
CITY OF KELOWNA
MEMORANDUM

SCHEDULE A

This forms part of application

Z18-0050

Planner
Initials

LK



Date: May 9, 2018
File No.: Z18-0050
To: Urban Planning (LK)
From: Development Engineering Manager (JK)
Subject: 9570-80 McCarthy Road

Zone: A1 to I2

The Development Engineering Department has the following comments and requirements associated with this application. The road and utility upgrading requirements outlined in this report will be a requirement of this development. The Development Engineering Technologist for this project is Aaron Sangster.

1. General

- a) The Fire Department and Environment Division requirements and comments are addressed separately.
- b) Provide easements as may be required.
- c) These are Development Engineering comments/requirements and are subject to the review and requirements from the Ministry of Transportation (MOTI) Infrastructure Branch.

2. Geotechnical Report

- a) Provide a comprehensive geotechnical report, prepared by a Professional Engineer competent in the field of hydro-geotechnical engineering to address the items below: **NOTE: The City is relying on the Geotechnical Engineer's report to prevent any damage to property and/or injury to persons from occurring as a result of problems with soil slippage or soil instability related to this proposed subdivision.**

The Geotechnical report must be submitted prior to submission of Engineering drawings or application for subdivision approval.

- (i) Area ground water characteristics, including any springs and overland surface drainage courses traversing the property. Identify any monitoring required.
- (ii) Site suitability for development.
- (iii) Site soil characteristics (i.e. fill areas, sulphate content, unsuitable soils such as organic material, etc.).
- (iv) Any special requirements for construction of roads, utilities and building structures.

- (v) Suitability of on-site disposal of storm water and sanitary waste, including effects upon adjoining lands.
- ii) Any special requirements that the proposed subdivision should undertake so that it will not impact the bank(s). The report must consider erosion and structural requirements.
- iii) Any items required in other sections of this document.
- iv) Recommendations for erosion and sedimentation controls for water and wind.
- v) Recommendations for roof drains and perimeter drains.
- vi) Recommendations for construction of detention or infiltration ponds if applicable.

3. Domestic Water and Fire Protection

- a) The property is located within the Lake Country service area. Design drawings must be reviewed by Lake Country prior to the City issuing the drawings for construction. Confirmation of their review must be provided to the City for review.
- b) Provide an adequately sized domestic water and fire protection system complete with individual lot connections. The water system must be capable of supplying domestic and fire flow demands of the project in accordance with the Subdivision, Development & Servicing Bylaw. Only one service will be permitted for this development.
- c) A water meter is mandatory for this development and must be installed inside the building on the water service inlet as required by the City Plumbing Regulation and Water Regulation bylaws. The developer or building contractor must purchase the meter from the City at the time of application for a building permit from the Inspection Services Department, and prepare the meter setter at his cost. Boulevard landscaping, complete with underground irrigation system, must be integrated with the on-site irrigation system

4. Sanitary Sewer

- a) The developer's consulting mechanical engineer will determine the development requirements of this proposed development and establish the service needs. Only one service will be permitted for this development. The applicant, at his cost, will arrange for the removal and disconnection of the existing services and the installation of one new larger service.
- b) An inspection chamber (IC) complete with brooks box must be installed on the service at the owner's cost. Service upgrades can be provided by the City at the applicant's cost, if requested. The applicant will be required to sign a Third Party Work Order for the cost of the service upgrade. For estimate inquiry's please contact Aaron Sangster, by email asangster@kelowna.ca or phone, 250-862-3314.
- c) The Connection Area #32 charge is currently set by Bylaw at \$2,600.00 per Single Family Equivalent (SFE). Determined by bylaw No. 8469, the assessed value of 0.53 & 0.53 SFE for lots 9570 & 9580 McCarthy respectively is **\$7,800.00.**

- d) Abandon and backfill existing septic tanks in accordance with Building Department requirements, if applicable. Identify, on the Lot Grading Plan, the location of the existing tanks and fields.

5. Storm Drainage

- a) The developer must engage a consulting civil engineer to provide a storm water management plan for the site, which meets the requirements of the Subdivision, Development and Servicing Bylaw No. 7900. The storm water management plan must also include provision of lot grading plan, minimum basement elevation (MBE), if applicable, and provision of a storm drainage service for the development and / or recommendations for onsite drainage containment and disposal systems.
- b) Provide the following drawings:
 - i) A detailed Stormwater Management Plan for this development; and,
 - ii) An Erosion and Sediment Control Plan.

6. Roads

McCarthy Rd must be upgraded to a 2 lane collector along the full frontage of this proposed development including curb and gutter, LED street lights, landscaped & irrigated boulevard, sidewalk, drainage system including catch basins and storm main, and pavement removal and replacement and re-location or adjustment of utility appurtenances if required to accommodate the upgrading construction. The road cross section to be used is a SS-R5.

7. Road Improvements and Dedication

- a) Grant Statutory Rights of Way if required for utility services.
- b) If any road dedication or closure affects lands encumbered by a Utility right-of-way (such as Hydro, TELUS, Gas, etc.) please obtain the approval of the utility. Any works required by the utility as a consequence of the road dedication or closure must be incorporated in the construction drawings submitted to the City's Development Manager.
- c) The ultimate width of McCarthy Road is a 20.0m right of way (R.O.W). The R.O.W. in the front of the subject property is deficient by approximately 2.5m. The developer must dedicate 2.5m width along the full frontage of McCarthy Rd.

8. Electric Power and Telecommunication Services

The electrical and telecommunication services to this building must be installed in an underground duct system, and the building must be connected by an underground service. It is the developer's responsibility to make a servicing application with the respective electric power, telephone and cable transmission companies to arrange for these services, which would be at the applicant's cost.

9. Design and Construction

- (a) Design, construction supervision and inspection of all off-site civil works and site servicing must be performed by a Consulting Civil Engineer and all such work is subject to the approval of the City Engineer. Drawings must conform to City standards and requirements.

- (b) Engineering drawing submissions are to be in accordance with the City's "Engineering Drawing Submission Requirements" Policy. Please note the number of sets and drawings required for submissions.
- (c) Quality Control and Assurance Plans must be provided in accordance with the Subdivision, Development & Servicing Bylaw No. 7900 (refer to Part 5 and Schedule 3).
- (d) A "Consulting Engineering Confirmation Letter" (City document 'C') must be completed prior to submission of any designs.
- (e) Before any construction related to the requirements of this subdivision application commences, design drawings prepared by a professional engineer must be submitted to the City's Development Engineering Department. The design drawings must first be "Issued for Construction" by the City Engineer. On examination of design drawings, it may be determined that rights-of-way are required for current or future needs.

10. Servicing Agreements for Works and Services

- (a) A Servicing Agreement is required for all offsite works and services on City lands in accordance with the Subdivision, Development & Servicing Bylaw No. 7900. The applicant's Engineer, prior to preparation of Servicing Agreements, must provide adequate drawings and estimates for the required works. The Servicing Agreement must be in the form as described in Schedule 2 of the bylaw.
- (b) Part 3, "Security for Works and Services", of the Bylaw, describes the Bonding and Insurance requirements of the Owner. The liability limit is not to be less than \$5,000,000 and the City is to be named on the insurance policy as an additional insured.

11. Other Engineering Comments

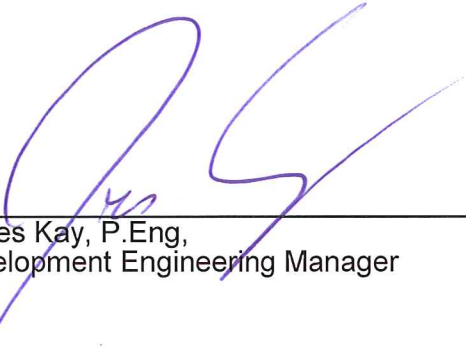
- (a) Provide all necessary Statutory Rights-of-Way for any utility corridors required, including those on proposed or existing City Lands.
- (b) If any road dedication affects lands encumbered by a Utility right-of-way (such as Terasen, etc.) please obtain the approval of the utility prior to application for final subdivision approval. Any works required by the utility as a consequence of the road dedication must be incorporated in the construction drawings submitted to the City's Development Manager.

12. Development Permit and Site Related Issues

- (a) Access and Manoeuvrability
 - (i) An MSU standard size vehicle must be able to manoeuvre onto and off the site without requiring a reverse movement onto public roadways. If the development plan intends to accommodate larger vehicles movements should also be illustrated on the site plan.
 - (ii) Perimeter access must comply with the BC Building Code. Fire Truck access designs and proposed hydrant locations will be reviewed by the Fire Protection Officer.

13. Charges and Fees

- a) Development Cost Charges (DCC's) are payable
- b) Fees per the "Development Application Fees Bylaw" include:
 - i) Survey Monument, Replacement Fee: \$1,200.00 (GST exempt) – only if disturbed.
 - ii) Engineering and Inspection Fee: 3.5% of construction value (plus GST).



James Kay, P.Eng,
Development Engineering Manager

AS

MEIKLEJOHN ARCHITECTURAL DESIGN **STUDIO** INC.

CALVIN B MEIKLEJOHN, ARCHITECT AIBC

July 06, 2018

City of Kelowna

1435 Water St
Kelowna, BC
V1Y 1J4

Attention: Lydia Korolchuk, Planner
Email: LKorolchuk@kelowna.ca



R&D FACILITY

9570, 9580 McCARTHY ROAD

DESIGN RATIONALE

The Development Proposal is for the rezoning of the site from A1 – Agriculture 1 to I2 – General Industrial, and the construction of a 3-storey Research and Development Industrial Facility. The proposal fits within the anticipated Industrial land use pattern outlined in the city of Kelowna OCP, Highway 97 sector. The proposal does not anticipate any variances. The proposed building type fits within the neighbourhood context. This development is part of a larger multi-phase development that will span 4 properties. Required parking is provided on-site and within 120 m of the subject property and on a neighbouring property located at 9640 McCarthy Road. This site is owned by the registered owner and is part of the larger multi-phase development.

The proposed building is located at the rear of the site, allowing for a surface parking lot to be located between the street and the building. The parking lot contains 2 electric charging stations and an employee amenity with decorative stand-alone signage and seating. In line with the brand of the R&D facility, the landscape concept proposes a mix of native grasses and shrubs, creating the illusion that the building is located in an open green field. The building exterior draws its aesthetic inspiration from local wineries, complete with screened windows large overhangs, and a trellised screen. Large glazing portions face the street providing animation to the sidewalk and a less industrial look at the front and side elevations. The building contains rooftop green houses, softening the roofline and providing a non-industrial backdrop to the architecture. The building square footprint allows good site lines around the perimeter satisfying Crime Prevention Through Environmental Design (CPTED) criteria.

Building program is focused on laboratory and green house spaces with ancillary office and common functions at the perimeter. A large 2-storey lobby gives the

MEIKLEJOHN ARCHITECTURAL DESIGN **STUDIO** INC.

CALVIN B MEIKLEJOHN, ARCHITECT AIBC

building transparency; large expanses of glass on the interior allow the function of the building to be expressed on the exterior.

The intent for the form and character of the building and landscaping is to lead the way for other developments in the area, and allow the program of the building to shift the focus of the I2 zone away from current neighbourhood Industrial uses focused on storage and vehicle repair.

Site circulation is addressed via a one-way circular drive aisle, allowing fire fighter access to the front door via a direct alignment of the curb cut and the front entrance. Loading and waste + recycling is proposed to be managed via private pickup.

The site is to be partially fenced at the north, south and west property lines; new fencing is to match existing chain link fencing.

Sincerely,

A handwritten signature in black ink, consisting of a stylized 'C' followed by a horizontal line and a small loop.

Cal Meiklejohn, Architect AIBC, FRAIC, LEEDTMAP
MEIKLEJOHN ARCHITECTURAL DESIGN **STUDIO** INC.
cal@meiklejohn.ca

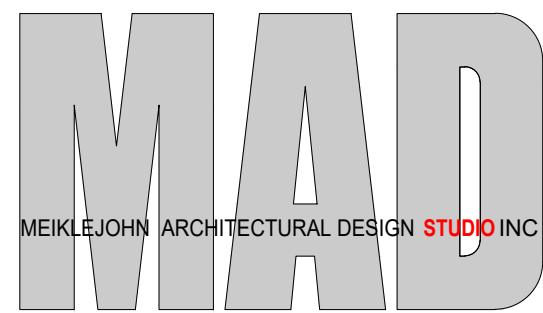


R + D F A C I L I T Y

McCarthy Road, Kelowna, BC

ISSUED FOR REZONING - JUNE 27, 2018

ARCHITECTURAL:



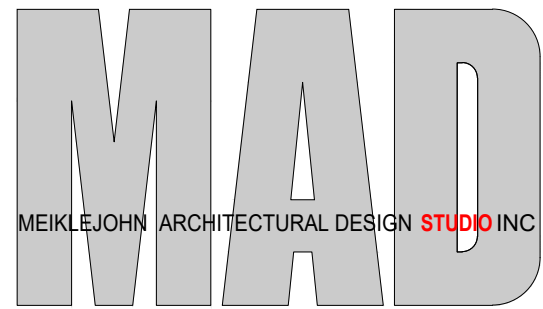
A000 COVER SHEET & DRAWING LIST
A121 ZONING / CODE / BYLAW
A210 SITE SURVEY
A211 REMOTE PARKING SITE SURVEY
A230 SITE PLAN
A231 SITE PLAN PARKING
A232 LUMINAIRE SCHEDULE
A233 SITE DETAILS
A240 CONTEXT PHOTOGRAPHS
A310 MAIN FLOOR
A311 SECOND FLOOR

A312 THIRD FLOOR
A313 THIRD FLOOR DRAINAGE
A314 ROOF PLAN
A410 SOUTH + NORTH ELEVATION
A411 EAST + WEST ELEVATION
A420 MATERIALS BOARD
A430 PERSPECTIVES
A431 PERSPECTIVES



LDP1 OVERALL PLAN
LDP2 LANDSCAPE PLAN
LDP3 HYDROZONE PLAN

1663-3-114-001 EXISTING SITE PLAN VIEW
1663-3-114-002 PROPOSED SITE PLAN VIEW



201 - 75 FRONT STREET, PENTICTON, BC, V2A 1H2
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HAWTHORNE



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No.	DATE	REVISION
01	2018.03.16	For City Review
02	2018.07.06	Rezoning Reapplication

PROJECT TITLE

R+D Facility
9570 + 9580
McCarthy Road
Kelowna, BC

DRAWING NUMBER

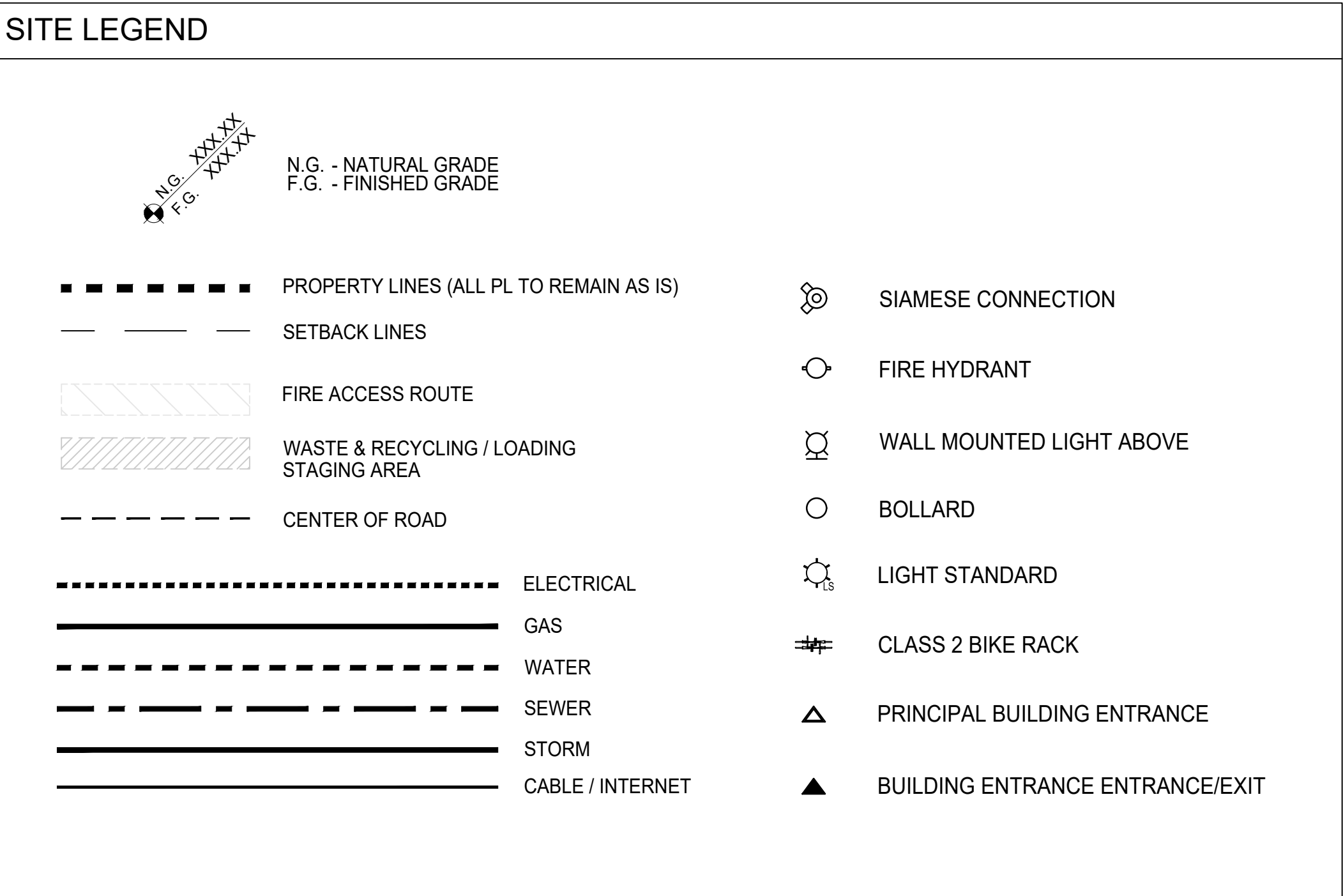
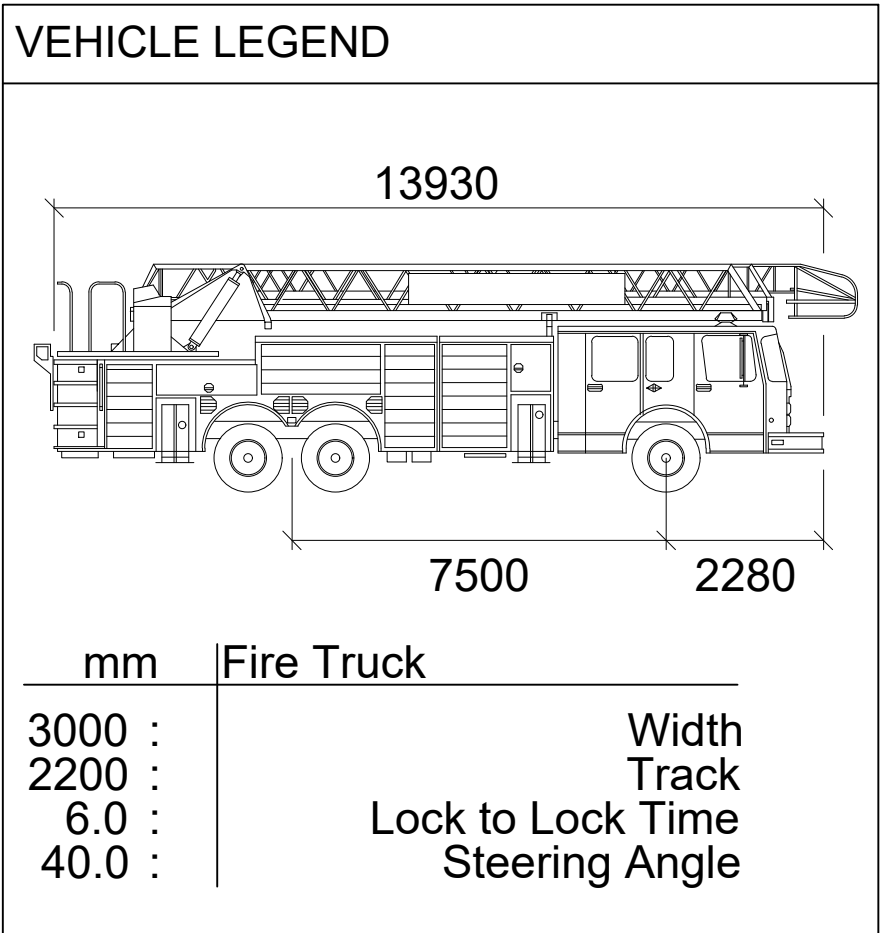
A000

DRAWINGS ARE NOT TO BE SCALED.
ALL DIMENSIONS SHALL BE VERIFIED ON SITE

DRAWING TITLE

Cover Sheet

DATE	-
JOB NO.	-
SCALE	AS NOTED
DRAWN	-
CHECKED	-



SITE PLAN

GENERAL NOTES:	
A. UNLESS OTHERWISE NOTED, ALL PLAN DIMENSIONS ARE MEASURED FROM : 1. FACE OF PREFABRICATED METAL PANEL 2. FACE OF CONCRETE 3. CENTERLINE OF COLUMN	
B. REFER TO STRUCTURAL PLANS FOR ALL STUD SPACING, STRUCTURAL COLUMNS, BEAMS, LINTELS, ETC..	
C. REFER TO ELECTRICAL PLANS FOR ALL EXIT SIGNAGE, EMERGENCY LIGHTING, SMOKE DETECTORS, FIRE ALARMS, AUDIBLE AND VISUAL ALARMS, SPEAKERS, ETC.	
D. REFER TO ELECTRICAL PLANS FOR ELECTRICAL LAYOUTS, FIXTURE TYPES, SPECIFICATIONS AND DETAILS.	
E. REFER TO MECH PLANS FOR RETURN AND SUPPLY / REGISTER LOCATIONS.	
F. REFER TO MECHANICAL DRAWINGS FOR ALL MECHANICAL PIPE AND DUCT LOCATIONS, FIXTURE TYPES, SPECIFICATIONS, DETAILS. FRAMING CONTRACTOR TO INSTALL STUD FURRING C/W 5/8" FIRE RATED GWB AROUND ALL MECHANICAL ELEMENTS.	
G. FRAMING CONTRACTOR TO SUPPLY AND INSTALL FURRING AND BLOCKING AT ALL WALL MOUNTED CABINETS, ACCESSORIES, ETC., AND COORDINATE WITH SUPPLIERS.	
H. PROVIDE MOISTURE RESISTANT WALL BOARD AT ALL WET LOCATIONS.	
I. FIRE STOP ALL HOLES IN SHAFTS, AND OTHER PENETRATIONS THROUGH RATED ASSEMBLIES. PROVIDE FIRESTOPPING DETAILS FOR ARCHITECTS' REVIEW AND APPROVAL.	
J. ENSURE FINISH GRADES SLOPE AWAY FROM BUILDING.	
K. PROVIDE ROUGH IN PLUMBING TO ACCOMMODATE BATHROOMS.	
L. ALIGN DIFFERENT WALL TYPES TO ENSURE FINISHES WILL LINE UP. U.N.O.	
M. BRACE WALLS AS REQUIRED.	
N. PROVIDE DEFLECTION HEAD AT TOP OF WALL PANELS, AS REQUIRED, TO UNDERSIDE OF STRUCTURE AT INTERIOR WALLS.	
O. FOR DOOR FRAME AND DOOR TYPES SEE LEGEND.	
P. SEE CIVIL DRAWINGS FOR FURTHER GRADES AND SITE UTILITY ALIGNMENT.	
R. SEE LANDSCAPE DRAWINGS FOR LANDSCAPE PLANS AND DETAILS.	
S. SEE ELECTRICAL DRAWINGS FOR ELECTRICAL PLAN, FIXTURE LOCATIONS AND TYPES.	

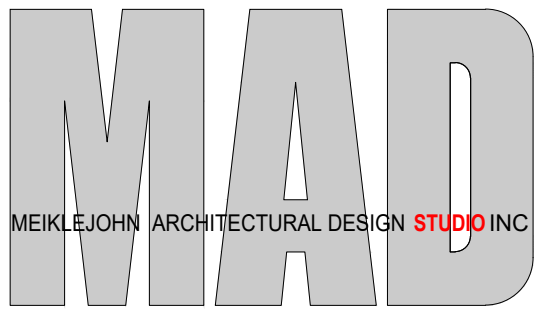
BUILDING CODE SUMMARY PHASE 1 AND 2a			
OCCUPANCY CLASSIFICATION MAXIMUM BUILDING AREA	GROUP F3 3.2.2.80 FOR 3 STOREYS = 14,400 m²		
SPRINKLERED NUMBER OF STORIES NUMBER OF STREETS CONSTRUCTION TYPE CONSTRUCTION REQUIRED: - FLOORS/CEILINGS - MEZZANINES - ROOF - BEARING	REQUIRED YES UP TO 6 1 COMBUST./NON-COMBUST.	PROVIDED YES 3 1 NON-COMBUSTIBLE	
	1.0 HOUR 1.0 HOUR N/A NOT LESS THAN 1.0 HOUR	NON-COMBUSTIBLE N/A N/A NON-COMBUSTIBLE	
BUILDING AND GROSS FLOOR AREA OF SUITE 3.1.3.2			
PROPOSED BUILDING AREA:	5,280.1 m²	[56,834.6 ft²]	
PROPOSED MAIN LEVEL:	1,926.1 m²	[20,731.9 ft²]	
PROPOSED SECOND LEVEL:	1,938.0 m²	[20,839.1 ft²]	
PROPOSED THIRD LEVEL:	1,418.0 m²	[15,263.6 ft²]	
FIRE/EMERGENCY SYSTEMS 3.2.4			
FIRE ALARM SYSTEM	YES		
EXIT LIGHTS	YES		
EMERGENCY LIGHTS	YES		
MAXIMUM			
FIRE/EMERGENCY SYSTEMS 3.2.5.8			
STAND PIPE - 3.1.17.1			
OCCUPANT LOAD 3.1.17.1			
OCCUPANT LOAD - WAREHOUSE/STORAGE SPACE	125 PERSONS (3,518m²/9.3m²/PERSON)		
OCCUPANT LOAD - OFFICE SPACE	76 PERSONS (713m²/9.3m²/PERSON)		
OCCUPANT LOAD - SERVICE SPACE	12 PERSONS (115m²/9.3m²/PERSON)		
TOTAL OCCUPANT LOAD	213 PERSONS		
EXITS AND EGRESS SYSTEMS 3.3.1.5.B & 3.4.2.5.1.C			
MAXIMUM FLOOR AREA F3 300m²			
REQUIRED EXITS	TWO		
PROVIDED EXITS	TWO		
MAXIMUM TRAVEL DISTANCE	45m (50m in service area)		
EXIT RATING	N/A		
PANIC HARDWARE REQUIRED	YES		
EXIT WIDTH	1100mm CORRIDORS, 800mm DOORWAYS, 900mm STAIRS		
DEAD END CORRIDORS - 3.3.1.9.7	MAXIMUM 6m		
WATERCLOSET FACILITIES 3.7.2.10. & 3.8.2.36			
REQUIRED NO. OF WATER CLOSETS	12 (3 MALE, 8 FEMALE)		
PROVIDED NO. OF WATER CLOSETS:	4 MALE, 4 FEMALE		
REQUIREMENTS FOR PEOPLE WITH DISABILITIES 3.8.2.38.1			
GROUP F3 OCCUPANCIES, NOT OPEN TO THE PUBLIC ARE NOT REQUIRED TO PROVIDE ACCESS TO PERSONS WITH DISABILITIES.			

ZONING SUMMARY	
ZONING EXISTING:	A1 - AGRICULTURE 1
ZONING PROPOSED:	I2 - GENERAL INDUSTRIAL, FAR 1.5, SITE COVERAGE 60%, MAXIMUM HEIGHT 14m, SETBACKS: front =7.5m, south = 0m, north side = 0m, rear = 0m.
CIVIC ADDRESS:	9570 & 9580 MCCARTHY ROAD, KELOWNA, BC
LEGAL DESCRIPTION:	9580 MCCARTHY ROAD LOT 2, SECTION 11, TOWNSHIP 20 ODDYD, PLAN 4273 9570 MCCARTHY ROAD LOT 3, SECTION 11, TOWNSHIP 20, ODDYD, PLAN 427
LOT AREA:	4,300 m ² [46,284.8 ft ²]
PROPOSED TOTAL BUILDING AREA:	5,280.1m ² [56,834.6 ft ²]
PROPOSED FAR:	1.228
PROPOSED SITE COVERAGE:	0.450
PROPOSED BUILDING HEIGHT	14.0m [46 ft]

9570 & 9580 McCarthy Road

PARKING BYLAW SUMMARY		
GENERAL INDUSTRIAL:	REQUIRED:	PROPOSED:
	2.0 PER 100m ² GFA - 105 STALLS	30 STALLS + 75 STALLS AT 9640 MCCARTHY ROAD (OFFSITE - WITHIN 117m TO 9580 MCCARTHY ROAD) TOTAL: 105 STALLS
BICYCLE PARKING:	CLASS 2 - .3 per 100m ² = 16 STALLS	16 STALLS
LOADING:	1 PER 1900m ² GFA 3 REQUIRED	1
TOTAL PARKING STALLS:	CAR = 105 STALLS BIKE = 16 STALLS	29 STALLS + 1 H/C 73 STALLS + 2 H/C 16 BIKE STALLS
VEHICLE STALLS (LARGE): VEHICLE STALLS (MEDIUM): VEHICLE STALLS (PARALLEL):	6m x 2.5m 4.8m x 2.3m 7m x 2.6m	
ALL H/C STALLS ARE LARGE: LOADING BAYS ARE:	6m x 3.7m 12.2m x 3.6 x 3.65m	

ABBREVIATIONS															
@	AT	DS	DOWN SPOUT	INSUL	INSULATION	PR	PAIR	TEMP	TEMPORARY						
AB	ANCHOR BOLT	DTL	DETAIL	INT	INTERIOR	PSL	PARALLEL STRAND	THR	THRESHOLD						
AP	ANCHOR POINT	DWG	DRAWING	JAN	JANITOR		LUMBER	T.O.	TOP OF						
AC	ACOUSTICAL	EA	EACH	JT	JOINT	PT	PRESSURE TREATED	TOB	TOP OF BEAM						
ADJ	ADJUSTABLE	EL	ELEVATION	KPL	KICK PLATE	R	RADIUS/RISER	TOC	TOP OF CONC						
ALUM	ALUMINIUM	ELEC	ELECTRIC	L	LENGTH	RD	ROOF DRAIN	TOF	TOP OF FLOOR						
APRX	APPROXIMATE	ELEV	ELEVATOR	LAM	LAMINATE	REQ	REQUIRED	TOM	TOP OF MASONRY						
ARCH	ARCHITECTURAL	EQ	EQUAL	LAV	LAVATORY	RESIL	RESILIENT	TOS	TOP OF STEEL						
ASPH	ASPHALT	EQUIP	EQUIVALENT	LH	LEFT HAND	RH	RIGHT HAND	TOW	TOP OF WALL						
BD	BOARD	EXIST	EQUIPMENT	MAT	MATERIAL	RM	ROOM	TP	TOILET PARTITION						
BITUM	BITUMINOUS	EXP	EXISTING	MAX	MAXIMUM	RO	ROUGH OPENING	TYP	TYPICAL						
BLDG	BUILDING	EXP JT	EXPANSION JOINT	MDF	MEDIUM DENSITY FIBREBOARD	ROW	RATING	U.N.O.	UNLESS NOTED OTHERWISE						
BLK	BLOCK	FAU	FORCE AIR UNIT	RTG	RIGHT OF WAY	RTG	RATING								
BLKG	BLOCKING	FD	FLOOR DRAIN	MECH	MECHANICAL	RWL	RAIN WATER LEADER	VENT	VENTILATION						
BM	BEAM	FDN	FOUNDATION	MFR	MANUFACTURER			VERT	VERTICAL						
BOT	BOTTOM	FIN	FINISH	MIN	MINIMUM	SAT	SCHEDULE	VEST	VESTIBULE						
CAB	CABINET	FIKT	FIXTURE	MISC	MISCELLANEOUS	SB	SOUND ATTENUATION BATT	W/	WIDTH						
		FLUOR	FLUORESCENT	MO	MASONRY OPENING			WB	WITH WOOD BASE						
		FRR	FIRE RESISTANCE	MTL	METAL	SCHD	SCHEDULE	WC	WATER CLOSET						
CT	CERAMIC TILE	FT	FOOTING	NTS	NOT TO SCALE	SC	SCUPPER	WD	WOOD						
CIP	CAST IN PLACE	FTG	FOOTING	NA	NOT APPLICABLE	SD	SMOKE DETECTOR	WH	WINDOW						
CJ	CONTROL JOINT	GA	GAUGE	NO	NUMBER	SGB	SUSPENDED	WH	WATER HEATER						
CL	CENTRE LINE	GALV	GALVANIZED	OC	ON CENTRE		GYPSSUM BOARD	W/O	WITHOUT						
CLG	CEILING	GB	GYPSSUM BOARD	OD	OUTSIDE DIAMETER	SPEC	SPECIFICATION	WRGB	WATER RESISTANT GYPSSUM BOARD						
CMU	CONCRETE MASONRY UNIT	GLASS	GLASS	OH	OVERHEAD	SS	STAINLESS STEEL	WT	WEIGHT						
COL	COLUMN	HB	HOSE BIBB	ST	STAINED	STD	STUD	WWF	WELODED WIRE FABRIC						
CONC	CONCRETE	HC	HANDICAP ACCESSIBLE	OPP	OPPOSITE	STL	STEEL	XS	EXPOSED STRUCTURE						
CONST	CONSTRUCTION	HORIZ	HORIZONTAL	PC	PRECAST CONCRETE	STN	STONE								
CONT	CONTINUOUS	HT	HEIGHT	STRUC	STRUCTURE	SUSP	SUSPENDED								
CPT	CARPET	HVAC	HEAT VENTILATION	PF	PRE-FINISHED	T&B	TOP & BOTTOM TONGUE & GROOVE								
DIA	DIAMETER	INSIDE	INSIDE DIAMETER	PL	PLATE										
DN	DOWN														
DR	DOOR	ID	INSIDE DIAMETER												



201 - 75 FRONT STREET, PENTICTON, BC, V2A 1H2
TEL: 250.492.3143 EMAIL: Office@meiklejohn.ca
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01	2018.03.16	For City Review
02	2018.07.06	Rezoning Reapplication

PROJECT TITLE

R+D Facility
9570 + 9580
McCarthy Road
Kelowna, BC

DRAWING NUMBER

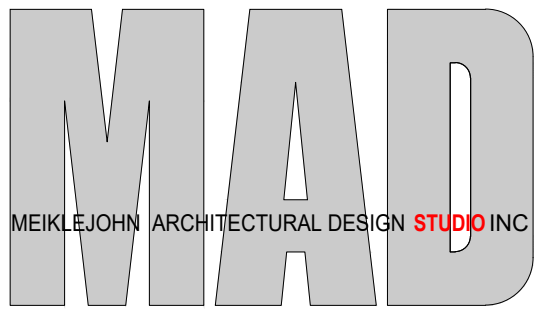
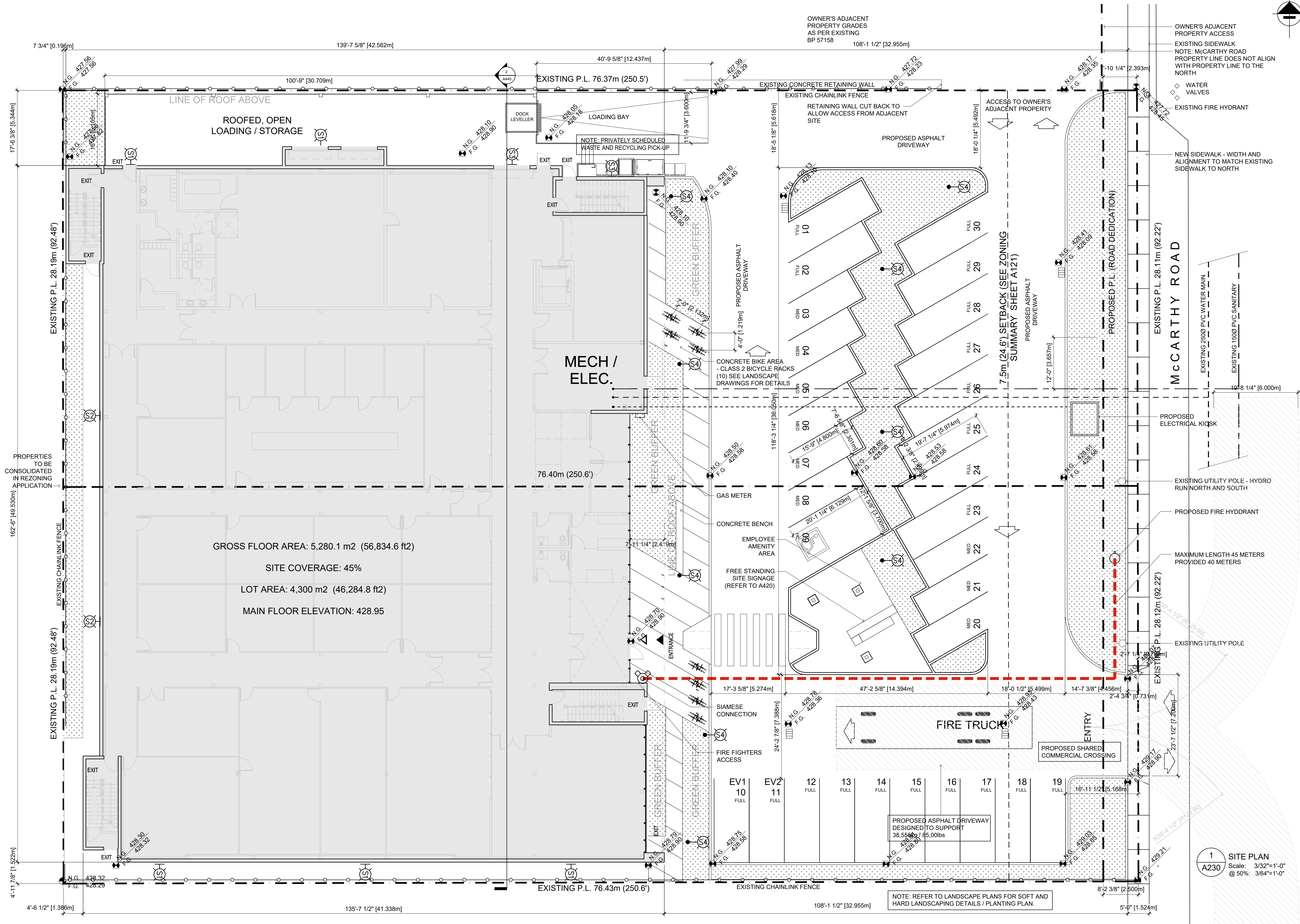
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DRAWINGS ARE NOT TO BE SCALED.
ALL DIMENSIONS SHALL BE VERIFIED ON SITE

DRAWING TITLE

Zoning
Building Code
Bylaws

DATE	-
JOB NO.	-
SCALE	AS NOTED
DRAWN	-
CHECKED	-



201 - 75 FRONT STREET, PENTICTON, BC, V2A 1H2
TEL: 250.492.3143 EMAIL: Office@meiklejohn.ca
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ATTACHMENT B

This forms part of application
Z18-0050

Planner
Initials LK



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No.	DATE	REVISION
01	2018.03.16	For City Review
02	2018.07.06	Rezoning Reapplication

PROJECT TITLE

R+D Facility
9570 + 9580
McCarthy Road
Kelowna, BC

DRAWING NUMBER

A230

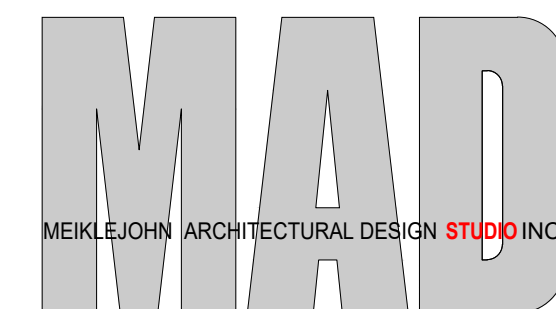
DRAWINGS ARE NOT TO BE SCALED.
ALL DIMENSIONS SHALL BE VERIFIED ON SITE

DRAWING TITLE

Site Plan

DATE	-
JOB NO.	-
SCALE	AS NOTED
DRAWN	-
CHECKED	-

1 SITE PLAN
A230 Scale: 3/32"=1'-0"
@ 50%: 3/64"=1'-0"



HAWTHORN

flowr

ATTACHMENT B

This forms part of application

Z18-0050

Planner Initials LK

City of Kelowna

No.	DATE	REVISION
01	2018.03.16	For City Review
02	2018.07.06	Rezoning Reapplication

PROJECT TITLE

R+D Facility
9570 + 9580
McCarthy Road
Kelowna, BC

DRAWING NUMBER

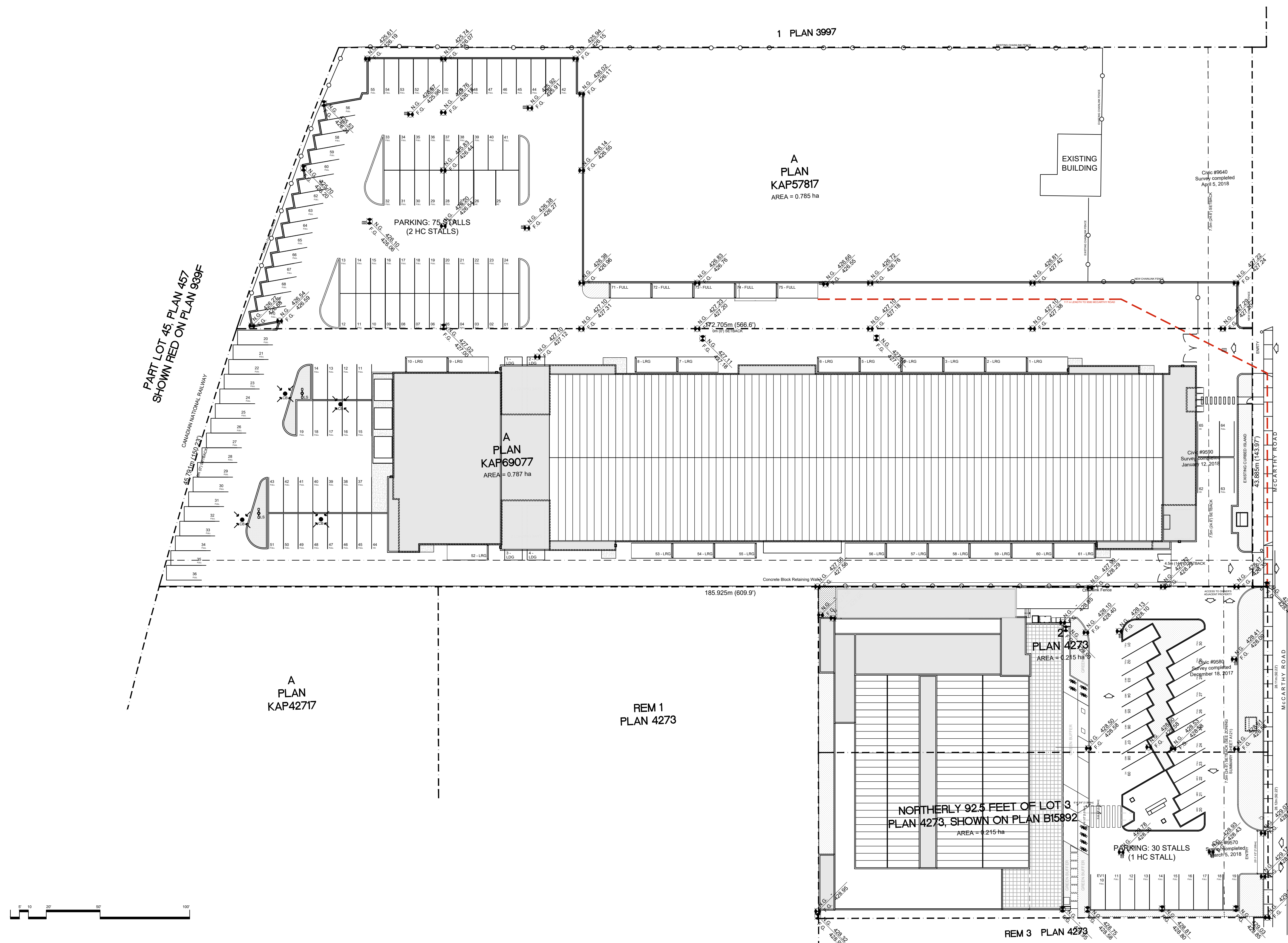
A231

DRAWINGS ARE NOT TO BE SCALED.
ALL DIMENSIONS SHALL BE VERIFIED ON SITE

DRAWING TITLE

Site Plan /
Remote Parking
Site Plan

DATE	-
JOB NO.	-
SCALE	AS NOTED
DRAWN	-
CHECKED	-



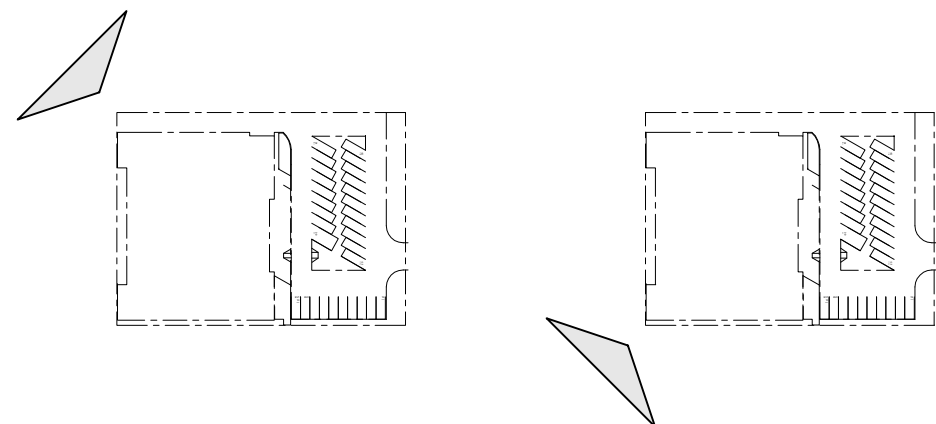
1 SITE PARKING PLAN
A231 Scale: 1/32"=1'-0"
@ 50%: 1/64"=1'-0"



1 SOUTH EAST
Scale: NTS



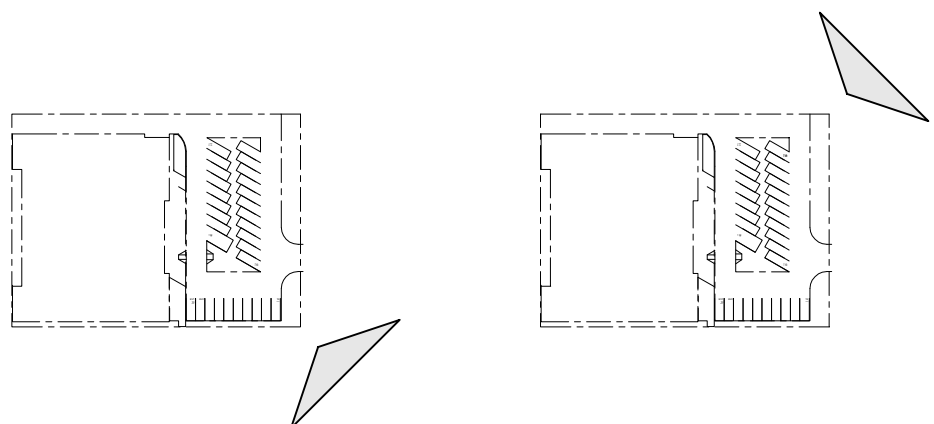
2 NORTH EAST
Scale: NTS



3 NORTH WEST
Scale: NTS



4 SOUTH WEST
Scale: NTS



No.	DATE	REVISION
01	2018.03.16	For City Review
02	2018.07.06	Rezoning Reapplication

PROJECT TITLE

R+D Facility
9570 + 9580
McCarthy Road
Kelowna, BC

DRAWING NUMBER

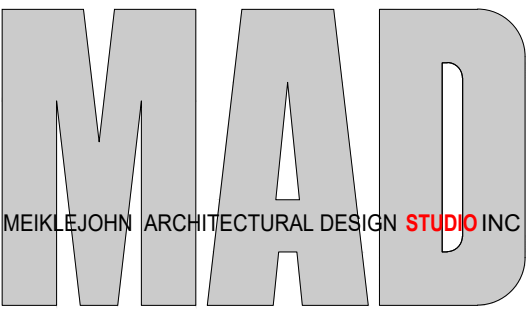
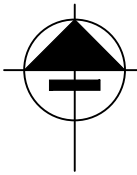
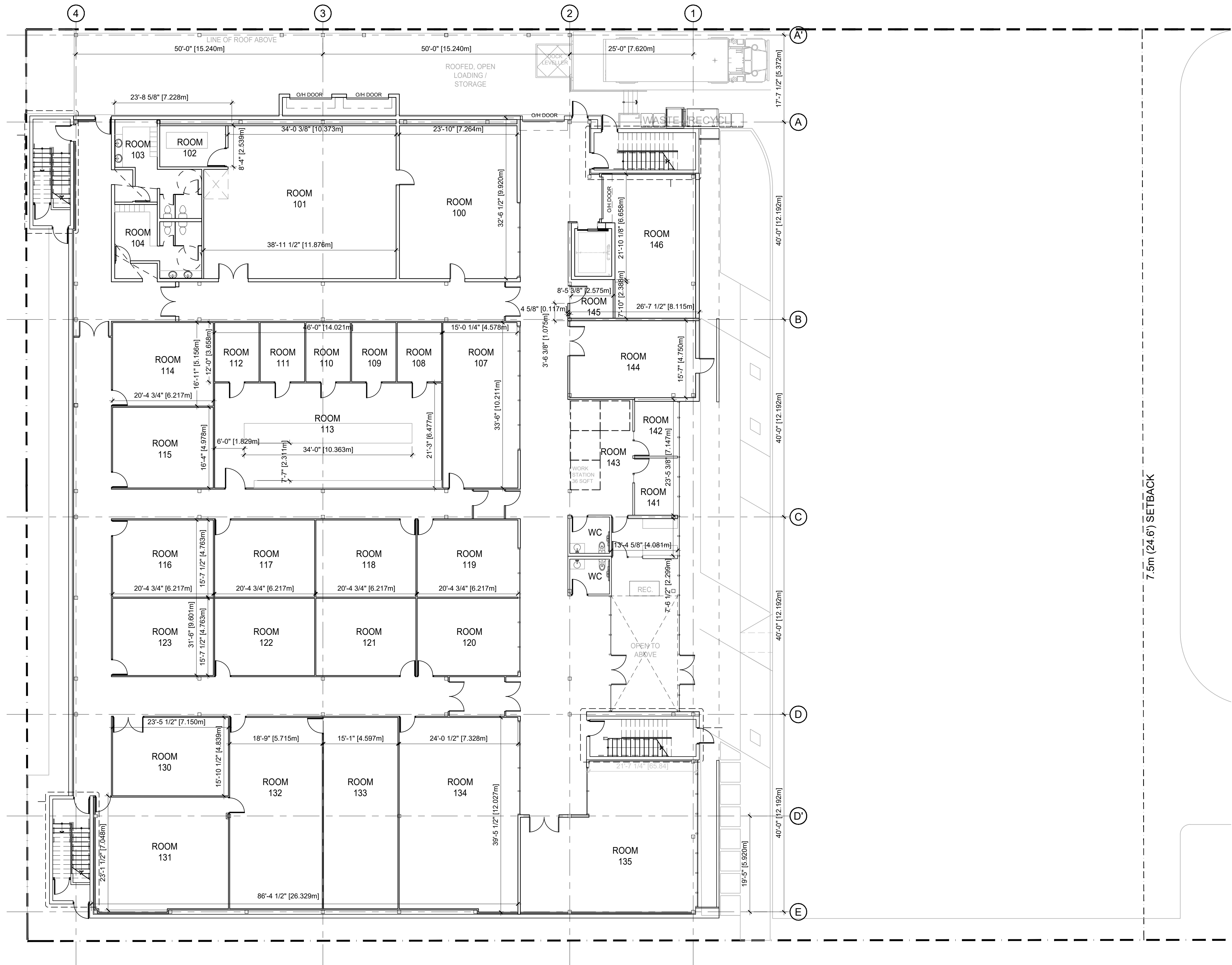
A240

DRAWINGS ARE NOT TO BE SCALED.
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DRAWING TITLE

Context Photographs

DATE	-
JOB NO.	-
SCALE	AS NOTED
DRAWN	-
CHECKED	-



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ATTACHMENT B

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Z18-0050

Planner
Initials LK



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PROJECT TITLE

R+D Facility
9570 + 9580
McCarthy Road
Kelowna, BC

DRAWING NUMBER

A310

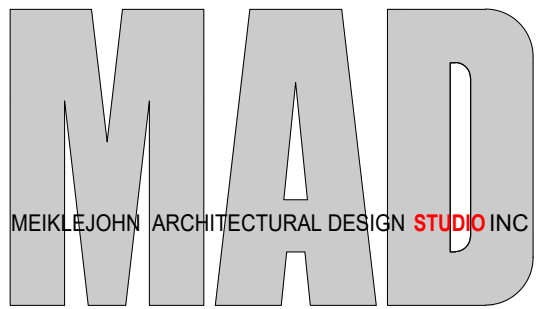
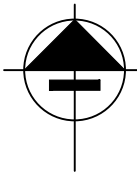
DRAWINGS ARE NOT TO BE SCALED.
ALL DIMENSIONS SHALL BE VERIFIED ON SITE

DRAWING TITLE

Level 1

DATE	-
JOB NO.	-
SCALE	AS NOTED
DRAWN	-
CHECKED	-

1 LEVEL 1
A310 Scale: 3/32"=1'-0"
@ 50%: 3/64"=1'-0"



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HAWTHORNE

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ATTACHMENT B

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Planner Initials LK

City of Kelowna COMMUNITY PLANNING

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PROJECT TITLE

R+D Facility
9570 + 9580
McCarthy Road
Kelowna, BC

DRAWING NUMBER

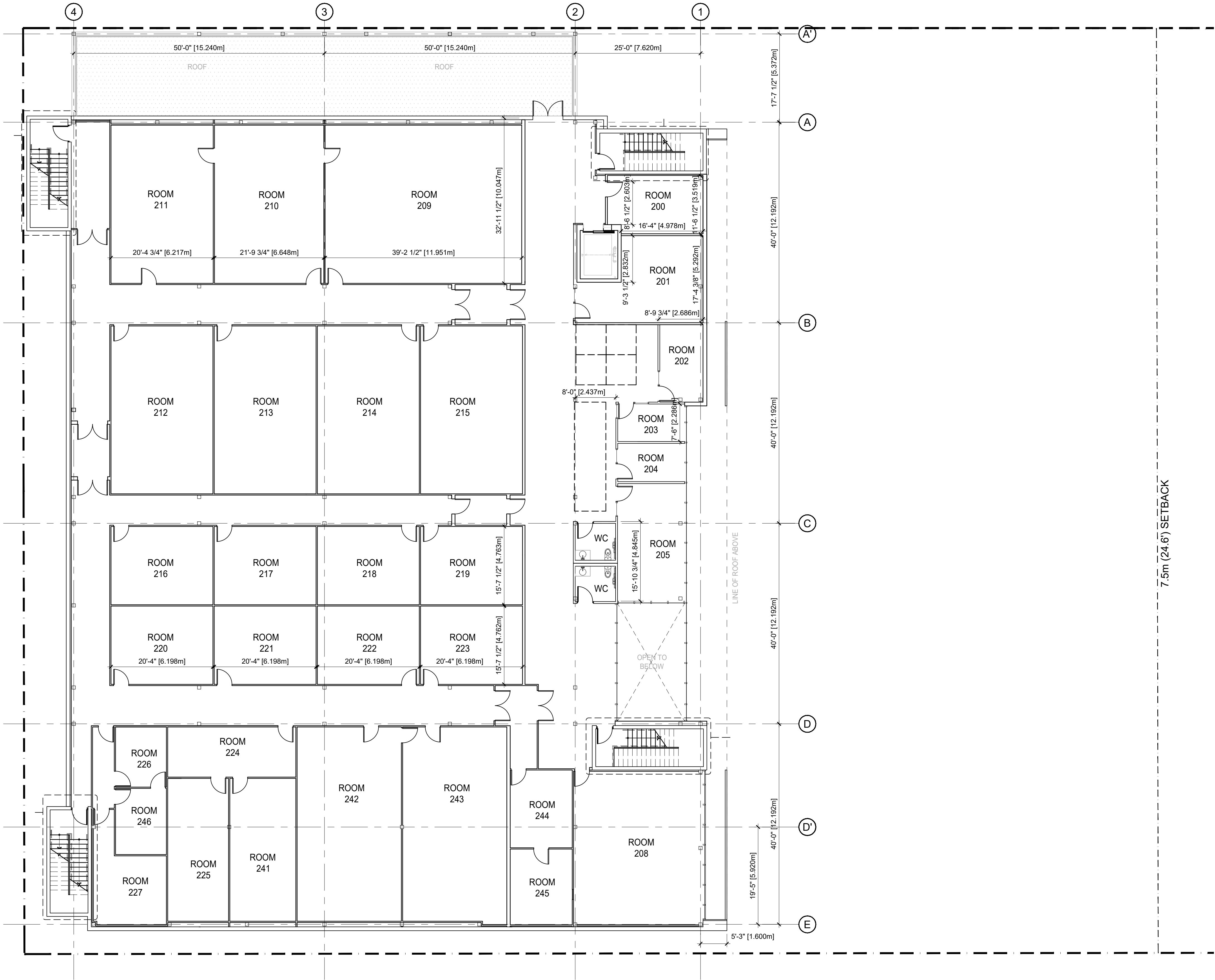
A311

DRAWINGS ARE NOT TO BE SCALED.
ALL DIMENSIONS SHALL BE VERIFIED ON SITE

DRAWING TITLE

Level 2

DATE	-
JOB NO.	-
SCALE	AS NOTED
DRAWN	-
CHECKED	-



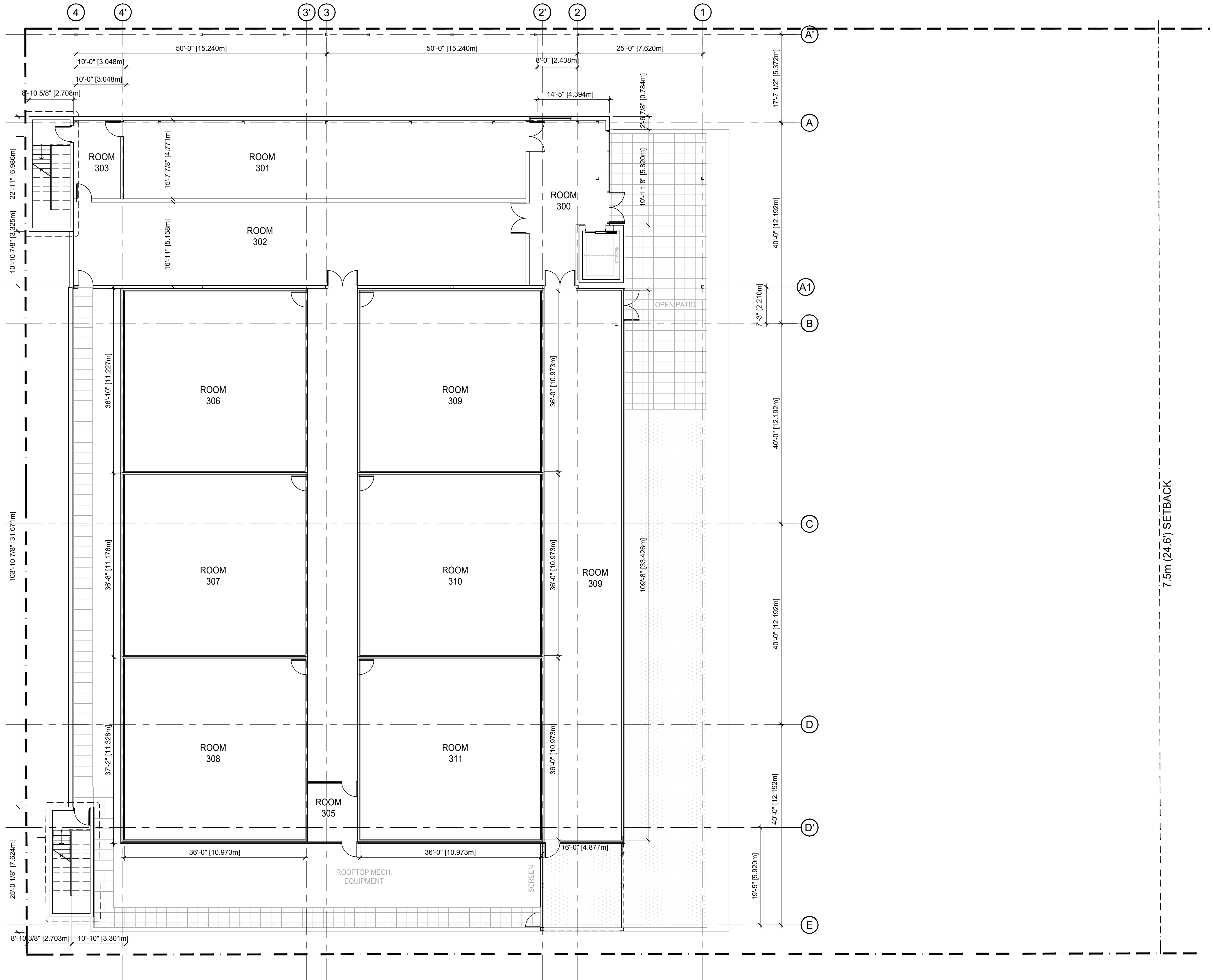
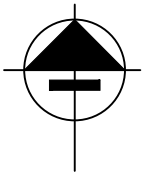
1

A311

LEVEL 2

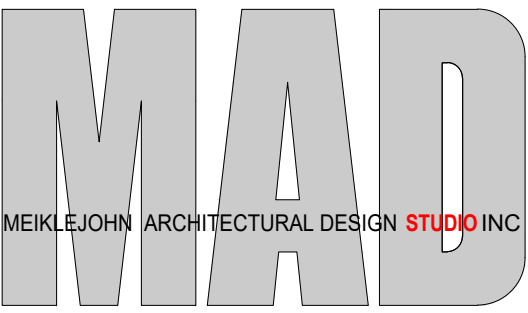
Scale: 3/32"=1'-0"

@ 50%: 3/64"=1'-0"



1
A312

LEVEL 3
Scale: 3/32"=1'-0"
@ 50%: 3/64"=1'-0"



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No.	DATE	REVISION
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02	2018.07.06	Rezoning Reapplication

PROJECT TITLE

R+D Facility
9570 + 9580
McCarthy Road
Kelowna, BC

DRAWING NUMBER

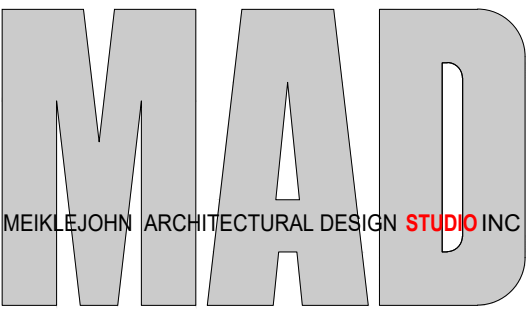
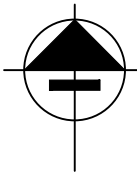
A312

DRAWINGS ARE NOT TO BE SCALED.
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DRAWING TITLE

Level 3

DATE	-
JOB NO.	-
SCALE	AS NOTED
DRAWN	-
CHECKED	-



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02	2018.07.06	Rezoning Reapplication

PROJECT TITLE

R+D Facility
9570 + 9580
McCarthy Road
Kelowna, BC

DRAWING NUMBER

A314

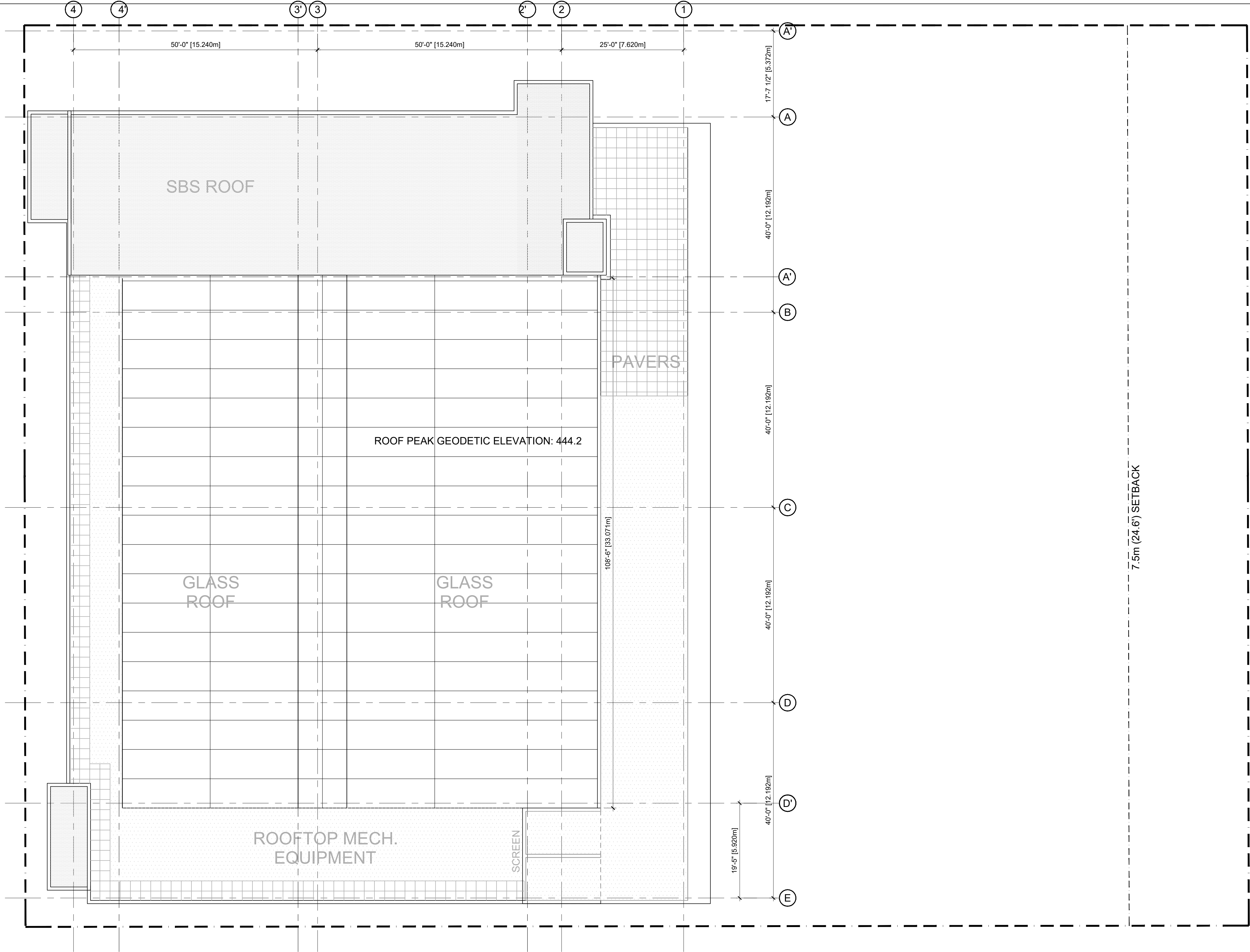
DRAWINGS ARE NOT TO BE SCALED.
ALL DIMENSIONS SHALL BE VERIFIED ON SITE

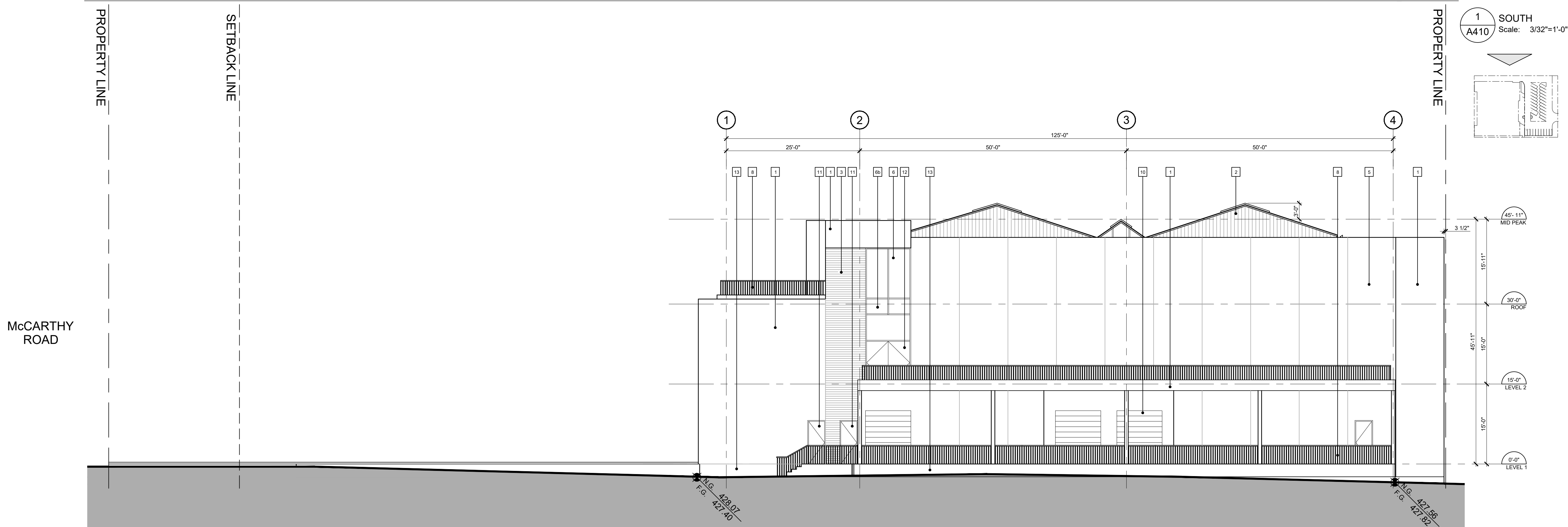
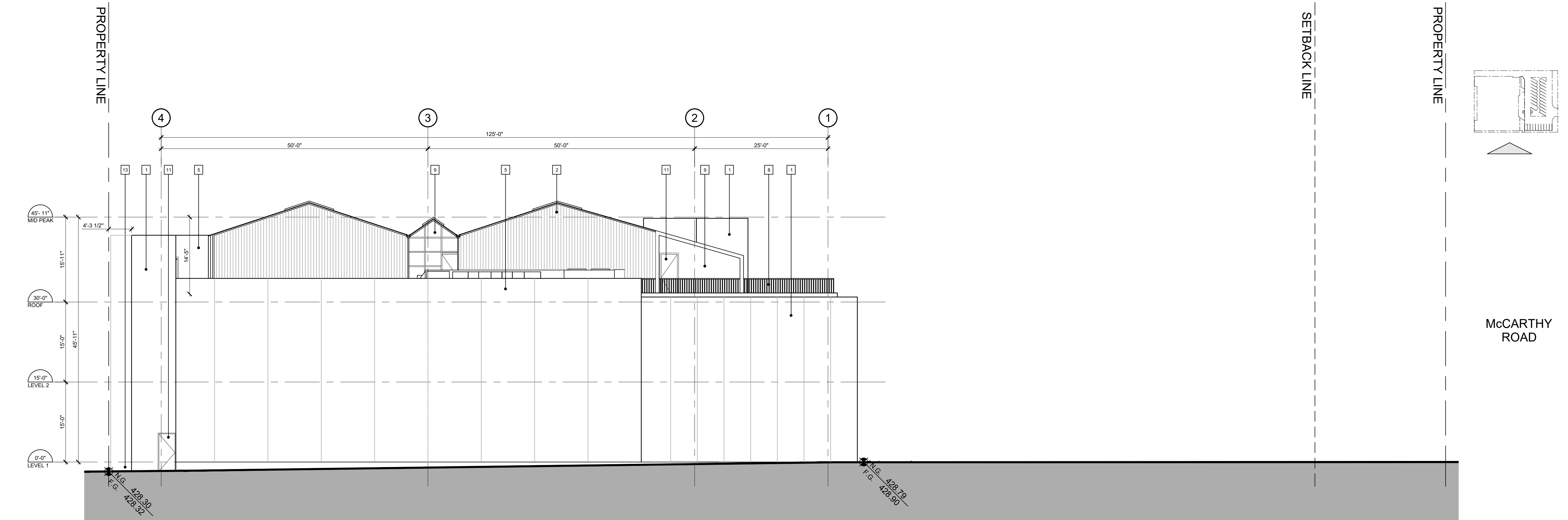
DRAWING TITLE

Roof Plan

DATE	-
JOB NO.	-
SCALE	AS NOTED
DRAWN	-
CHECKED	-

1 ROOF LEVEL
A314 Scale: 3/32"=1'-0"
@ 50%: 3/64"=1'-0"

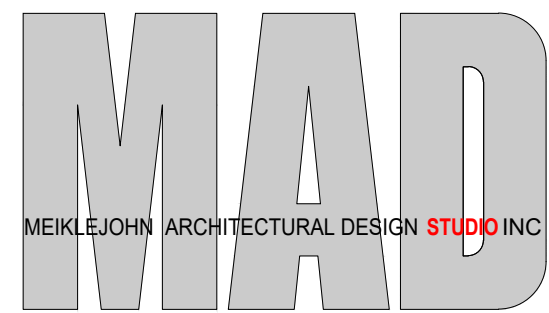




- | | | | | | | | | | |
|---|---|---|---|----|---|----|--------------------------------|----|-----------------------|
| 1 | INSULATED METAL PANEL CLADDING
WHITE | 4 | WOOD-LIKE SCREEN | 6B | STOREFRONT GLAZING C/W SILLCONE
JOINT , SPANDREL | 9 | GLASS WINDOW PANEL | 12 | STOREFRONT GLASS DOOR |
| 2 | STANDING SEAM METAL CLADDING, WHITE | 5 | PRECAST INSULATED SANDWICH PANEL
MEDIUM WHITE | 7 | PAINTED STEEL SCREEN / COLUMN | 10 | PAINTED OVERHEAD DOOR
BROWN | 13 | PAINTED CONCRETE |
| 3 | WOOD-LIKE PANELLING | 6 | STOREFRONT GLAZING C/W BLACK
ANODIZED FRAME, CLEAR | 8 | PAINTED ALUMINUM RAILING, BLACK | 11 | PAINTED STEEL WHITE / BROWN | | |

2
A410

NORTH
Scale: 3/32"=1'-0"



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ATTACHMENT C
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Z18-0050
Planner Initials LK
City of Kelowna
COMMUNITY PLANNING

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No.	DATE	REVISION
01	2018.03.16	For City Review
02	2018.07.06	Rezoning Reapplication

PROJECT TITLE

R+D Facility
9570 + 9580
McCarthy Road
Kelowna, BC

DRAWING NUMBER

A410

DRAWINGS ARE NOT TO BE SCALED.
ALL DIMENSIONS SHALL BE VERIFIED ON SITE

DRAWING TITLE

South + North
Elevation

DATE	-
JOB NO.	-
SCALE	AS NOTED
DRAWN	-
CHECKED	-

No.	DATE	REVISION
01	2018.03.16	For City Review
02	2018.07.06	Rezoning Reapplication

PROJECT TITLE

R+D Facility
9570 + 9580
McCarthy Road
Kelowna, BC

DRAWING NUMBER

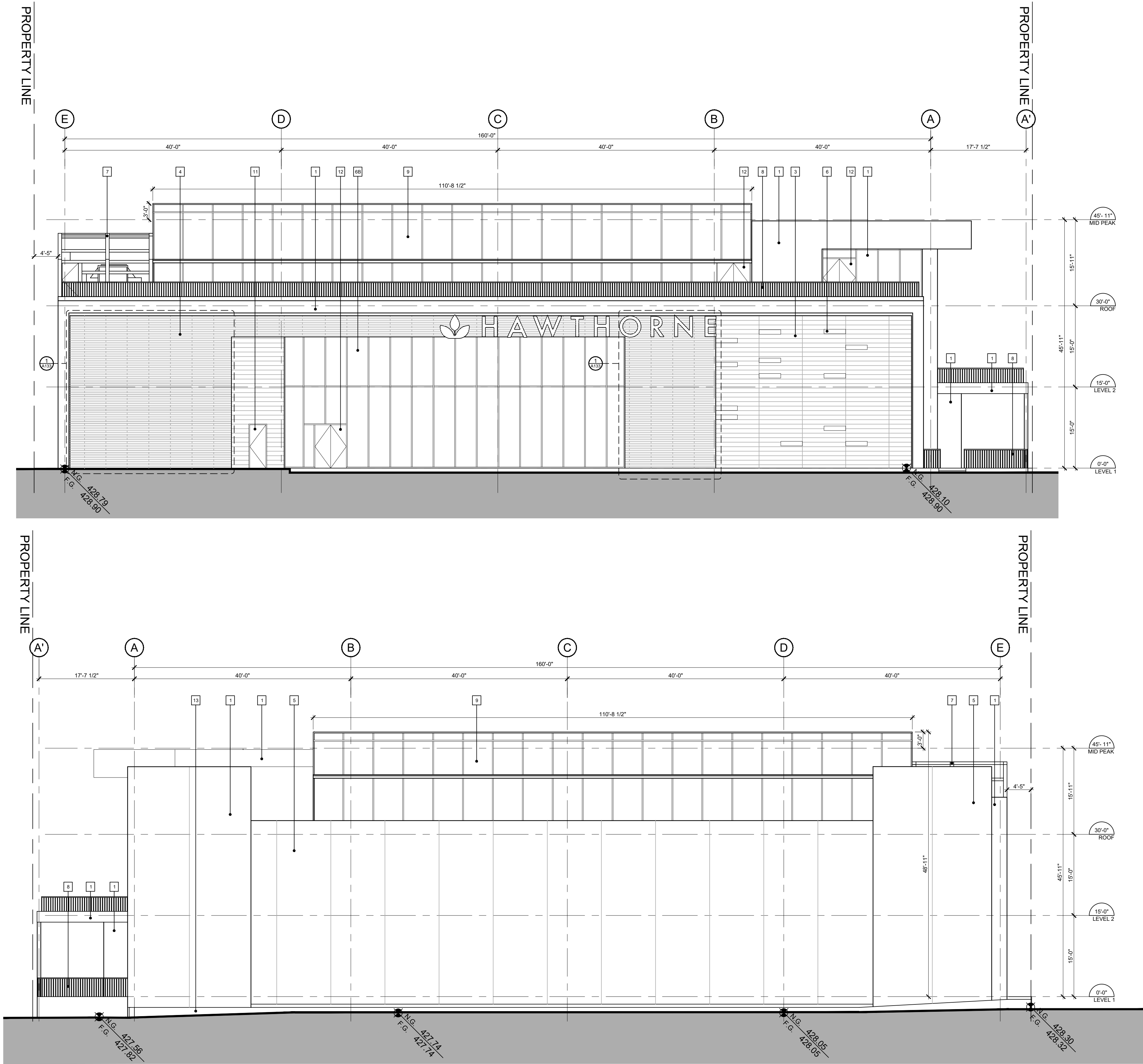
A411

DRAWINGS ARE NOT TO BE SCALED.
ALL DIMENSIONS SHALL BE VERIFIED ON SITE

DRAWING TITLE

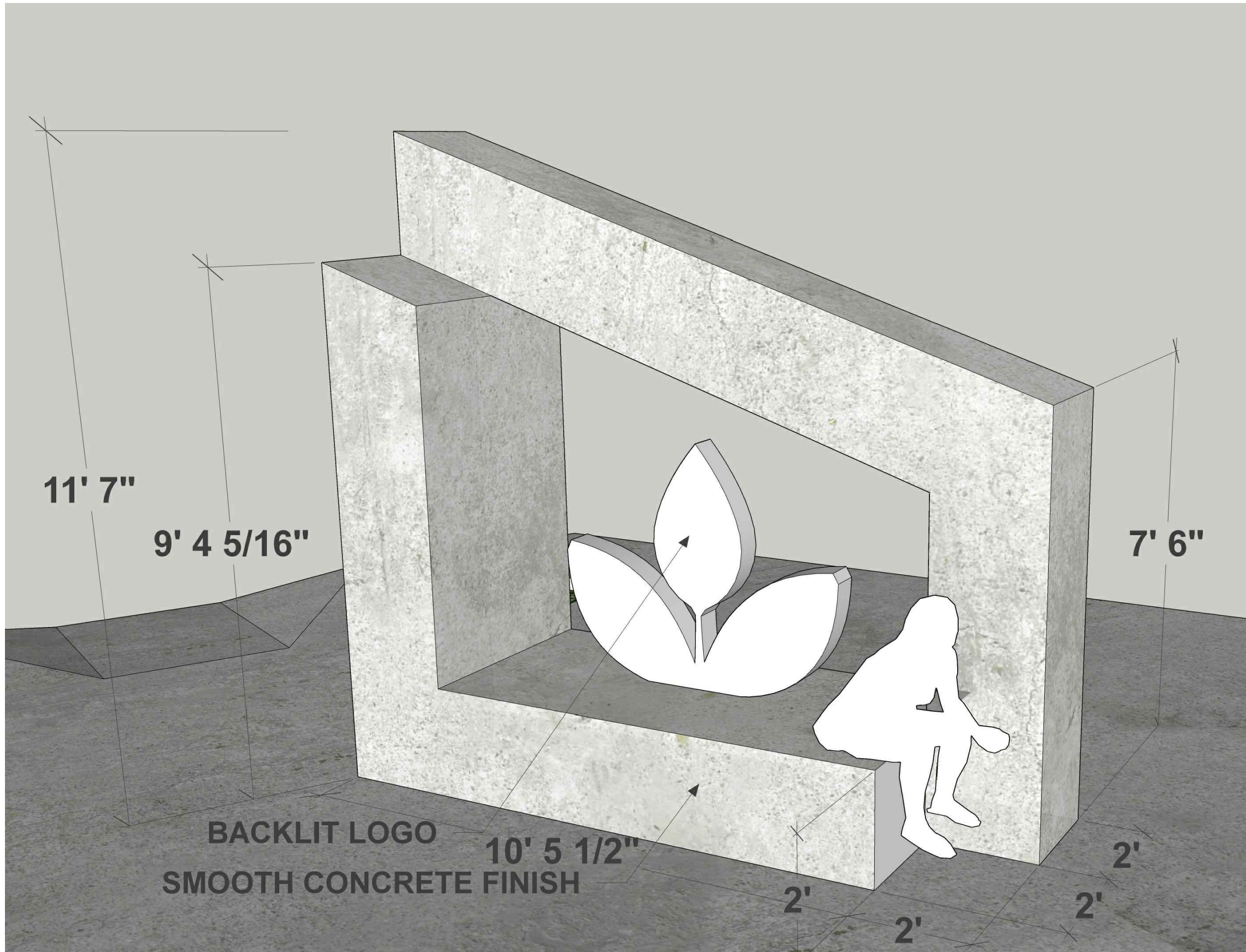
East + West
Elevation

DATE	-
JOB NO.	-
SCALE	AS NOTED
DRAWN	-
CHECKED	-



- | | | | | | | | | | |
|---|---|---|---|----|---|----|--------------------------------|----|-----------------------|
| 1 | INSULATED METAL PANEL CLADDING
WHITE | 4 | WOOD-LIKE SCREEN | 6B | STOREFRONT GLAZING C/W SILLCONE
JOINT , SPANDREL | 9 | GLASS WINDOW PANEL | 12 | STOREFRONT GLASS DOOR |
| 2 | STANDING SEAM METAL CLADDING, WHITE | 5 | PRECAST INSULATED SANDWICH PANEL
MEDIUM WHITE | 7 | PAINTED STEEL SCREEN / COLUMN | 10 | PAINTED OVERHEAD DOOR
BROWN | 13 | PAINTED CONCRETE |
| 3 | WOOD-LIKE PANELLING | 6 | STOREFRONT GLAZING C/W BLACK
ANODIZED FRAME, CLEAR | 8 | PAINTED ALUMINUM RAILING, BLACK | 11 | PAINTED STEEL WHITE / BROWN | | |

2 WEST
A411 Scale: 3/32"=1'-0"

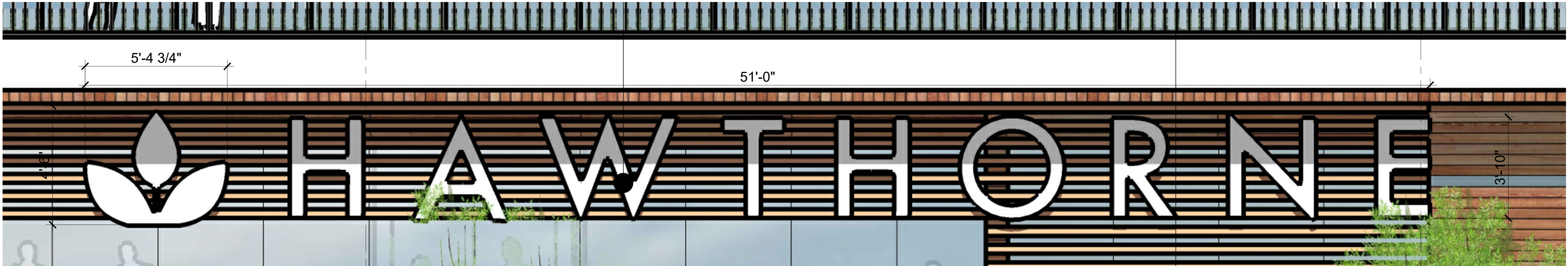


1
-
FREE STANDING SITE SIGNAGE
Scale: NTS

MATERIALS BOARD



- | | | | |
|----|---|----|---------------------------------|
| 1 | INSULATED METAL PANEL CLADDING
WHITE | 8 | PAINTED ALUMINUM RAILING, BLACK |
| 2 | STANDING SEAM METAL CLADDING, WHITE | 9 | POLYCARBONATE WINDOW PANEL |
| 3 | WOOD-LIKE PANELLING | 10 | PAINTED OVERHEAD DOOR
BROWN |
| 4 | WOOD-LIKE SCREEN | 11 | PAINTED STEEL WHITE / BROWN |
| 5 | PRECAST INSULATED SANDWICH PANEL
MEDIUM WHITE | 12 | STOREFRONT GLASS DOOR |
| 6 | STOREFRONT GLAZING C/W BLACK
ANODIZED FRAME, CLEAR | 14 | PAINTED STEEL SCREEN |
| 6B | STOREFRONT GLAZING C/W SILICONE
JOINT, SPANDREL | 15 | PAINTED CONCRETE |
| | | 16 | GREY ROOF MEMBRANE |



2
-
BACK-LIT BUILDING SIGNAGE
Scale: NTS

No.	DATE	REVISION
01	2018.03.16	For City Review
02	2018.07.06	Rezoning Reapplication

PROJECT TITLE

R+D Facility
9570 + 9580
McCarthy Road
Kelowna, BC

DRAWING NUMBER

A420

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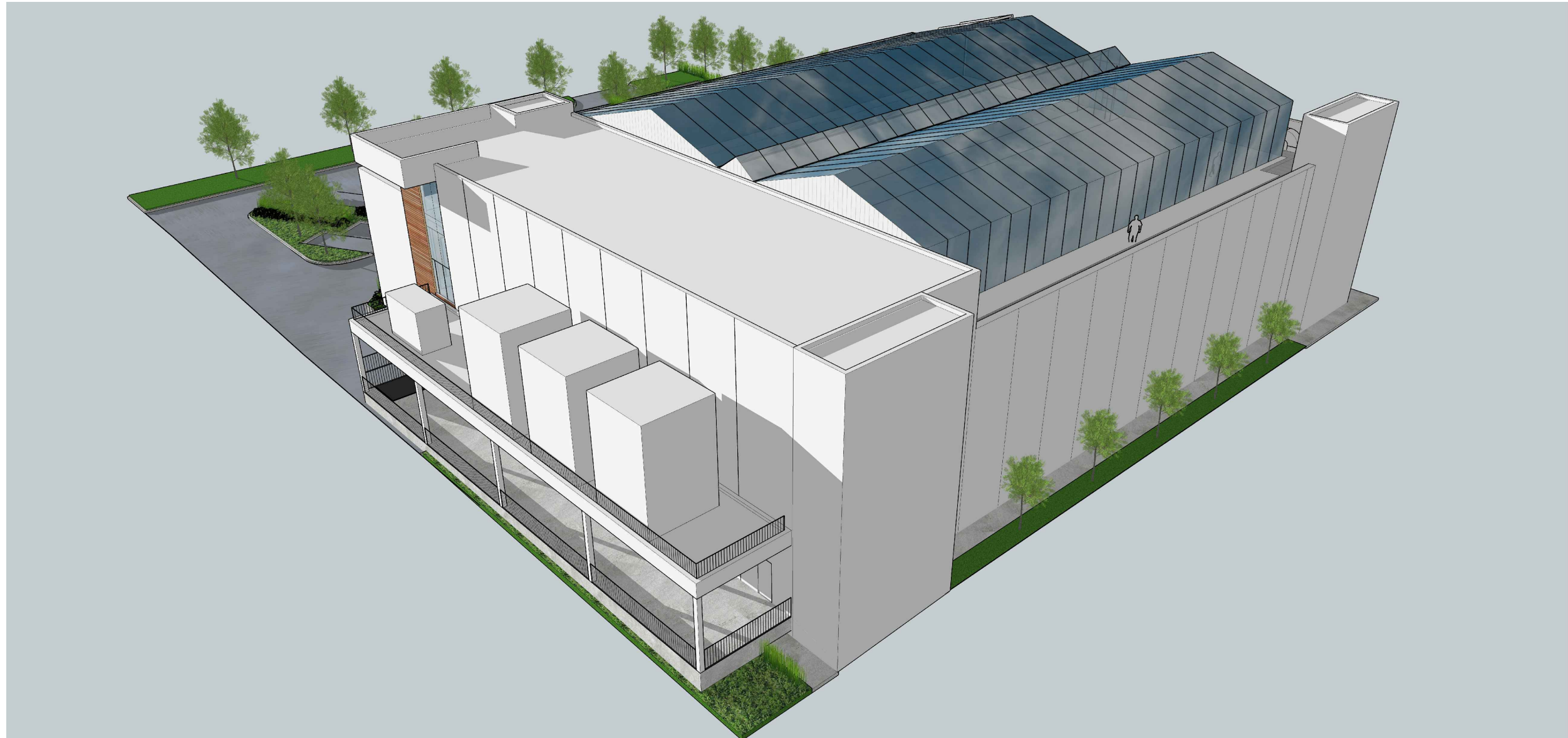
DRAWING TITLE

Materials Board /
Site Signage

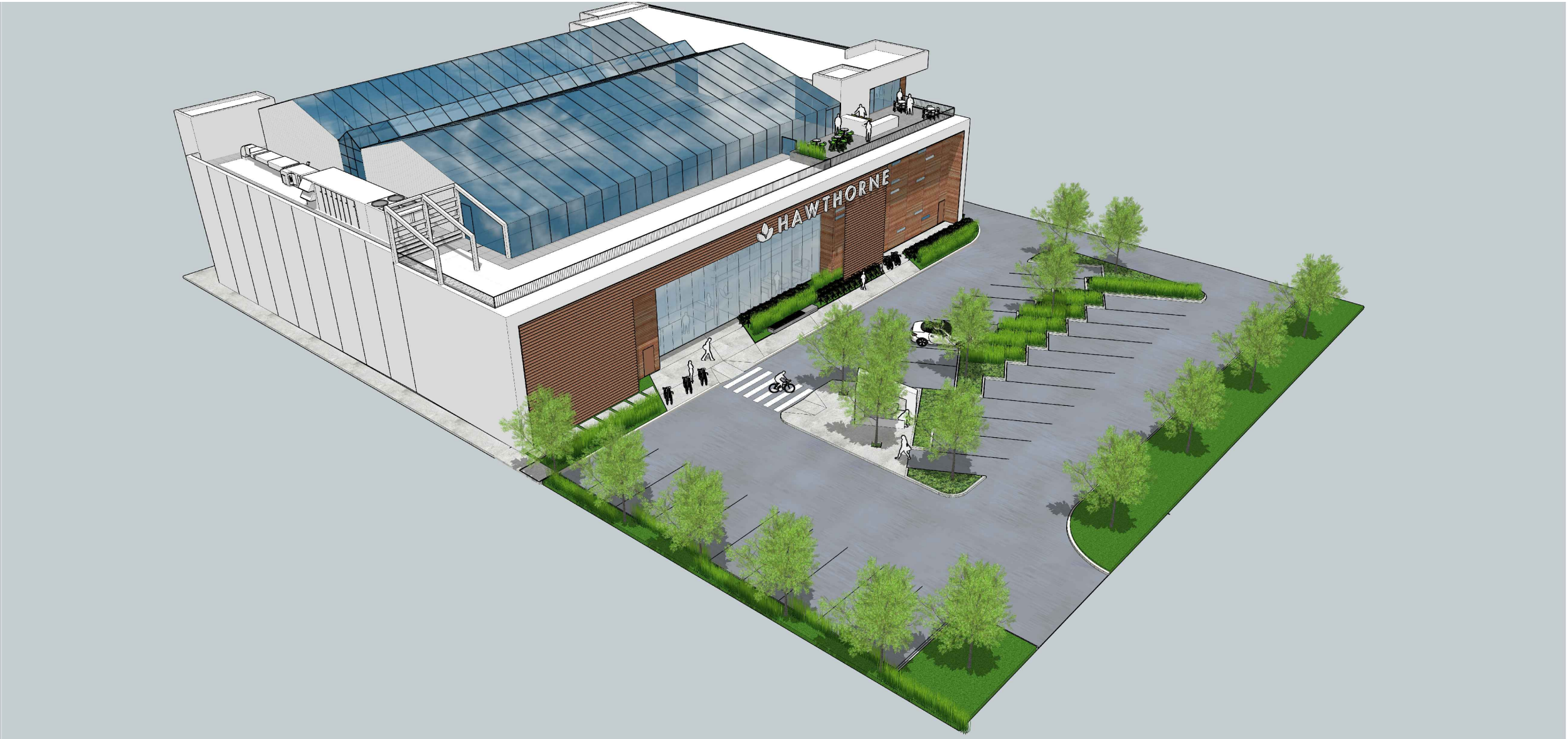
DATE	-
JOB NO.	-
SCALE	AS NOTED
DRAWN	-
CHECKED	-



1 EAST
Scale: NTS



2 NORTH WEST
Scale: NTS



3 SOUTH EAST
Scale: NTS

No.	DATE	REVISION
01	2018.03.16	For City Review
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PROJECT TITLE

R+D Facility
9570 + 9580
McCarthy Road
Kelowna, BC

DRAWING NUMBER

A430

DRAWINGS ARE NOT TO BE SCALED.
ALL DIMENSIONS SHALL BE VERIFIED ON SITE

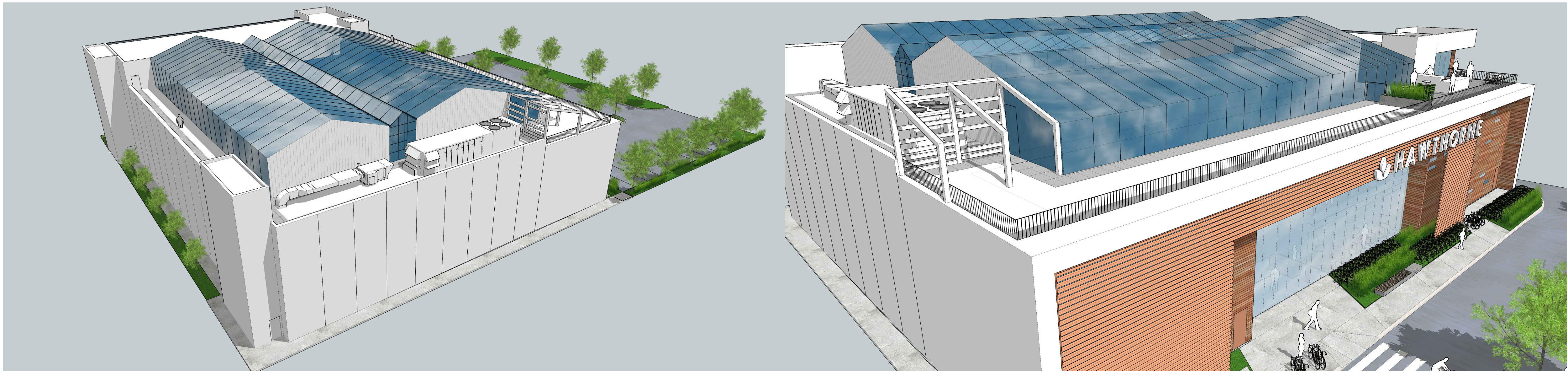
DRAWING TITLE

Perspectives

DATE	-
JOB NO.	-
SCALE	AS NOTED
DRAWN	-
CHECKED	-



1 NORTH EAST
Scale: NTS



2 SOUTH WEST
Scale: NTS

3 SOUTH EAST
Scale: NTS

No.	DATE	REVISION
01	2018.03.16	For City Review
02	2018.07.06	Rezoning Reapplication

PROJECT TITLE

R+D Facility
9570 + 9580
McCarthy Road
Kelowna, BC

DRAWING NUMBER

A431

DRAWINGS ARE NOT TO BE SCALED.
ALL DIMENSIONS SHALL BE VERIFIED ON SITE.

DRAWING TITLE

Perspectives

DATE	-
JOB NO.	-
SCALE	AS NOTED
DRAWN	-
CHECKED	-