

CITY OF KELOWNA
MEMORANDUM

Date: September 3, 2015
File No.: Z15-0042

To: Community Planning (LB)

From: Development Engineering Manager

Subject: 3461 Scott Road New SFD & Carriage House

Development Engineering has the following comments and requirements associated with this application. The utility upgrading requirements outlined in this report will be a requirement of this development.

1. Domestic Water and Fire Protection

Our records indicate that this property is currently serviced with a 19mm-diameter water service which is adequate for this application.

2. Sanitary Sewer

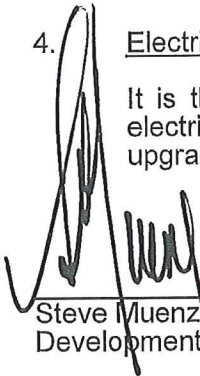
Our records indicate that this property is currently serviced with a 100mm-diameter sanitary sewer service. An inspection chamber (IC) complete with brooks box should be installed on the service at the owner's cost. Service upgrades can be provided by the City at the applicant's cost. **The applicant will be required to sign a Third Party Work Order for the cost of the service upgrade.** For estimate inquiry's please contact Sergio Sartori, by email ssartori@kelowna.ca or phone, 250-469-8589.

3. Development Permit and Site Related Issues

Direct the roof drains onto splash pads.
Driveway access will be permitted from the lane only.

4. Electric Power and Telecommunication Services

It is the applicant's responsibility to make a servicing application with the respective electric power, telephone and cable transmission companies to arrange for service upgrades to these services which would be at the applicant's cost.















Steve Muenz P. Eng.
Development Engineering Manager

SS


GENERAL

- 1. ALL DRAWINGS ARE MADE FROM THE FRONT FACE OF A PRINT OR PHOTO COPY OF THE DRAWING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE. THE CONTRACTOR SHALL CHECK THE FOUNDATIONS, FOUNDATION WALLS AND FOUNDATION SLABS FOR CRACKS, SETTLEMENTS, AND DISPLACEMENTS PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES AND STRUCTURES EXISTING ON THE SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING STRUCTURES AND UTILITIES TO REMAIN ON THE SITE.
- 2. IN THE CASE OF DISCREPANCY, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE WORKS AGREEMENT, COMMENCEMENT OF CONSTRUCTION, ALL NECESSARY PERMITS, ACCEPTANCE OF COMMENCEMENT AND CERTIFICATE.
- 3. REFER TO MECHANICAL DRAWINGS FOR FLOOR FINISHES AND FINISH LAYOUT AND SPECIFICATIONS.
- 4. REFER TO ELECTRICAL DRAWINGS FOR FINAL LIGHT, GUILDS AND ELECTRICAL PANEL LOCATIONS AND SPEC.
- 5. REFER TO CIVIL DRAWINGS FOR SITE CONSTRUCTION AND FINAL, SITE DRAINAGE LAYOUT AND SPEC.
- 6. REFER TO LANDSCAPE DRAWINGS FOR FINAL LANDSCAPE LAYOUT.
- 7. REFER TO STRUCTURAL DRAWINGS FOR FINAL WALL, COLUMN OR COLUMN LAYOUT AND SPECIFICATIONS AND FINISHES AND COORDINATION.
- 8. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND INSURANCE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES AND STRUCTURES EXISTING ON THE SITE.
- 9. ALL DRAWINGS ARE TO BE READ AS COMPLETE SET IN CONNECTION WITH SPECIFICATIONS AND LOCAL, STRUCTURAL, MECHANICAL, ELECTRICAL, AND LANDSCAPE DRAWINGS AND APPROVALS.
- 10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES AND STRUCTURES EXISTING ON THE SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING STRUCTURES AND UTILITIES TO REMAIN ON THE SITE.
- 11. ALL WORK MUST MEET THE APPROVAL OF THE PROFESSIONAL CONSULTANT.
- 12. ALL WORK MUST MEET THE STANDARDS OF THE B.C. TRADE ASSOCIATIONS GOVERNING EACH TRADE.
- 13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES AND STRUCTURES EXISTING ON THE SITE.
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	BUILDING SECTION
	SECTION NUMBER
	LOCATION OF SECTION DRAWING
	WALL SECTION
	SECTION NUMBER
	LOCATION OF SECTION DRAWING
	CREW DETAIL
	DETAIL NUMBER
	LOCATION OF DETAIL DRAWING
	VIEW NAME
	SCALE: 1/4" = 1'-0"
	LOCATION OF FIRST OCCURRENCE

Door Tags
 DOOR NUMBER - SEE DOOR SCHEDULE

Window Tags
 WINDOW TYPE - SEE WINDOW DETAILS

Assembly Tags
 ASSEMBLY TYPE - SEE CONSTRUCTION SCHEDULE

PROJECT INFORMATION AND DRAWINGS INDEX
GENERAL NOTES
FLOOR PLAN
EXTERIOR ELEVATIONS

NOVATION
NOVATION CONSULTANTS LTD.
1100 WALKER AVENUE, SUITE 200
VANCOUVER, BC V6C 3K7

- THIS DOCUMENT IS:
- NOT FINISHED. REVISIONS ARE REQUIRED.
 - A CONTROLLED DOCUMENT. REVISIONS ARE TRACKED AND CONTROLLED.
 - THE FINAL ISSUE OF THE DOCUMENT.
 - A VALID TECHNICAL DRAWING FOR CONSTRUCTION.
 - A VALID DESIGN, ENGINEERING, OR ARCHITECTURAL DOCUMENT.
 - A VALID CONTRACT DOCUMENT.

PROJECT NO.	1100 WALKER AVENUE, SUITE 200
DRAWING NO.	1100 WALKER AVENUE, SUITE 200
DATE	11/01/2024
ISSUED FOR	ISSUED FOR CONSTRUCTION

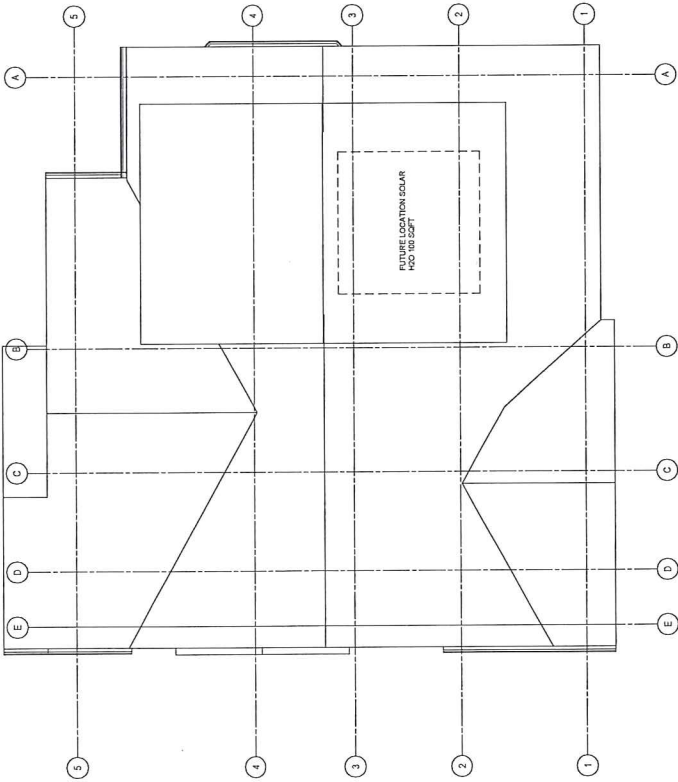


PROJECT NAME: Scott Road House 03
PROJECT ADDRESS: 3911 Scott Road, Victoria, British Columbia
PROJECT NO.: 1507

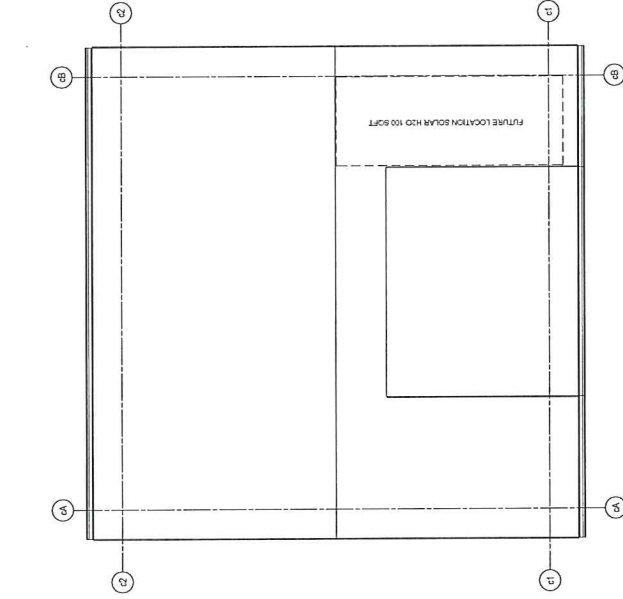
PROJECT SCALE: 1" = 1'-0"
PROJECT STATUS: A0.00

ISSUED FOR DEVELOPMENT PERMIT

The information on this drawing is based on the information provided by the client. The Engineer is not responsible for the accuracy of the information provided by the client. The Engineer is not responsible for the accuracy of the information provided by the client. The Engineer is not responsible for the accuracy of the information provided by the client.



2 Roof Plan Main House
 SCALE: 1/8" = 1'-0"



1 Roof Plan Carriage House
 SCALE: 1/8" = 1'-0"

- THIS DOCUMENT IS:
- NOT CONTROLLED. Drawings may be made without review.
 - CONTROLLED. Drawings must be reviewed and approved.
 - The First Issue of the document.
 - Approved for issue. Drawings must be approved by the client.
 - A final revision. Drawings must be approved by the client.
 - Issued as a replacement drawing. Drawings must be approved by the client.
 - Not for Construction.

D. SPINNEY CONSULTING ENGINEERS
 1000 WEST 10TH AVENUE
 SUITE 100
 DENVER, CO 80202



NOVATION
 PROJECT MANAGEMENT
 1000 WEST 10TH AVENUE, SUITE 100
 DENVER, CO 80202

PROJECT: 1901 East North Avenue, Urban Center
 DRAWING NO: 1507

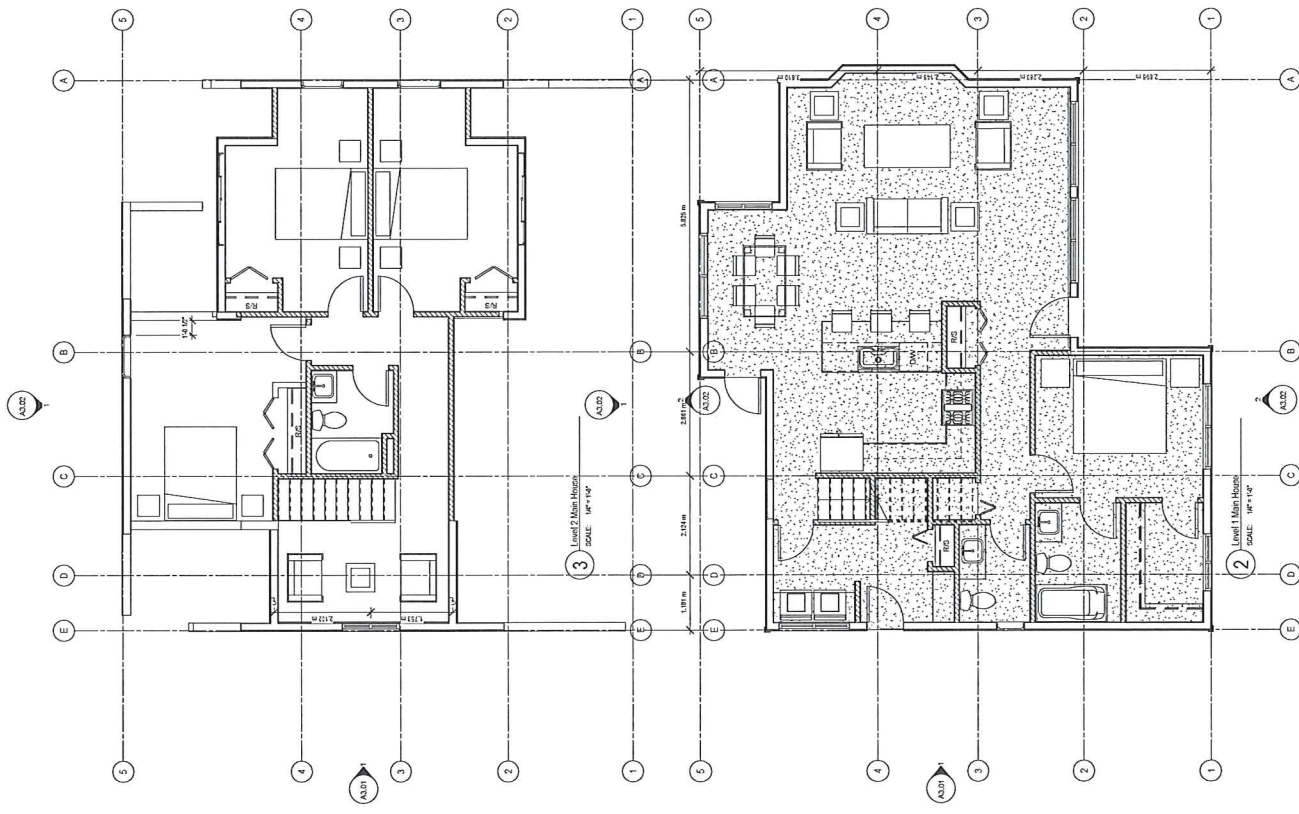
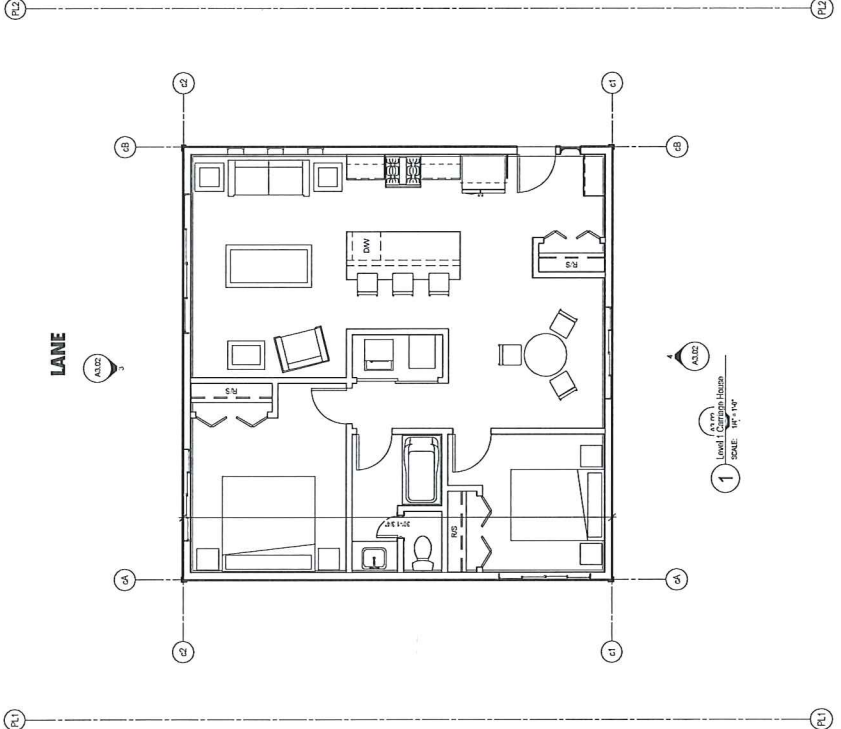
DRAWING TITLE: ROOF PLANS

Author	RS	Date	1/16/2021
Checker	BD		
Reviewer			
Approved			

SCALE: **A1.02**
 SHEET NO: 1901EUCR01-1507-01

Notes:
1. Elected Permittee. The Permittee shall be responsible for all costs associated with the permit process, including but not limited to, plan review fees, plan preparation fees, and permit fees.
2. All work shall be in accordance with the applicable building codes and regulations of the City of Scottsdale.
3. All work shall be in accordance with the applicable building codes and regulations of the State of Arizona.
4. The permit holder shall be responsible for obtaining all necessary permits from the appropriate agencies.
5. The permit holder shall be responsible for obtaining all necessary approvals from the appropriate agencies.
6. The permit holder shall be responsible for obtaining all necessary approvals from the appropriate agencies.

- This document is:
- NOT controlled. However, any changes to the permit shall be controlled.
 - A CONTROLLED document. Revisions shall be controlled.
 - The first issue of the document.
 - A final issued document. Revisions shall be controlled.
 - A final issued document. Revisions shall be controlled.
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NOVATION
16500 N. WILLOW CREEK DR. SUITE 100
SCOTTSDALE, AZ 85254
PROJECT: Scott Road House #3
SHEET: 1507
DATE: 10/15/11
A2.01
ISSUED FOR DEVELOPMENT PERMIT

Notes:
 1. Elevation shown. The elevation shown is not a photograph of the building. It is a drawing of the building as it will appear when constructed.
 2. All work shall be in accordance with the International Building Code and the International Residential Code, as amended by the applicable local codes.
 3. Indicate the location of all exterior doors and windows.
 4. The exterior finish shall be as indicated.
 5. Materials and finishes shall be as indicated.
 6. The exterior finish shall be as indicated.
 7. Materials and finishes shall be as indicated.
 8. The exterior finish shall be as indicated.
 9. Materials and finishes shall be as indicated.
 10. The exterior finish shall be as indicated.

- This document is:
- NOT a contract. Elevation may be used for informational purposes only.
 - A CONTRACT DOCUMENT. Elevation may be used for informational purposes only.
 - The first issue of the document.
 - A preliminary drawing. Elevation may be used for informational purposes only.
 - A final drawing. Elevation may be used for informational purposes only.
 - Not a contract.

NOVATION
 101-105 CLAWSON DR. SUITE 200
 FIELDSVILLE, NC 27529
 PHONE: 704.771.1111
 FAX: 704.771.1112
 WWW.NOVATIONARCHITECTS.COM

NOVATION
 101-105 CLAWSON DR. SUITE 200
 FIELDSVILLE, NC 27529
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Scott Road House #3

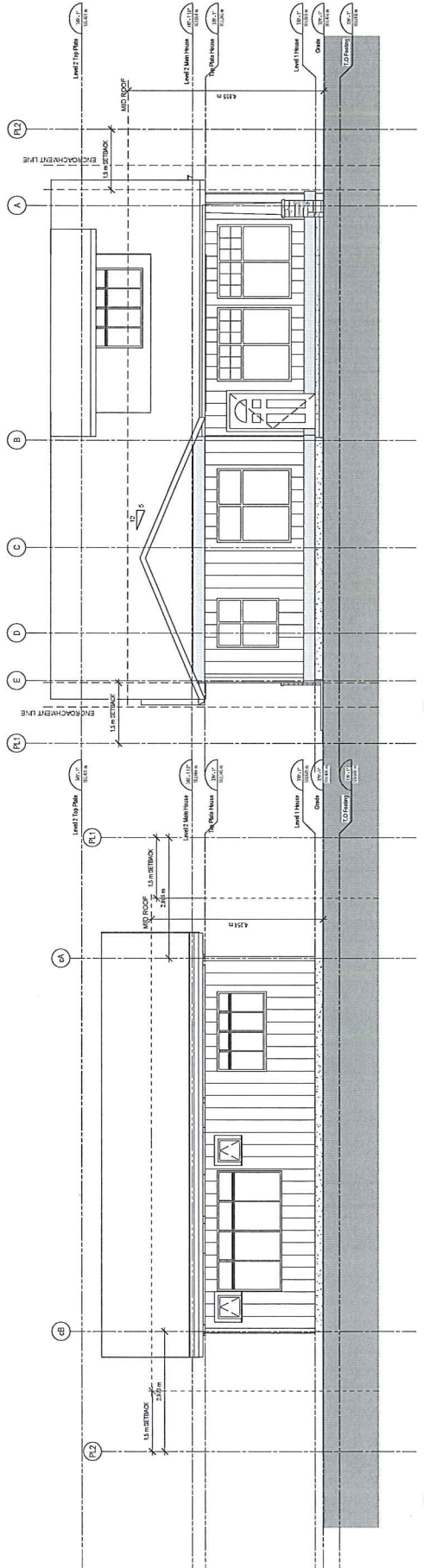
3411 Scott Road House, Bates County
 PROJECT NO. 1507
 DATE: 11/15/17

EXTERIOR ELEVATIONS

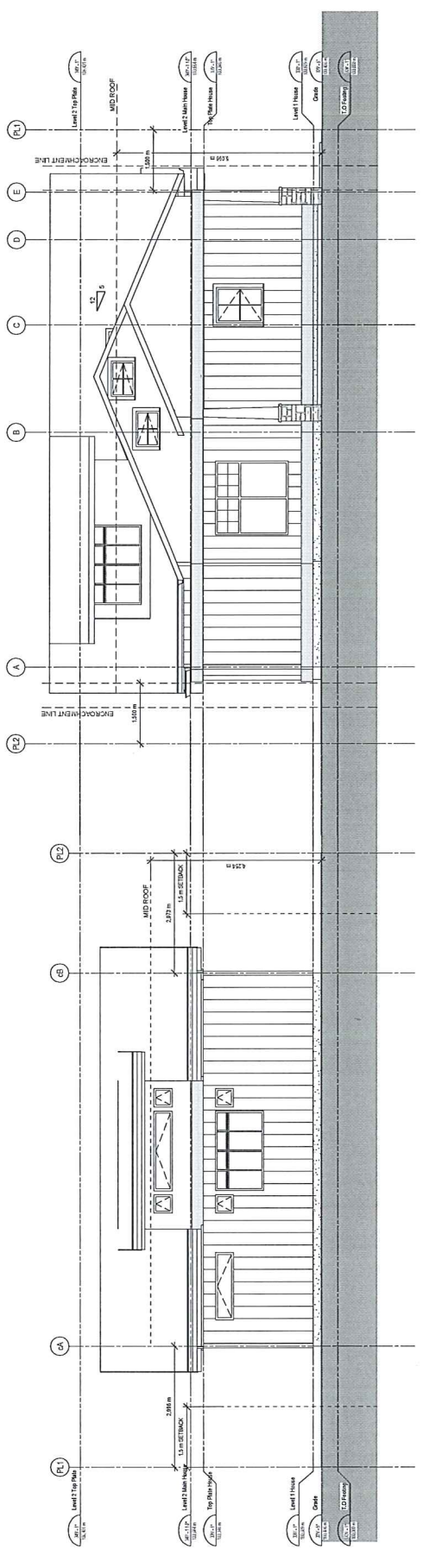
Scale: 1/4" = 1'-0"

A3.02

ISSUED FOR DEVELOPMENT PERMIT



2 South Main
 SCALE: 1/4" = 1'-0"



1 North Main
 SCALE: 1/4" = 1'-0"

4 South Canyon
 SCALE: 1/4" = 1'-0"