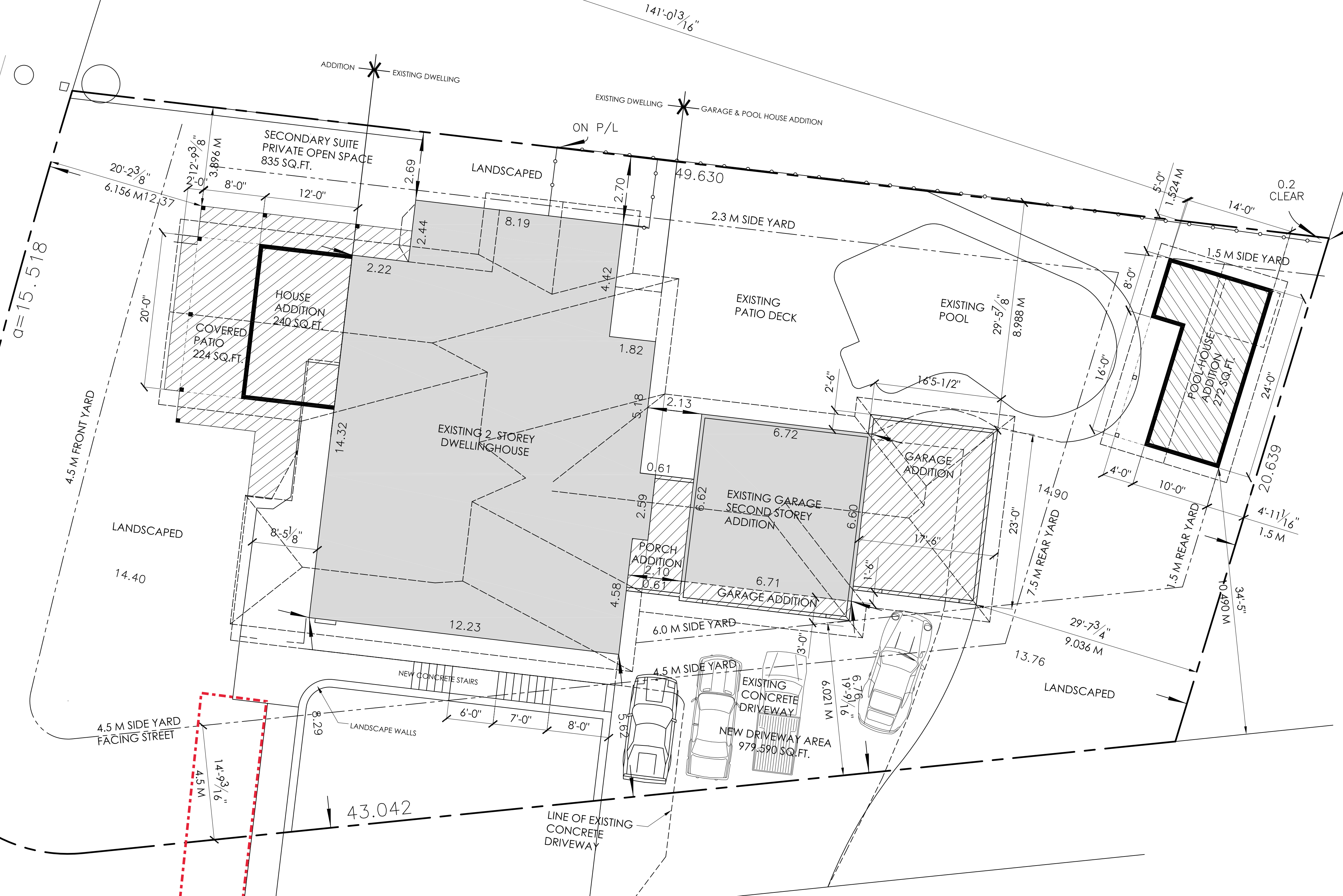
STELLER DRIVE

GROUSE AVENUE

SITE PLAN

SCALE 1/8" = 1'-0"

Location of secondary driveway: to be removed



LEGAL

LOT 18 SECTION 23
TWP 28 S.D.Y.D.
PLAN 32481

ADDRESS

5321 GROUSE AVE
KELOWNA BC V1W 4K7

ZONING

LUC 77-1001 A-4 TO BE RE-ZONED TO RU1 - LARGE LOT HOUSING WITH SECONDARY SUITE
MAXIMUM BUILDING HEIGHT - 2 STOREYS OR 9.5 M = 31.167' PROPOSED 7.163 M = 23'-6"
ACCESSORY BUILDING 4.5M = 14.764' PROPOSED 4.115 M = 13.500'

SITING OF PRINCIPLE BUILDING

FRONT YARD - WEST	MINIMUM	4.5 M
	PROPOSED	6.156 M
SIDE YARD - NORTH	MINIMUM	2.300 M FOR TWO STOREY BUILDING
	EXISTING	2.690 M
SIDE YARD - SOUTH	MINIMUM	4.500 M FROM FLANKING STREET
	EXISTING	5.62
FROM NEW GARAGE	MINIMUM	6.0 M
	PROPOSED ADDITION	6.021 M
REAR YARD - EAST	MINIMUM	7.500 M
	PROPOSED ADDITION	9.036 M

SITING OF ACCESSORY BUILDING

FRONT YARD - WEST	MINIMUM	18.000 M
	PROPOSED	42.997 M
SIDE YARD - NORTH	MINIMUM	1.500 M
	PROPOSED	1.524 M
SIDE YARD - SOUTH	MINIMUM	4.500 M FROM FLANKING STREET
	PROPOSED	10.490 M
REAR YARD - EAST	MINIMUM	1.500 M
	PROPOSED	1.500 M

MAXIMUM AREA OF ACCESSORY BUILDING 14% OF LOT COVERAGE TO A MAX OF 90 SQ.M.
PROPOSED LOT COVERAGE 2.006 % 25.270 SQ.M. = 272 SQ.FT.

SITE AREA

13,560.514 SQ.FT. = 1259,813 SQ.M.
MAX SITE COVERAGE AT 40% = 5,424.206 SQ. FT. = 503,925 SQ.M.

EXISTING BUILDING AREAS AT FOUNDATION

HOUSE	2109.333 SQ.FT.
GARAGE	484.000 SQ.FT.

PROPOSED ADDITIONS

FRONT ADDITION	240.000 SQ.FT.
FRONT COVERED DECK	224.000 SQ.FT.
GARAGE ADDITIONS	424.146 SQ.FT.
PORCH (BREEZEWAY) ADDITION	91.792 SQ.FT.
NEW POOL-HOUSE	272.000 SQ.FT.

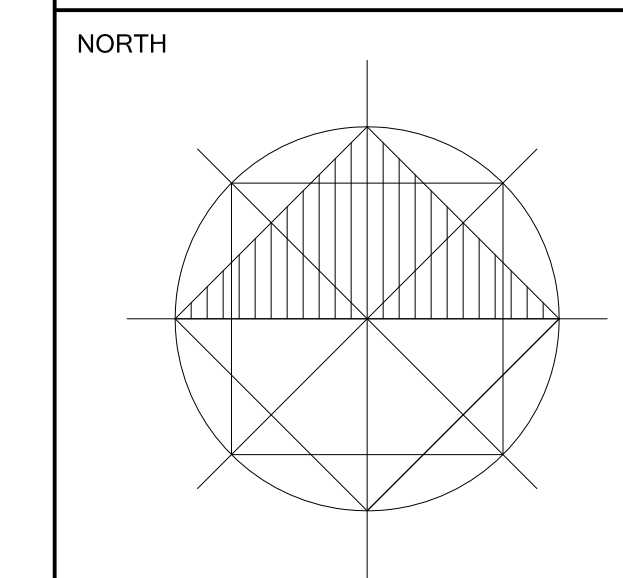
TOTAL BUILDING AREA 3845.271 SQ.FT. = 357,237 SQ. M.

TOTAL SITE COVERAGE-BUILDINGS	
MAX 40%	PROPOSED 28,340 %
TOTAL SITE COVERAGE- BUILDINGS & DRIVEWAY	
MAX 50%	PROPOSED 35,580 %

SECONDARY SUITE
MAXIMUM FLOOR AREA OF SECONDARY SUITE 90 SQ/M. OR 40% OF TOTAL FLOOR AREA OF PRINCIPAL BUILDING
PROPOSED SECONDARY SUITE AREA 89.101 SQ.M. = 959.076 SQ.FT.
PRINCIPAL BUILDING AREA

REVISIONS:

Issued for Review	MAR 01, 2018
Issued for Permit	-
Issued for Construction	-



PROJECT
SAUVERWALD HOUSE
ADDITION & RENOVATION

5321 GROUSE AVE
KELOWNA BC

DRAWING TITLE
SITE PLAN

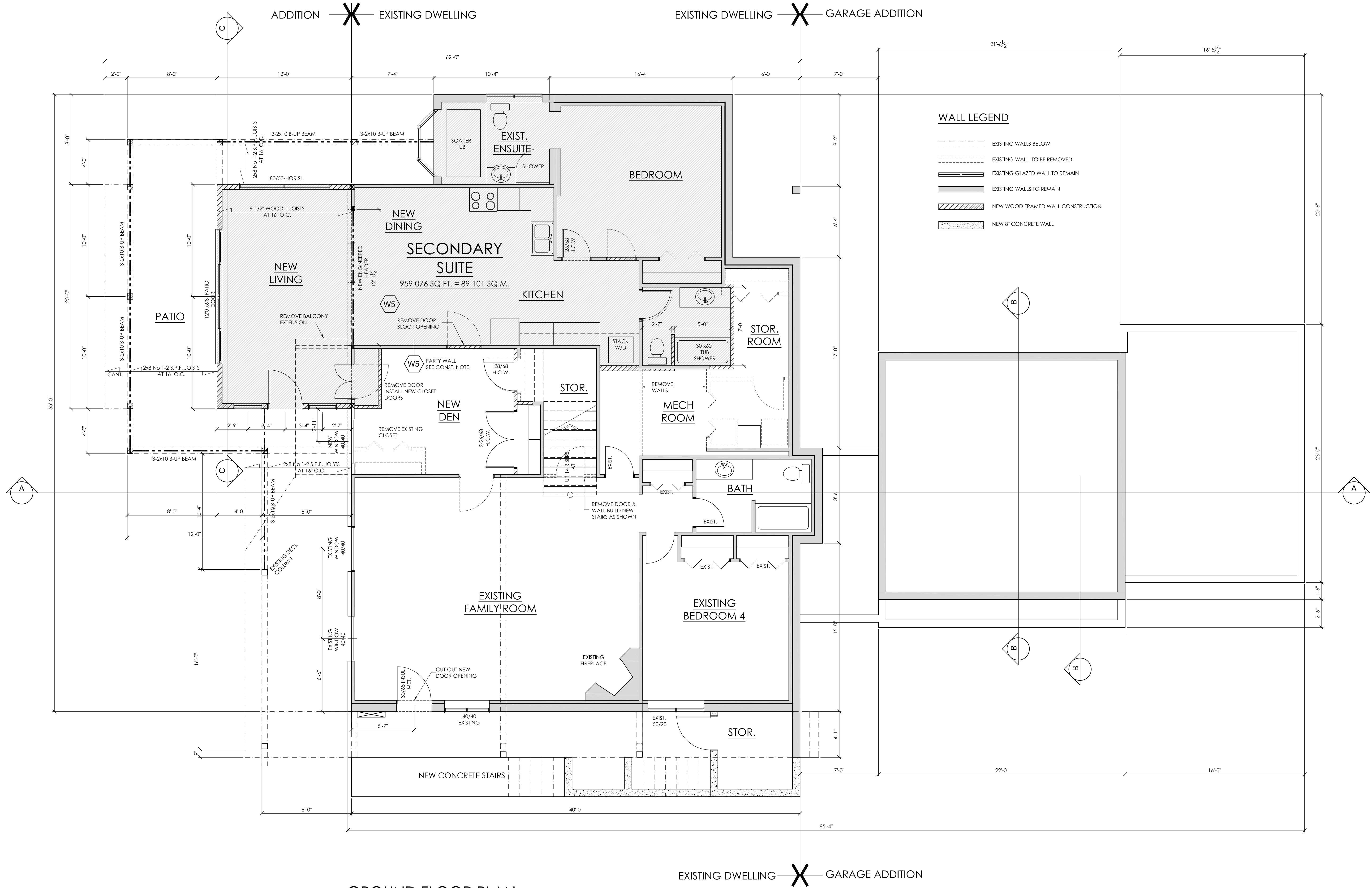
PROJECT NO	2016-126
DATE	JUNE 2016
DRAWN	Ray Lefebvre
SCALE	1/8"=1'-0"

DRAWING NO

SCHEDULE A

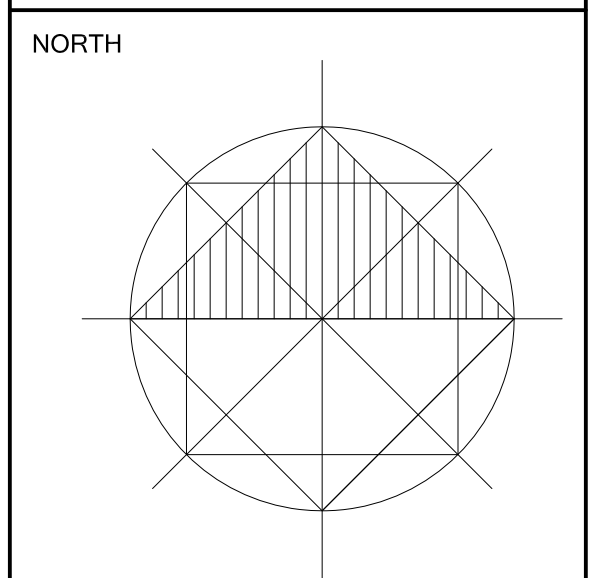
This forms part of application
LUC18-0002
Z18-0030

Planner Initials JR



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PROJECT
**SAUVERWALD HOUSE
ADDITION & RENOVATION**

5321 GROUSE AVE
KELOWNA BC

DRAWING TITLE
GROUND FLOOR PLAN

PROJECT NO	2016-126
DATE	JUNE 2016
DRAWN	Ray Lefebvre
SCALE	1/8"=1'-0"

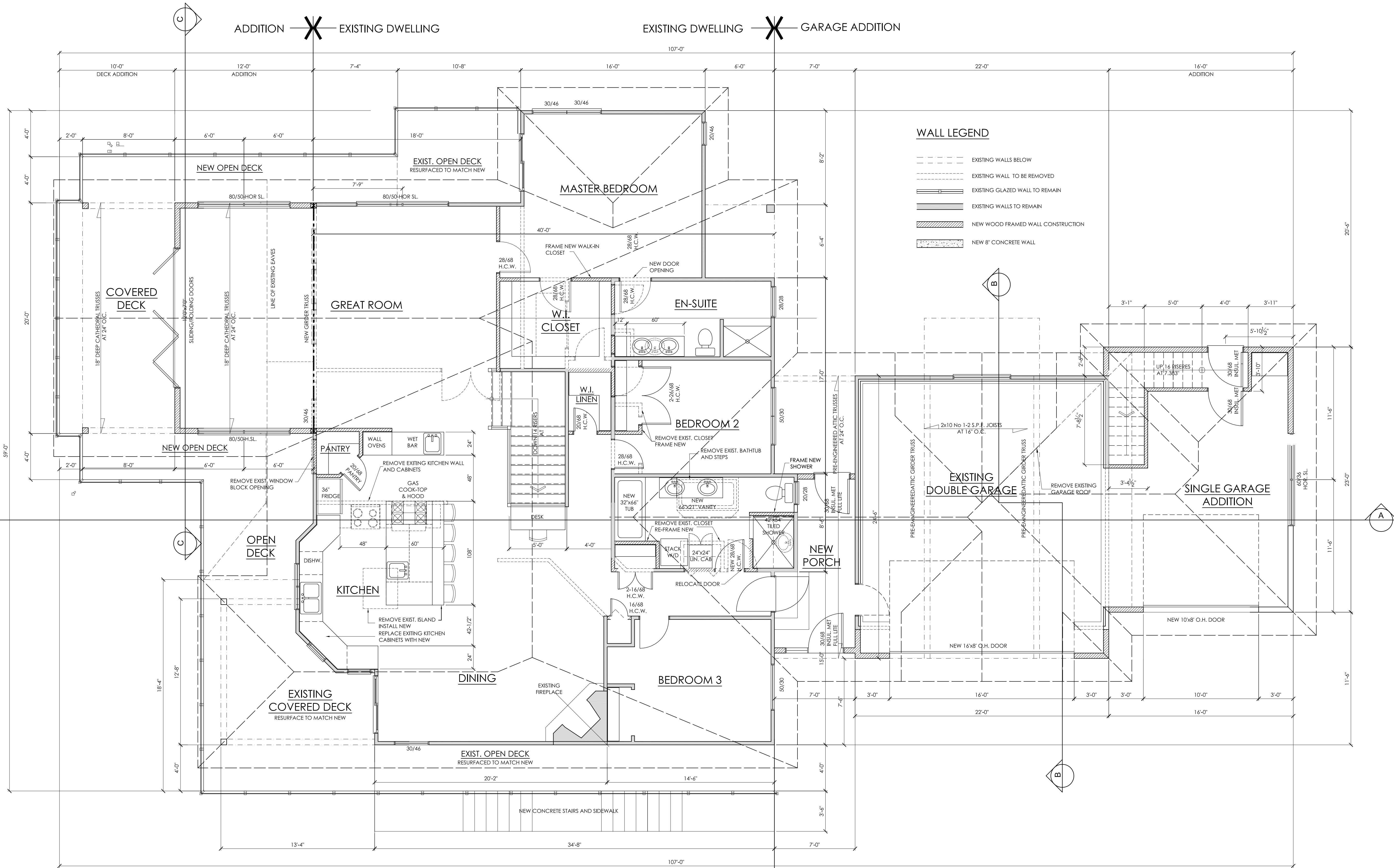
DRAWING NO

3 of 9

SCHEDULE A

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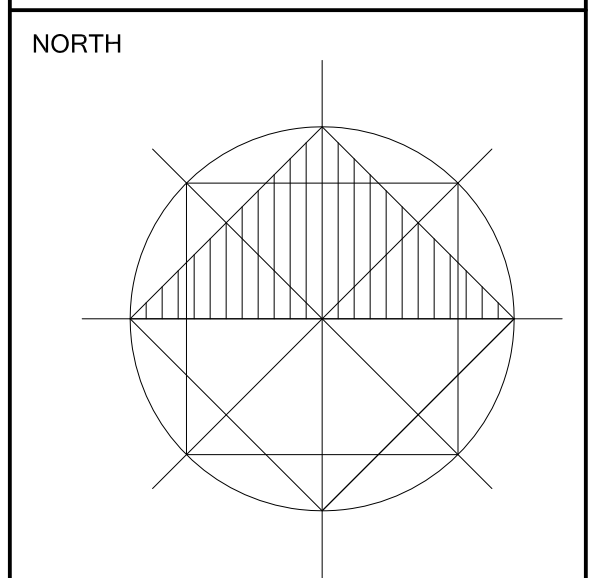
Planner Initials JR



MAIN FLOOR PLAN
SCALE 1/4" = 1'-0"

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ADDITION & RENOVATION**

5321 GROUSE AVE
KELOWNA BC

DRAWING TITLE
MAIN FLOOR PLAN

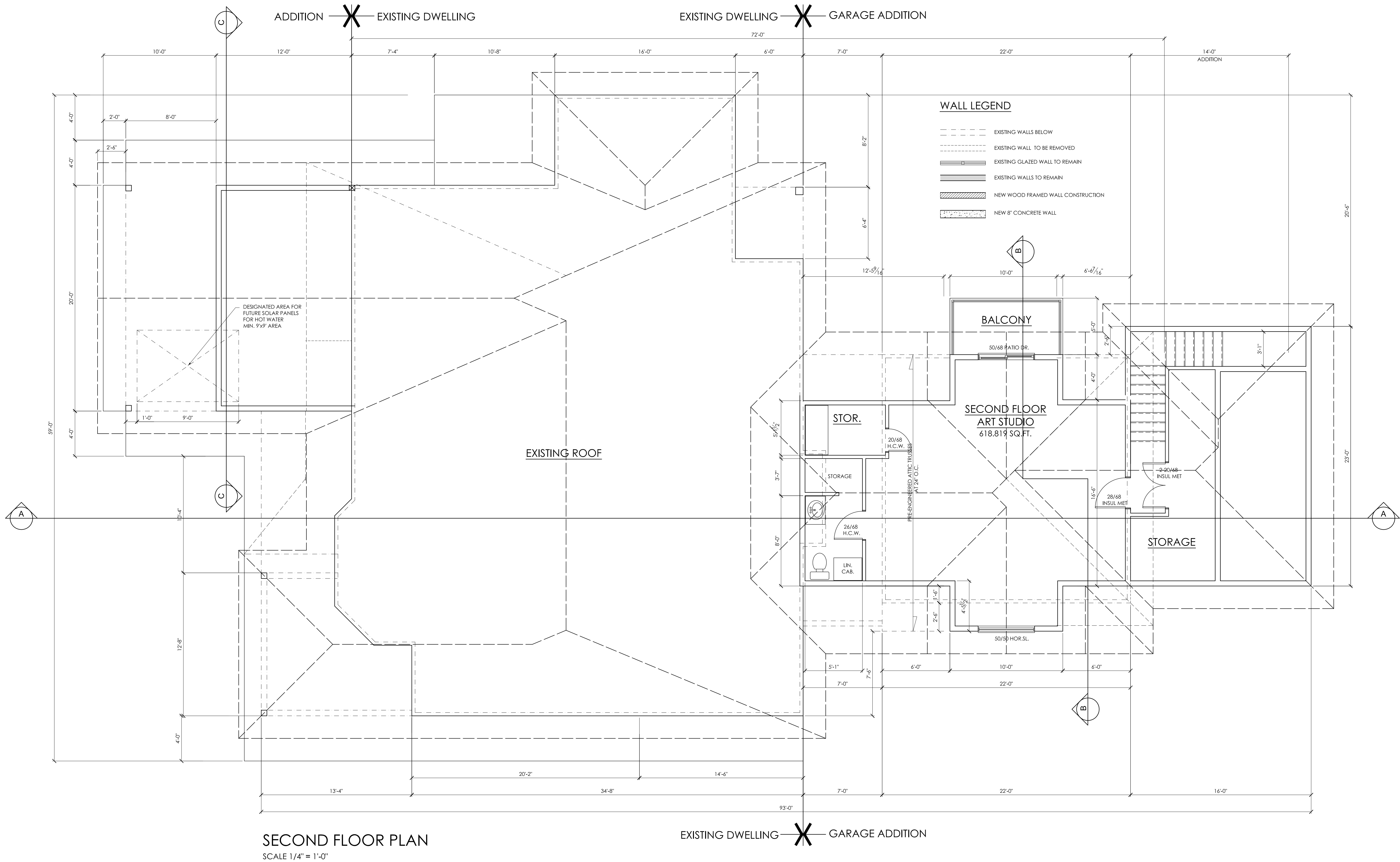
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DRAWING NO

SCHEDULE A

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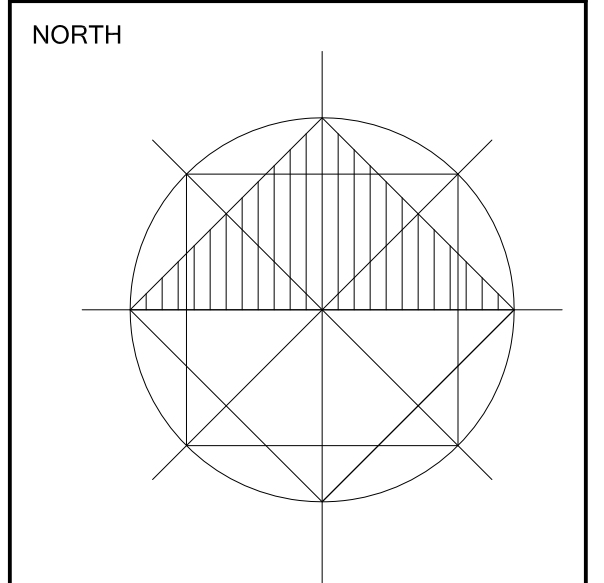


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PROJECT
SAUVERWALD HOUSE
ADDITION & RENOVATION

5321 GROUSE AVE
KELOWNA BC

DRAWING TITLE

SECOND FLOOR PLAN
STUDIO OVER GARAGE

PROJECT NO 2016-126

DATE JUNE 2016

DRAWN Ray Lefebvre

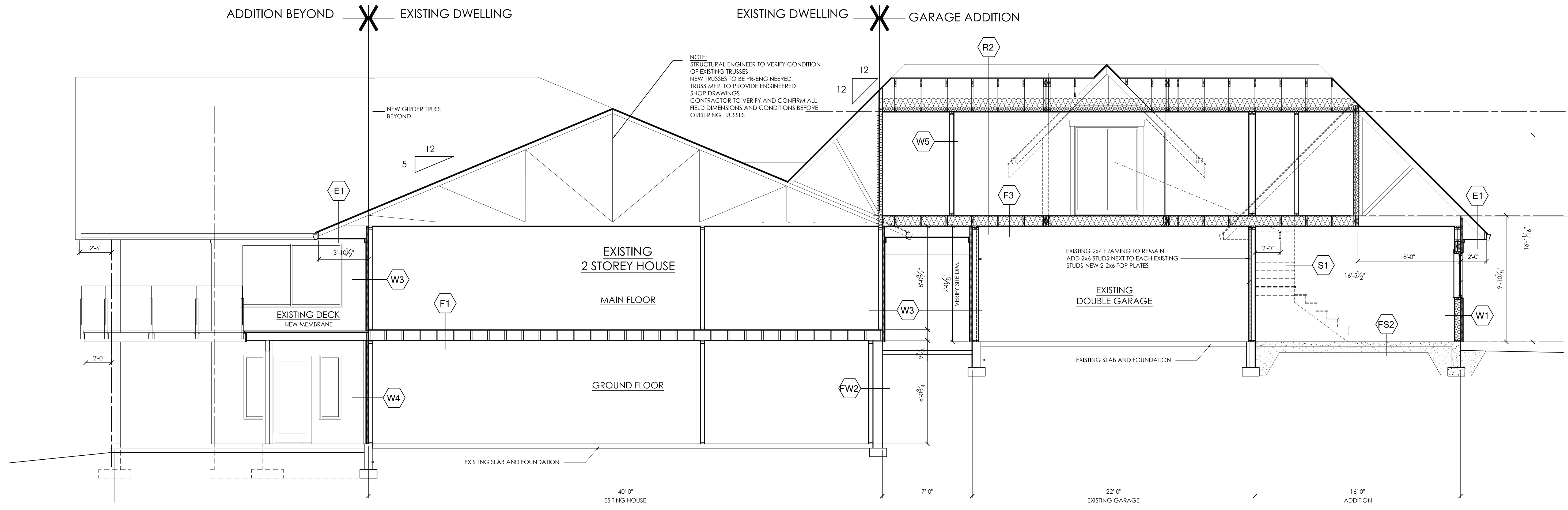
SCALE 1/8" = 1'-0"

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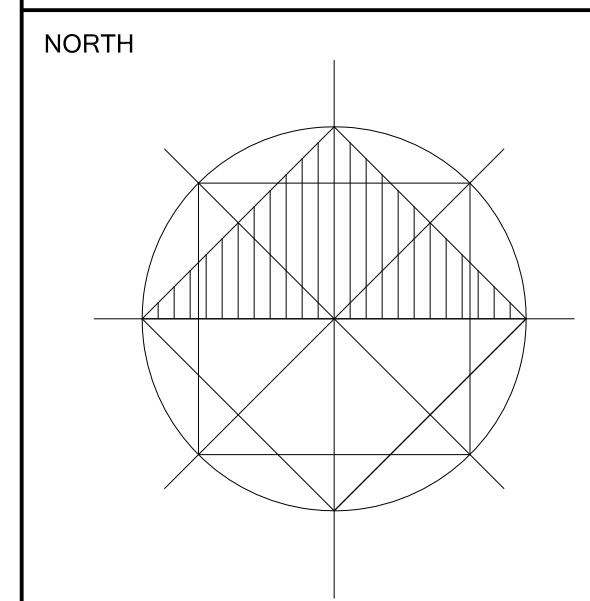
SECTION A-A
SCALE 1/4" = 1'-0"

CONSTRUCTION NOTES

- | | | | | | |
|---|--|--|--|--|--|
| <p>ROOF CONSTRUCTION</p> <p>R1 ROOF CONSTRUCTION - CATHEDRAL TRUSS
PRE-FINISHED METAL ROOF TILES
15 LB. ROOFING FELT
1/2" PLY ROOF SHEATHING C.W. H-CUPS
PRE-ENGINEERED CATHEDRAL TRUSSES AT 24" O.C.
R 38+12 BATT INSULATION
6 MIL POLY VAPOUR BARRIER
1/2" CD GYPSUM CEILING BOARD -PAINT FINISH</p> <p>R2 ROOF CONSTRUCTION-ATTIC TRUSS
PRE-FINISHED METAL ROOF TILES
15 LB. ROOFING FELT
1/2" PLY ROOF SHEATHING C.W. H-CUPS
PRE-ENGINEERED ATTIC TRUSSES AT 24" O.C.
R 28+12 BATT INSULATION
6 MIL POLY VAPOUR BARRIER
1/2" CD GYPSUM CEILING BOARD
PAINT FINISH</p> <p>R3 ROOF CONSTRUCTION-ATTIC TRUSS
PRE-FINISHED METAL ROOF TILES
15 LB. ROOFING FELT
1/2" PLY ROOF SHEATHING C.W. H-CUPS
PRE-ENGINEERED DORMER TRUSSES AT 24" O.C.
R 28+12 BATT INSULATION
6 MIL POLY VAPOUR BARRIER
1/2" CD GYPSUM CEILING BOARD
PAINT FINISH</p> | <p>FOUNDATION WALL CONSTRUCTION</p> <p>FW1 FOUNDATION WALL-BELOW GRADE
8" X24" FOURSIDED CONCRETE
3-1/2" EPS INSULATION</p> <p>FW2 EXISTING FOUNDATION WALL-BELOW GRADE
8" X8" FOURSIDED CONCRETE
AIR BARRIER
1" AIR SPACE
2x4 STUDS AT 16" O.C.
3-1/2" BATT INSULATION - 6MIL POLY V.B.
1/2" GYP. BRD.</p> | <p>WOOD FRAMED WALL CONSTRUCTION</p> <p>W1 NEW EXTERIOR WALL CONSTRUCTION-STUCCO
EPS WITH 1-1/2" EPS INSULATION
60 MIN. AIR BARRIER
7/16" OSB SHEATHING
2x6 K.D. NO 1-2 S.P.F. STUDS AT 16" O.C.
R-24 FRICTION FIT BATT INSULATION
6 MIL POLY VAPOUR BARRIER
1/2" GYPSUM WALL BOARD-PAINT FINISH</p> <p>W2 NEW EXTERIOR WALL CONSTRUCTION-STONE
THIN SET STONE ON MORTAR BASE
C.W. EXPANDED METAL MESH
60 MIN. AIR BARRIER
1" EPS INSULATION
1/2" O.S.B. OR PLYWOOD SHEATHING
2x6 STUDS AT 16" O.C.
R-20 FRICTION FIT BATT INSULATION
6 MIL POLY VAPOUR BARRIER
1/2" GYPSUM WALL BOARD-PAINT FINISH</p> <p>W3 EXISTING EXTERIOR WALL CONSTRUCTION-STUCCO
EPS WITH 1-1/2" EPS INSULATION
60 MIN. AIR BARRIER
EXISTING PLYWOOD SHEATHING
EXISTING 2x4 STUDS AT 16" O.C.
EXISTING R-12 FRICTION FIT BATT INSULATION
EXISTING 6 MIL POLY VAPOUR BARRIER
1/2" GYPSUM WALL BOARD-PAINT FINISH</p> <p>W4 EXISTING EXTERIOR WALL CONSTRUCTION-STONE
THIN SET STONE ON MORTAR BASE
C.W. EXPANDED METAL MESH
60 MIN. AIR BARRIER
1" EPS INSULATION
EXISTING PLYWOOD SHEATHING
EXISTING 2x4 STUDS AT 16" O.C.
EXISTING R-12 FRICTION FIT BATT INSULATION
EXISTING 6 MIL POLY VAPOUR BARRIER
1/2" GYPSUM WALL BOARD-PAINT FINISH</p> <p>W5 SUITE PARTY WALL CONSTRUCTION
TYPE W42-1HR F.R.R.-STC S1
EXISTING 2x4 STUDS AT 16" O.C.
2 LAYERS OF 5/8" TYPE X GYP. BRD. ON
RC CHANNELS AT 24" O.C.
5/8" TYPE X GYPSUM BOARD ON STUD SIDE</p> <p>W6 INTERIOR PARTITION
1/2" GYPSUM BRD. -PAINT FIN.
2x4 NO 1-2 S.P.F. STUDS AT 16" O.C.
1/2" GYPSUM TYPE - PAINT FIN.</p> <p>W7 INTERIOR LOAD BEARING & PLUMBING WALL
1/2" GYPSUM BRD. -PAINT FIN.
2x4 NO 1-2 S.P.F. STUDS AT 16" O.C.
1/2" GYPSUM TYPE - PAINT FIN.</p> | <p>CONCRETE FLOOR CONSTRUCTION</p> <p>FS1 GROUND FLOOR SLAB
4" CONCRETE SLAB
C.W. 10 M BARS AT 24" O.C.
R10 EXTRUDED POLYSTYRENE INSUL
6 MIL POLY VAPOUR BARRIER
6" COMPACTED CRUSHED GRAVEL</p> <p>FS2 GARAGE FLOOR SLAB
4" CONCRETE SLAB-SLOPED 2% TO O.H. DR.
C.W. 10 M BARS AT 16" O.C.
6 MIL POLY VAPOUR BARRIER
6" COMPACTED CRUSHED GRAVEL</p> | <p>WOOD FLOOR CONSTRUCTION</p> <p>F1 FLOOR CONSTRUCTION-EXISTING
FLOORING OVER UNDERLAY
5/8" T&G PLY SUBFLOOR
2x10 NO 1-2 S.P.F. JOISTS AT 16" AT 16" O.C.
1/2" CD GYP. BRD.</p> <p>F2 FLOOR CONSTRUCTION
TYPE F7C - F.R.R. - 1HR-STC 54
FLOORING OVER UNDERLAY
3/4" T&G PLY OR OSB SUBFLOOR
9-1/2" TJI-560 AT 16" O.C.
3-1/2" MINERAL WOOL SOUND INSULATION
RC CHANNELS AT 16" O.C.
2 LAYERS OF 5/8" TYPE X GYP. BRD.</p> <p>F3 FLOOR CONSTRUCTION-OVER GARAGE
FLOORING OVER UNDERLAY
3/4" T&G PLY OR OSB SUBFLOOR
2x10 JOIST (ATTIC TRUSS-BOT. CHORD)
6 MIL POLY V.B.
R 28 BATT INSULATION
1/2" CD GYP. BRD. -PAINT FINISH</p> | <p>MISCELLANEOUS CONSTRUCTION</p> <p>E1 EAVE CONSTRUCTION
ICE AND WATER SHIELD MEMBRANE
FROM ROOF EDGE EXTENDING TO MIN 12"
FROM THE INSIDE EXTERIOR WALL FACE
2x6 ROUGH FASCIA
5/4x8 FASCIA
SEAMLESS ALUM. FASCIA GUTTER
C.W. ROOF EDGE FLASHING
VENTED ALUMINUM OR PVC SOFFIT</p> <p>D1 DECK CONSTRUCTION
80 MIL PVC DECK MEMBRANE ADHERED TO
3/4" T&G PLY SUBFLOOR
2x8 NO 1-2 S.P.F. JOISTS AT 16" O.C.
TOP FACE SLOPED AT 2%
VENTED ALUM OR PVC SOFFIT</p> <p>S1 STAIR CONSTRUCTION
RISE: AS NOTED ON PLAN
RUN: 10" NOSING; 1"
TREADS: 1x11" PLYWOOD
CUT STRINGERS: 2x12 NO 1 S.P.F.</p> |
|---|--|--|--|--|--|

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PROJECT
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5321 GROUSE AVE
KELOWNA BC

DRAWING TITLE

SECTIONS

PROJECT NO	2016-126
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SCALE	1/8"=1'-0"

DRAWING NO

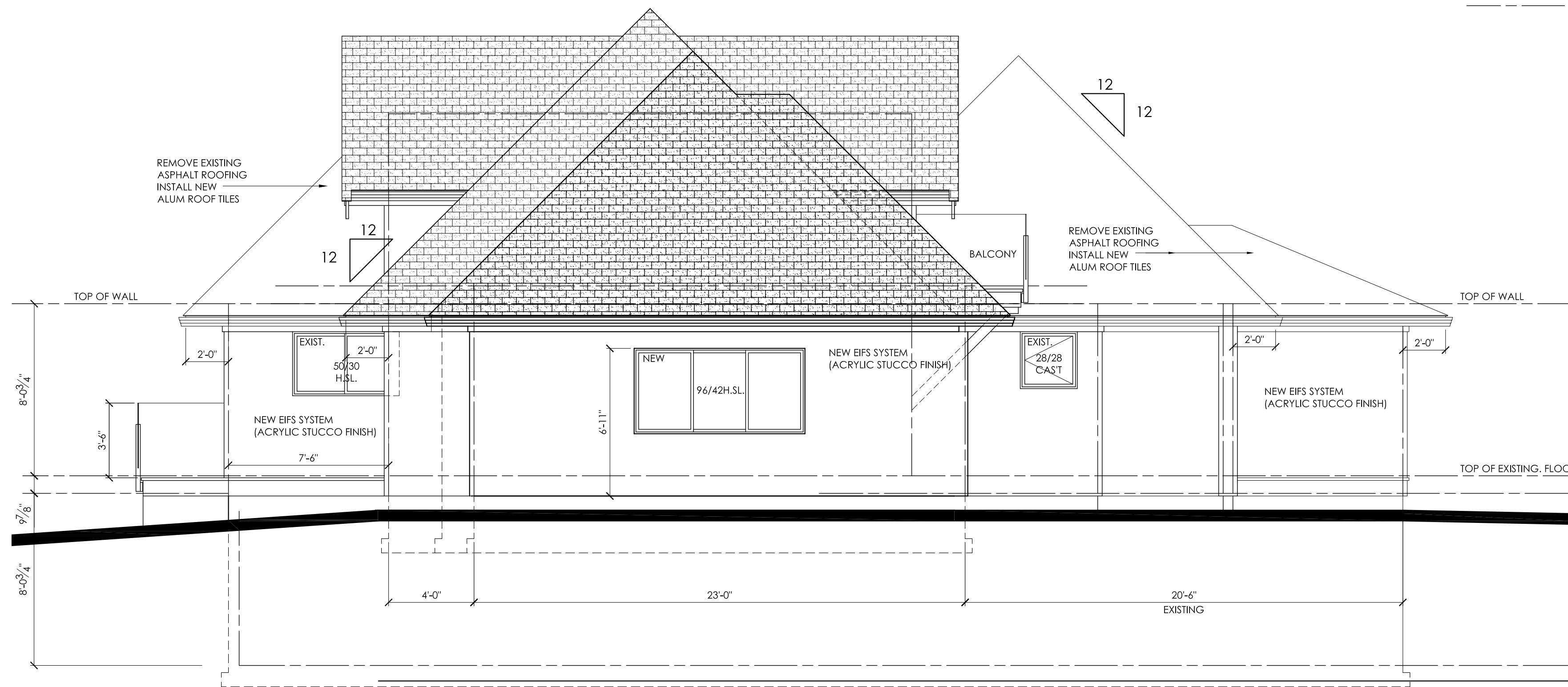
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SCHEDULE B

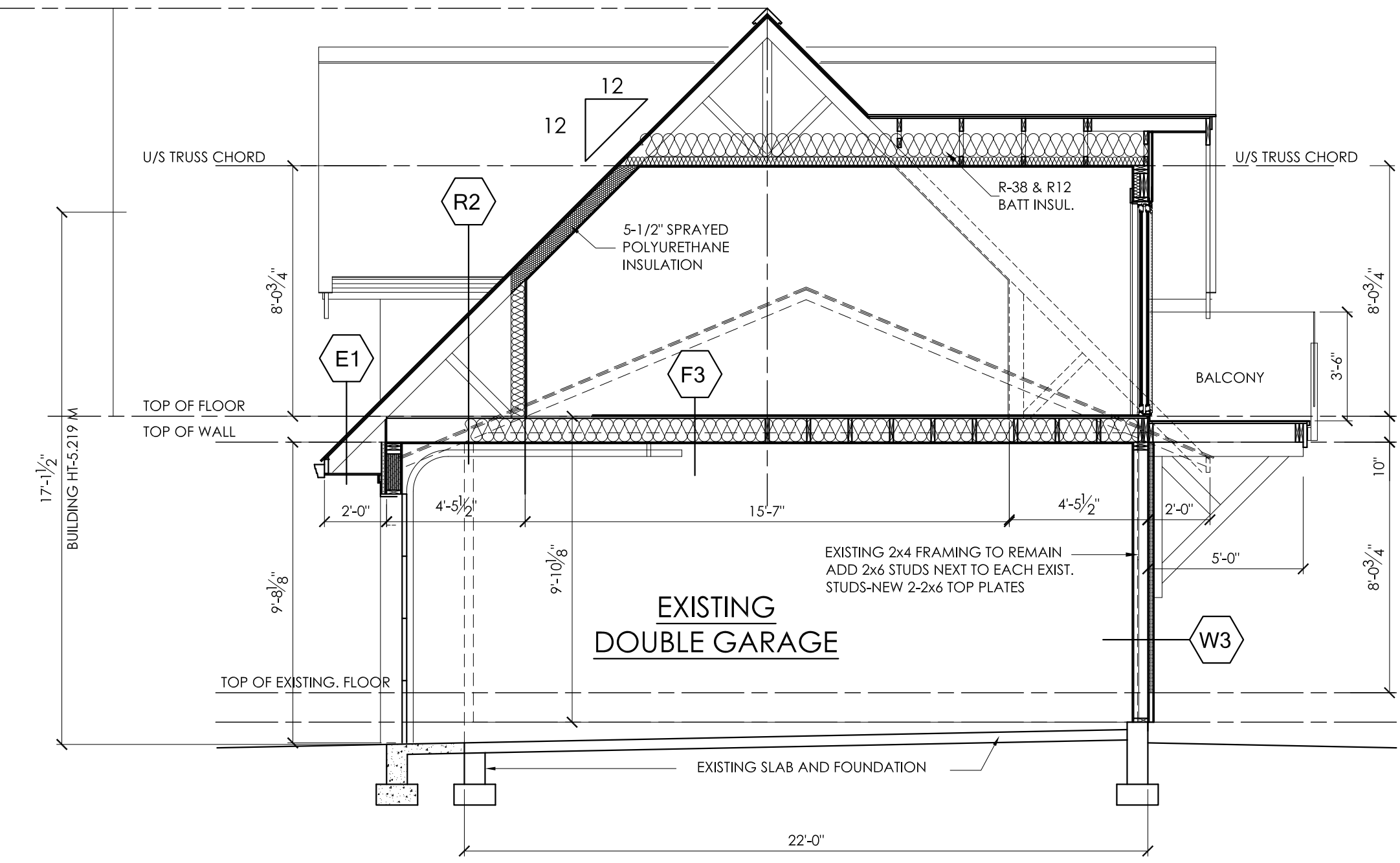
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LUC18-0002
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City of Kelowna
COMMUNITY PLANNING

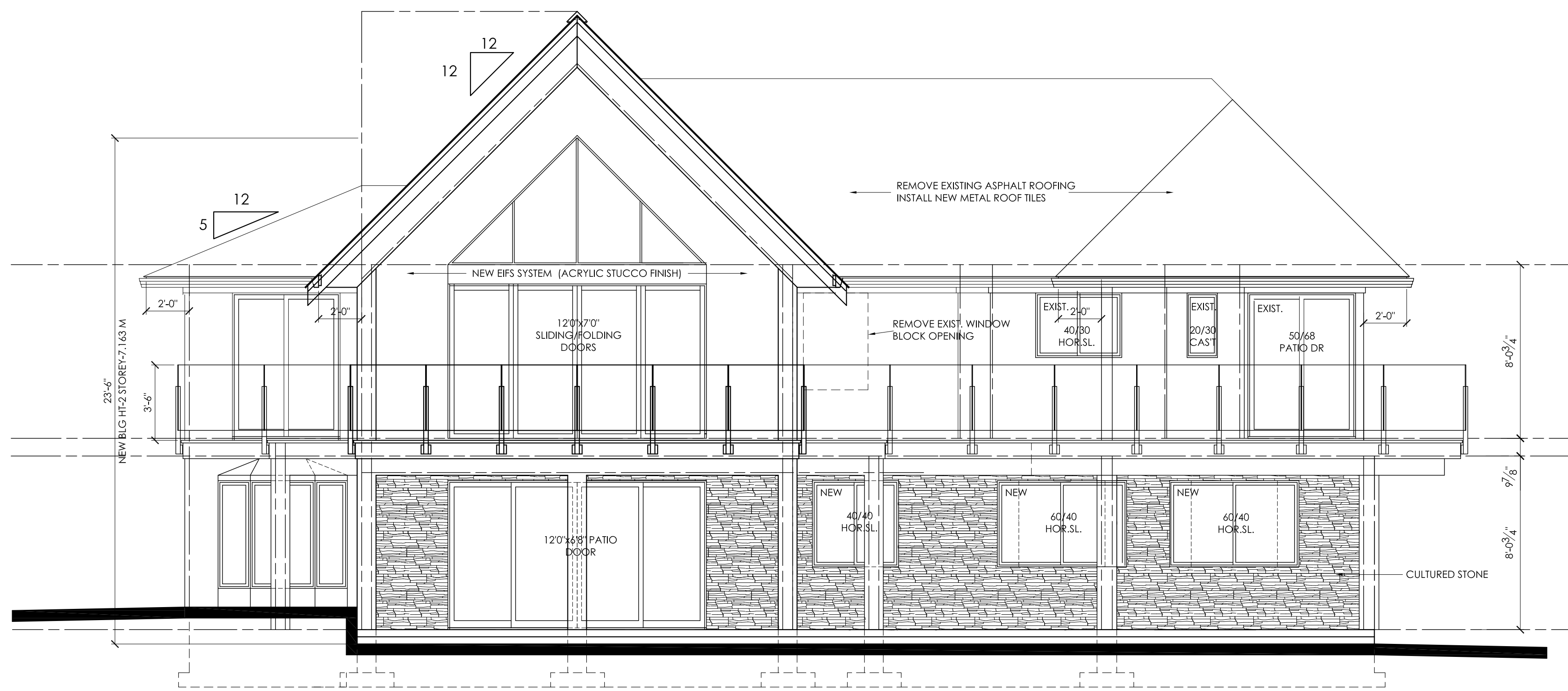
Planner Initials: JR



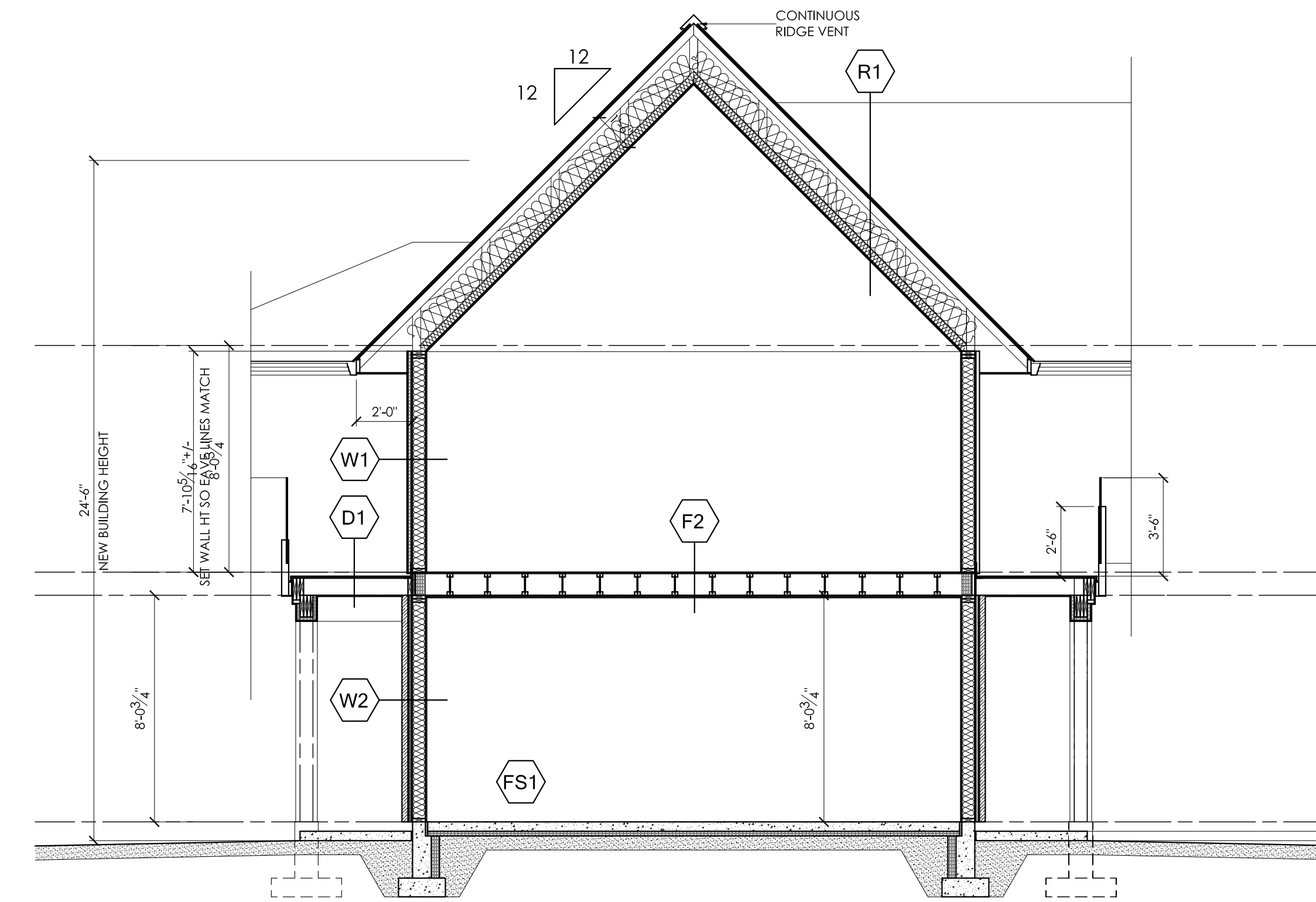
NORTH ELEVATION GARAGE ADDITION
SCALE 1/4" = 1'-0"



SECTION B-B GARAGE ADDITION
SCALE 1/4" = 1'-0"



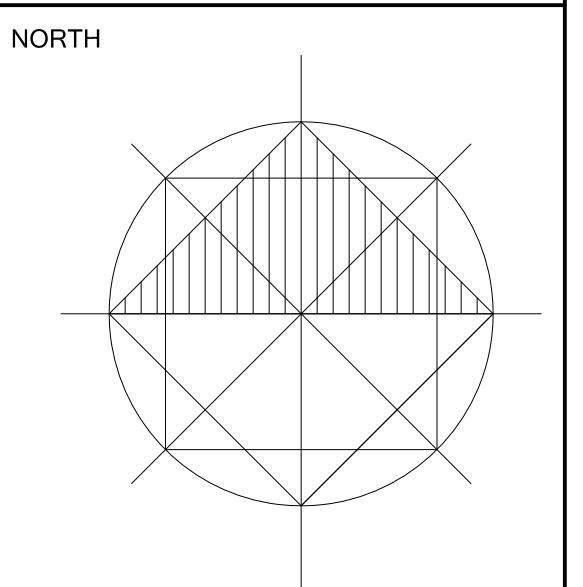
SOUTH ELEVATION -VIEW FROM STELLER DRIVE HOUSE ADDITION
SCALE 1/4" = 1'-0"



SECTION C-C HOUSE ADDITION
SCALE 1/4" = 1'-0"

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PROJECT
SAUERWALD HOUSE
ADDITION & RENOVATION

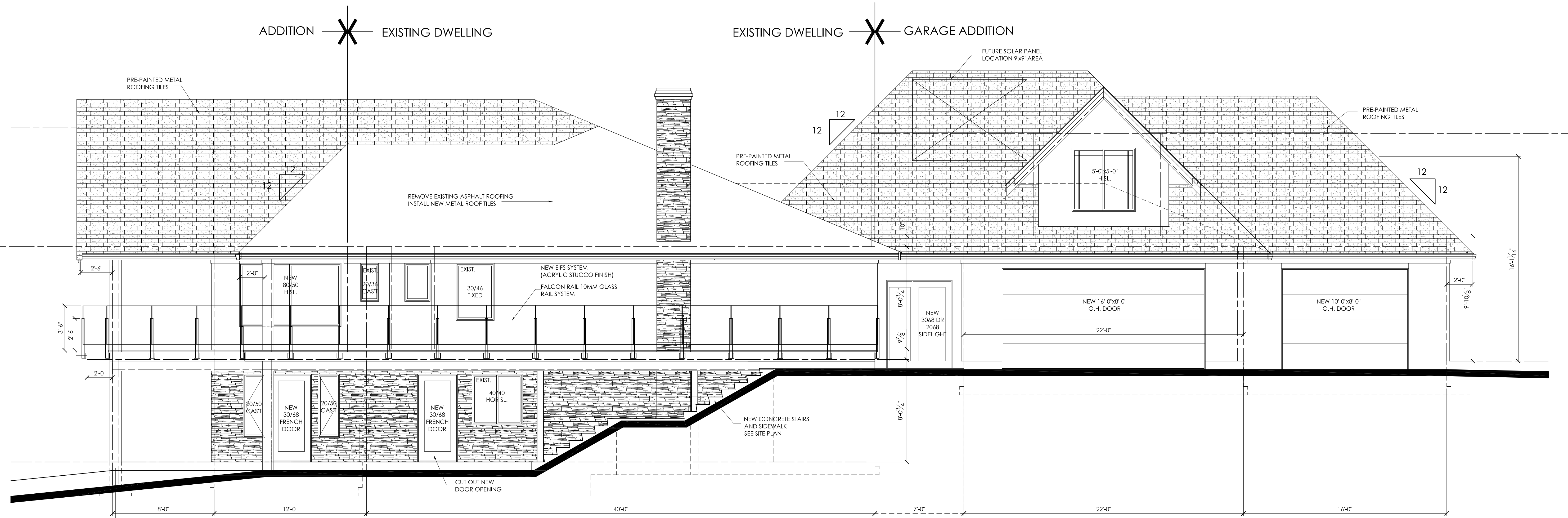
5321 GROUSE AVE
KELOWNA BC

DRAWING TITLE
NORTH ELEVATION
SOUTH ELEVATION
SECTION B-B
SECTION C-C

PROJECT NO	2016-126
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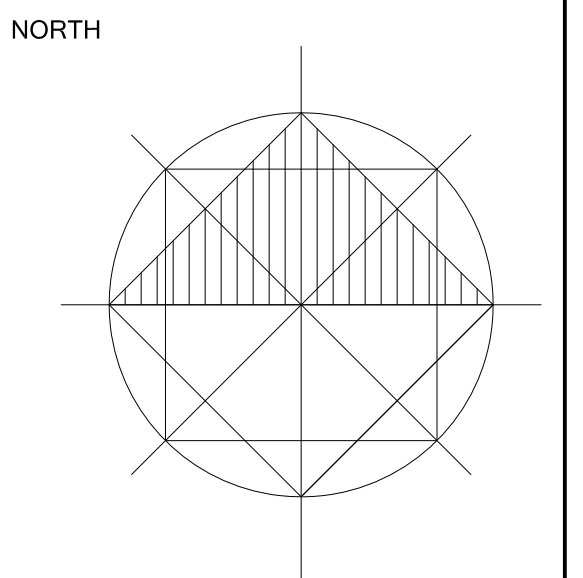
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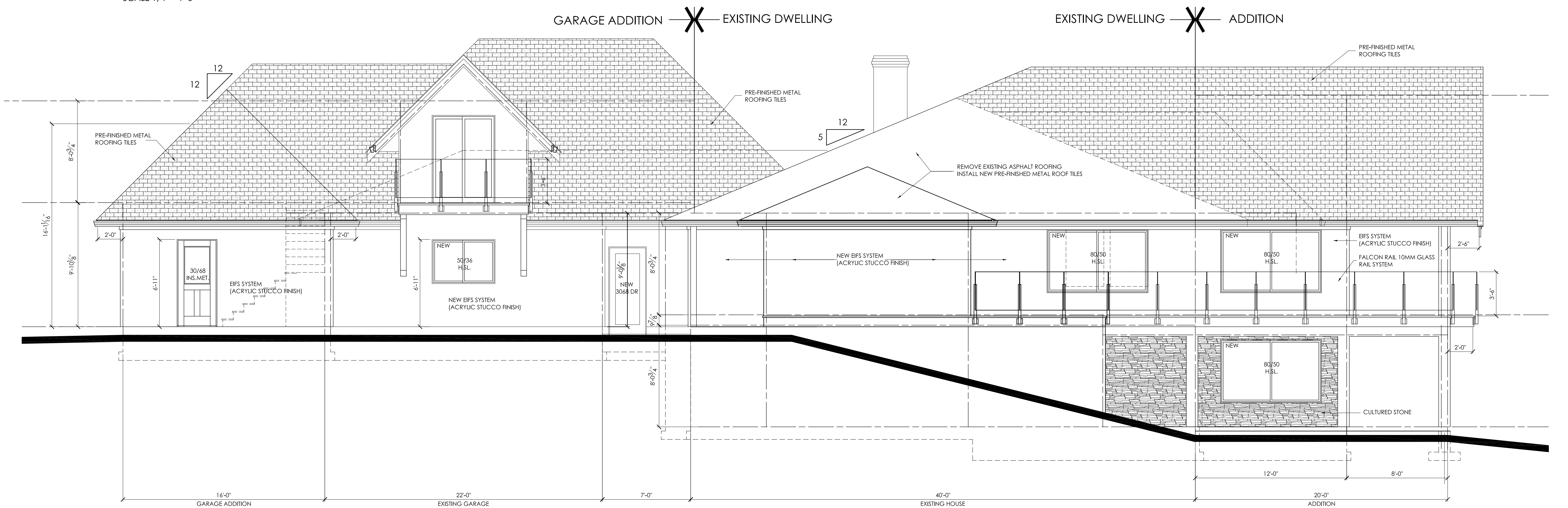


PROJECT
**SAUERWALD HOUSE
ADDITION & RENOVATION**
5321 GROUSE AVE
KELOWNA BC

DRAWING TITLE
**EAST ELEVATION
WEST ELEVATION**

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DRAWING NO



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City of Kelowna
COURTESY PLANNING

EAST ELEVATION - VIEW FROM GROUSE AVENUE
SCALE 1/4" = 1'-0"

WEST ELEVATION
SCALE 1/4" = 1'-0"

