



view along hollywood road



existing education centre



new site for board office



across our site



view of the site



existing site entrance



residential neighbour



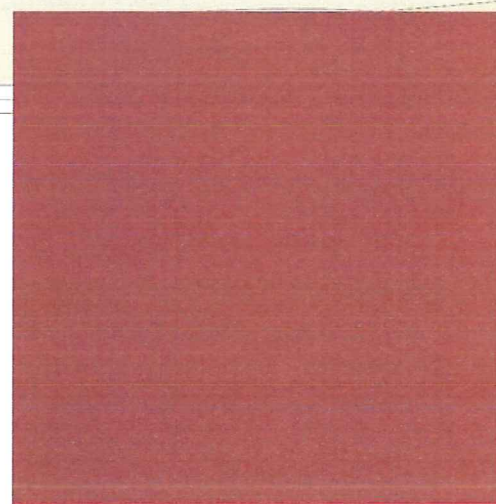
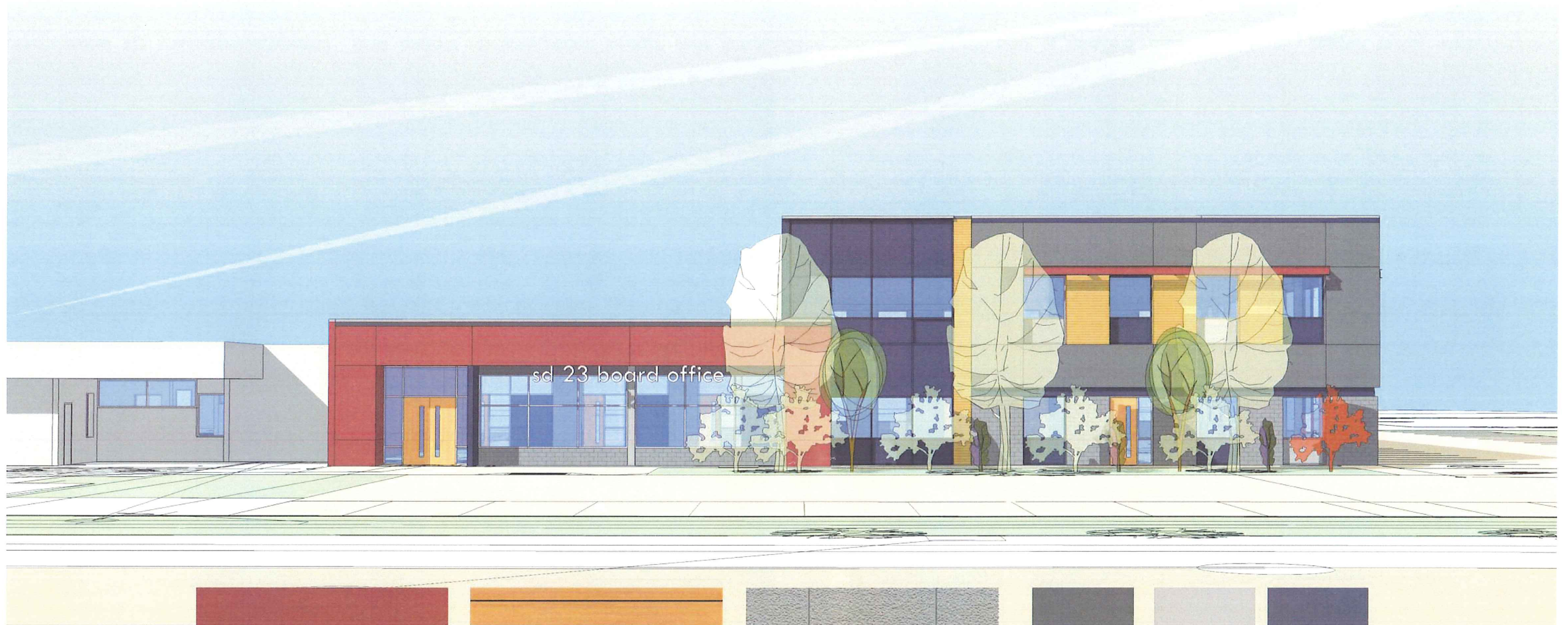
residential neighbour next to site



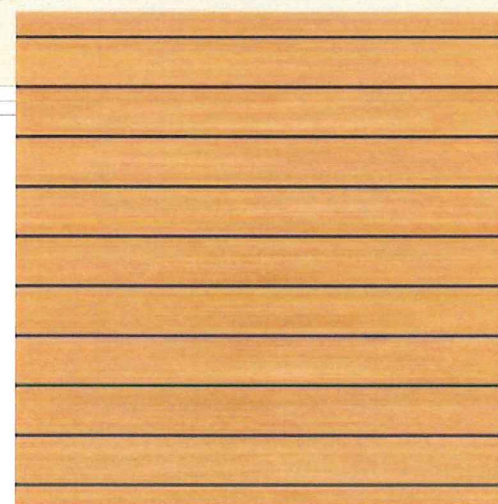
existing parking area







Pomegranate stucco



wood metal cladding



concrete block



dark grey



light grey



navy blue

ZONING SUMMARY		
HOLLYWOOD RD. CENTRE		
ADDRESS	1040 HOLLYWOOD RD SOUTH, KELOWNA, BC.	
LEGAL DESCRIPTION	LOT 9, PLAN 19144, SECTION 22, TOWNSHIP 26 0DYD	
DEVELOPMENT PERMIT AREA	N/A	
EXISTING ZONING	P2 - EDUCATION & MINOR INSTITUTIONAL	
EXISTING LEGAL USE	PUBLIC EDUCATION SERVICES	CONFORMING: YES
GRADES	EXISTING AVERAGE - LEVEL	FINISH AVERAGE - LEVEL
NUMBER OF BUILDINGS	1 EXISTING BUILDING / 1 NEW BUILDING	
CRITERIA FOR ALL TYPES OF APPLICATION:	P2 EDUCATIONA & MINOR INSTITUTIONAL	
	ZONING STANDARD	PROPOSAL
SITE AREA (sm)	660.0 sm	24,019 sm
SITE WIDTH (m)	18.0m	159± m
SITE DEPTH (m)	30.0m	122± m
OFF-STREET PARKING	128 stalls min. (see parking calculations)	160 stalls (see parking calculations)
PRIVATE OPEN SPACE	N/A	N/A
HEIGHT OF BUILDING (S)W OF STOREYS	13.5m / 3 storeys	8.84± m / 2 storeys
SITE COVERAGE OF BUILDING(S) (%)	40% max.	4,150sm TOTAL (17.3%)
SITE COVERAGE INCLUDING BUILDINGS, DRIVEWAYS AND PARKING (%)	60% max.	11,557sm TOTAL (48.1%)
ADDITIONAL REQUIREMENTS FOR COMMERCIAL, INDUSTRIAL AND MULTIPLE UNIT / INTENSIVE RESIDENTIAL APPLICATIONS:	P2 EDUCATION & MINOR INSTITUTIONAL	
	ZONING STANDARD	PROPOSAL
NUMBER OF BICYCLE PARKING SPACES	CLASS 1: 1 PER 25 EMPLOYEES = 2 BIKES CLASS 2: 5 BIKES PER BUILDING ENTRANCE TOTAL REQUIRED: 7 BIKES	CLASS 1: 2 BIKES (WITHIN COMPOUND) CLASS 2: 5 BIKES TOTAL PROVIDED: 7 (SEE SITE PLAN)
NUMBER OF LOADING SPACES	1 / 2800sm GFA X 511±= 2 SPACES	2 SPACES EXISTING
DRIVE AISLE WIDTH (m) (IF PROPOSED)	7.0m	SEE SITE PLAN
SETBACKS TO PARKING (m):		
NORTH (SIDE)	N/A	N/A
SOUTH (SIDE)	N/A	N/A
WEST (FRONT)	3.0m MIN	3.05m MIN
EAST (REAR)	N/A	N/A
FLOOR AREA NET	± 24,019 sm max.	± 4,581sm
FLOOR AREA RATIO (F.A.R.)	1.0 MAX	0.19
BUILDING (S) SETBACKS (m):		
NORTH (SIDE)	4.5m	31.2± m
SOUTH (SIDE)	4.5m	90.3± m (TO PROPERTY LINE)
WEST (SIDE)	7.5m	102.1± m
EAST (FRONT)	6.0m	30.9± m
DAYLIGHT ANGLE (IF A TOWER)	N/A	N/A
PODIUM HEIGHT (IF PROPOSED)	N/A	N/A
FLOOR PLATE SIZE (IF REQUIRED)	N/A	N/A



PARKING CALCULATION	
STALL DEPTH	6.0m (19'-6")
STALL WIDTH	2.5m (8'-3")
DRIVE AISLES	7.0m (23'-0")
PARKING REQUIREMENTS:	2.5 STALLS / 100sm GFA X 5,115sm TOTAL REQUIRED = 128 STALLS MIN.
NEW PARKING	78 STALLS
EXISTING PARKING	82 STALLS (UNCHANGED)
TOTAL PARKING PROVIDED:	160 STALLS

BUILDING AND FLOOR AREAS		
	GFA	NFA
EXISTING BUILDING:		
MAIN FLOOR	3,050sm (32,830 sqft)	
NEW BUILDING:		
BASEMENT	182sm (1,950 sqft)	142sm (1,527sf)
1st FLOOR	1,100sm (11,838 sqft)	896sm (9,644sf)
2nd FLOOR	783sm (8,429 sqft)	635sm (6,837sf)
TOTAL:	5,115sm (55,057 sqft)	1,673sm (18,008sf)
SITE COVERAGE:		
BUILDING FOOTPRINT	4,150sm (44,670 sqft)	
PAVED PARKING AREA	7,407sm (797,728 sqft)	
TOTAL:	11,557sm (124,398 sqft)	
AREA USED FOR F.A.R.	4,581sm (49,309 sqft)	

BUILDING CODE REVIEW	
OCCUPANCY	GROUP D
ARTICLE	3.2.2.61
NO. OF STOREYS	2
NO. OF STREETS FACING	1
MAX. BUILDING AREA	2400 sm 3.2.2.61.(1)
CONSTRUCTION TYPE	COMBUSTIBLE/ NON-COMBUSTIBLE
SPRINKLERED	YES
ASSEMBLY RATINGS:	
FLOOR	45 minutes.
WALLS / BEARING STRUCTURE	45 minutes.
ROOFS	NO RATING
INTERCONNECTED FLOOR SPACE	N/A

SPATIAL SEPARATION:		
	NORTH, EAST & WEST WALLS	SOUTH WALL (FACING EXIST'G BLDG)
WALL AREA		
OPENING AREA		
% PROVIDED		
LIMITING DISTANCE		
% PERMITTED		
CONSTRUCTION TYPE		
CLADDING MATERIAL		
REQUIRED RATINGS		
	WALL CONSTRUCTION & SIZE OF OPENINGS ARE NOT RESTRICTED. LIMITING DISTANCE EXCEEDS 9.0m IN ALL CASES, OR WALL FACES A STREET	0 LIMITING DISTANCE 2HR RATED FIRE WALL TO BE PROVIDED IN ACCORDANCE WITH 3.1.1.10

FIRE PROTECTION: 3.2.4./ 3.2.5./ 3.2.6.		
LOCATION OF HYDRANT TO SIAMESE CONNECTION	45 m MAX.	3.2.5.5.
STANDPIPE/HOSE	YES	3.2.5.8.
SPRINKLERED	YES	
FIRE ALARM SYSTEM	YES	3.2.4.1.(2)(f)
EXIT LIGHTS	YES	
EMERGENCY LIGHTING	YES	

OCCUPANT LOAD TABLE 3.1.17.1.		
BASEMENT	46sm / person (STORAGE) x 142sm	3 persons
1st FLOOR	9.3 sm / person (OFFICE) x 896sm	97 persons
2nd FLOOR	9.3 sm / person (OFFICE) x 635sm	69 persons
TOTAL BUILDING OCCUPANT LOAD (FOR EXITING)		169 persons

EXIT FACILITIES 3.1 TO 3.6		
REQUIRED EXITS	2 MINIMUM PER FLOOR	
	REQUIRED EXIT WIDTH	PROVIDED
	MIN. 800mm DOOR WIDTH AS PER 3.4.3.2.A	
	MIN. 900mm STAIR WIDTH AS PER 3.4.3.2.A	
1st FLOOR (doors)	6.1mm / person x 97 persons = 592 800mm MIN.	2 DOORS @ 3'-0". WIDTH = 6'-0" (1829mm)
2nd FLOOR (doors)	6.1mm / person x 69 persons = 421mm 800mm MIN.	2 DOORS @ 3'-0". WIDTH = 6'-0" (1829mm)
2nd FLOOR (stairs)	8.0mm / person x 69 persons 900mm MIN.	2 STAIRS @ 3'-10". WIDTH = 7'-8" (2134mm)
EXIT THROUGH LOBBY	N/A	3.4.4.2.
PANIC HARDWARE REQ'D	YES @ bottom of stairs	3.4.6.15.(2)
EXIT EXPOSURE	OK	3.2.3.13.
MAX. TRAVEL DISTANCE	25m (single exit) / 45m (2 exits)	3.4.2.1.(2b)
EXIT RATINGS REQUIRED:		
STAIR SHAFTS	45 minutes	3.4.4.1.
CORRIDORS	N/A	3.3.2.6.(4)

REQUIRED FIRE SEPARATIONS 3.1.3.1.		
TENANTS / MAJOR OCCUPANCIES		
SERVICES ROOMS	1 HR	3.6.2.
JANITOR ROOM	NON-RATED FIRE SEPARATION	3.3.1.21.(3)

BUILDING FIRE SAFETY		
SOFFIT PROTECTION	N/A	3.2.3.16.
FLAME SPREAD RATINGS	CONFORMING TO:	3.1.13.2
METAL DECK ASSEMBLIES	N/A	3.1.14.2.
ROOF COVERING CLASSIFICATION	CLASS "A"	3.1.15.2.
ATTIC FIRESTOPS	N/A	3.1.11.
MAX. ATTIC AREA	N/A	3.1.11.5.
MAX. CRAWLSPACE AREA	N/A	3.1.11.6.
CONCEALED FLOOR AREA	N/A	3.1.11.5.

ACCESSIBILITY REQUIREMENTS 3.8		
	REQUIRED	PROVIDED
ACCESS TO MAIN ENTRANCES	YES	YES
ACCESS TO ALL FLOORS	YES	YES
ACCESSIBLE WASHROOM	YES	YES

WASHROOM FIXTURES REQUIREMENTS TABLE 3.7.2.2.(B)						
SERVING 1st & 2nd FLOOR	Required WC'S	Provided WC'S	Required URINALS	Provided URINALS	Required LAV'S	Provided LAV'S
NUMBER OF MALES (85)	3	2	—	2	2	4
NUMBER OF FEMALES (85)	3	4	N/A	N/A	2	4
UNIVERSAL H/C WASHROOMS	1	2	N/A	N/A	1	2

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Project Title

2-STOREY SD-23
BOARD OFFICE

1040 HOLLYWOOD RD SOUTH KELOWNA V1X 4N2

Drawing Number

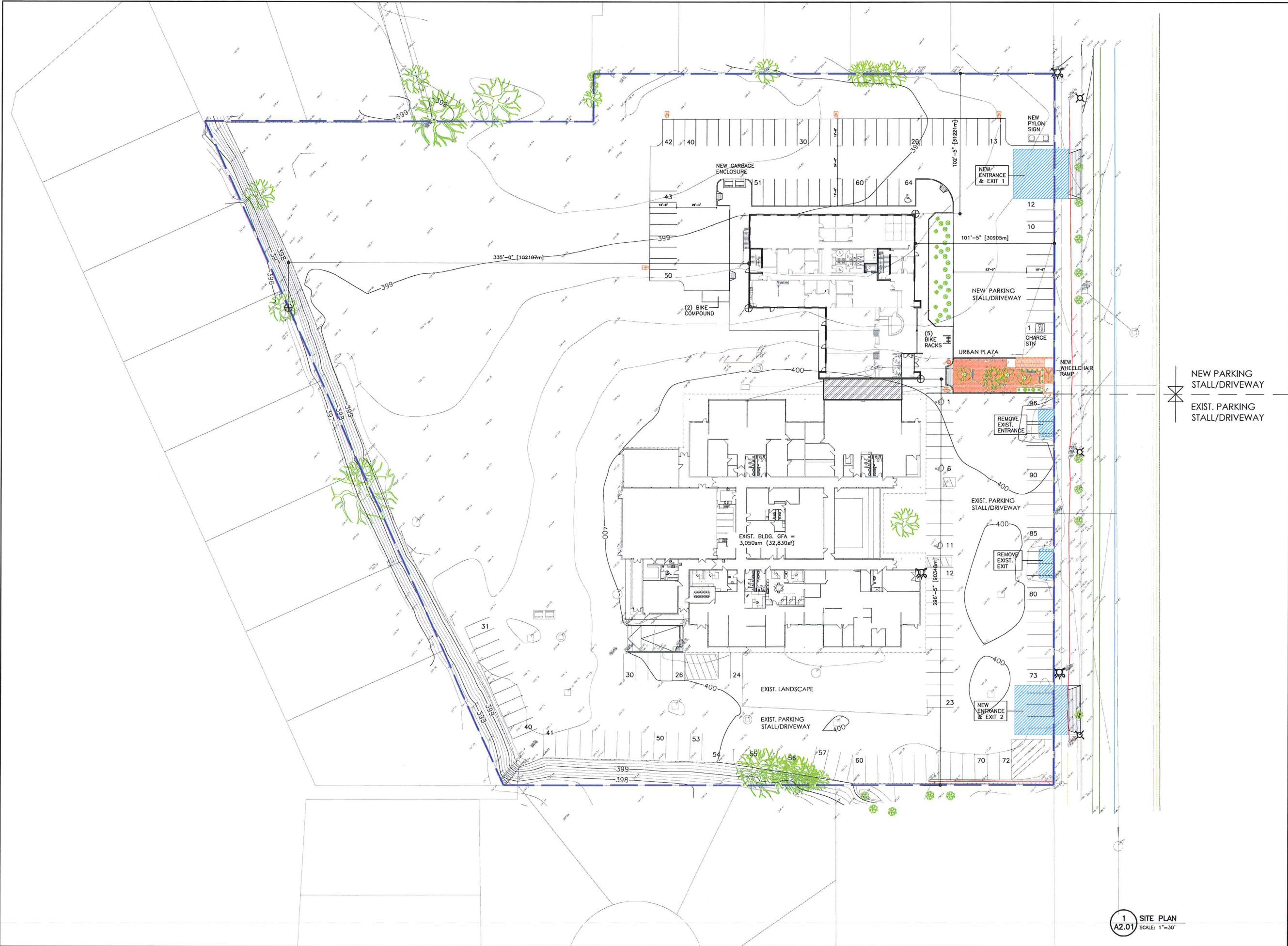
A1.01

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Drawing Title

ZONING SUMMARY &
CODE ANALYSIS

Date	2015-12-21
Job No.	m+m 15-1589
Scale	AS SHOWN
Drawn	
Checked	JH



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m+m ARCHITECTS INC.

Central Okanagan
School District No. 23

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TRUE
NORTH

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**2-STOREY SD-23
BOARD OFFICE**

1040 HOLLYWOOD RD SOUTH KELOWNA V1X 4N2

Drawing Number

A2.01

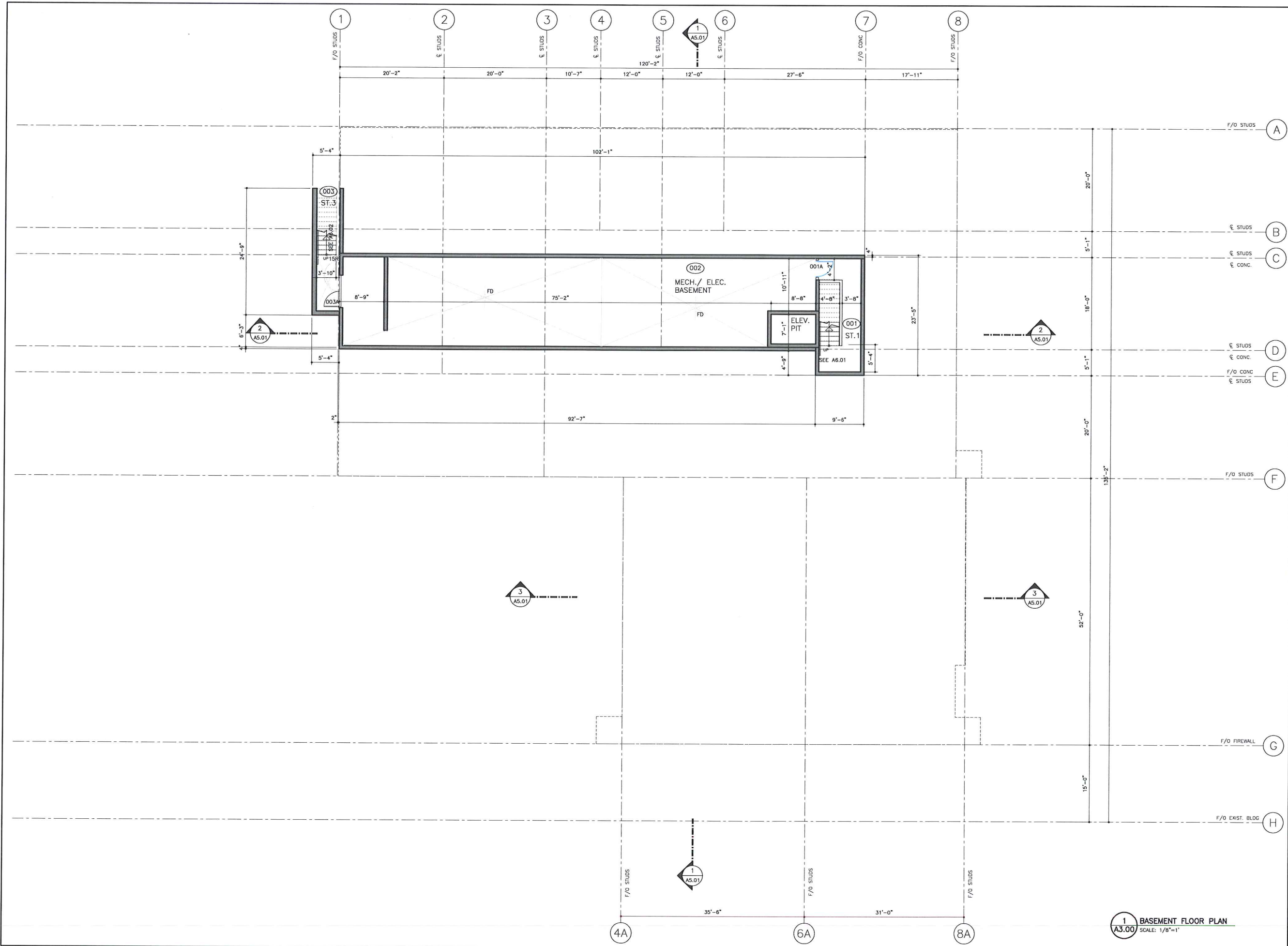
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Drawing Title

SITE PLAN

scale: 1"=30'

Date	2015-12-21
Job No.	m+m 15-1589
Scale	AS SHOWN
Drawn	
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1040 HOLLYWOOD RD SOUTH KELOWNA V1X 4N2
Drawing Number

A3.00

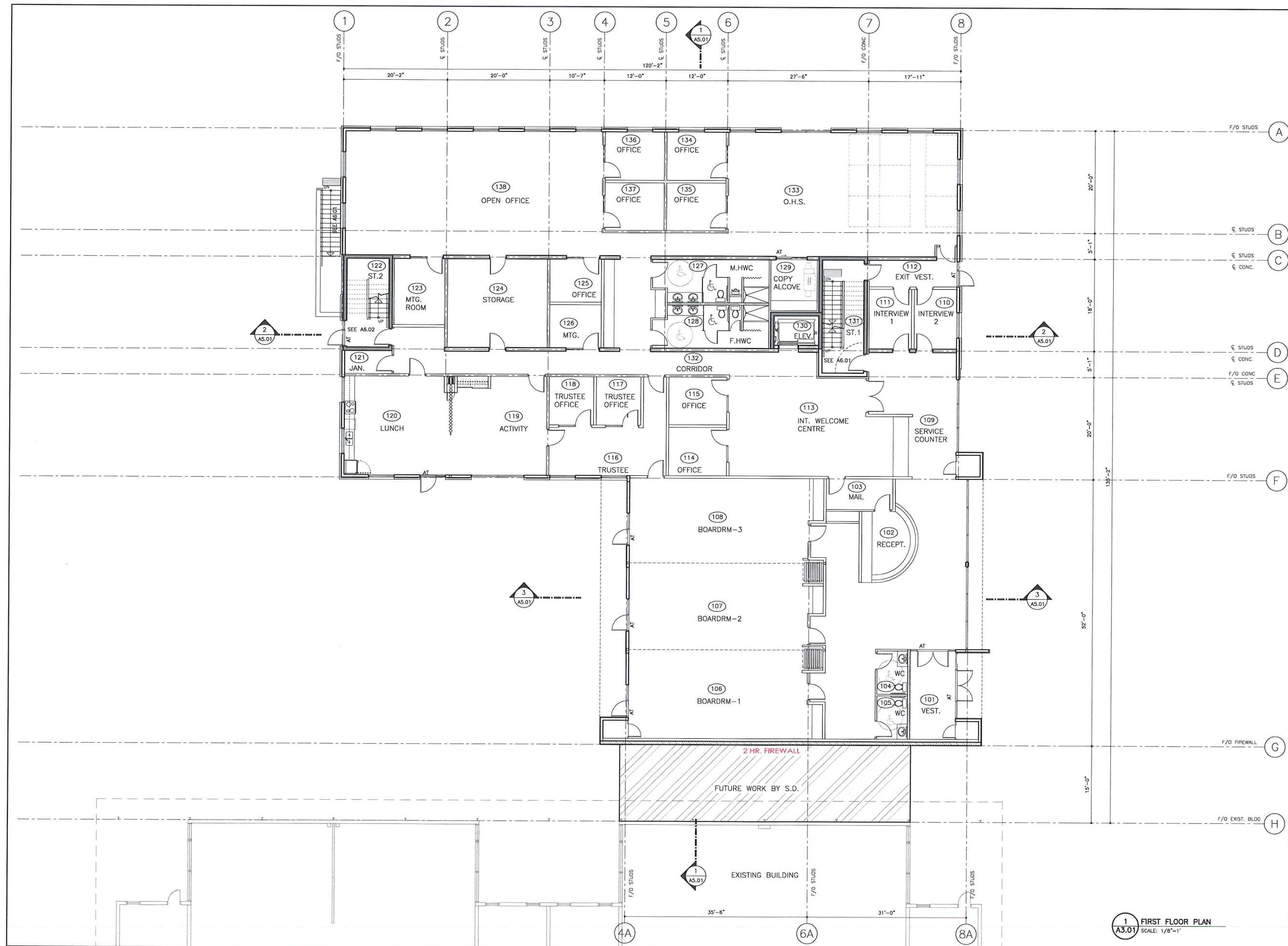
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Drawing Title
**BASEMENT
FLOOR PLAN**

scale: 1/8"=1'0"

Date	2015-12-21
Job No.	m+m 15-1589
Scale	AS SHOWN
Drawn	
Checked	JM

1
A3.00 BASEMENT FLOOR PLAN
SCALE: 1/8"=1'



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Drawing Number

A3.01

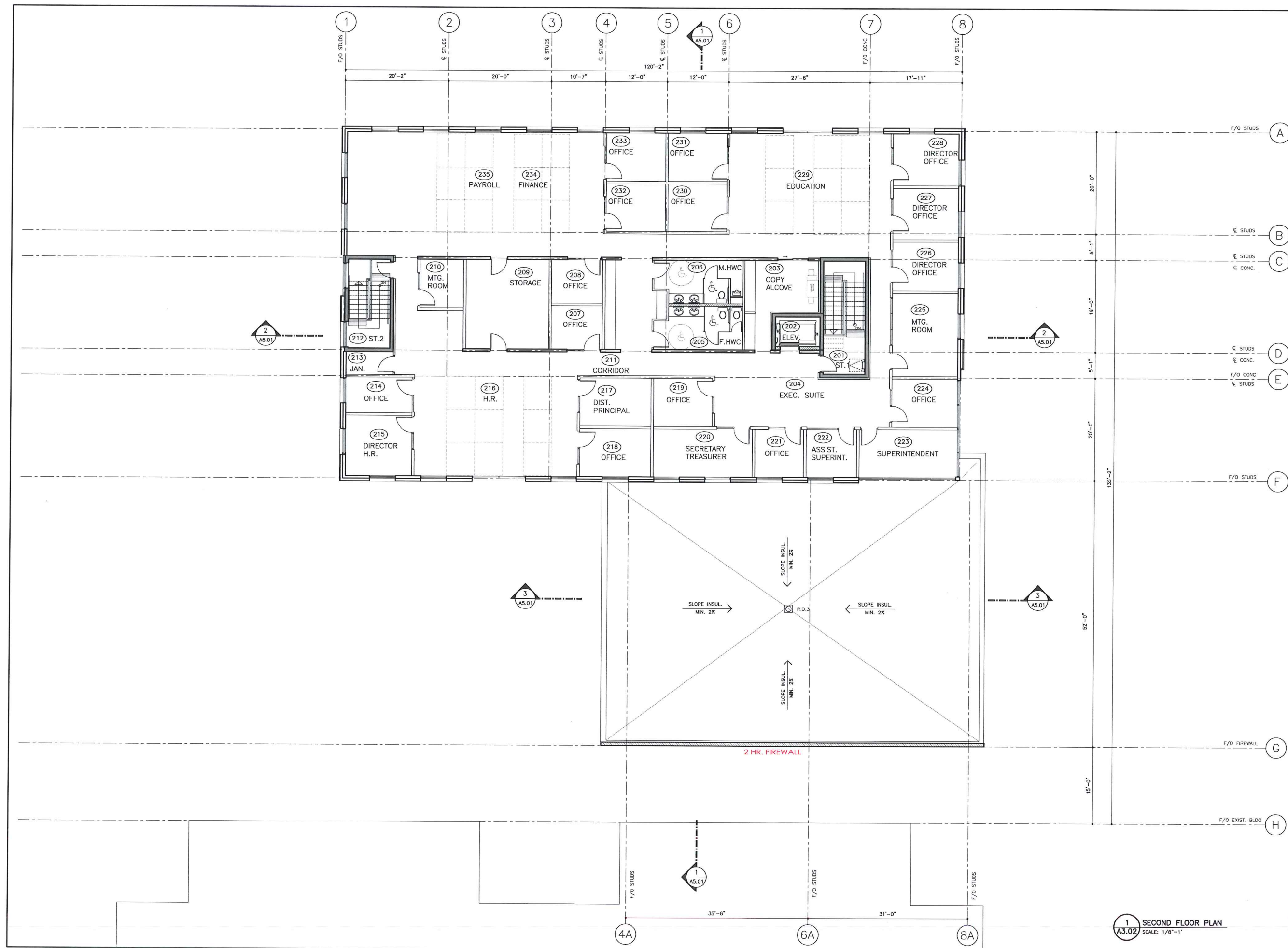
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Drawing Title
1ST FLOOR PLAN

scale: 1/8"=1'0"

Date	2015-12-21
Job No.	m+m 15-1589
Scale	A5 SHOWN
Drawn	
Checked	JM

**1
A3.01** FIRST FLOOR PLAN
SCALE: 1/8"=1'



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Drawing Number

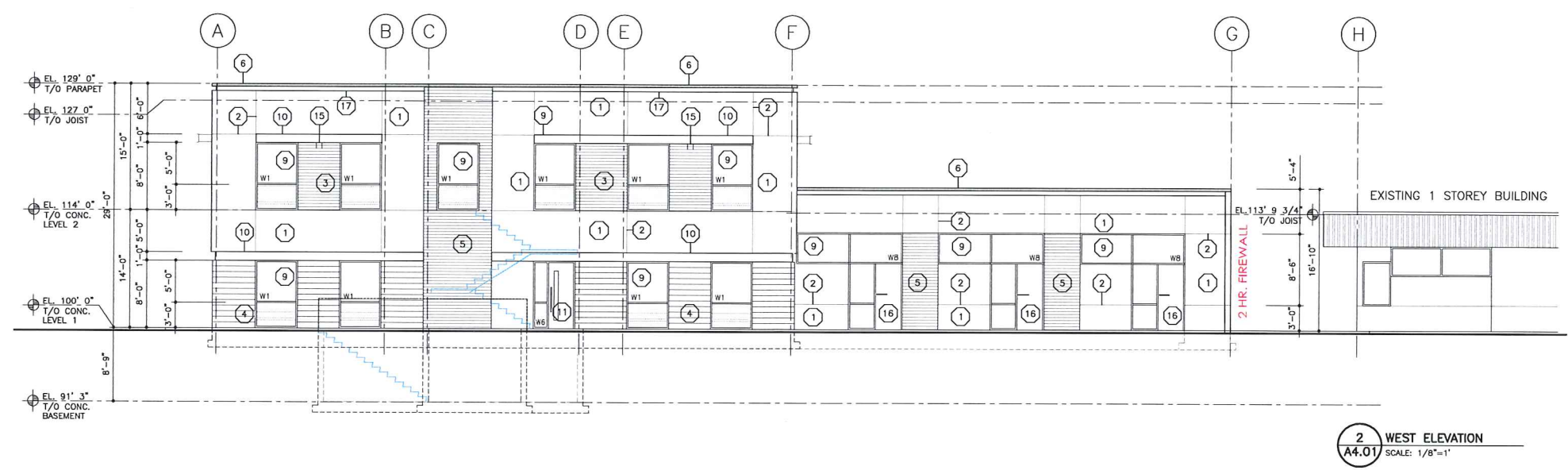
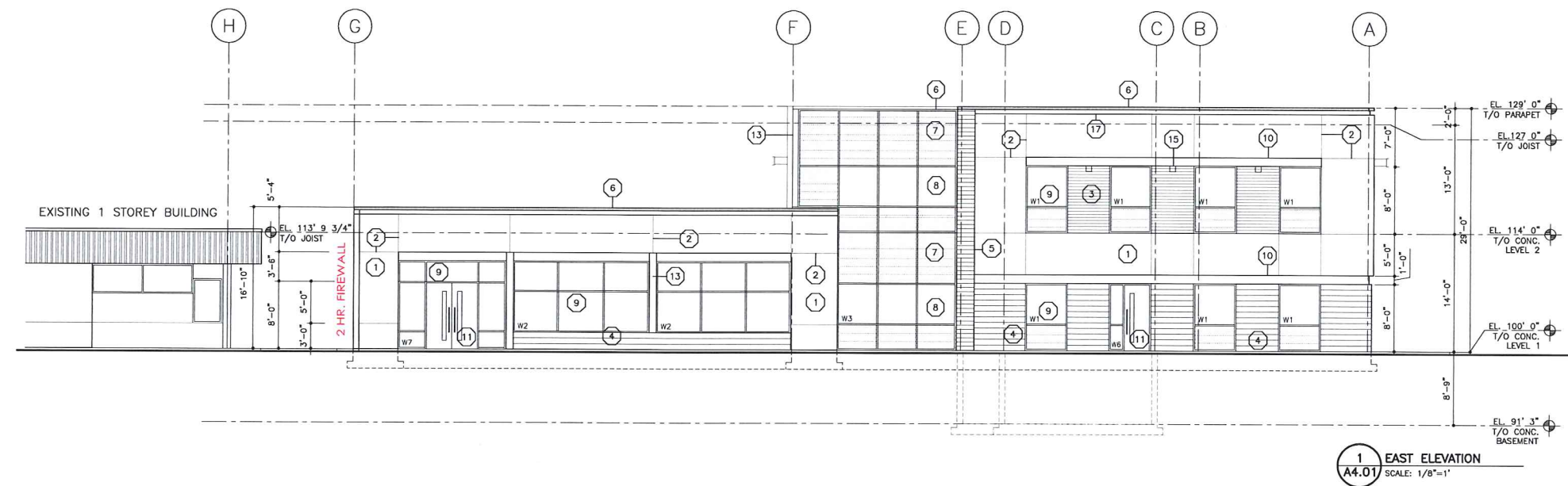
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Drawing Title
2ND FLOOR PLAN

scale: 1/8"=1'0"

Date	2015-12-21
Job No.	m+m 15-1589
Scale	AS SHOWN
Drawn	
Checked	JM



ELEVATION KEY NOTES		
ALL COLOURS TO BE CHOSEN BY ARCHITECT FROM APPROVED PRODUCT MANUF.'S STANDARD LINE OF COLOURS.		
1 STUCCO FINISH	9 ALUMINUM WINDOW FRAMES / LOW E CLEAR GLAZING	
2 STUCCO REVEALS	10 PAINTED STEEL CANOPY	
3 HORZ. CORRUGATED METAL CLADDING	11 ALUMINUM STOREFRONT DOORS	
4 CONCRETE BLOCK VENEER	12 PAINTED METAL DOORS	
5 HORZ. FEATURE ALUM./WOOD GRAIN SIDING	13 ALUMINUM BREAKSHAPE TO MATCH WINDOWS	
6 PREFINISHED METAL FLASHING	14 SEALED EXPOSED CONC. BLOCK WALL	
7 GLASS SPANDREL PANEL	15 EXTERIOR LIGHT FIXTURE	
8 ALUM. CURTAIN WALL FRAMING / LOW E CLEAR GLAZING	16 EXTERIOR WOOD DOORS	
	17 REVEAL	

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BOARD OFFICE**

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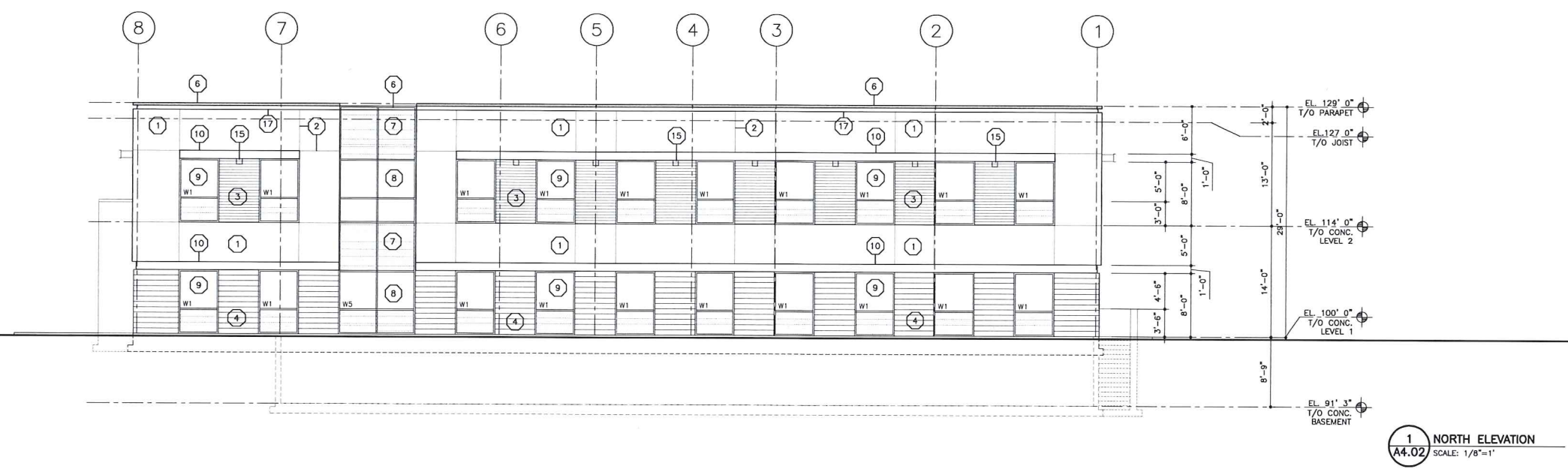
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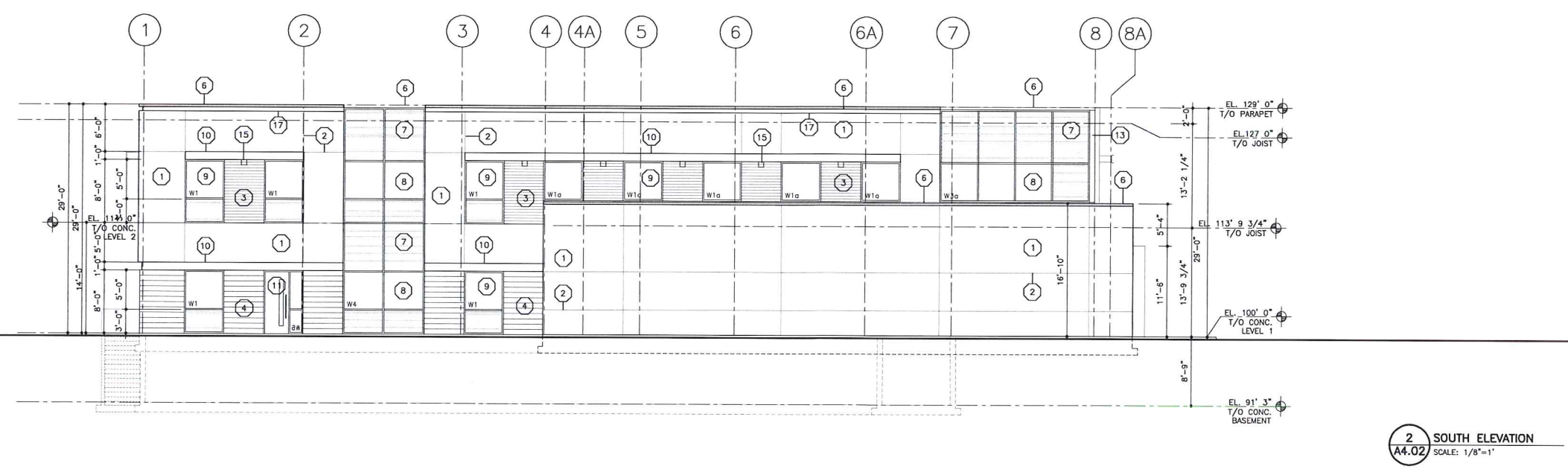
Drawing Title
EXTERIOR ELEVATIONS

scale: 1/8"=1'0"

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SEE A4.01 FOR ELEVATION KEY NOTE LEGEND



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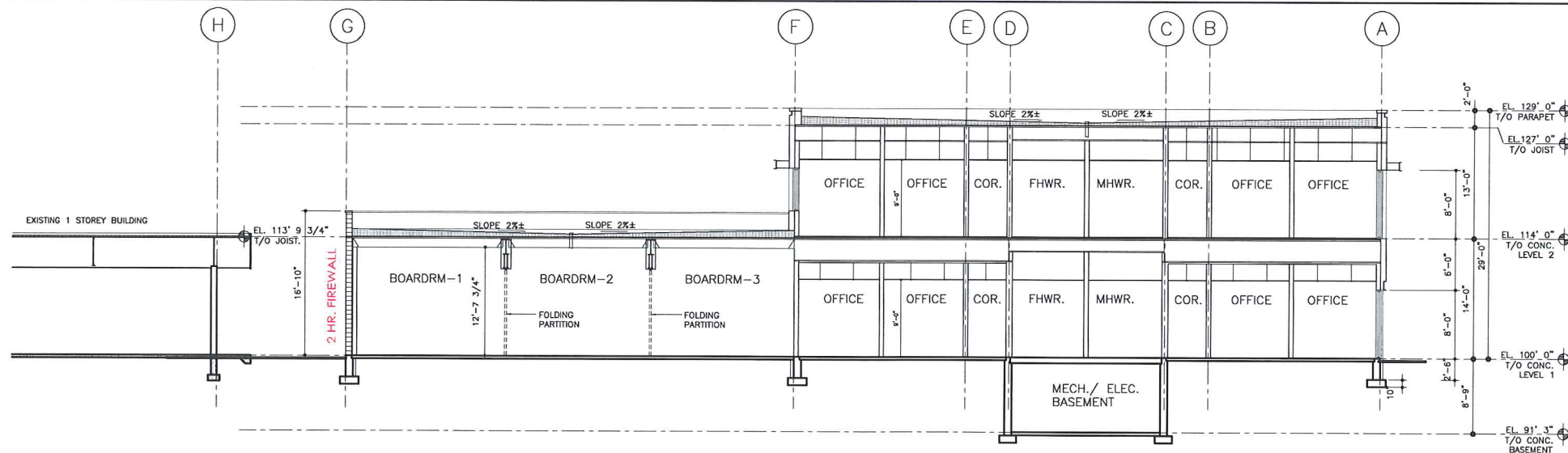
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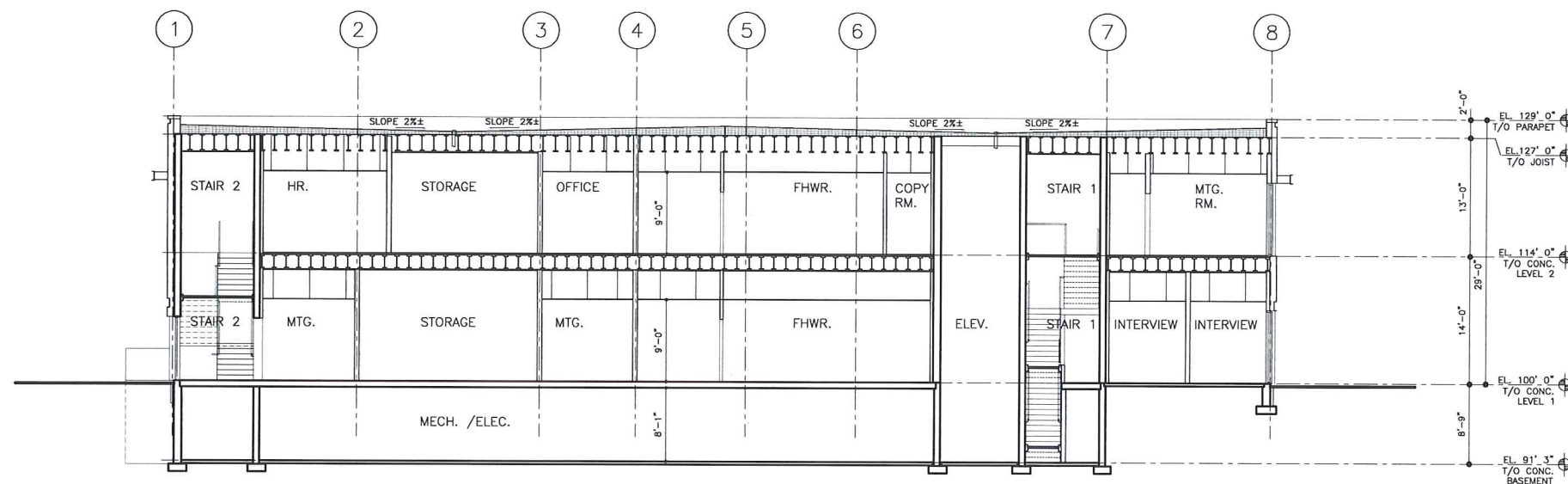
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EXTERIOR ELEVATIONS

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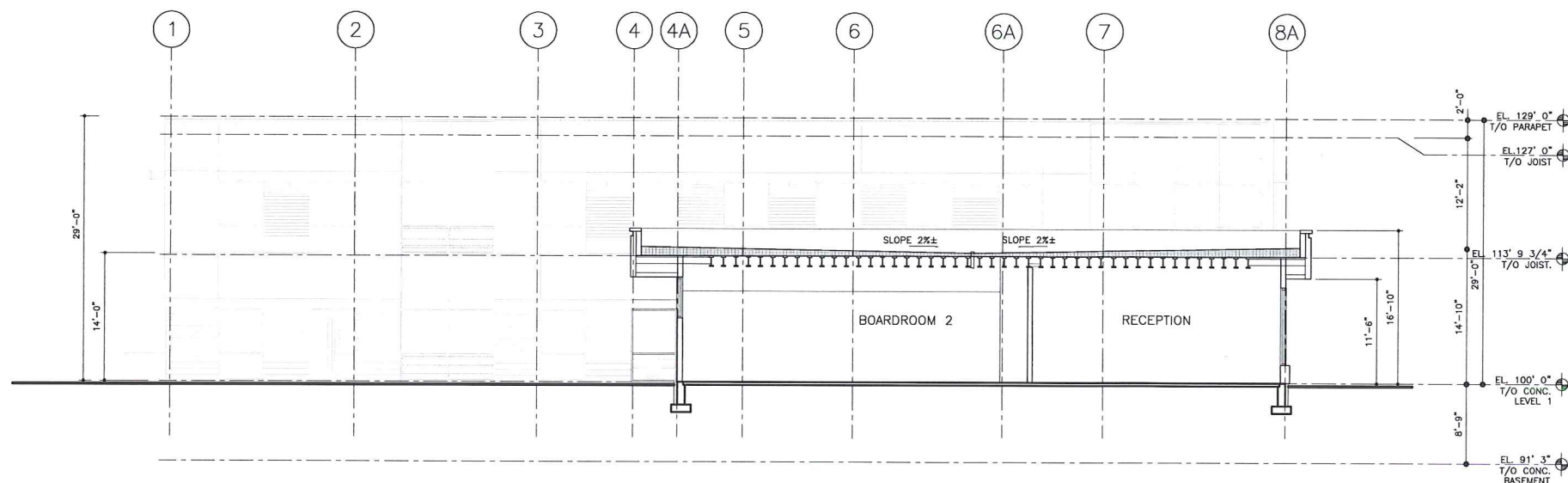
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1 BUILDING SECTION
A5.01 SCALE: 1/8"=1'-0"



2 BUILDING SECTION
A5.01 SCALE: 1/8"=1'-0"



3 BUILDING SECTION
A5.01 SCALE: 1/8"=1'-0"

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2-STOREY SD-23
BOARD OFFICE

1040 HOLLYWOOD RD SOUTH KELOWNA V1X 4N2
Drawing Number

A5.01

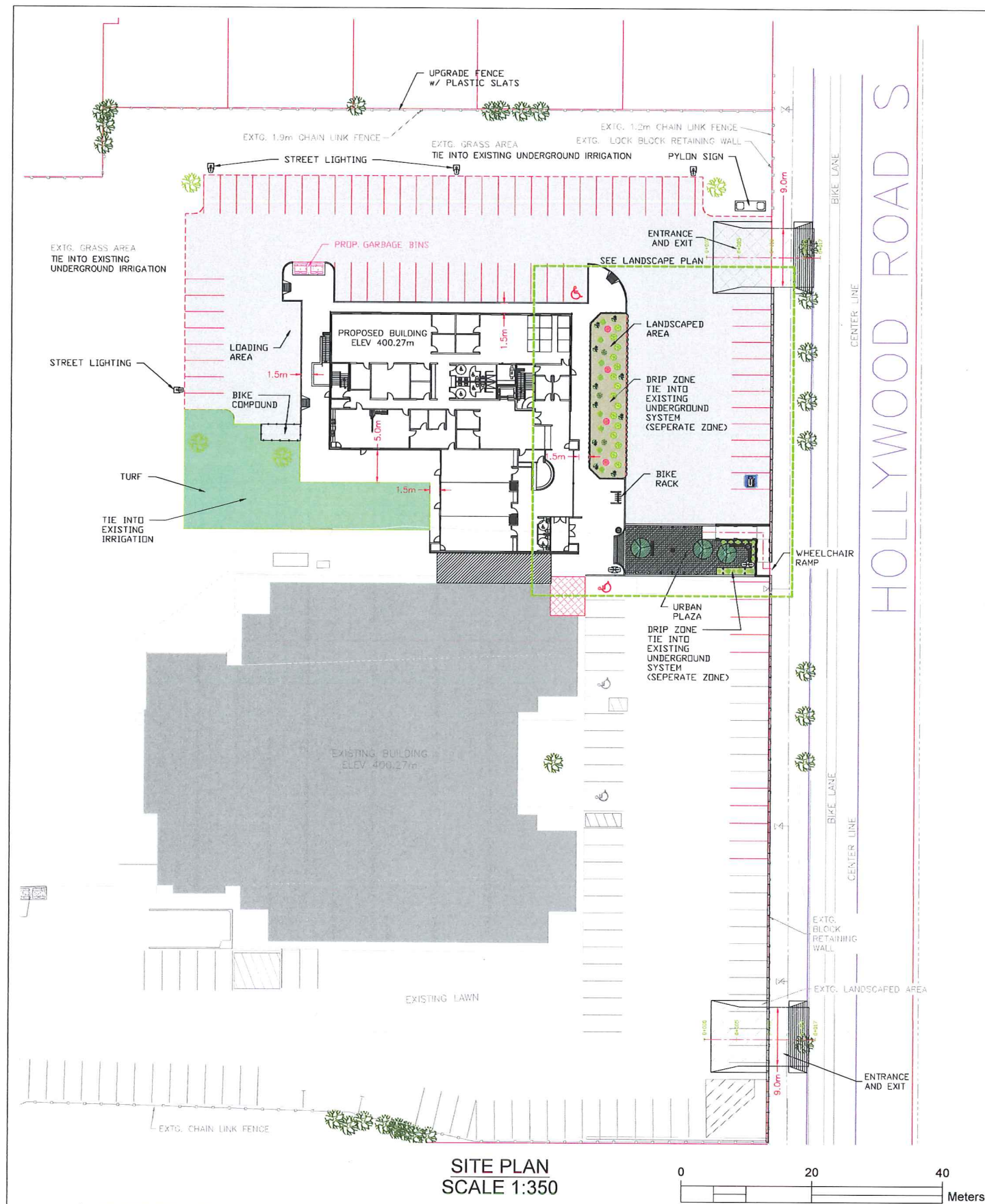
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Drawing Title

BUILDING SECTIONS

scale: 1/8"=1'0"

Date	2015-12-21
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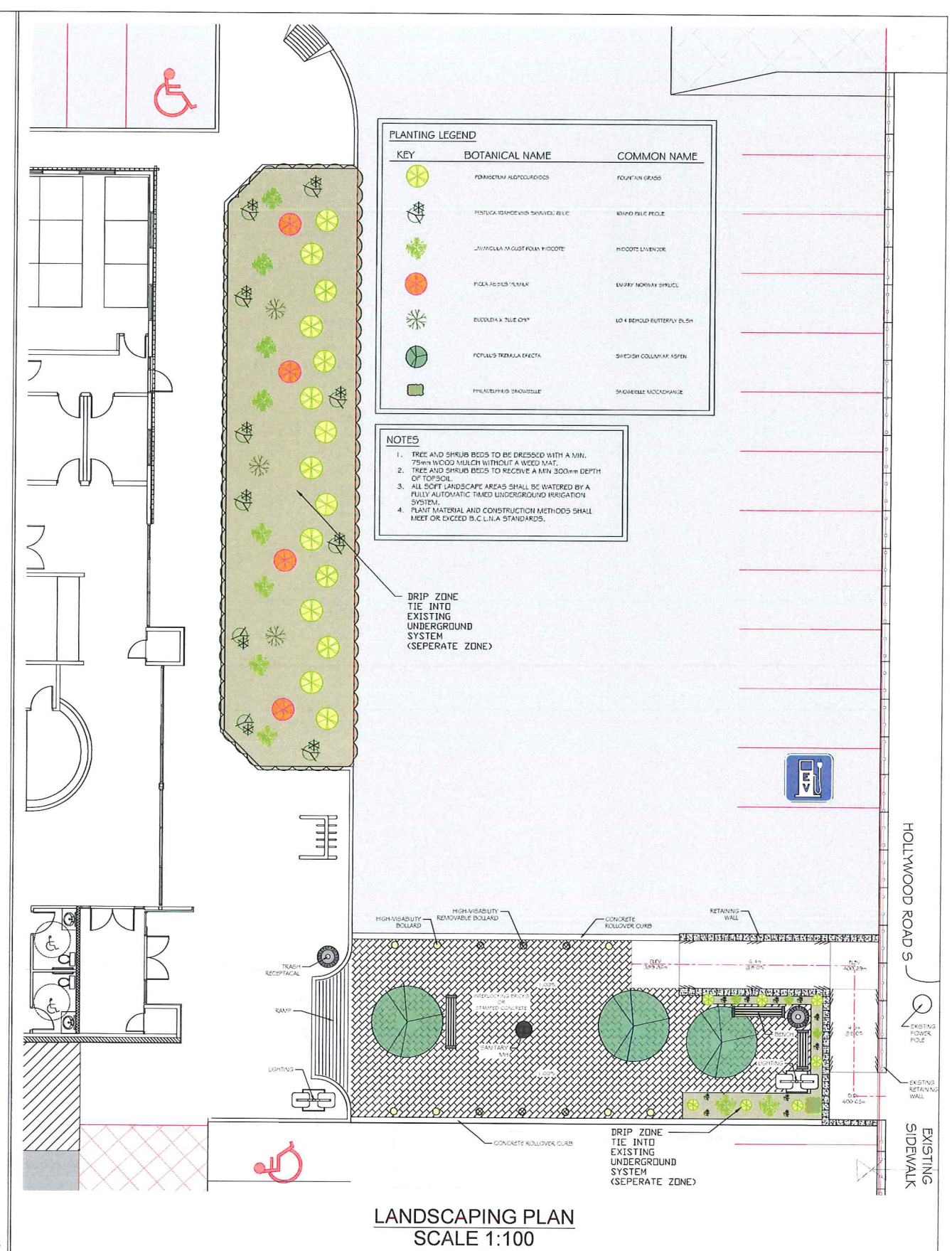
**SITE PLAN
SCALE 1:350**

LEGEND		PROP	EX
WATER	—	●	○
SANITARY SEWER	—	●	○
STORM SEWER	—	●	○
EOA	—	●	○
CURB	—	●	○
MANHOLE	●	●	○
CATCH BASIN	●	●	○
WATER VALVE	●	●	○
CURB STOP	●	●	○
HYDRANT	●	●	○
IC	●	●	○
POWER POLE	●	●	○
LAMP STANDARD	●	●	○
DRYWELL	●	●	○

Ecora

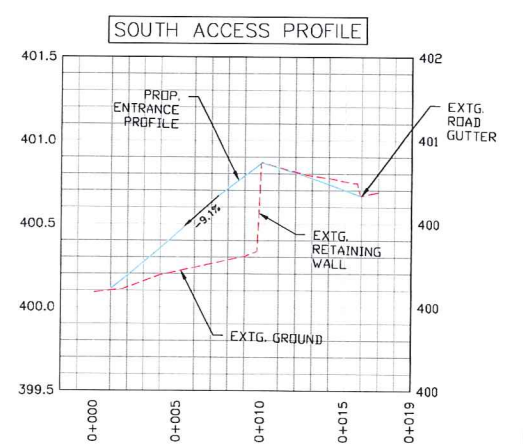
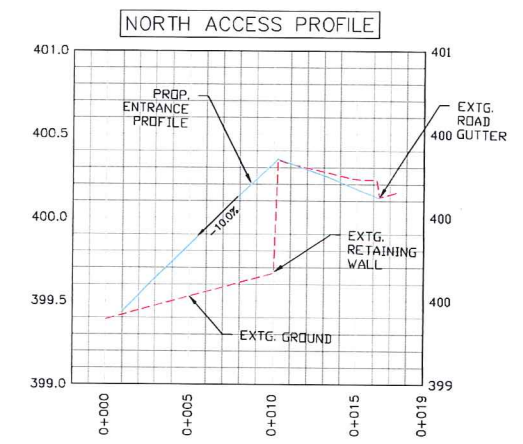
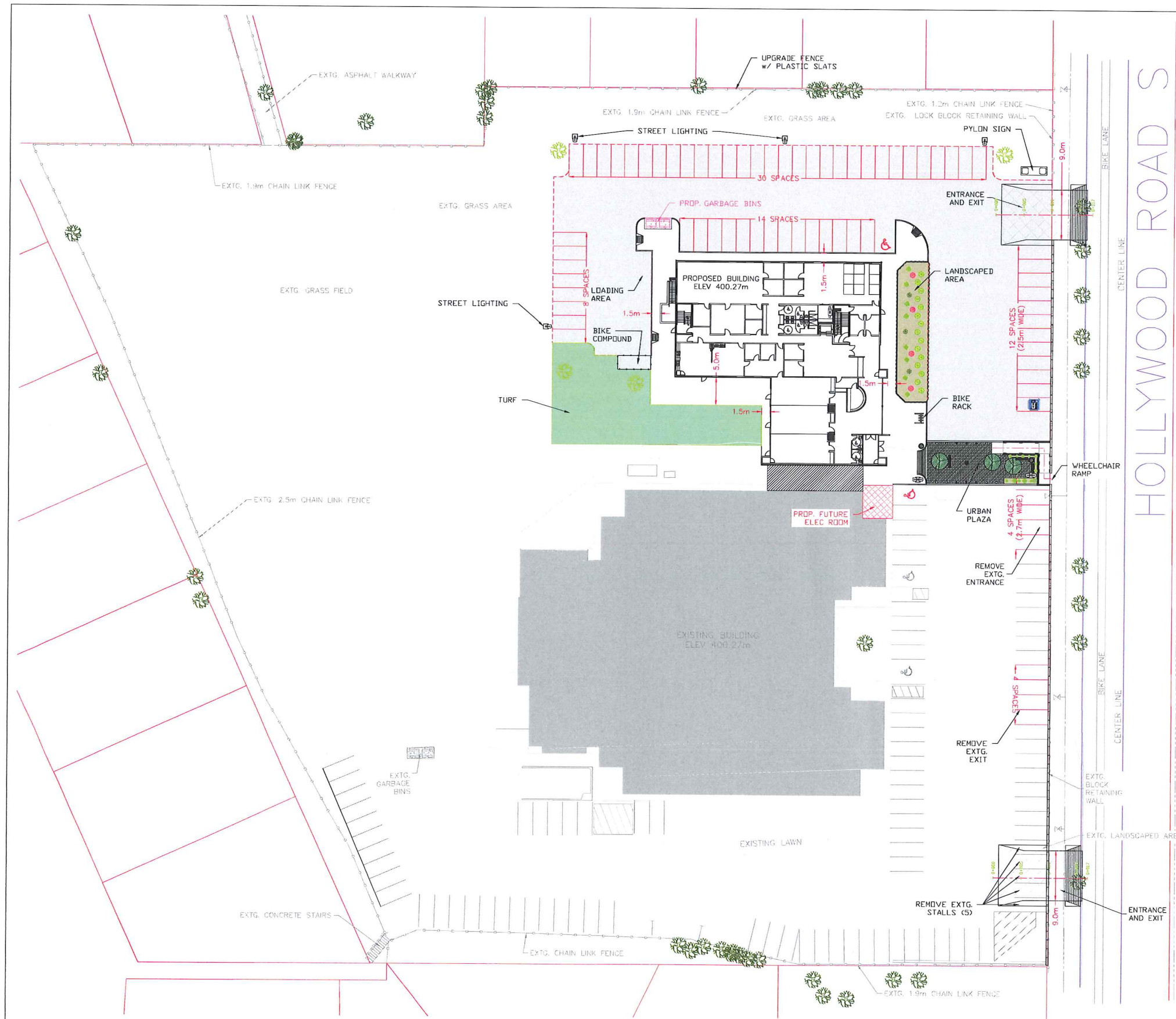
ECORA ENGINEERING LTD.
579 Lawrence Ave. KELOWNA, B.C. V1Y 6L8
Phone 250.469.9757

NO.	DATE	DRN	REVISION	CHKD
1	12-18-2015	SPB	PRELIMINARY	MDY



**LANDSCAPING PLAN
SCALE 1:100**

DESIGN:	SPB	CITY OF KELOWNA	Drawing No. CK-15-054-L-01	Rev.No 1
DRAWN:	SPB			
CHECKED:	MDY			
DATE:	12-18-2015			
SCALE:	AS NOTED	PARKING EXPANSION SCHOOL DISTRICT #23 LANDSCAPING		

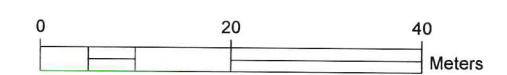


PROFILE
SCALE 1:200H
1:20V

PARKING STALLS

	REGULAR	HANDICAPPED
EXISTING	89	2
NEW SCHOOL BOARD OFFICE PROPOSED (PH 1)	67	2
TOTAL	156	4

* INCLUDES IMPROVEMENTS TO EXISTING SCHOOL DISTRICT PARKING LOT



LEGEND		PROP		EX	
WATER	—	MANHOLE	●	WATER VALVE	○
SANITARY SEWER	—	CATCH BASIN	■	CURB STOP	□
STORM SEWER	—	HYDRANT	●	IC	●
EOA	—	POWER POLE	●	LAMP STANDARD	●
CURB	—	DRY WELL	●		

NO.	DATE	DRN	REVISION	CHKD
3	12-18-2015	SPB	FURTHER LAYOUT MODIFICATIONS	MDY
2	12-11-2015	SPB	LAYOUT MODIFICATIONS	MDY
1	11-24-2015	SPB	PRELIMINARY	MDY

Ecora
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Phone 250.469.9757

SEAL

DESIGN:	SPB
DRAWN:	SPB
CHECKED:	MDY
DATE:	12-18-2015
SCALE:	1:350H

CITY OF KELOWNA
PARKING EXPANSION
SCHOOL DISTRICT #23
PLAN

Drawing No.	Rev.No
CK-15-054-P-01	3