

Certain layers such as lots, zoning and dp areas are updated bi-weekly. This map is for general information only. The City of Kelowna does not guarantee its accuracy. All information should be verified.

CITY OF KELOWNA
MEMORANDUM

Date: *August 13, 2015 (revision 1- remove references to subdivision requirements)*
File No.: Z15-0038
To: Urban Planning (LK)
From: Development Engineering Manager (SM)
Subject: 980 Mayfair Road – Lot A, Plan 22053, D.L. 143, ODYD

The Development Services Branch comments and requirements regarding this application to rezone the subject property from RU1 to RU6 are as follows:

.1) General

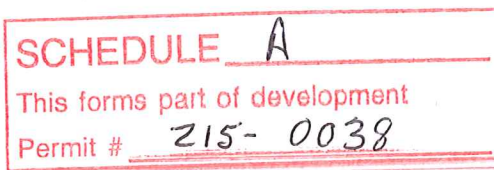
- a) Dedicate Approximately 5.0 m. along the frontage of McCurdy Road for the ultimate 30.00m. Road right of Way.
- b) Provide a 6.0 m. corner radius at the intersection of McCurdy Road and Mayfair Road.

.2) Geotechnical report.

We recommend that a comprehensive geotechnical study be undertaken over the proposed building site. The geotechnical study should be undertaken by a Professional Engineer or a Geoscientist competent in this field. This study should analyse the soil characteristics and suitability for development of the requested subdivision. As well, the study should address drainage patterns including the identification of ground water and the presence of any springs and the suitability of the lands for disposal of site generated storm drainage. In addition this study must describe soil sulphate contents, the presence or absence of swelling clays and the recommendation for foundations and construction over the decommissioned sewage disposal field.

.3) Water

- a) The property is located within the Black Mountain Irrigation District (BMID) service area.
- b) Arrange for individual lot connections before submission of the subdivision plan; including payment of connection fees (provide copy of receipt).
- c) Duplex lots require two services in accordance with the City of Kelowna domestic water servicing requirements.



.4) Sanitary Sewer

- a) The subject property is serviced by the Municipal Wastewater system and is located within the Specified Area #20; two (2) Single Family Equivalent (SFE) were paid out in 2005, This rezoning application does not trigger any additional Specified Area charges.

.5) Drainage

The Subdivision, Development and Servicing Bylaw requires that each lot be provided with an individual connection; however, due to the lack of municipal storm sewer an individual ground water disposal system is acceptable.

.6) Roads

Mayfair Road must be upgraded to a full urban standard (SS-R5) including sidewalk, curb and gutter, piped storm drainage system, fillet pavement, boulevard grading, street lights, and adjustment and/or re-location of existing utility appurtenances, if required, to accommodate this construction. The cost of this frontage upgrade is estimated at **\$36,100.00** and is inclusive of a bonding escalation.

.7) Power and Telecommunication Services and Street Lights

It is recommended that all the services to the subject property be installed underground. The services to the existing dwelling (if not relocated) may remain overhead as long as there is no trespass on any portion of the potentially subdivided lots. The service to the new dwellings must be installed underground. It is the developer's responsibility to make a servicing application with the respective utility companies. The utility companies are then required to obtain the city's approval before commencing their works within the public right of way.

.8) Design and Construction

- a) Design, construction supervision and inspection of all off-site civil works and site servicing must be performed by a Consulting Civil Engineer and all such work is subject to the approval of the City Engineer. Drawings must conform to City standards and requirements.
- b) Engineering drawing submissions are to be in accordance with the City's "Engineering Drawing Submission Requirements" Policy. Please note the number of sets and drawings required for submissions.
- c) Quality Control and Assurance Plans must be provided in accordance with the Subdivision, Development & Servicing Bylaw No. 7900 (refer to Part 5 and Schedule 3).
- d) A "Consulting Engineering Confirmation Letter" (City document 'C') must be completed prior to submission of any designs.
- e) Before any construction related to the requirements of this subdivision application commences, design drawings prepared by a professional engineer must be submitted to the City's Works & Utilities Department. The design drawings must first be "Issued for Construction" by the City Engineer. On examination of design drawings, it may be determined that rights-of-way are required for current or future needs.

.9) Servicing Agreements for Works and Services

- a) A Servicing Agreement is required for all works and services on City lands in accordance with the Subdivision, Development & Servicing Bylaw No. 7900. The applicant's Engineer, prior to preparation of Servicing Agreements, must provide adequate drawings or reports and estimates for the required works. The Servicing Agreement must be in the form as described in Schedule 2 of the bylaw.
- b) Part 3, "Security for Works and Services", of the Bylaw, describes the Bonding and Insurance requirements of the Owner. The liability limit is not to be less than \$5,000,000 and the City is to be named on the insurance policy as an additional insured.

.10) Other Engineering Comments

- a) Provide all necessary Statutory Rights-of-Way for any utility corridors required.

.11) Bonding and Levies Summary.

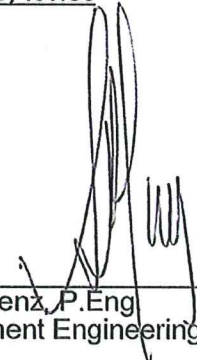
- a) Performance security

Mayfair Road frontage upgrade	\$36,1000.00
-------------------------------	---------------------

Note that the applicant is not required to do the construction. The construction can be deferred and the City will initiate the work later at its own construction schedule, the cost would be reduced to **\$22,823.00** and the 3% Engineering & Admin. fee would be waived.

b) levies

N/A

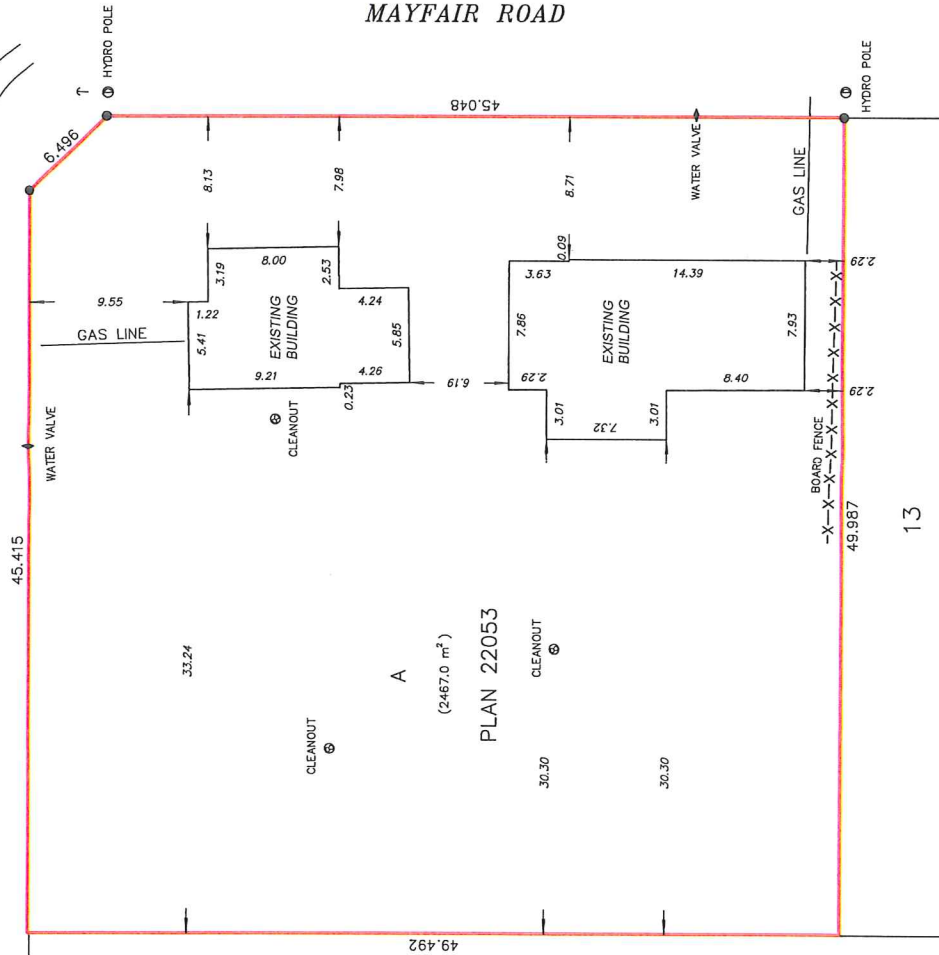


Steve Muenz, P.Eng
Development Engineering Manager

B²

McCURDY ROAD

SIDEWALK



PLAN KAP67912

PLAN 22053

(2467.0 m²)

13

SKETCH PLAN OF LOT A, DISTRICT LOT 143,
O.D.Y.D., PLAN 22053 (980 MAYFAIR ROAD)

DRAWN BY: **RUNNALLS DENBY**
british columbia land surveyors
 259A Lawrence Avenue
 Kelowna, B.C.
 V1Y 6L2
 Phone: (250)763-7322
 Fax: (250)763-4413
 Email: nel@runnallsdenby.com

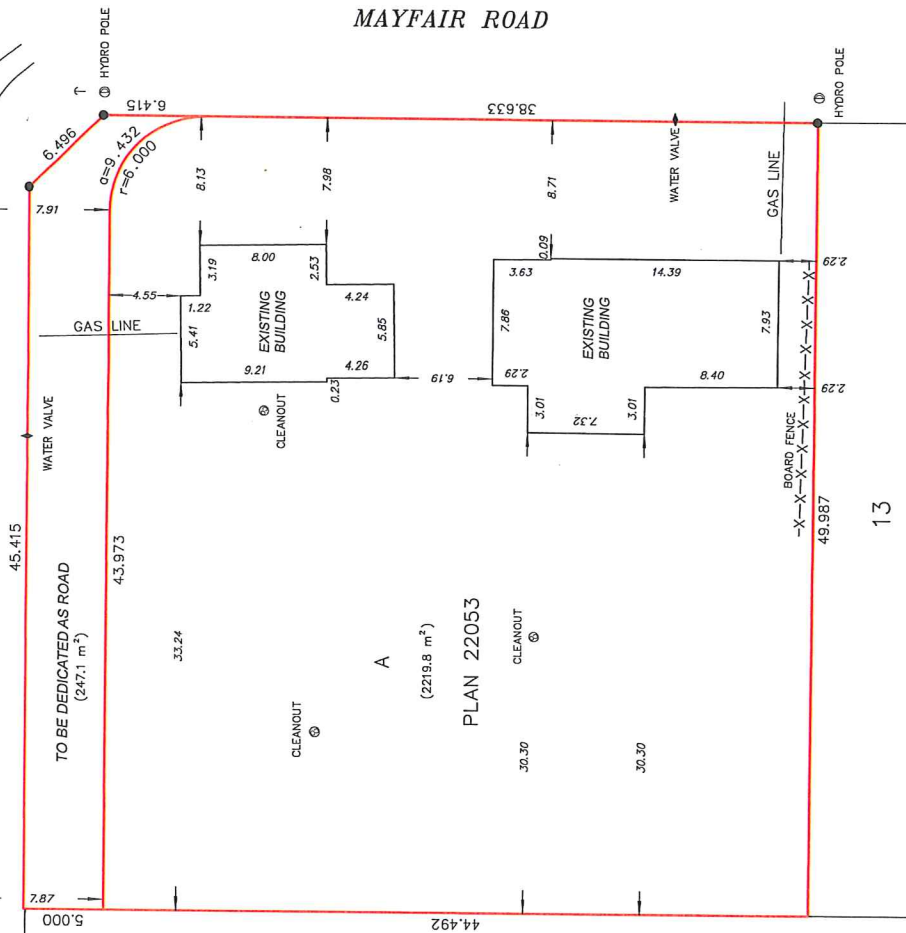
SCALE: 1:300 (11" x 17")
 DATE: Apr. 9, 2015
 DWG: 14211 PROP SUB-3
 FILE NO: 14211

REV 0

CLIENT: JUSTIN BULLOCK

McCurdY ROAD

SIDEWALK



MAYFAIR ROAD

PLAN KAP67912

PLAN 22053

13

SKETCH PLAN OF PROPOSED ROAD DEDICATION
 ON LOT A, DISTRICT LOT 143, O.D.Y.D.,
 PLAN 22053 (980 MAYFAIR ROAD)

DRAWN BY:

RUNNALLS DENBY
british columbia land surveyors
 259A Lawrence Avenue
 Kelowna, B.C.
 V1Y 6L2
 Phone: (250)763-7322
 Fax: (250)763-4413
 Email: info@runnallsdenby.com

CLIENT:

JUSTIN BULLOCK

SCALE: 1:300 (11" x 17")

DATE: Sep. 10, 2015

DWG: 14211 PROP SUB-2

FILE No: 14211

REV: 1