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**CITY OF KELOWNA**  
**MEMORANDUM**

**SCHEDULE      A**

This forms part of application

# Z18-0050

Planner  
Initials LK



**Date:** May 9, 2018  
**File No.:** Z18-0050  
**To:** Urban Planning (LK)  
**From:** Development Engineering Manager (JK)  
**Subject:** 9570-80 McCarthy Road

Zone: A1 to I2

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The Development Engineering Department has the following comments and requirements associated with this application. The road and utility upgrading requirements outlined in this report will be a requirement of this development. The Development Engineering Technologist for this project is Aaron Sangster.

**1. General**

- a) The Fire Department and Environment Division requirements and comments are addressed separately.
- b) Provide easements as may be required.
- c) These are Development Engineering comments/requirements and are subject to the review and requirements from the Ministry of Transportation (MOTI) Infrastructure Branch.

**2. Geotechnical Report**

- a) Provide a comprehensive geotechnical report, prepared by a Professional Engineer competent in the field of hydro-geotechnical engineering to address the items below: **NOTE: The City is relying on the Geotechnical Engineer's report to prevent any damage to property and/or injury to persons from occurring as a result of problems with soil slippage or soil instability related to this proposed subdivision.**

The Geotechnical report must be submitted prior to submission of Engineering drawings or application for subdivision approval.

- (i) Area ground water characteristics, including any springs and overland surface drainage courses traversing the property. Identify any monitoring required.
- (ii) Site suitability for development.
- (iii) Site soil characteristics (i.e. fill areas, sulphate content, unsuitable soils such as organic material, etc.).
- (iv) Any special requirements for construction of roads, utilities and building structures.

- (v) Suitability of on-site disposal of storm water and sanitary waste, including effects upon adjoining lands.
- ii) Any special requirements that the proposed subdivision should undertake so that it will not impact the bank(s). The report must consider erosion and structural requirements.
- iii) Any items required in other sections of this document.
- iv) Recommendations for erosion and sedimentation controls for water and wind.
- v) Recommendations for roof drains and perimeter drains.
- vi) Recommendations for construction of detention or infiltration ponds if applicable.

### **3. Domestic Water and Fire Protection**

- a) The property is located within the Lake Country service area. Design drawings must be reviewed by Lake Country prior to the City issuing the drawings for construction. Confirmation of their review must be provided to the City for review.
- b) Provide an adequately sized domestic water and fire protection system complete with individual lot connections. The water system must be capable of supplying domestic and fire flow demands of the project in accordance with the Subdivision, Development & Servicing Bylaw. Only one service will be permitted for this development.
- c) A water meter is mandatory for this development and must be installed inside the building on the water service inlet as required by the City Plumbing Regulation and Water Regulation bylaws. The developer or building contractor must purchase the meter from the City at the time of application for a building permit from the Inspection Services Department, and prepare the meter setter at his cost. Boulevard landscaping, complete with underground irrigation system, must be integrated with the on-site irrigation system

### **4. Sanitary Sewer**

- a) The developer's consulting mechanical engineer will determine the development requirements of this proposed development and establish the service needs. Only one service will be permitted for this development. The applicant, at his cost, will arrange for the removal and disconnection of the existing services and the installation of one new larger service.
- b) An inspection chamber (IC) complete with brooks box must be installed on the service at the owner's cost. Service upgrades can be provided by the City at the applicant's cost, if requested. The applicant will be required to sign a Third Party Work Order for the cost of the service upgrade. For estimate inquiry's please contact Aaron Sangster, by email [asangster@kelowna.ca](mailto:asangster@kelowna.ca) or phone, 250-862-3314.
- c) The Connection Area #32 charge is currently set by Bylaw at \$2,600.00 per Single Family Equivalent (SFE). Determined by bylaw No. 8469, the assessed value of 0.53 & 0.53 SFE for lots 9570 & 9580 McCarthy respectively is **\$7,800.00**.

- d) Abandon and backfill existing septic tanks in accordance with Building Department requirements, if applicable. Identify, on the Lot Grading Plan, the location of the existing tanks and fields.

**5. Storm Drainage**

- a) The developer must engage a consulting civil engineer to provide a storm water management plan for the site, which meets the requirements of the Subdivision, Development and Servicing Bylaw No. 7900. The storm water management plan must also include provision of lot grading plan, minimum basement elevation (MBE), if applicable, and provision of a storm drainage service for the development and / or recommendations for onsite drainage containment and disposal systems.
- b) Provide the following drawings:
  - i) A detailed Stormwater Management Plan for this development; and,
  - ii) An Erosion and Sediment Control Plan.

**6. Roads**

McCarthy Rd must be upgraded to a 2 lane collector along the full frontage of this proposed development including curb and gutter, LED street lights, landscaped & irrigated boulevard, sidewalk, drainage system including catch basins and storm main, and pavement removal and replacement and re-location or adjustment of utility appurtenances if required to accommodate the upgrading construction. The road cross section to be used is a SS-R5.

**7. Road Improvements and Dedication**

- a) Grant Statutory Rights of Way if required for utility services.
- b) If any road dedication or closure affects lands encumbered by a Utility right-of-way (such as Hydro, TELUS, Gas, etc.) please obtain the approval of the utility. Any works required by the utility as a consequence of the road dedication or closure must be incorporated in the construction drawings submitted to the City's Development Manager.
- c) The ultimate width of McCarthy Road is a 20.0m right of way (R.O.W). The R.O.W. in the front of the subject property is deficient by approximately 2.5m. The developer must dedicate 2.5m width along the full frontage of McCarthy Rd.

**8. Electric Power and Telecommunication Services**

The electrical and telecommunication services to this building must be installed in an underground duct system, and the building must be connected by an underground service. It is the developer's responsibility to make a servicing application with the respective electric power, telephone and cable transmission companies to arrange for these services, which would be at the applicant's cost.

**9. Design and Construction**

- (a) Design, construction supervision and inspection of all off-site civil works and site servicing must be performed by a Consulting Civil Engineer and all such work is subject to the approval of the City Engineer. Drawings must conform to City standards and requirements.

- (b) Engineering drawing submissions are to be in accordance with the City's "Engineering Drawing Submission Requirements" Policy. Please note the number of sets and drawings required for submissions.
- (c) Quality Control and Assurance Plans must be provided in accordance with the Subdivision, Development & Servicing Bylaw No. 7900 (refer to Part 5 and Schedule 3).
- (d) A "Consulting Engineering Confirmation Letter" (City document 'C') must be completed prior to submission of any designs.
- (e) Before any construction related to the requirements of this subdivision application commences, design drawings prepared by a professional engineer must be submitted to the City's Development Engineering Department. The design drawings must first be "Issued for Construction" by the City Engineer. On examination of design drawings, it may be determined that rights-of-way are required for current or future needs.

**10. Servicing Agreements for Works and Services**

- (a) A Servicing Agreement is required for all offsite works and services on City lands in accordance with the Subdivision, Development & Servicing Bylaw No. 7900. The applicant's Engineer, prior to preparation of Servicing Agreements, must provide adequate drawings and estimates for the required works. The Servicing Agreement must be in the form as described in Schedule 2 of the bylaw.
- (b) Part 3, "Security for Works and Services", of the Bylaw, describes the Bonding and Insurance requirements of the Owner. The liability limit is not to be less than \$5,000,000 and the City is to be named on the insurance policy as an additional insured.

**11. Other Engineering Comments**

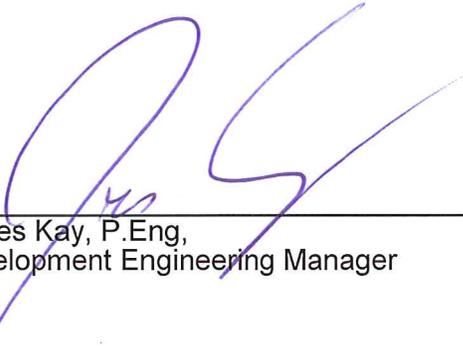
- (a) Provide all necessary Statutory Rights-of-Way for any utility corridors required, including those on proposed or existing City Lands.
- (b) If any road dedication affects lands encumbered by a Utility right-of-way (such as Terasen, etc.) please obtain the approval of the utility prior to application for final subdivision approval. Any works required by the utility as a consequence of the road dedication must be incorporated in the construction drawings submitted to the City's Development Manager.

**12. Development Permit and Site Related Issues**

- (a) Access and Manoeuvrability
  - (i) An MSU standard size vehicle must be able to manoeuvre onto and off the site without requiring a reverse movement onto public roadways. If the development plan intends to accommodate larger vehicles movements should also be illustrated on the site plan.
  - (ii) Perimeter access must comply with the BC Building Code. Fire Truck access designs and proposed hydrant locations will be reviewed by the Fire Protection Officer.

**13. Charges and Fees**

- a) Development Cost Charges (DCC's) are payable
- b) Fees per the "Development Application Fees Bylaw" include:
  - i) Survey Monument, Replacement Fee: \$1,200.00 (GST exempt) – only if disturbed.
  - ii) Engineering and Inspection Fee: 3.5% of construction value (plus GST).



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James Kay, P.Eng,  
Development Engineering Manager

AS

# MEIKLEJOHN ARCHITECTURAL DESIGN **STUDIO** INC.

CALVIN B MEIKLEJOHN, ARCHITECT AIBC

July 06, 2018

## City of Kelowna

1435 Water St  
Kelowna, BC  
V1Y 1J4

Attention: Lydia Korolchuk, Planner  
Email: LKorolchuk@kelowna.ca

## ATTACHMENT **A**

This forms part of application

# Z18-0050

Planner  
Initials **LK**



City of  
**Kelowna**  
COMMUNITY PLANNING

## R&D FACILITY

# 9570, 9580 McCARTHY ROAD

### DESIGN RATIONALE

The Development Proposal is for the rezoning of the site from A1 – Agriculture 1 to I2 – General Industrial, and the construction of a 3-storey Research and Development Industrial Facility. The proposal fits within the anticipated Industrial land use pattern outlined in the city of Kelowna OCP, Highway 97 sector. The proposal does not anticipate any variances. The proposed building type fits within the neighbourhood context. This development is part of a larger multi-phase development that will span 4 properties. Required parking is provided on-site and within 120 m of the subject property and on a neighbouring property located at 9640 McCarthy Road. This site is owned by the registered owner and is part of the larger multi-phase development.

The proposed building is located at the rear of the site, allowing for a surface parking lot to be located between the street and the building. The parking lot contains 2 electric charging stations and an employee amenity with decorative stand-alone signage and seating. In line with the brand of the R&D facility, the landscape concept proposes a mix of native grasses and shrubs, creating the illusion that the building is located in an open green field. The building exterior draws its aesthetic inspiration from local wineries, complete with screened windows large overhangs, and a trellised screen. Large glazing portions face the street providing animation to the sidewalk and a less industrial look at the front and side elevations. The building contains rooftop green houses, softening the roofline and providing a non-industrial backdrop to the architecture. The building square footprint allows good site lines around the perimeter satisfying Crime Prevention Through Environmental Design (CPTED) criteria.

Building program is focused on laboratory and green house spaces with ancillary office and common functions at the perimeter. A large 2-storey lobby gives the

# MEIKLEJOHN ARCHITECTURAL DESIGN **STUDIO** INC.

CALVIN B MEIKLEJOHN, ARCHITECT AIBC

building transparency; large expanses of glass on the interior allow the function of the building to be expressed on the exterior.

The intent for the form and character of the building and landscaping is to lead the way for other developments in the area, and allow the program of the building to shift the focus of the I2 zone away from current neighbourhood Industrial uses focused on storage and vehicle repair.

Site circulation is addressed via a one-way circular drive aisle, allowing fire fighter access to the front door via a direct alignment of the curb cut and the front entrance. Loading and waste + recycling is proposed to be managed via private pickup.

The site is to be partially fenced at the north, south and west property lines; new fencing is to match existing chain link fencing.

Sincerely,

A handwritten signature in black ink, consisting of a stylized, cursive 'C' followed by a horizontal line extending to the right.

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Cal Meiklejohn, Architect AIBC, FRAIC, LEED™AP  
MEIKLEJOHN ARCHITECTURAL DESIGN **STUDIO** INC.  
cal@meiklejohn.ca



# R + D F A C I L I T Y

McCarthy Road, Kelowna, BC

ISSUED FOR REZONING - JUNE 27, 2018



201 - 75 FRONT STREET, PENTICTON, BC, V2A 1H2  
 TEL: 250.492.3143 EMAIL: Office@meiklejohn.ca  
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HAWTHORNE



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No.	DATE	REVISION
01	2018.03.16	For City Review
02	2018.07.06	Rezoning Reapplication

PROJECT TITLE  
 R+D Facility  
 9570 + 9580  
 McCarthy Road  
 Kelowna, BC

DRAWING NUMBER  
**A000**

DRAWINGS ARE NOT TO BE SCALED. ALL DIMENSIONS SHALL BE VERIFIED ON SITE.

DRAWING TITLE  
 Cover Sheet

DATE	-
JOB NO.	-
SCALE	AS NOTED
DRAWN	-
CHECKED	-

ARCHITECTURAL:



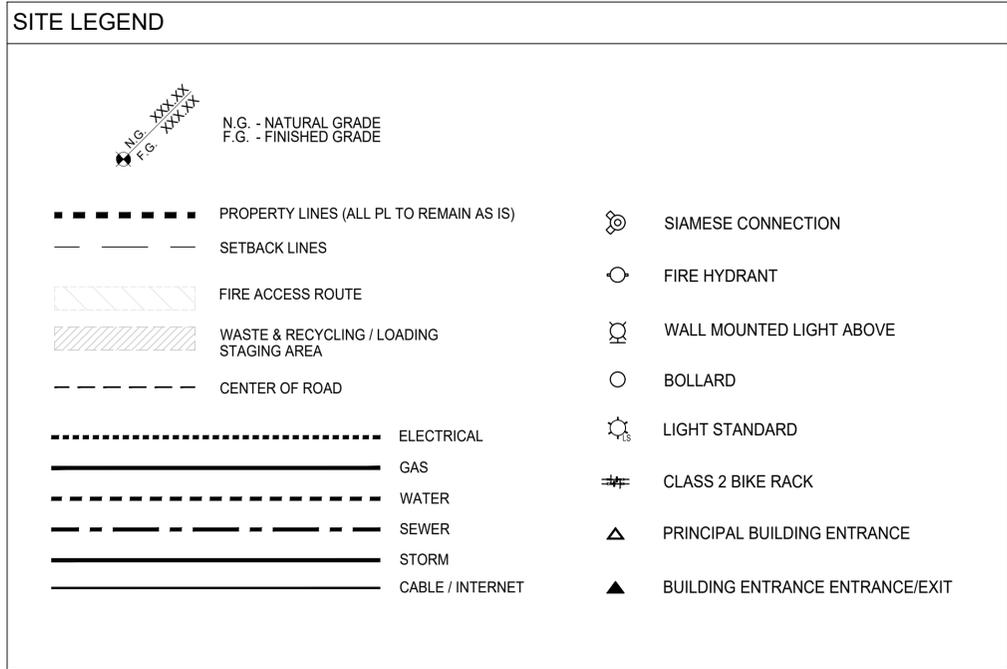
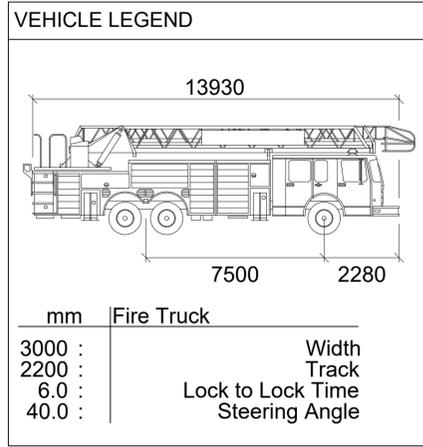
A000 COVER SHEET & DRAWING LIST  
 A121 ZONING / CODE / BYLAW  
 A210 SITE SURVEY  
 A211 REMOTE PARKING SITE SURVEY  
 A230 SITE PLAN  
 A231 SITE PLAN PARKING  
 A232 LUMINAIRE SCHEDULE  
 A233 SITE DETAILS  
 A240 CONTEXT PHOTOGRAPHS  
 A310 MAIN FLOOR  
 A311 SECOND FLOOR

A312 THIRD FLOOR  
 A313 THIRD FLOOR DRAINAGE  
 A314 ROOF PLAN  
 A410 SOUTH + NORTH ELEVATION  
 A411 EAST + WEST ELEVATION  
 A420 MATERIALS BOARD  
 A430 PERSPECTIVES  
 A431 PERSPECTIVES

LDP1 OVERALL PLAN  
 LDP2 LANDSCAPE PLAN  
 LDP3 HYDROZONE PLAN

1663-3-114-001 EXISTING SITE PLAN VIEW  
 1663-3-114-002 PROPOSED SITE PLAN VIEW

A311 SECOND FLOOR



## SITE PLAN

### GENERAL NOTES:

- UNLESS OTHERWISE NOTED, ALL PLAN DIMENSIONS ARE MEASURED FROM:
  - FACE OF PREFABRICATED METAL PANEL
  - FACE OF CONCRETE
  - CENTERLINE OF COLUMN
- REFER TO STRUCTURAL PLANS FOR ALL STUD SPACING, STRUCTURAL COLUMNS, BEAMS, LINTELS, ETC.
- REFER TO ELECTRICAL PLANS FOR ALL EXIT SIGNAGE, EMERGENCY LIGHTING, SMOKE DETECTORS, FIRE ALARMS, AUDIBLE AND VISUAL ALARMS, SPEAKERS, ETC.
- REFER TO ELECTRICAL PLANS FOR ELECTRICAL LAYOUTS, FIXTURE TYPES, SPECIFICATIONS AND DETAILS.
- REFER TO MECH PLANS FOR RETURN AND SUPPLY / REGISTER LOCATIONS.
- REFER TO MECHANICAL DRAWINGS FOR ALL MECHANICAL PIPE AND DUCT LOCATIONS, FIXTURE TYPES, SPECIFICATIONS, DETAILS, FRAMING CONTRACTOR TO INSTALL STUD FURRING C/W 5/8" FIRE RATED GWB AROUND ALL MECHANICAL ELEMENTS.
- FRAMING CONTRACTOR TO SUPPLY AND INSTALL FURRING AND BLOCKING AT ALL WALL MOUNTED CABINETS, ACCESSORIES, ETC., AND COORDINATE WITH SUPPLIERS.
- PROVIDE MOISTURE RESISTANT WALL BOARD AT ALL WET LOCATIONS.
- FIRE STOP ALL HOLES IN SHAFTS, AND OTHER PENETRATIONS THROUGH RATED ASSEMBLIES. PROVIDE FIRESTOPPING DETAILS FOR ARCHITECTS' REVIEW AND APPROVAL.
- ENSURE FINISH GRADES SLOPE AWAY FROM BUILDING.
- PROVIDE ROUGH IN PLUMBING TO ACCOMMODATE BATHROOMS.
- ALIGN DIFFERENT WALL TYPES TO ENSURE FINISHES WILL LINE UP. U.N.O.
- BRACE WALLS AS REQUIRED.
- PROVIDE DEFLECTION HEAD AT TOP OF WALL PANELS, AS REQUIRED, TO UNDERSIDE OF STRUCTURE AT INTERIOR WALLS.
- FOR DOOR FRAME AND DOOR TYPES SEE LEGEND.
- SEE CIVIL DRAWINGS FOR FURTHER GRADES AND SITE UTILITY ALIGNMENT.
- SEE LANDSCAPE DRAWINGS FOR LANDSCAPE PLANS AND DETAILS.
- SEE ELECTRICAL DRAWINGS FOR ELECTRICAL PLAN, FIXTURE LOCATIONS AND TYPES.

### BUILDING CODE SUMMARY PHASE 1 AND 2a

OCCUPANCY CLASSIFICATION MAXIMUM BUILDING AREA	GROUP F3 3.2.2.80 FOR 3 STOREYS = 14,400 m <sup>2</sup>	PROVIDED YES 3 1
SPRINKLERED NUMBER OF STORIES NUMBER OF STREETS CONSTRUCTION TYPE CONSTRUCTION REQUIRED: - FLOORS/CEILINGS - MEZZANINES - ROOF - BEARING	REQUIRED YES UP TO 6 1 1.0 HOUR 1.0 HOUR N/A NOT LESS THAN 1.0 HOUR	NON-COMBUSTIBLE NON-COMBUSTIBLE N/A NON-COMBUSTIBLE
BUILDING AND GROSS FLOOR AREA OF SUITE	3.1.3.2	
PROPOSED BUILDING AREA:	5,280.1 m <sup>2</sup> [56,834.6 ft <sup>2</sup> ]	
PROPOSED MAIN LEVEL:	1,926.1 m <sup>2</sup> [20,731.9 ft <sup>2</sup> ]	
PROPOSED SECOND LEVEL:	1,938.0 m <sup>2</sup> [20,839.1 ft <sup>2</sup> ]	
PROPOSED THIRD LEVEL:	1,418.0 m <sup>2</sup> [15,263.6 ft <sup>2</sup> ]	
FIRE/EMERGENCY SYSTEMS	3.2.4	
FIRE ALARM SYSTEM EXIT LIGHTS EMERGENCY LIGHTS MAXIMUM	YES YES YES	
FIRE/EMERGENCY SYSTEMS	3.2.5.8	
STAND PIPE	-	
OCCUPANT LOAD	3.1.17.1	
OCCUPANT LOAD - WAREHOUSE/STORAGE SPACE OCCUPANT LOAD - OFFICE SPACE OCCUPANT LOAD - SERVICE SPACE	125 PERSONS (3,518m <sup>2</sup> /9,3m <sup>2</sup> /PERSON) 78 PERSONS (713m <sup>2</sup> /9,3m <sup>2</sup> /PERSON) 12 PERSONS (115m <sup>2</sup> /9,3m <sup>2</sup> /PERSON)	
TOTAL OCCUPANT LOAD	213 PERSONS	
EXITS AND EGRESS SYSTEMS	3.3.1.5.6 & 3.4.2.5.1.C	
MAXIMUM FLOOR AREA F3 300m <sup>2</sup> REQUIRED EXITS PROVIDED EXITS MAXIMUM TRAVEL DISTANCE EXIT RATING PANIC HARDWARE REQUIRED EXIT WIDTH DEAD END CORRIDORS - 3.3.1.9.7	TWO TWO 45m (50m in service area) N/A YES 1100mm CORRIDORS, 800mm DOORWAYS, 900mm STAIRS MAXIMUM 6m	W/ WB WC WD WN WH W/O WRGB
WATERCLOSET FACILITIES	3.7.2.1.0 & 3.8.2.36	
REQUIRED NO. OF WATER CLOSETS	12 (3 MALE, 8 FEMALE)	
PROVIDED NO. OF WATER CLOSETS:	4 MALE, 4 FEMALE	
REQUIREMENTS FOR PEOPLE WITH DISABILITIES	3.8.2.36.1	
GROUP F3 OCCUPANCIES, NOT OPEN TO THE PUBLIC ARE NOT REQUIRED TO PROVIDE ACCESS TO PERSONS WITH DISABILITIES.		

### ZONING SUMMARY

ZONING EXISTING:	A1 - AGRICULTURE 1
ZONING PROPOSED:	I2 - GENERAL INDUSTRIAL, FAR 1.5, SITE COVERAGE 60%, MAXIMUM HEIGHT 14m, SETBACKS: front = 7.5m, south = 0m, north side = 0m, rear = 0m.
CIVIC ADDRESS:	9570 & 9580 McCARTHY ROAD, KELOWNA, BC
LEGAL DESCRIPTION:	9580 McCARTHY ROAD LOT 2, SECTION 11, TOWNSHIP 20 ODYD, PLAN 4273 9570 McCARTHY ROAD LOT 3, SECTION 11, TOWNSHIP 20, ODYD, PLAN 427
LOT AREA:	4,300 m <sup>2</sup> [46,284.8 ft <sup>2</sup> ]
PROPOSED TOTAL BUILDING AREA:	5,280.1m <sup>2</sup> [56,834.6 ft <sup>2</sup> ]
PROPOSED FAR:	1.228
PROPOSED SITE COVERAGE:	0.450
PROPOSED BUILDING HEIGHT	14.0m [46 ft]

## 9570 & 9580 McCarthy Road

### PARKING BYLAW SUMMARY

	REQUIRED:	PROPOSED:
GENERAL INDUSTRIAL:	2.0 PER 100m <sup>2</sup> GFA - 105 STALLS	30 STALLS + 75 STALLS AT 9640 McCARTHY ROAD (OFFSITE - WITHIN 117m TO 9580 McCARTHY ROAD) TOTAL: 105 STALLS
BICYCLE PARKING:	CLASS 2 - 3 per 100m <sup>2</sup> = 16 STALLS	16 STALLS
LOADING:	1 PER 1900m <sup>2</sup> GFA 3 REQUIRED	1
TOTAL PARKING STALLS:	CAR = 105 STALLS BIKE = 16 STALLS	29 STALLS + 1 H/C 73 STALLS + 2 H/C 16 BIKE STALLS
VEHICLE STALLS (LARGE): VEHICLE STALLS (MEDIUM): VEHICLE STALLS (PARALLEL):	6m x 2.5m 4.8m x 2.3m 7m x 2.6m	
ALL H/C STALLS ARE LARGE: LOADING BAYS ARE:	6m x 3.7m 12.2m x 3.6 x 3.65m	

### ABBREVIATIONS

@	AT	DS	DOWN SPOUT	INSUL	INSULATION	PR	PAIR	TEMP	TEMPORARY
AB	ANCHOR BOLT	DTL	DETAIL	INT	INTERIOR	PSL	PARALLEL STRAND LUMBER	THR	THRESHOLD
AP	ANCHOR POINT	DWG	DRAWING	JAN	JANITOR			VEST	VESTIBULE
AC	ACOUSTICAL	EA	EACH	JT	JOINT	PT	PRESSURE TREATED	TOB	TOP OF BEAM
ADJ	ADJUSTABLE	EL	ELEVATION	KPL	KICK PLATE	R	RADIUS/RISER	TOC	TOP OF CONC
ALUM	ALUMINUM	EAC	ELECTRIC	L	LENGTH	RD	ROOF DRAIN	TOF	TOP OF FLOOR
APRX	APPROXIMATE	ELEV	ELEVATOR	LAM	LAMINATE	REQ	REQUIRED	TOM	TOP OF MASONRY
ARCH	ARCHITECTURAL	EQ	EQUAL	LAV	LAVATORY	RESIL	RESILIENT	TOS	TOP OF STEEL
ASPH	ASPHALT	EQUIV	EQUIVALENT	LH	LEFT HAND	RH	RIGHT HAND	TOW	TOP OF WALL
BD	BOARD	EQUIP	EQUIPMENT	MAT	MATERIAL	RM	ROOM	TP	TOILET PARTITION
BITUM	BITUMINOUS	EXIST	EXISTING	MAX	MAXIMUM	RO	ROUGH OPENING	TYP	TYPICAL
BLDG	BUILDING	EXP JT	EXPANSION JOINT	MDF	MEDIUM DENSITY FIBREBOARD	ROW	RIGHT OF WAY	U.N.O.	UNLESS NOTED OTHERWISE
BLK	BLOCK	FAU	FORCE AIR UNIT	RTG	RATING	RWL	RAIN WATER LEADER	VENT	VENTILATION
BLKG	BLOCKING	FDN	FLOOR DRAIN	MECH	MECHANICAL			VERT	VERTICAL
BM	BEAM	FDN	FOUNDATION	MFR	MANUFACTURER	SAT	SCHEDULE	VEST	VESTIBULE
BOT	BOTTOM	FIN	FINISH	MIN	MINIMUM			W	WIDTH
CAB	CABINET	FIXT	FIXTURE	MISC	MISCELLANEOUS	SB	SOUND ATTENUATION BATT	WB	WOOD BASE
		FLUOR	FLUORESCENT	MO	MASONRY OPENING			WC	WATER CLOSET
		FRR	FIRE RESISTANCE RATING	MTL	METAL	SCHD	SCHEDULE	WD	WOOD
CT	CERAMIC TILE	FR	FOOTREST	NIC	NOT IN CONTRACT	SC	SCUPPER	WN	WINDOW
CIP	CAST IN PLACE	FT	FOOTING	NTS	NOT TO SCALE	SD	SMOKE DETECTOR	WH	WATER HEATER
CJ	CONTROL JOINT	FG	FOOTING	NA	NOT APPLICABLE	SGB	SUSPENDED GYPSUM BOARD	W/O	WITHOUT
CL	CENTRE LINE	GA	GALVE	NO	NUMBER			WRGB	WATER RESISTANT GYPSUM BOARD
CLG	CEILING	GALV	GALVANIZED	OC	ON CENTRE	SPEC	SPECIFICATION		
CMU	CONCRETE MASONRY UNIT	GB	GYPSUM BOARD	OD	OUTSIDE DIAMETER	SS	STAINLESS STEEL		
		GL	GLASS	OH	OVERHEAD	ST	STAINED		
COL	COLUMN	HC	HOSE BIBB	OPG	OPPOSITE	STD	STUD	WT	WEIGHT
CONC	CONCRETE	HC	HANDICAP ACCESSIBLE	OPP	OPPOSITE	STL	STEEL	WWF	WELODED WIRE FABRIC
CONST	CONSTRUCTION	HORIZ	HORIZONTAL	P	PAINT	STN	STONE	XS	EXPOSED STRUCTURE
CONT	CONTINUOUS	HT	HEIGHT	PC	PRECAST CONCRETE	STRUC	STRUCTURAL		
CPT	CARPET	HVAC	HEAT VENTILATION AIR CONDITIONING	PF	PRE-FINISHED	SUSP	SUSPENDED		
DIA	DIAMETER	ID	INSIDE DIAMETER	PIP	POURED IN PLACE	T&B	TOP & BOTTOM TONGUE & GROOVE		
DIM	DIMENSION			PL	PLATE	T&G			
DN	DOWN								
DR	DOOR								



201 - 75 FRONT STREET, PENTICTON, BC, V2A 1H2  
TEL: 250.492.3143 EMAIL: Office@meiklejohn.ca  
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No.	DATE	REVISION
01	2018.03.16	For City Review
02	2018.07.06	Rezoning Reapplication

PROJECT TITLE

R+D Facility  
9570 + 9580  
McCarthy Road  
Kelowna, BC

DRAWING NUMBER

# A121

DRAWINGS ARE NOT TO BE SCALED.  
ALL DIMENSIONS SHALL BE VERIFIED ON SITE.

DRAWING TITLE

Zoning  
Building Code  
Bylaws

DATE	-
JOB NO.	-
SCALE	AS NOTED
DRAWN	-
CHECKED	-





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No.	DATE	REVISION
01	2018.03.16	For City Review
02	2018.07.06	Rezoning Reapplication

PROJECT TITLE

R+D Facility  
9570 + 9580  
McCarthy Road  
Kelowna, BC

DRAWING NUMBER

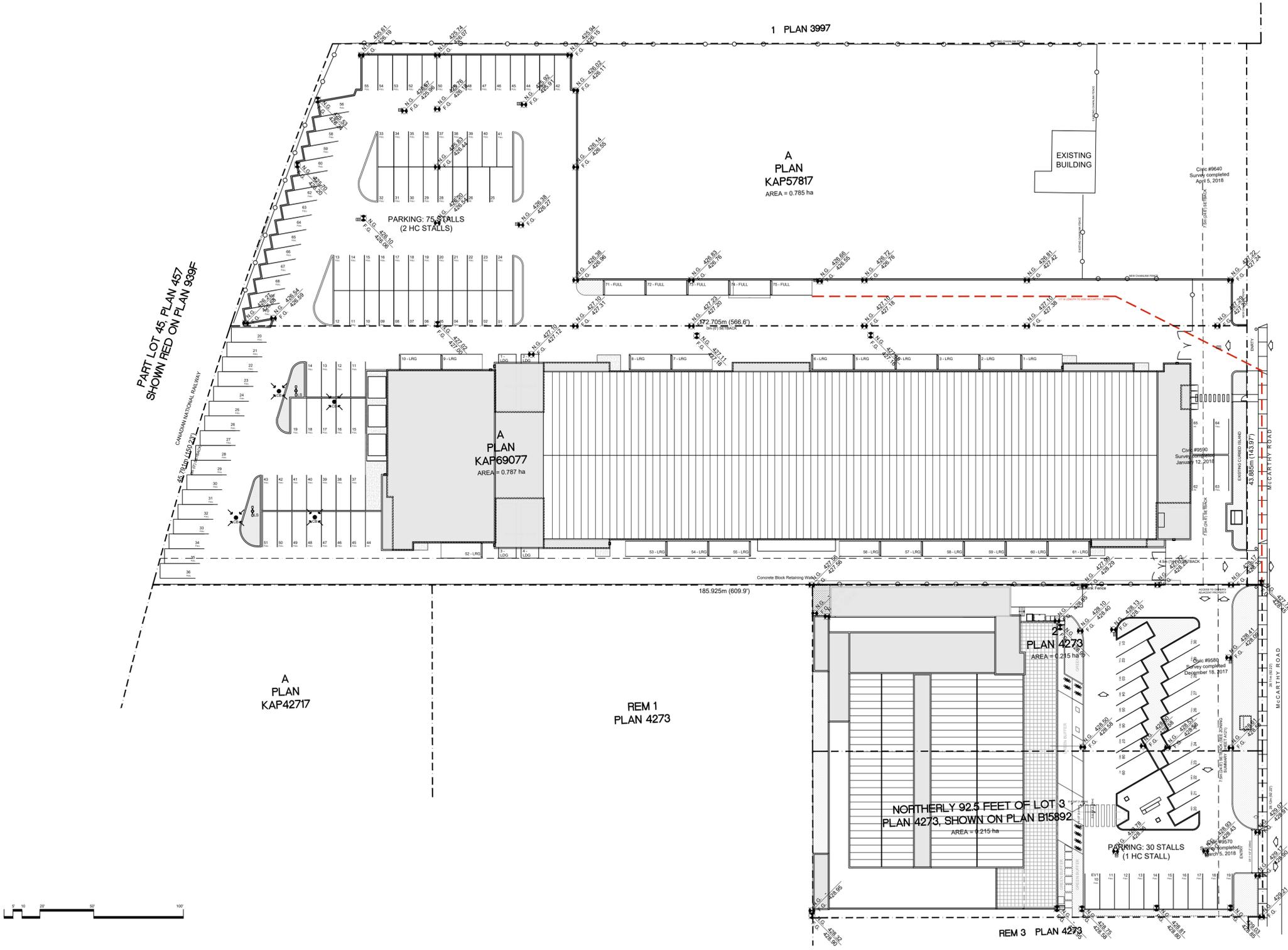
**A231**

DRAWINGS ARE NOT TO BE SCALED.  
ALL DIMENSIONS SHALL BE VERIFIED ON SITE.

DRAWING TITLE

Site Plan /  
Remote Parking  
Site Plan

DATE	-
JOB NO.	-
SCALE	AS NOTED
DRAWN	-
CHECKED	-



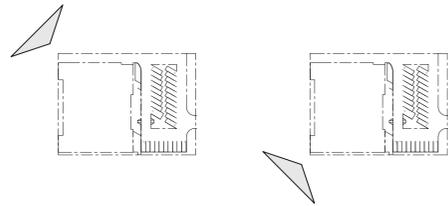
1 SITE PARKING PLAN  
A231 Scale: 1/32"=1'-0"  
@ 50%: 1/64"=1'-0"



1 SOUTH EAST  
Scale: NTS



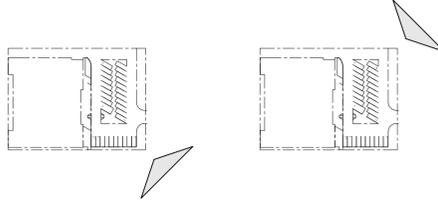
2 NORTH EAST  
Scale: NTS



3 NORTH WEST  
Scale: NTS



4 SOUTH WEST  
Scale: NTS



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No.	DATE	REVISION
01	2018.03.16	For City Review
02	2018.07.06	Rezoning Reapplication

PROJECT TITLE

R+D Facility  
9570 + 9580  
McCarthy Road  
Kelowna, BC

DRAWING NUMBER

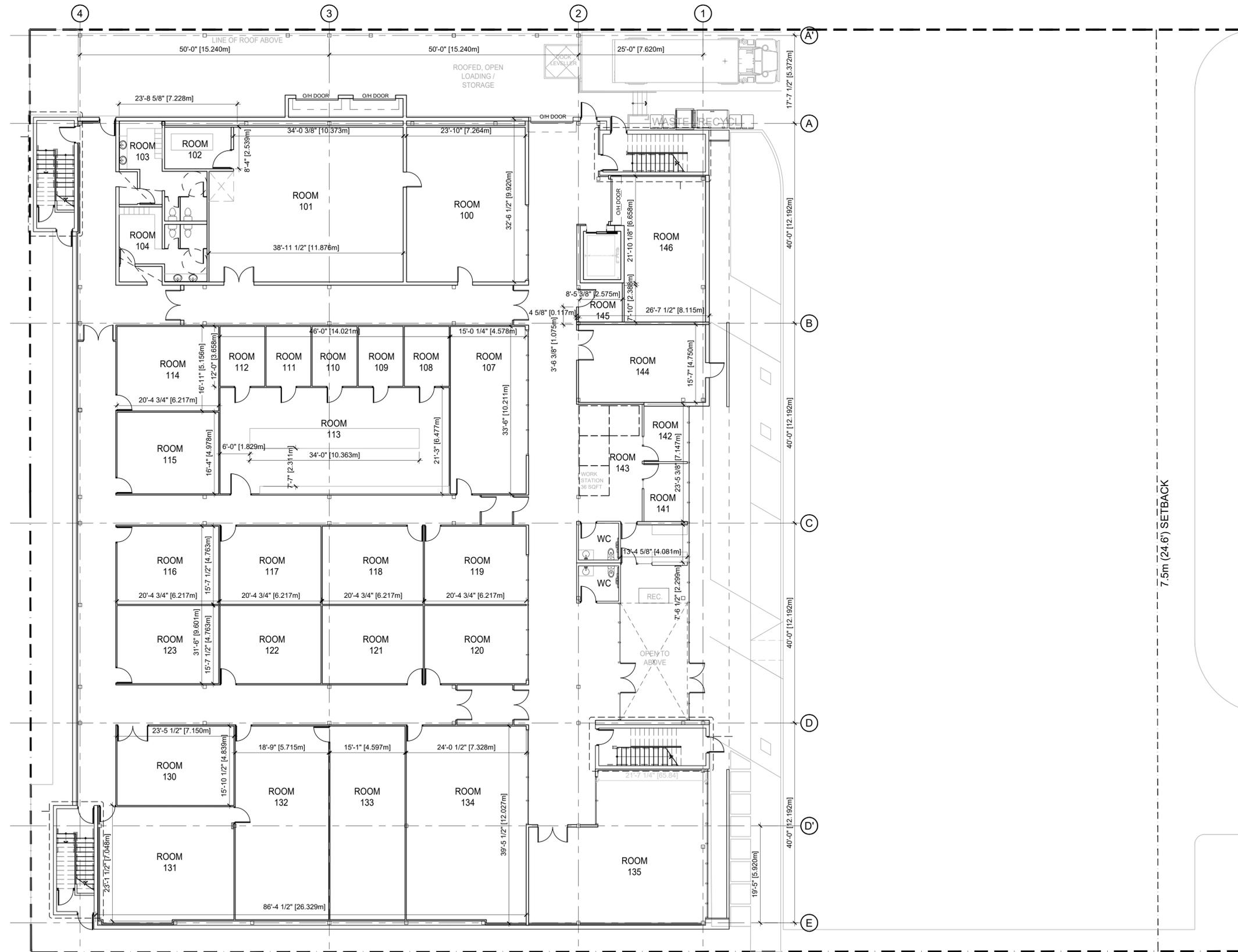
**A240**

DRAWINGS ARE NOT TO BE SCALED.  
ALL DIMENSIONS SHALL BE VERIFIED ON SITE.

DRAWING TITLE

Context Photographs

DATE	-
JOB NO.	-
SCALE	AS NOTED
DRAWN	-
CHECKED	-



201 - 75 FRONT STREET, PENTICTON, BC, V2A 1H2  
 TEL: 250.492.3143 EMAIL: Office@meiklejohn.ca  
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**ATTACHMENT B**  
 This forms part of application  
 # Z18-0050  
 City of Kelowna  
 COMMUNITY PLANNING  
 Planner Initials LK

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No.	DATE	REVISION
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02	2018.07.06	Rezoning Reapplication

PROJECT TITLE  
**R+D Facility**  
 9570 + 9580  
 McCarthy Road  
 Kelowna, BC

DRAWING NUMBER  
**A310**

DRAWING TITLE  
**Level 1**

DATE	-
JOB NO.	-
SCALE	AS NOTED
DRAWN	-
CHECKED	-

1 LEVEL 1  
 A310 Scale: 3/32"=1'-0"  
 @ 50%: 3/64"=1'-0"



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02	2018.07.06	Rezoning Reapplication

PROJECT TITLE

R+D Facility  
9570 + 9580  
McCarthy Road  
Kelowna, BC

DRAWING NUMBER

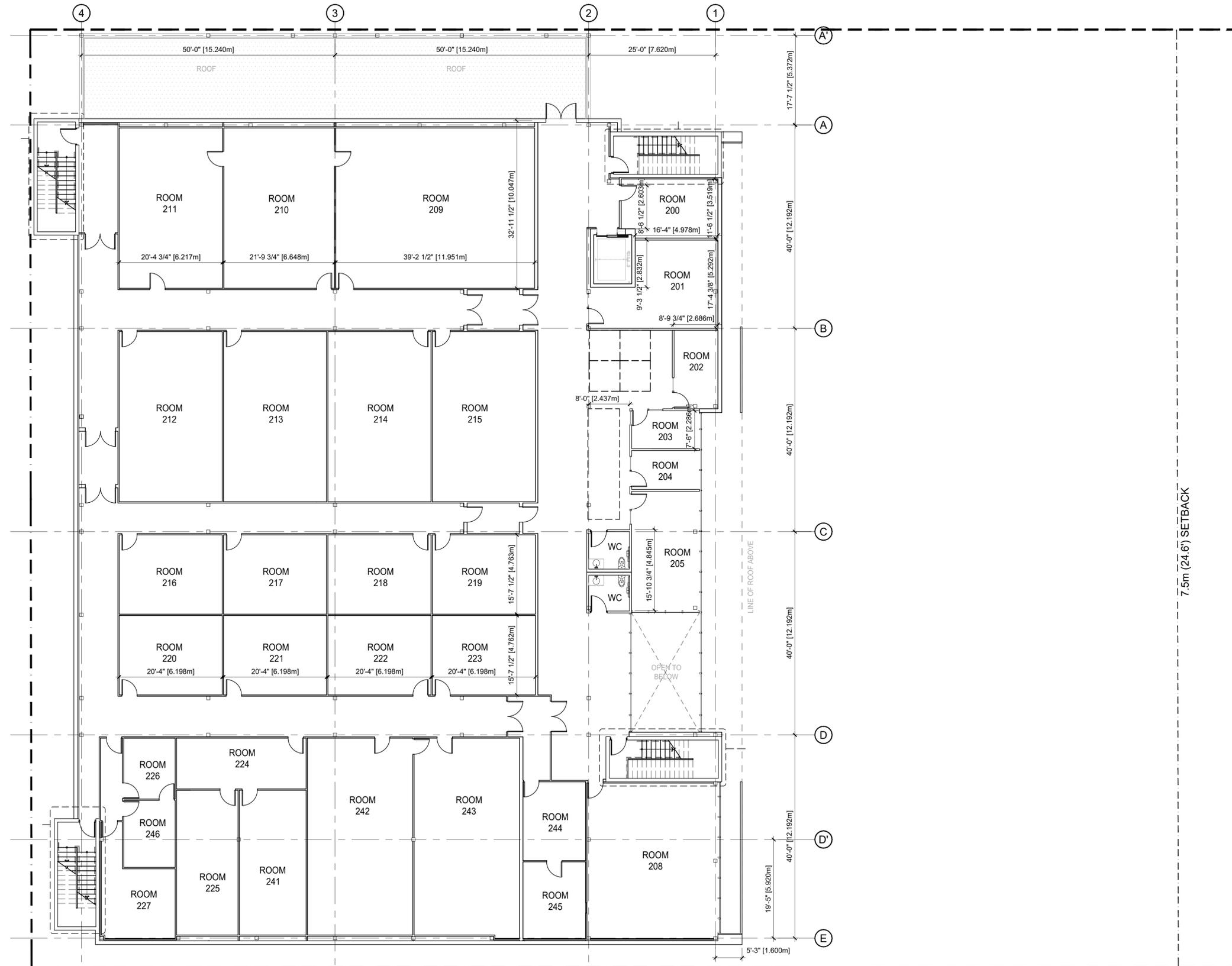
# A311

DRAWINGS ARE NOT TO BE SCALED.  
ALL DIMENSIONS SHALL BE VERIFIED ON SITE.

DRAWING TITLE

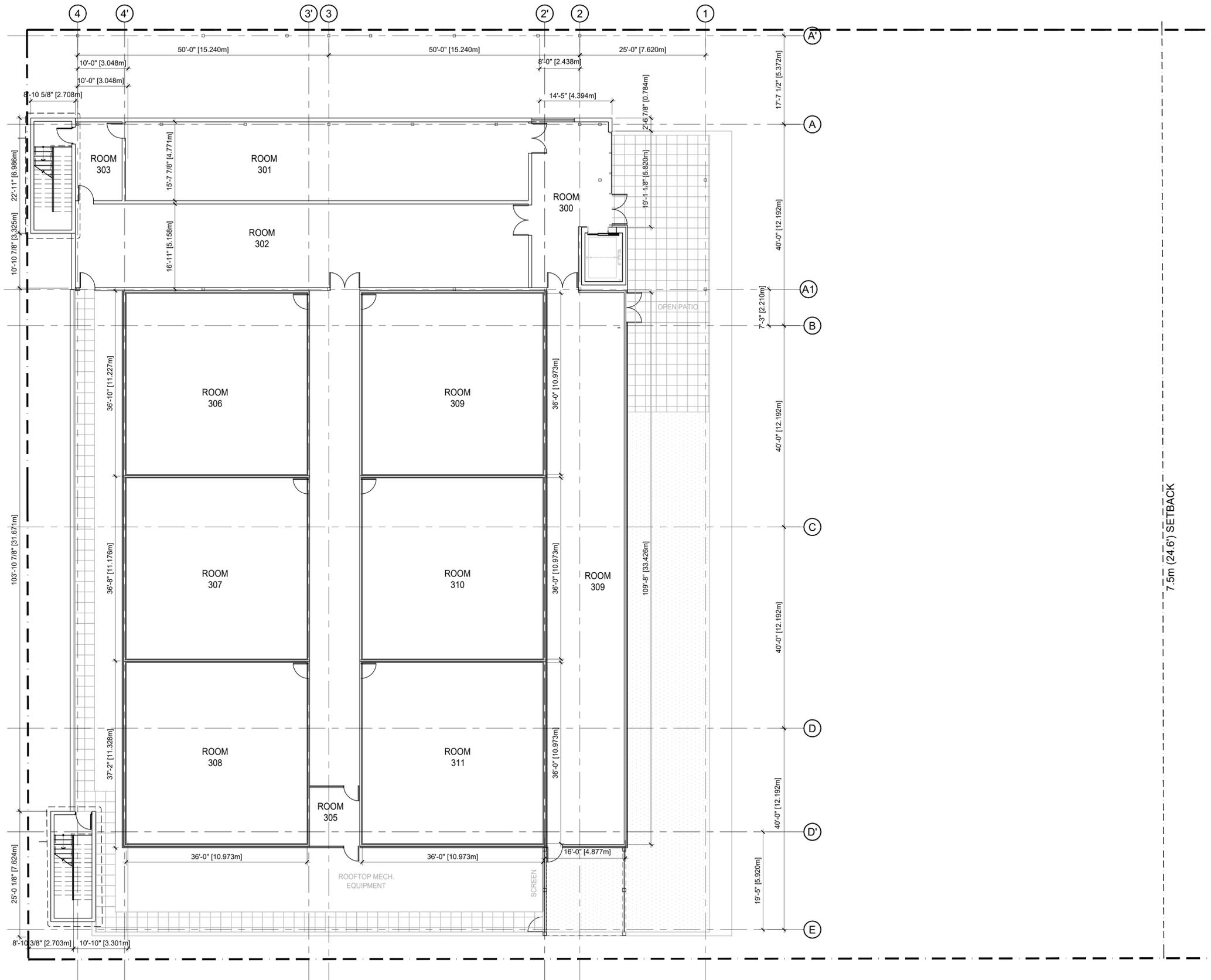
Level 2

DATE	-
JOB NO.	-
SCALE	AS NOTED
DRAWN	-
CHECKED	-



7.5m (24.6') SETBACK

1 LEVEL 2  
A311 Scale: 3/32"=1'-0"  
@ 50%: 3/64"=1'-0"



1 LEVEL 3  
 A312 Scale: 3/32"=1'-0"  
 @ 50%: 3/64"=1'-0"



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 # Z18-0050  
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PROJECT TITLE  
**R+D Facility**  
 9570 + 9580  
 McCarthy Road  
 Kelowna, BC

DRAWING NUMBER  
**A312**

DRAWING TITLE  
**Level 3**

DATE	-
JOB NO.	-
SCALE	AS NOTED
DRAWN	-
CHECKED	-



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PROJECT TITLE  
**R+D Facility**  
9570 + 9580  
McCarthy Road  
Kelowna, BC

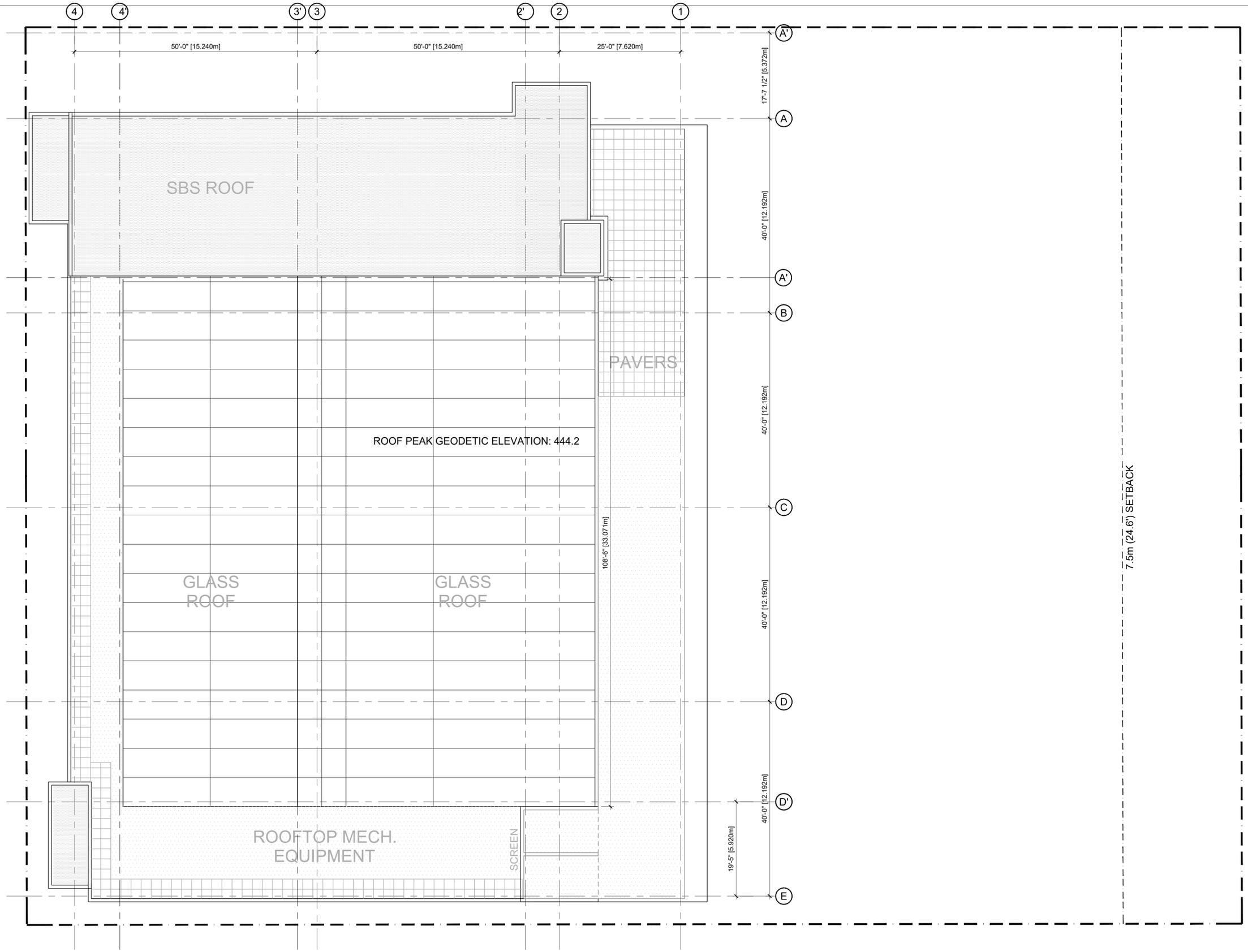
DRAWING NUMBER  
**A314**

DRAWINGS ARE NOT TO BE SCALED. ALL DIMENSIONS SHALL BE VERIFIED ON SITE.

DRAWING TITLE  
**Roof Plan**

DATE	-
JOB NO.	-
SCALE	AS NOTED
DRAWN	-
CHECKED	-

1 ROOF LEVEL  
A314 Scale: 3/32"=1'-0"  
@ 50%: 3/64"=1'-0"



No.	DATE	REVISION
01	2018.03.16	For City Review
02	2018.07.06	Rezoning Reapplication

PROJECT TITLE

R+D Facility  
9570 + 9580  
McCarthy Road  
Kelowna, BC

DRAWING NUMBER

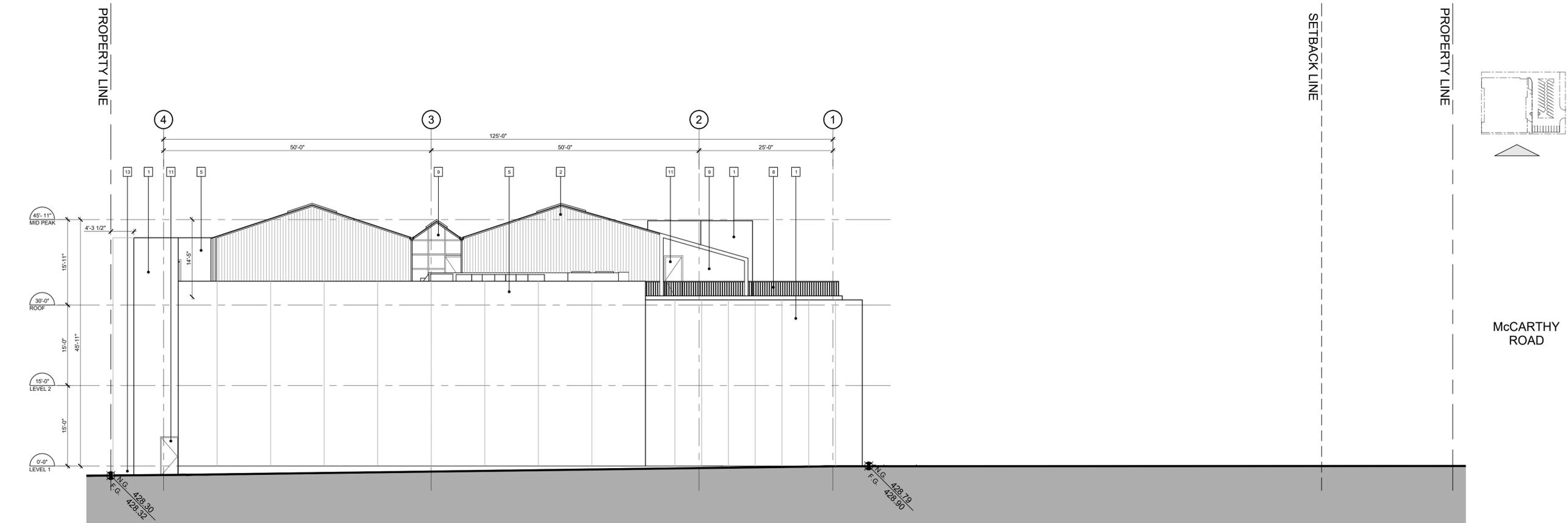
**A410**

DRAWINGS ARE NOT TO BE SCALED.  
ALL DIMENSIONS SHALL BE VERIFIED ON SITE.

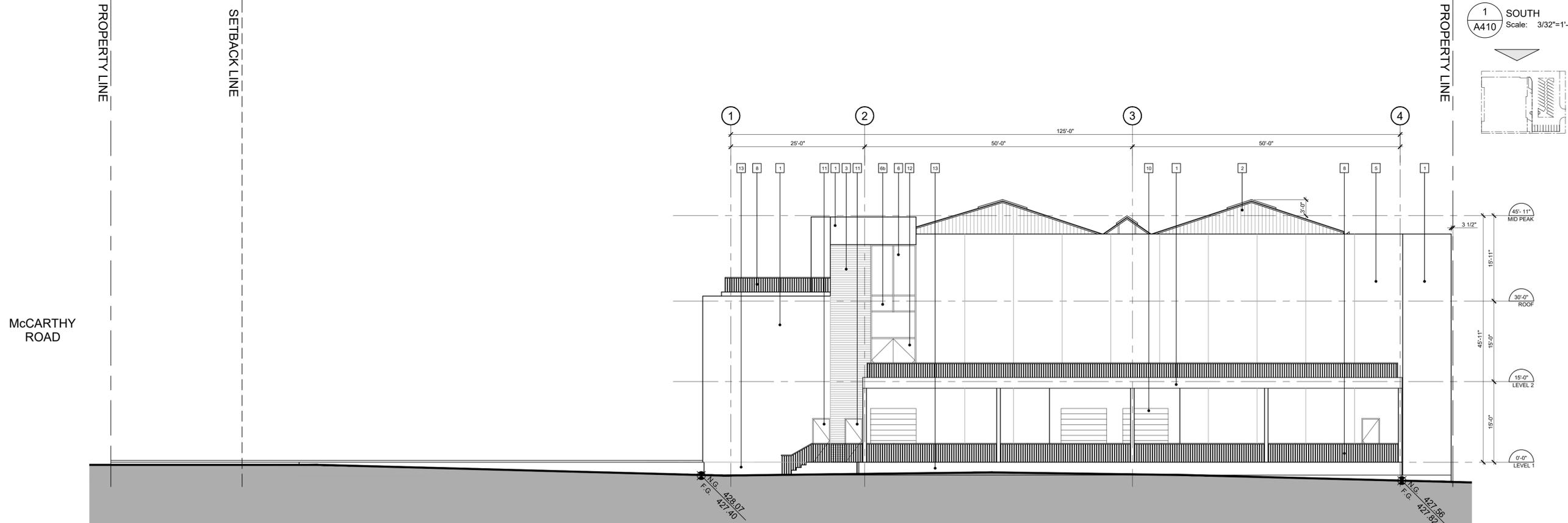
DRAWING TITLE

South + North  
Elevation

DATE	
JOB NO.	
SCALE	AS NOTED
DRAWN	
CHECKED	

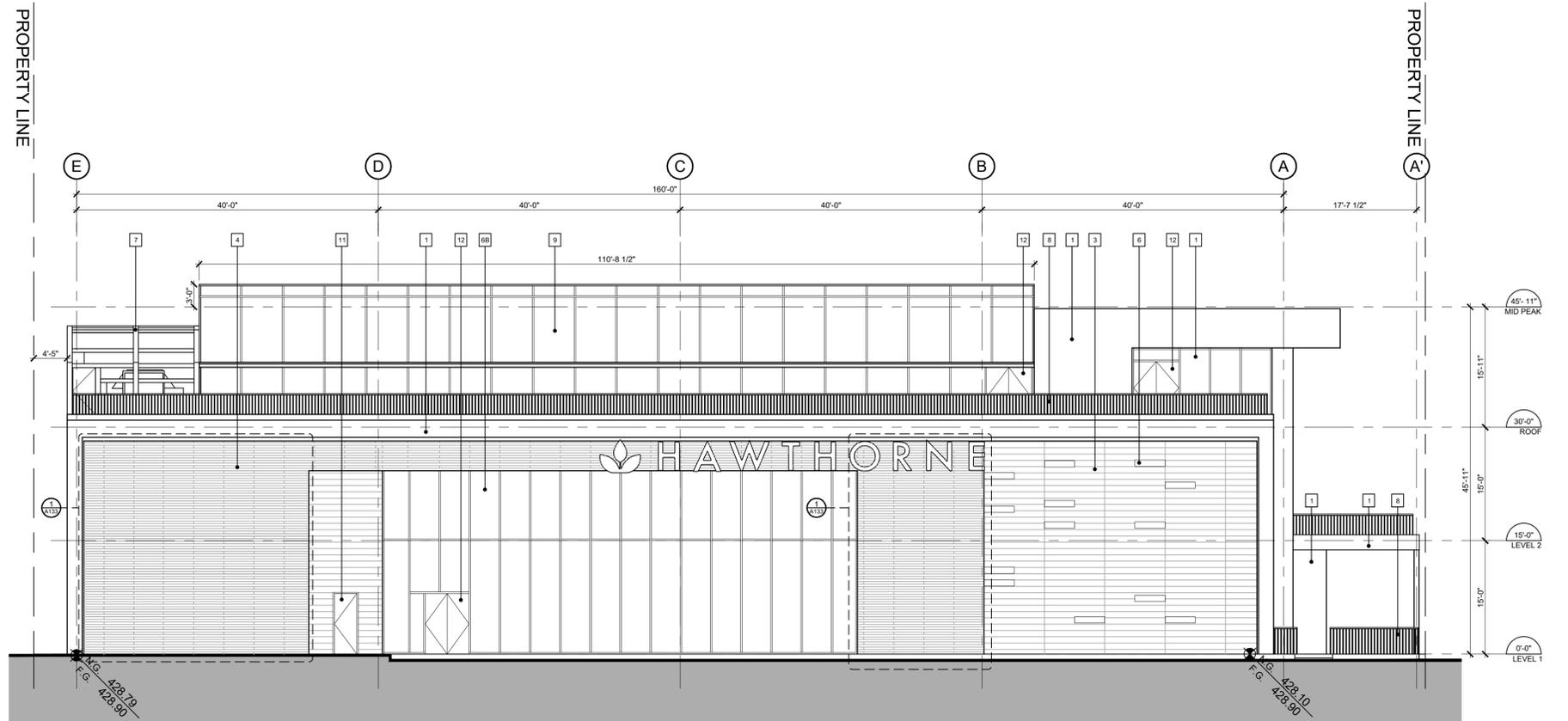


1 SOUTH  
Scale: 3/32"=1'-0"

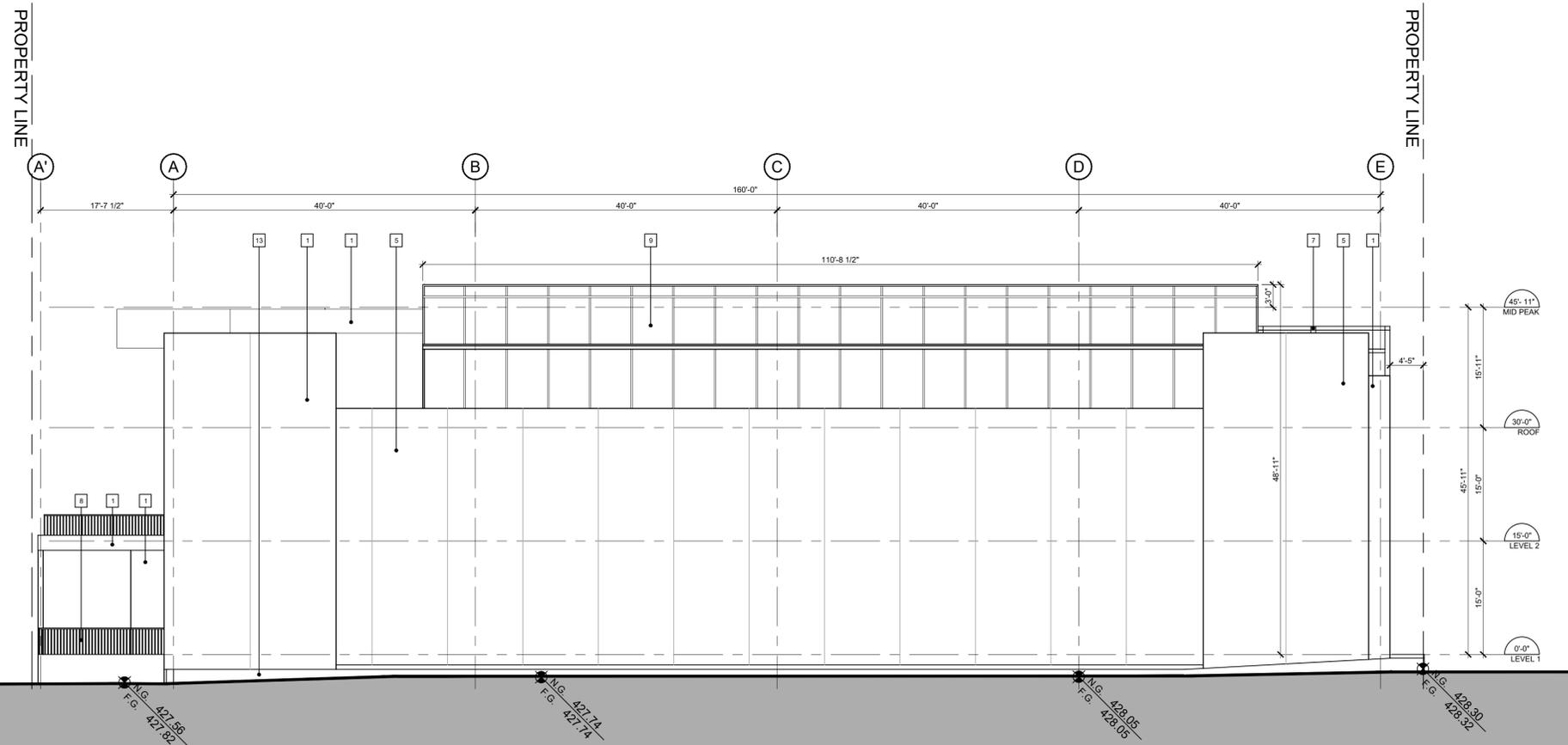


2 NORTH  
Scale: 3/32"=1'-0"

- |  |  |   |                                |                          |
|--|--|---|--------------------------------|--------------------------|
| 1 INSULATED METAL PANEL CLADDING WHITE | 4 WOOD-LIKE SCREEN                                   | 6B STOREFRONT GLAZING C/W SILLICONE JOINT, SPANDREL | 9 GLASS WINDOW PANEL           | 12 STOREFRONT GLASS DOOR |
| 2 STANDING SEAM METAL CLADDING, WHITE  | 5 PRECAST INSULATED SANDWICH PANEL MEDIUM WHITE      | 7 PAINTED STEEL SCREEN / COLUMN                     | 10 PAINTED OVERHEAD DOOR BROWN | 13 PAINTED CONCRETE      |
| 3 WOOD-LIKE PANELLING                  | 6 STOREFRONT GLAZING C/W BLACK ANODIZED FRAME, CLEAR | 8 PAINTED ALUMINUM RAILING, BLACK                   | 11 PAINTED STEEL WHITE / BROWN |                          |



1 EAST  
A411 Scale: 3/32"=1'-0"



2 WEST  
A411 Scale: 3/32"=1'-0"

- |  |  |   |                                |                          |
|--|--|---|--------------------------------|--------------------------|
| 1 INSULATED METAL PANEL CLADDING WHITE | 4 WOOD-LIKE SCREEN                                   | 6B STOREFRONT GLAZING C/W SILLICONE JOINT, SPANDREL | 9 GLASS WINDOW PANEL           | 12 STOREFRONT GLASS DOOR |
| 2 STANDING SEAM METAL CLADDING, WHITE  | 5 PRECAST INSULATED SANDWICH PANEL MEDIUM WHITE      | 7 PAINTED STEEL SCREEN / COLUMN                     | 10 PAINTED OVERHEAD DOOR BROWN | 13 PAINTED CONCRETE      |
| 3 WOOD-LIKE PANELLING                  | 6 STOREFRONT GLAZING C/W BLACK ANODIZED FRAME, CLEAR | 8 PAINTED ALUMINUM RAILING, BLACK                   | 11 PAINTED STEEL WHITE / BROWN |                          |

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02	2018.07.06	Rezoning Reapplication

PROJECT TITLE

R+D Facility  
9570 + 9580  
McCarthy Road  
Kelowna, BC

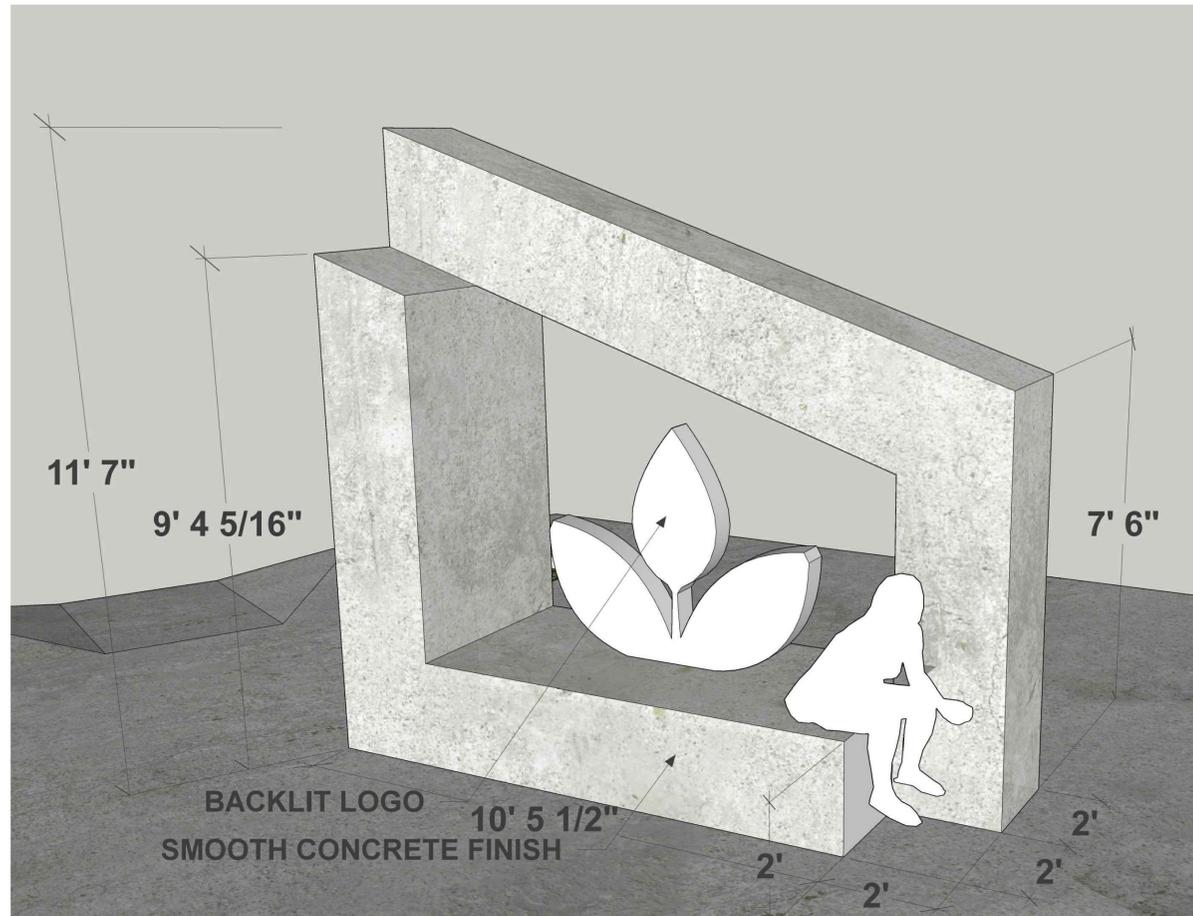
DRAWING NUMBER

**A411**

DRAWING TITLE

East + West  
Elevation

DATE	JOB NO.	SCALE	DRAWN	CHECKED
-	-	AS NOTED	-	-

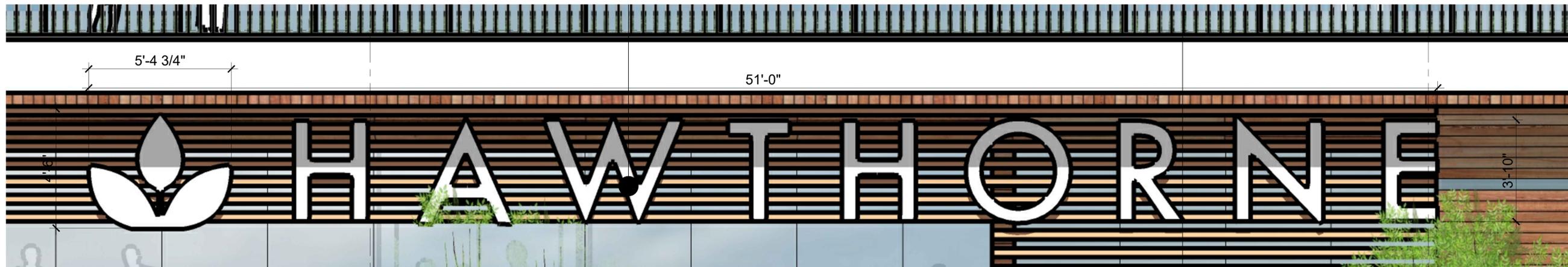


1 FREE STANDING SITE SIGNAGE  
Scale: NTS

## MATERIALS BOARD



- |    |   |    |                                 |
|----|---|----|---------------------------------|
| 1  | INSULATED METAL PANEL CLADDING<br>WHITE               | 8  | PAINTED ALUMINUM RAILING, BLACK |
| 2  | STANDING SEAM METAL CLADDING, WHITE                   | 9  | POLYCARBONATE WINDOW PANEL      |
| 3  | WOOD-LIKE PANELLING                                   | 10 | PAINTED OVERHEAD DOOR<br>BROWN  |
| 4  | WOOD-LIKE SCREEN                                      | 11 | PAINTED STEEL WHITE / BROWN     |
| 5  | PRECAST INSULATED SANDWICH PANEL<br>MEDIUM WHITE      | 12 | STOREFRONT GLASS DOOR           |
| 6  | STOREFRONT GLAZING C/W BLACK<br>ANODIZED FRAME, CLEAR | 14 | PAINTED STEEL SCREEN            |
| 6B | STOREFRONT GLAZING C/W SILICONE<br>JOINT, SPANDREL    | 15 | PAINTED CONCRETE                |
|    |   | 16 | GREY ROOF MEMBRANE              |



2 BACK-LIT BUILDING SIGNAGE  
Scale: NTS

No.	DATE	REVISION
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PROJECT TITLE

R+D Facility  
9570 + 9580  
McCarthy Road  
Kelowna, BC

DRAWING NUMBER

**A420**

DRAWINGS ARE NOT TO BE SCALED.  
ALL DIMENSIONS SHALL BE VERIFIED ON SITE.

DRAWING TITLE

Materials Board /  
Site Signage

DATE	-
JOB NO.	-
SCALE	AS NOTED
DRAWN	-
CHECKED	-

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No.	DATE	REVISION
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PROJECT TITLE

R+D Facility  
9570 + 9580  
McCarthy Road  
Kelowna, BC

DRAWING NUMBER

**A430**

DRAWINGS ARE NOT TO BE SCALED.  
ALL DIMENSIONS SHALL BE VERIFIED ON SITE.

DRAWING TITLE

Perspectives

DATE	-
JOB NO.	-
SCALE	AS NOTED
DRAWN	-
CHECKED	-



1 EAST  
Scale: NTS



2 NORTH WEST  
Scale: NTS



3 SOUTH EAST  
Scale: NTS



1 NORTH EAST  
Scale: NTS



2 SOUTH WEST  
Scale: NTS

3 SOUTH EAST  
Scale: NTS

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PROJECT TITLE

R+D Facility  
9570 + 9580  
McCarthy Road  
Kelowna, BC

DRAWING NUMBER

**A431**

DRAWINGS ARE NOT TO BE SCALED. ALL DIMENSIONS SHALL BE VERIFIED ON SITE.

DRAWING TITLE

Perspectives

DATE	-
JOB NO.	-
SCALE	AS NOTED
DRAWN	-
CHECKED	-