

# DEVELOPMENT PERMIT and DEVELOPMENT VARIANCE PERMIT



## APPROVED ISSUANCE OF DEVELOPMENT PERMIT and DEVELOPMENT VARIANCE PERMIT NO. DP16-0295 and DVP16-0296

**Issued To:** TMI Properties Ltd.  
**Site Address:** 1297 Findlay Road  
**Legal Description:** LOT 1 SECTION 35 TOWNSHIP 26 OSOYOOS DIVISION YALE DISTRICT PLAN  
EPP69228  
**Zoning Classification:** RM3 – Low Density Multiple Housing  
**Development Permit Area:** Comprehensive Development Permit Multi-Family

### SCOPE OF APPROVAL

This Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.

This Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this Permit, noted in the Terms and Conditions below.

The issuance of a Permit limits the Permit Holder to be in strict compliance with regulations of the Zoning Bylaw and all other Bylaws unless specific Variances have been authorized by the Permit. No implied Variances from bylaw provisions shall be granted by virtue of drawing notations that are inconsistent with bylaw provisions and that may not have been identified as required Variances by the applicant or Municipal staff.

### 1. TERMS AND CONDITIONS

AND THAT Council authorizes the issuance of Development Permit No. DP16-0295 for Lot 1, Section 35, Township 26, ODYD, Plan EPP69228, located at 1297 Findlay Road, subject to the following:

1. The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A,"
2. The exterior design and finish of the building to be constructed on the land, be in accordance with Schedule "B";
3. Landscaping to be provided on the land be in accordance with Schedule "C";
4. The applicant be required to post with the City a Landscape Performance Security deposit in the form of a "Letter of Credit" in the amount of 125% of the estimated value of the landscaping, as determined by a Registered Landscape Architect;

AND THAT variances to the following sections of Zoning Bylaw No. 8000 be granted, as shown on Schedule "A":

**Section 8.9.1(c): Parking and Loading – Off Street Vehicle Parking Location**

To vary the required rear yard setback for off-street parking from 1.5m required to 0.0m proposed;

AND THAT the applicant be required to complete the above noted conditions of Council's approval of the Development Permit Application in order for the permits to be issued;

AND FURTHER THAT this Development Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

## **2. PERFORMANCE SECURITY**

As a condition of the issuance of this Permit, Council is holding the security set out below to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Developer and be paid to the Developer or his or her designate if the security is returned. The condition of the posting of the security is that should the Developer fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the Municipality may use enter into an agreement with the property owner of the day to have the work carried out, and any surplus shall be paid over to the property own of the day. Should the Developer carry out the development permitted by this Permit within the time set out above, the security shall be returned to the Developer or his or her designate. There is filed accordingly:

- a) A Certified Cheque in the amount of \$75,550.00 OR
- b) An Irrevocable Letter of Credit in the amount of \$75,550.00.

Before any bond or security required under this Permit is reduced or released, the Developer will provide the City with a statutory declaration certifying that all labour, material, workers' compensation and other taxes and costs have been paid.

## **3. DEVELOPMENT**

The land described herein shall be developed strictly in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit that shall form a part hereof.

If the Permit Holder does not commence the development permitted by this Permit within two years of the date of this Permit, this Permit shall lapse.

**This Permit IS NOT a Building Permit.**

## **4. Indemnification**

Upon commencement of the works authorized by this Permit the Developer covenants and agrees to save harmless and effectually indemnify the Municipality against:

- a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality said Permit.
- b) All costs, expenses, claims that may be incurred by the Municipality where the construction, engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

**5. APPROVALS**

Issued and approved by Council on the \_\_\_\_\_ day of \_\_\_\_\_, 2018.

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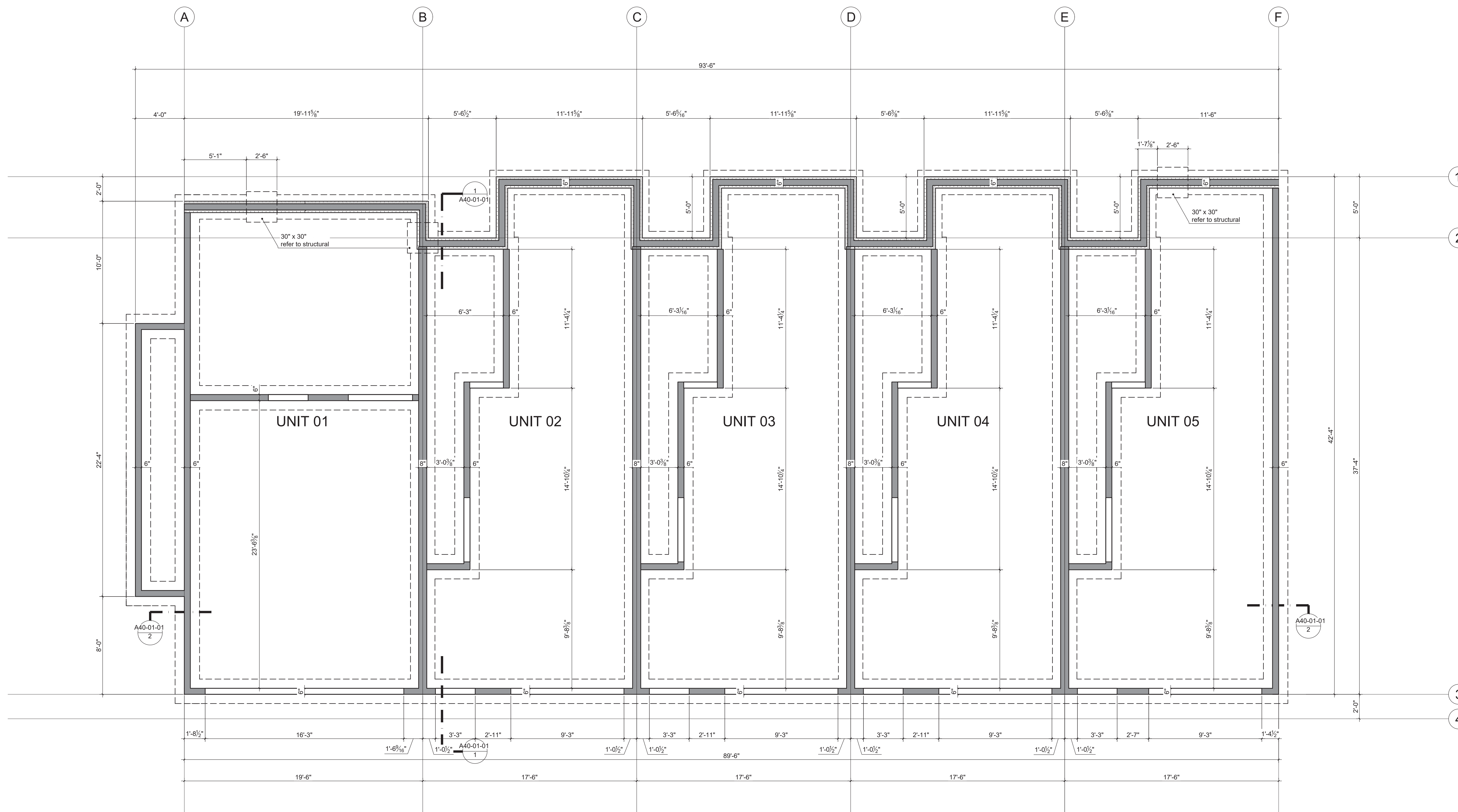
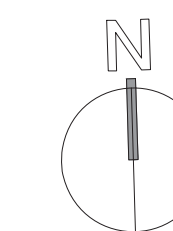
Ryan Smith, Community Planning Department Manager  
Community Planning & Real Estate

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Date

**The PERMIT HOLDER is the CURRENT LAND OWNER.  
Security shall ONLY be returned to the signatory of the  
Landscape Agreement or his or her designates**

DRAFT



1 BLDG 1 - FOUNDATION PLAN  
1/4" = 1'-0"  
REFER TO STRUCTURAL

4 18-Jun-22 reissued for DP  
ISSUES:

Ron Hart Architect Ltd  
1887 Ontario Street  
Vancouver, B.C., V5T 2W7  
778 233 7241  
ron@ronhart.ca

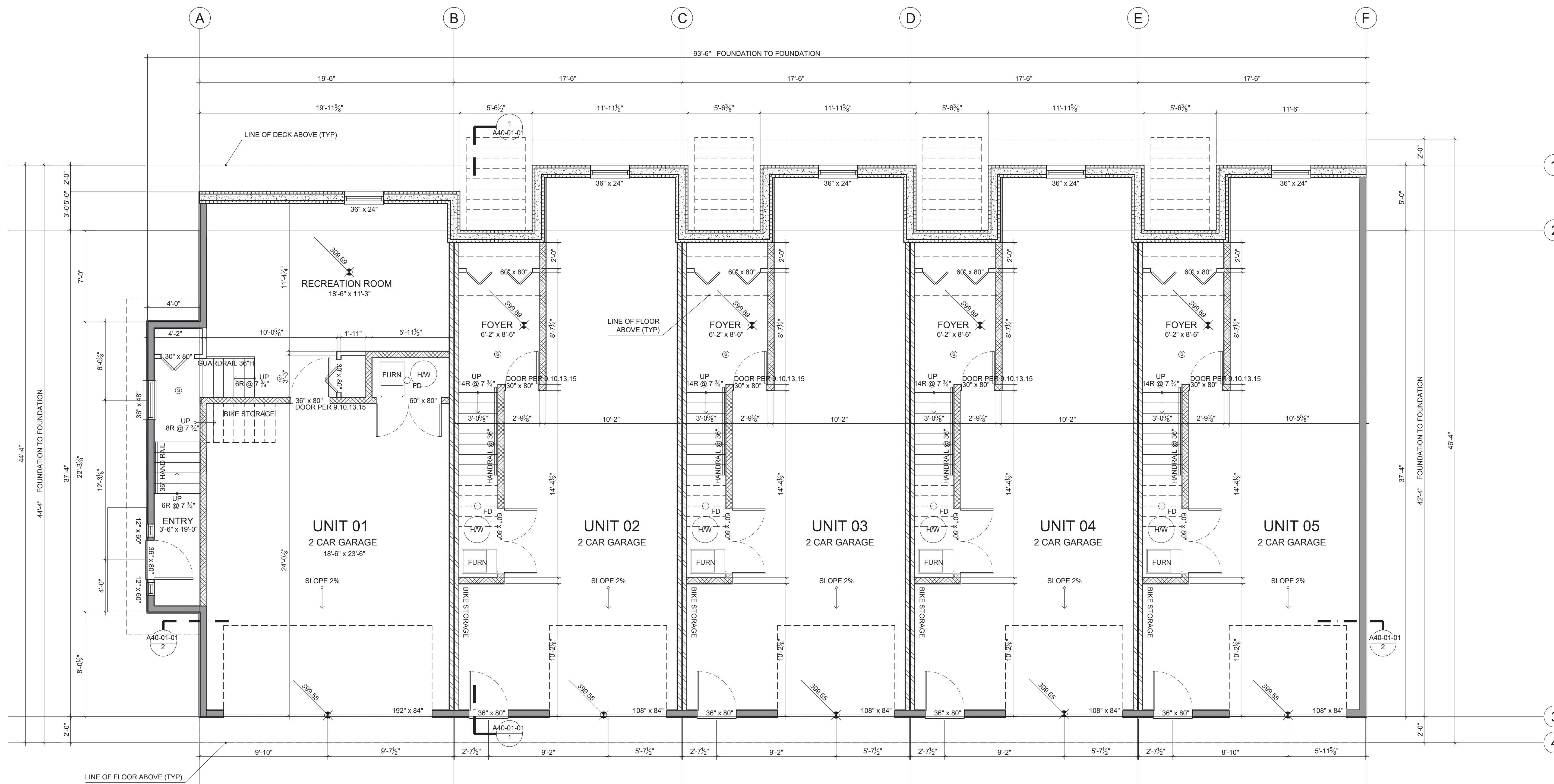
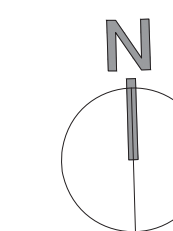
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DIMENSIONS:  
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DO NOT SCALE DRAWINGS.

PROJECT:  
1297 Findlay Road,  
Kelowna, BC  
Townhomes

TITLE:  
Building 1  
Foundation Plan

DRAWN: PG DRAWING NO: A20-01-00  
SCALE: 1/4" = 1'-0"  
JOB NO: 1801  
DATE: March 2018



**1** BLDG 1 - GROUND LEVEL  
 1/4" = 1'-0"  
 3,727 SF GROSS AREA / 682 SF NET AREA

- EXHAUST FAN  
PER 9.32.3.3
- SMOKE/CARBON MONOXIDE ALARM  
HARDWIRED PER 9.10.19 and 9.32.4.2
- FLOOR DRAIN
- GARAGE DOOR TO BE TIGHT-FITTING,  
WEATHERSTRIPPED, SELF CLOSING  
PER 9.10.13.15
- W1 - FOUNDATION WALL
- W2 - EXTERIOR WALL
- W2a - 1 HR F.R.R. EXTERIOR WALL
- W3 - 1 HR F.R.R. WALL
- W4 - INTERIOR WALL
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- W6 - GARAGE WALL

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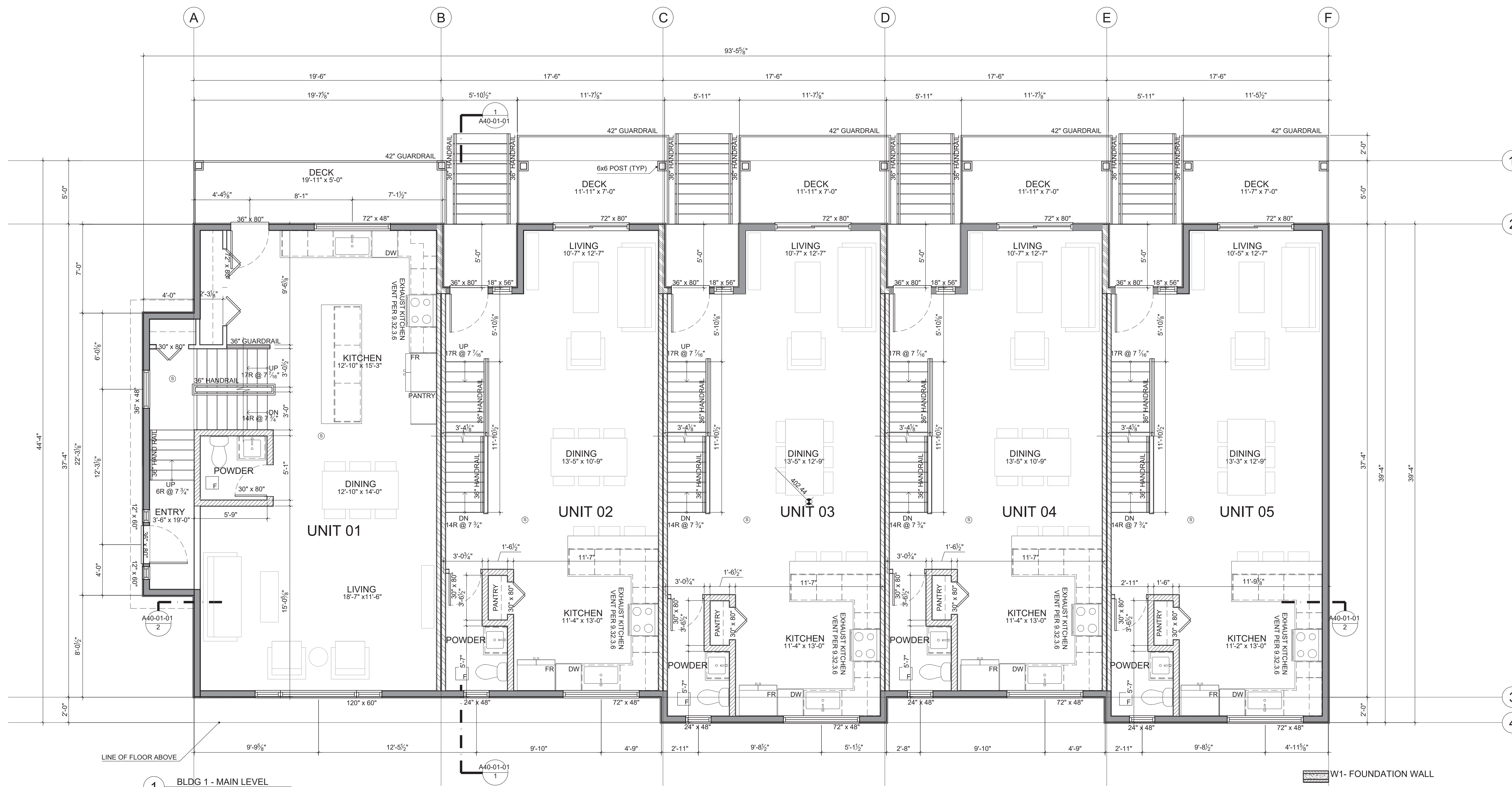
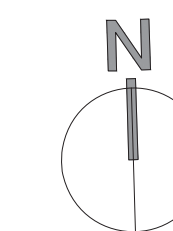
PROJECT:  
**1297 Findlay Road,  
 Kelowna, BC  
 Townhomes**

TITLE:  
**Building 1  
 Ground Floor Plan**

DRAWN: PG  
 SCALE: 1/4" = 1'-0"  
 JOB #: 1801  
 DATE: March 2018

DRAWING NO:  
**A20-01-01**





1 BLDG 1 - MAIN LEVEL  
 1/4" = 1'-0"  
 3,343 SF GROSS / 3,343 SF NET

- EXHAUST FAN PER 9.32.3.3
- SMOKE/CARBON MONOXIDE ALARM HARDWIRED PER 9.10.19 and 9.32.4.2
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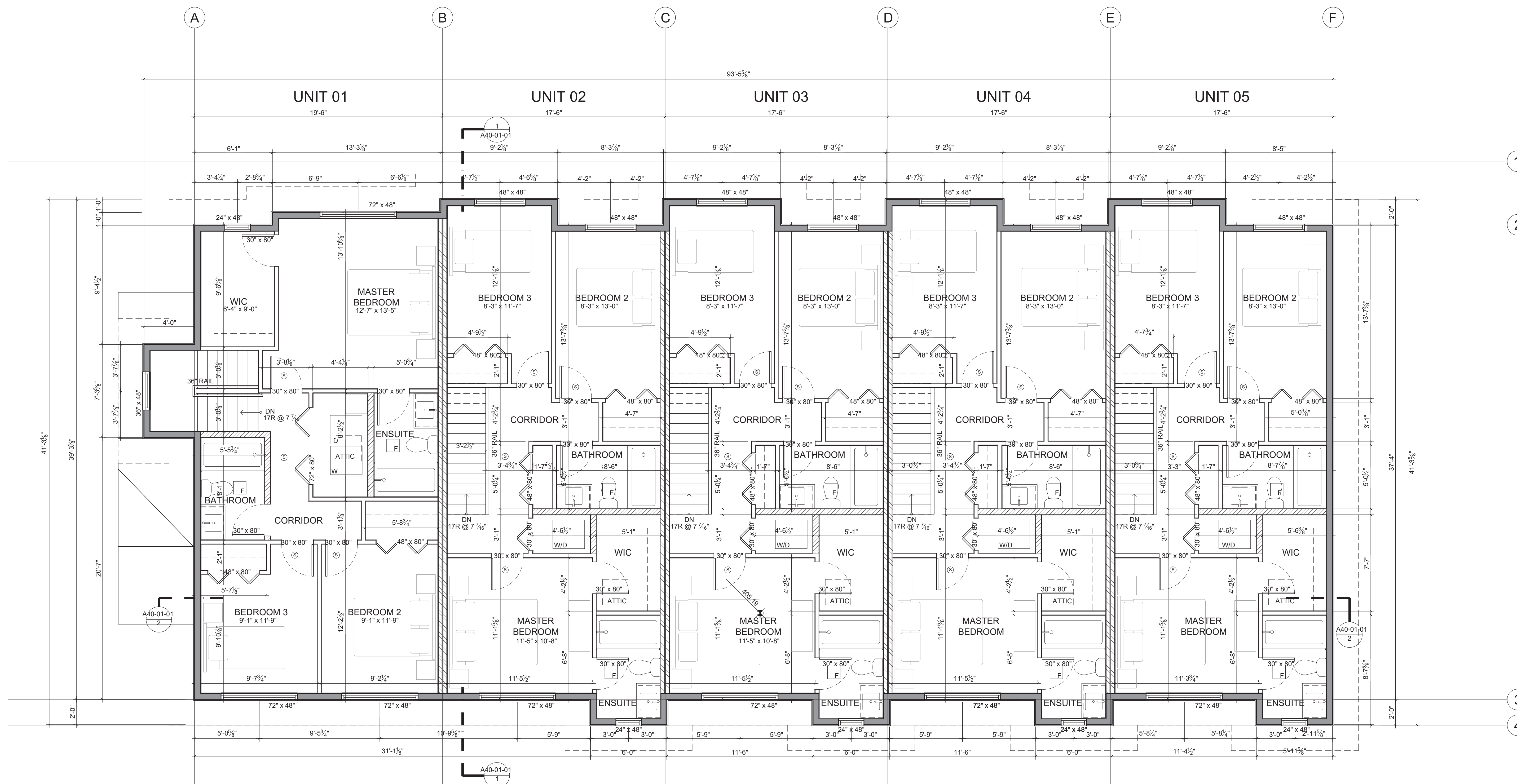
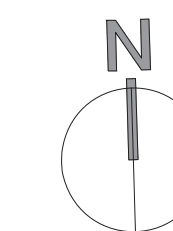
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PROJECT:  
 1297 Findlay Road,  
 Kelowna, BC  
 Townhomes

TITLE:  
 Building 1  
 Main Floor Plan

DRAWN: PG DRAWING NO: A20-01-02  
 SCALE: 1/4" = 1'-0"  
 JOB NO: 1801  
 DATE: March 2018



1 BLDG 1 - SECOND LEVEL  
 1/4" = 1'-0"  
 3,343 SF GROSS AREA / 3,181 SF NET AREA

- EXHAUST FAN  
PER 9.32.3.3
- SMOKE/CARBON MONOXIDE ALARM  
HARDWIRED PER 9.10.19 and 9.32.4.2
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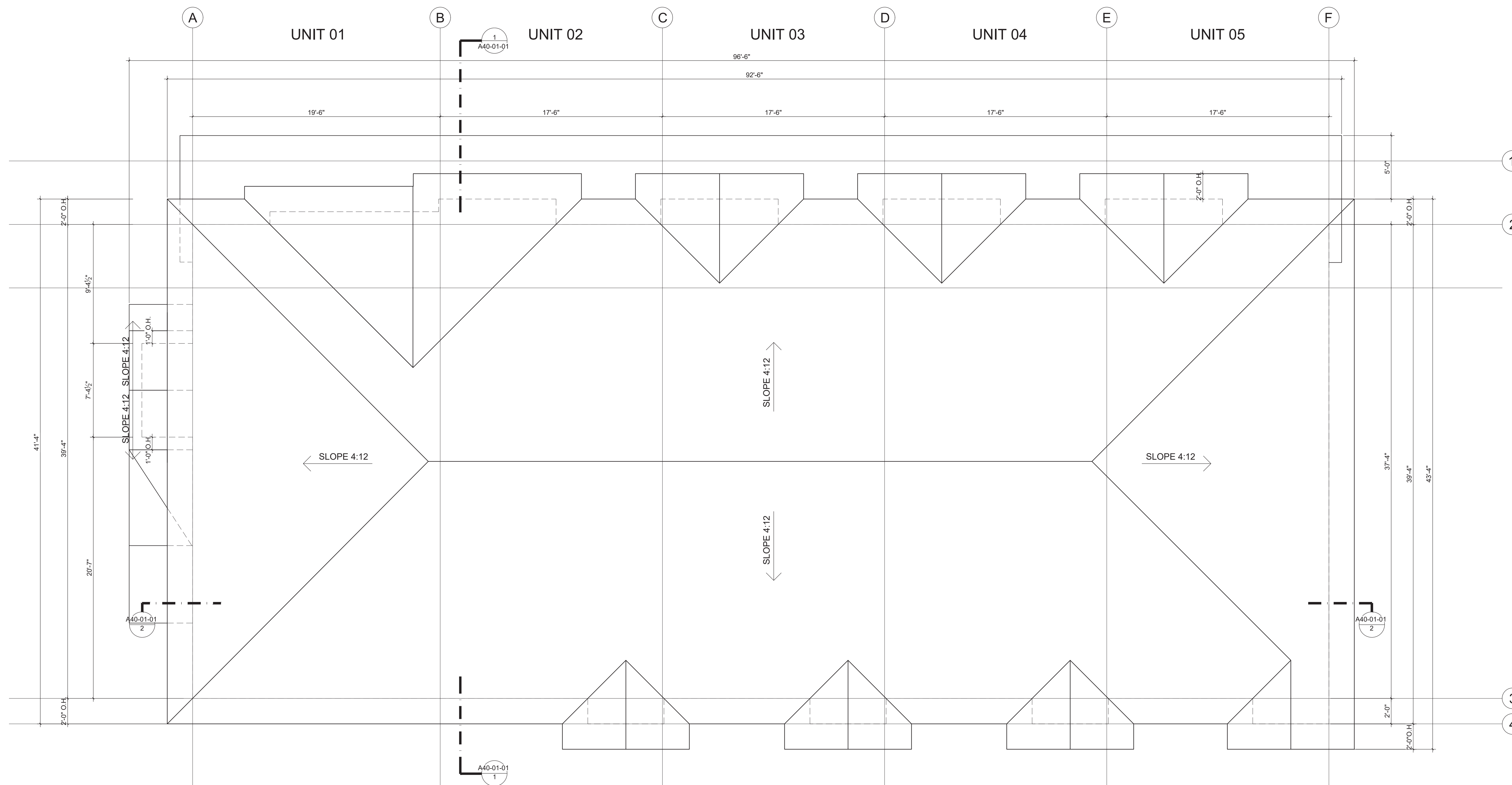
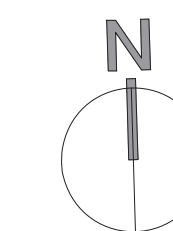
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PROJECT:  
 1297 Findlay Road,  
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 Townhomes

TITLE:  
 Building 1  
 Second Floor Plan

DRAWN: PG DRAWING NO: A20-01-03  
 SCALE: 1/4" = 1'-0"  
 JOB NO: 1801  
 DATE: March 2018



1 BLDG 1 - ROOF PLAN  
1/4" = 1'-0"

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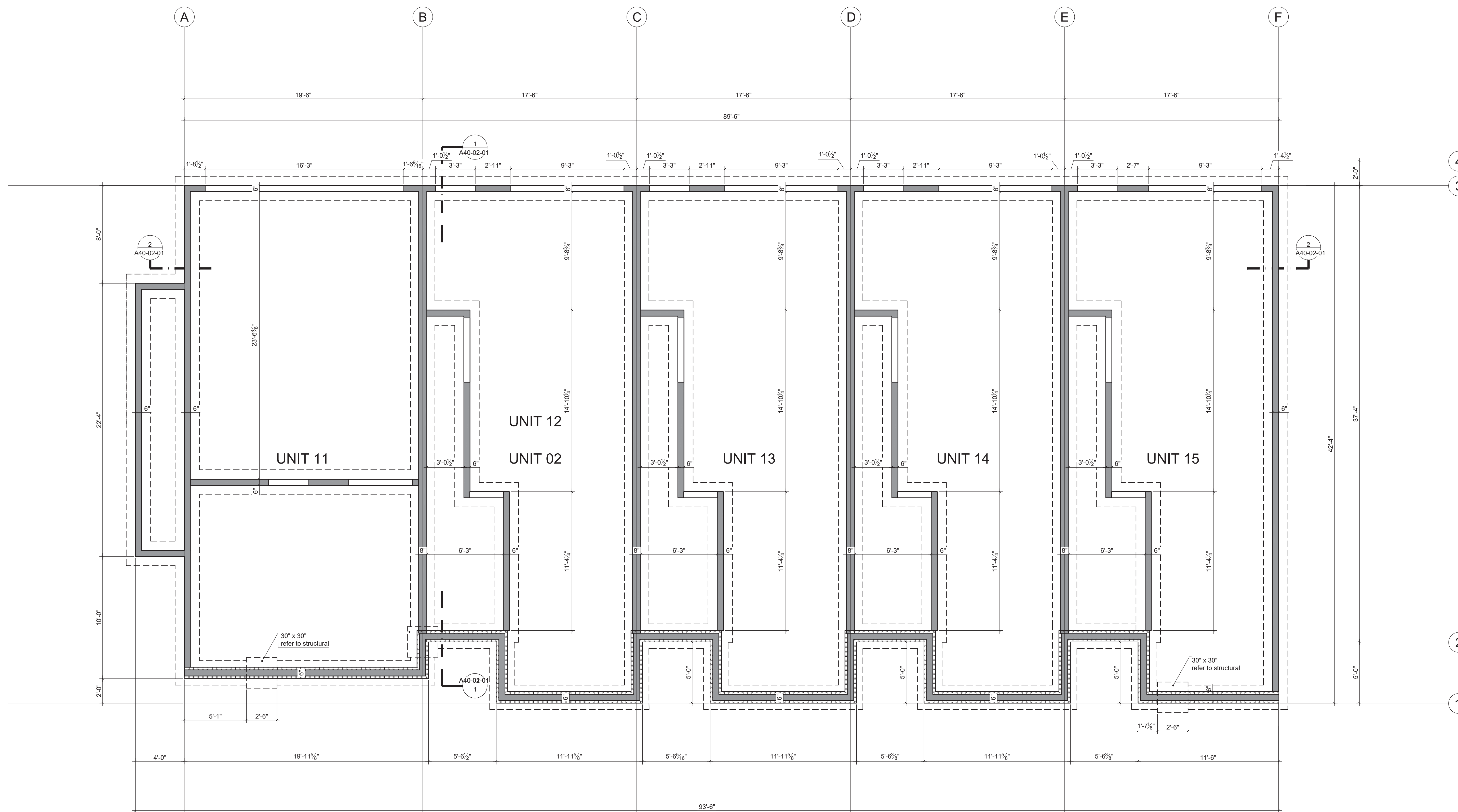
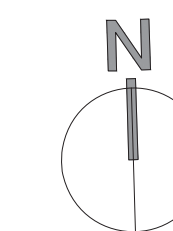
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PROJECT:  
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Townhomes

TITLE:  
Building 1  
Roof Plan

DRAWN: PG DRAWING N°:  
SCALE: 1/4" = 1'-0" A20-01-04  
JOB N°: 1801  
DATE: March 2018





1 BLDG 2 - FOUNDATION PLAN  
 1/4" = 1'-0"  
 REFER TO STRUCTURAL

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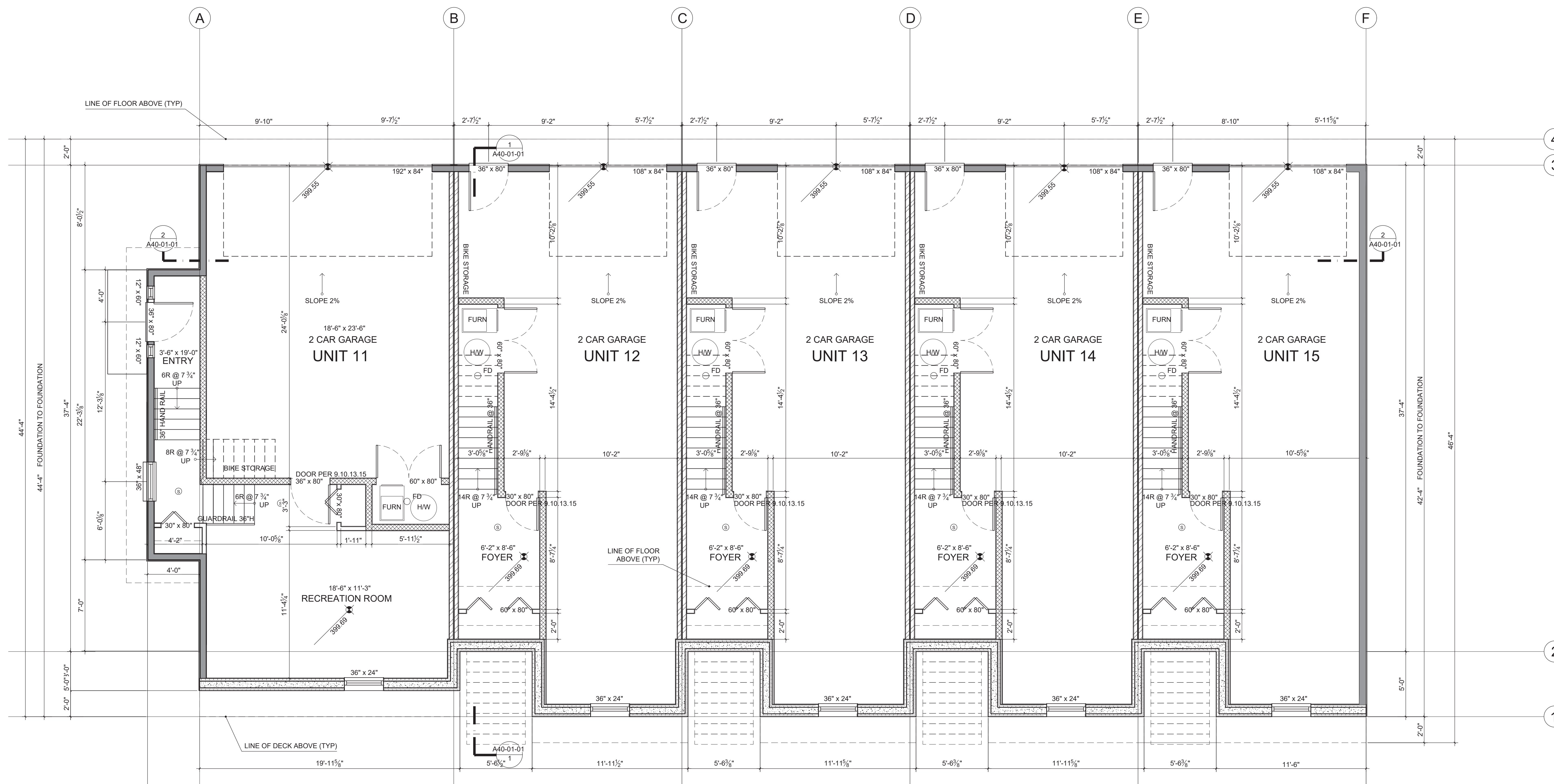
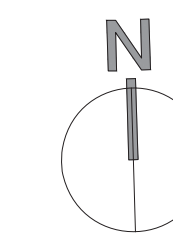
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PROJECT:  
 1297 Findlay Road,  
 Kelowna, BC  
 Townhomes

TITLE:  
 Building 2  
 Foundation Plan

DRAWN: PG DRAWING NO: A20-02-00  
 SCALE: 1/4" = 1'-0"  
 JOB NO: 1801  
 DATE: March 2018



**1** BLDG 2 - GROUND LEVEL  
 1/4" = 1'-0"  
 3,727 SF GROSS AREA / 682 SF NET AREA

- EXHAUST FAN  
PER 9.32.3.3
- SMOKE/CARBON MONOXIDE ALARM  
HARDWIRED PER 9.10.19 and 9.32.4.2
- FLOOR DRAIN
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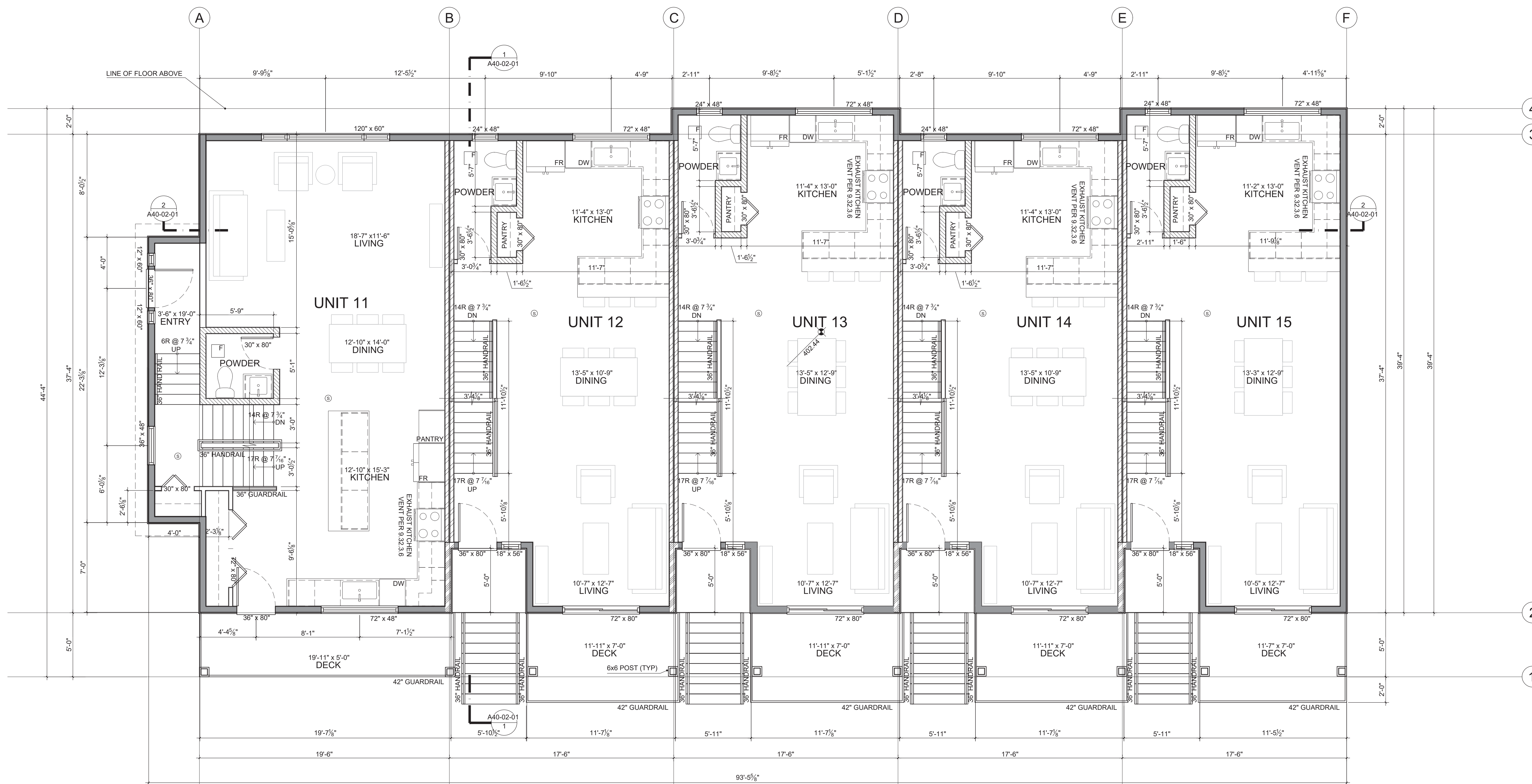
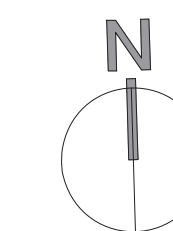
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PROJECT:  
**1297 Findlay Road,  
 Kelowna, BC  
 Townhomes**

TITLE:  
**Building 2  
 Ground Floor Plan**

DRAWN: PG  
 SCALE: 1/4" = 1'-0"  
 JOB N°: 1801  
 DATE: March 2018

DRAWING N°:  
**A20-02-01**



**1** BLDG 2 - MAIN LEVEL  
 1/4" = 1'-0"  
 3,343 SF GROSS / 3,343 SF NET

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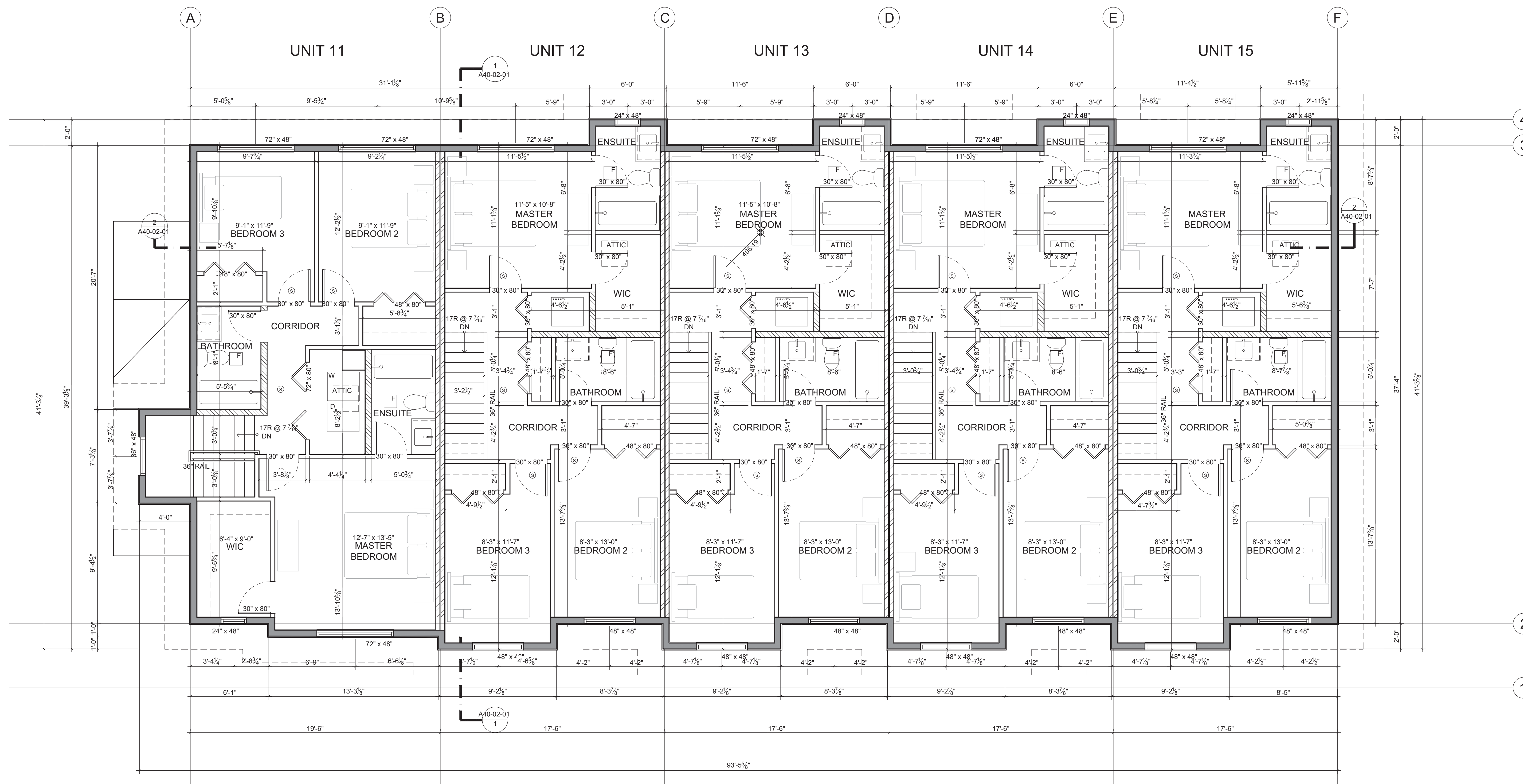
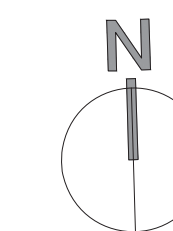
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PROJECT:  
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 Kelowna, BC  
 Townhomes**  
 TITLE:  
**Building 2  
 Main Floor Plan**

DRAWN: PG  
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 JOB#: 1801  
 DATE: March 2018  
 DRAWING #: **A20-02-02**





1 BLDG 2 - SECOND LEVEL  
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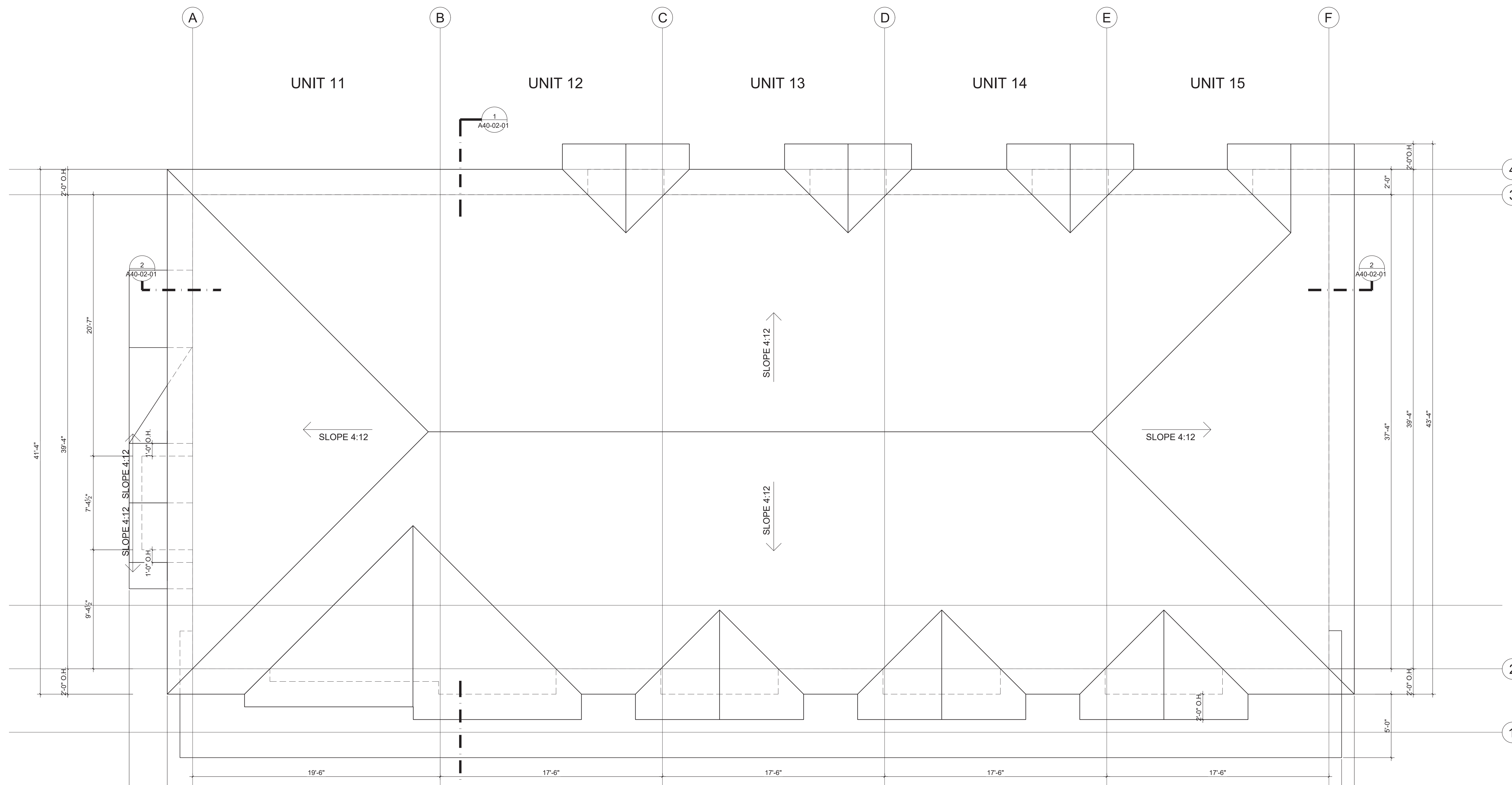
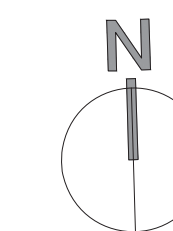
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TITLE:  
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 Second Floor Plan

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1 BLDG 2 - ROOF PLAN  
1/4" = 1'-0"

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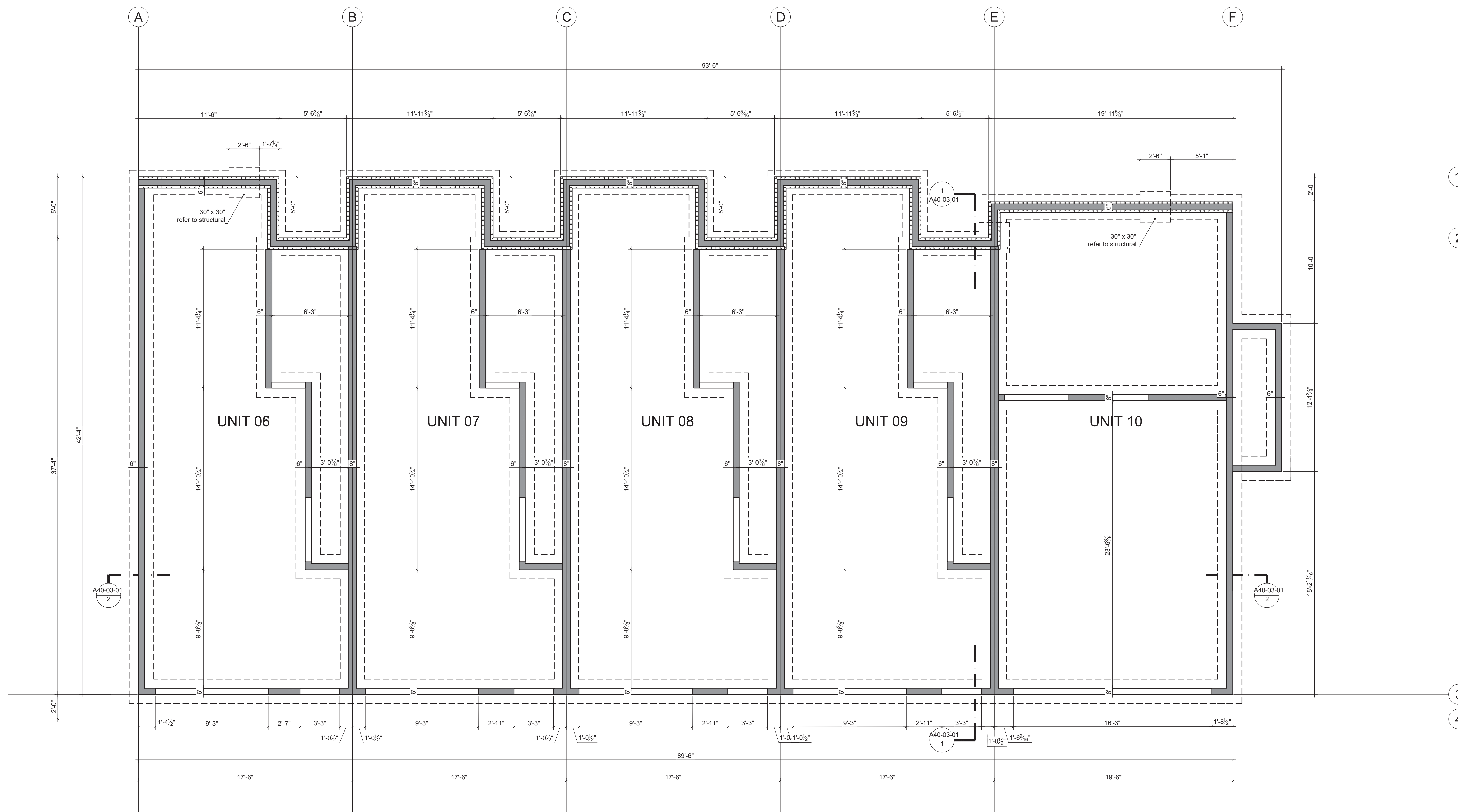
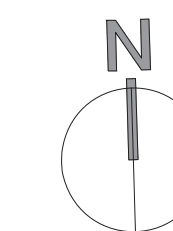
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PROJECT:  
1297 Findlay Road,  
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Townhomes

TITLE:  
Building 2  
Roof Plan

DRAWN: PG DRAWING N°:  
SCALE: 1/4" = 1'-0" A20-02-04  
JOB N°: 1801  
DATE: March 2018



1 BLDG 3 - FOUNDATION PLAN  
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 REFER TO STRUCTURAL

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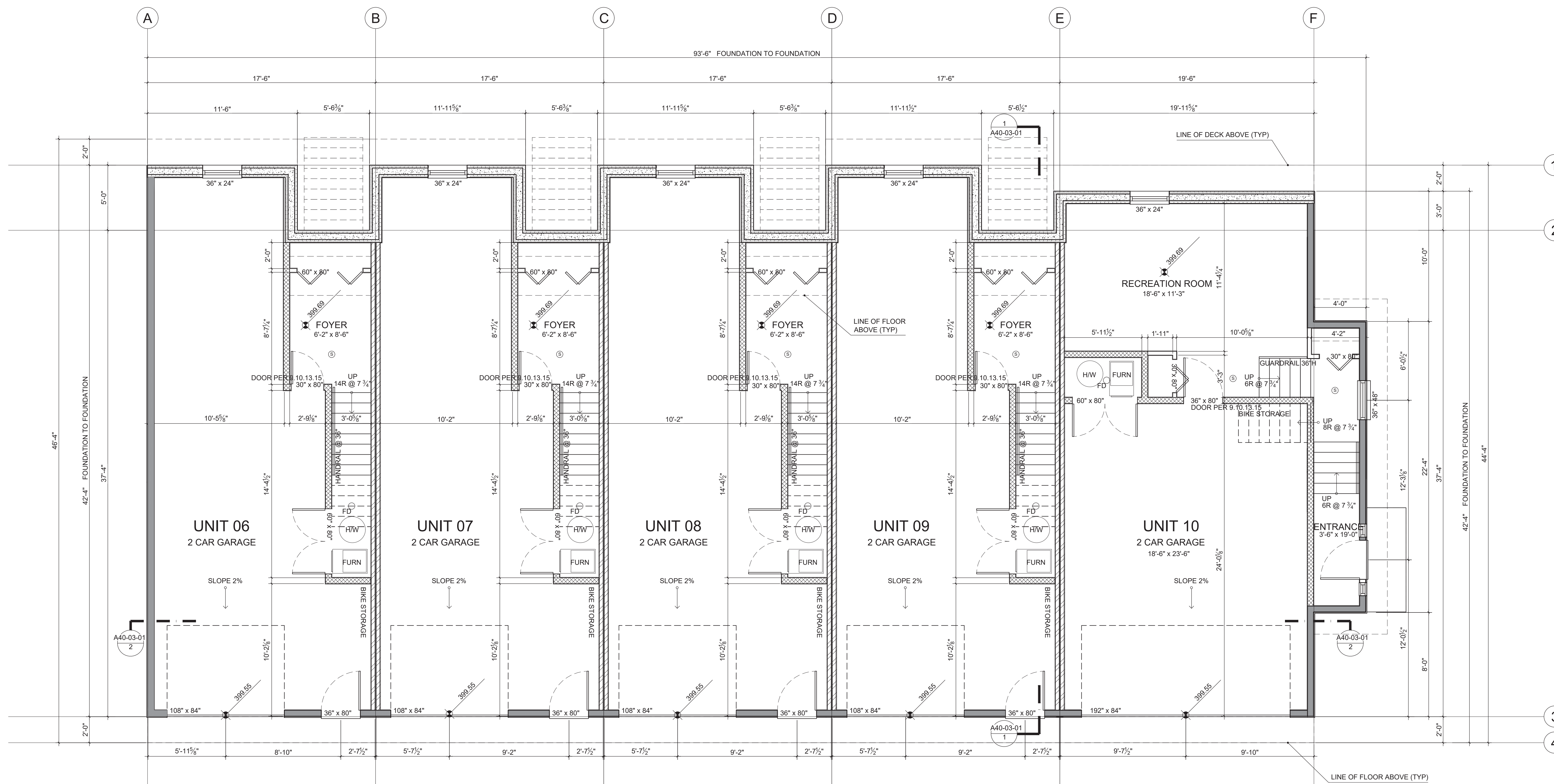
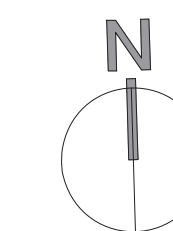
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TITLE:  
 Building 3  
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DRAWN: PG DRAWING N°:  
 SCALE: 1/4" = 1'-0" A20-03-00  
 JOB N°: 1801  
 DATE: March 2018



1 BLDG 3 - GROUND LEVEL  
 1/4" = 1'-0"  
 3,638 SF GROSS AREA / 593 SF NET AREA

- EXHAUST FAN  
PER 9.32.3.3
- SMOKE/CARBON MONOXIDE ALARM  
HARDWIRED PER 9.10.19 and 9.32.4.2
- FLOOR DRAIN  
FD
- GARAGE DOOR TO BE TIGHT-FITTING,  
WEATHERSTRIPPED, SELF CLOSING  
PER 9.10.13.15
- W1 - FOUNDATION WALL
- W2 - EXTERIOR WALL
- W2a - 1 HR F.R.R. EXTERIOR WALL
- W3 - 1 HR F.R.R. WALL
- W4 - INTERIOR WALL
- W5 - PLUMBING WALL
- W6 - GARAGE WALL

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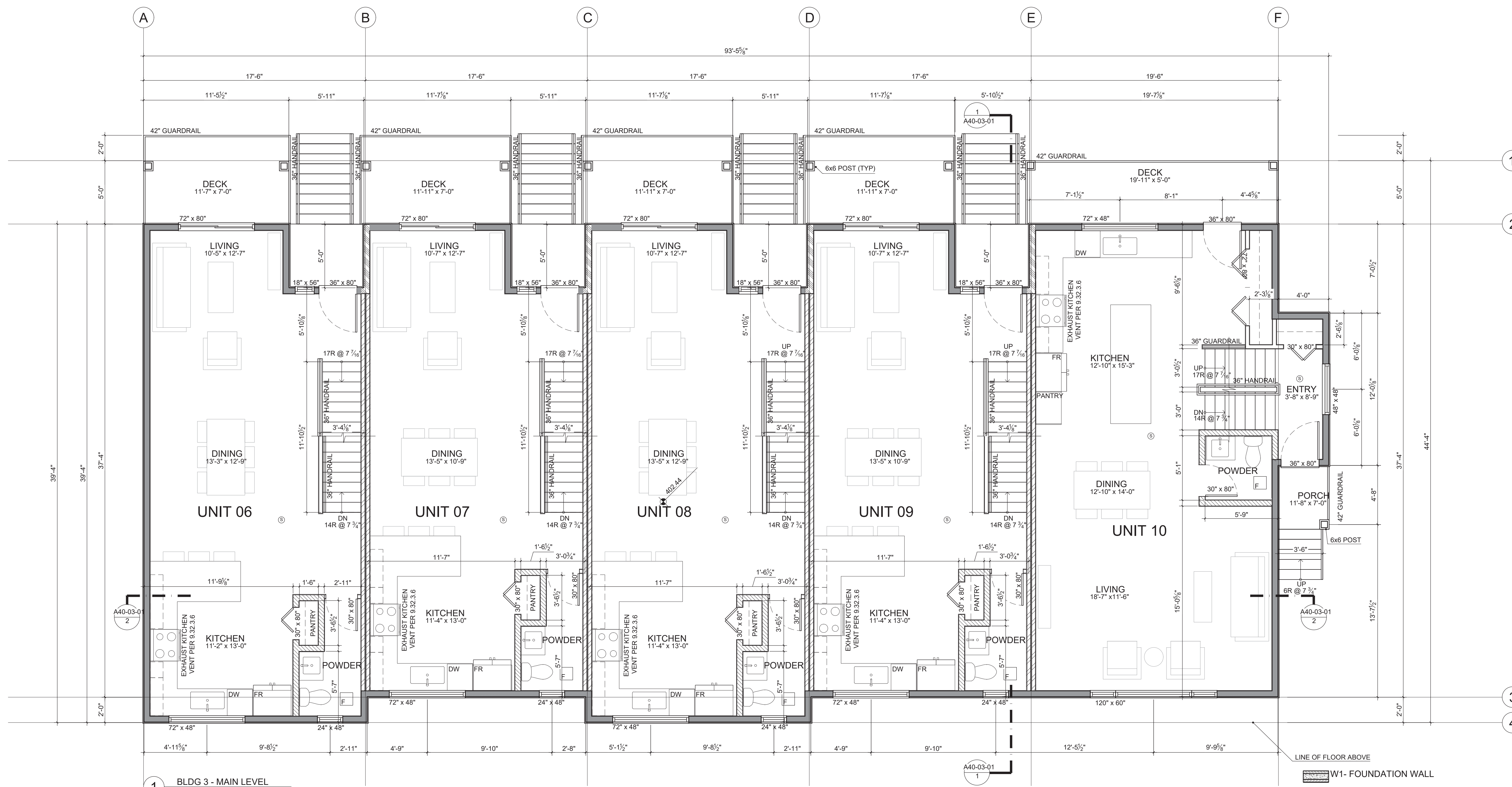
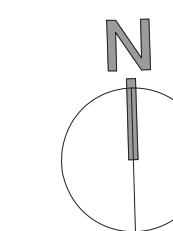
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PROJECT:  
 1297 Findlay Road,  
 Kelowna, BC  
 Townhomes

TITLE:  
 Building 3  
 Ground Floor Plan

DRAWN: PG  
 SCALE: 1/4" = 1'-0"  
 JOB NO: 1801  
 DATE: March 2018

DRAWING NO:  
 A20-03-01



1 BLDG 3 - MAIN LEVEL  
 1/4" = 1'-0"  
 3,343 SF GROSS / 3,343 SF NET

- EXHAUST FAN  
PER 9.32.3.3
- SMOKE/CARBON MONOXIDE ALARM  
HARDWIRED PER 9.10.19 and 9.32.4.2
- FLOOR DRAIN  
FD
- W1 - FOUNDATION WALL
- W2 - EXTERIOR WALL
- W2a - 1 HR F.R.R. EXTERIOR WALL
- W3 - 1 HR F.R.R. WALL
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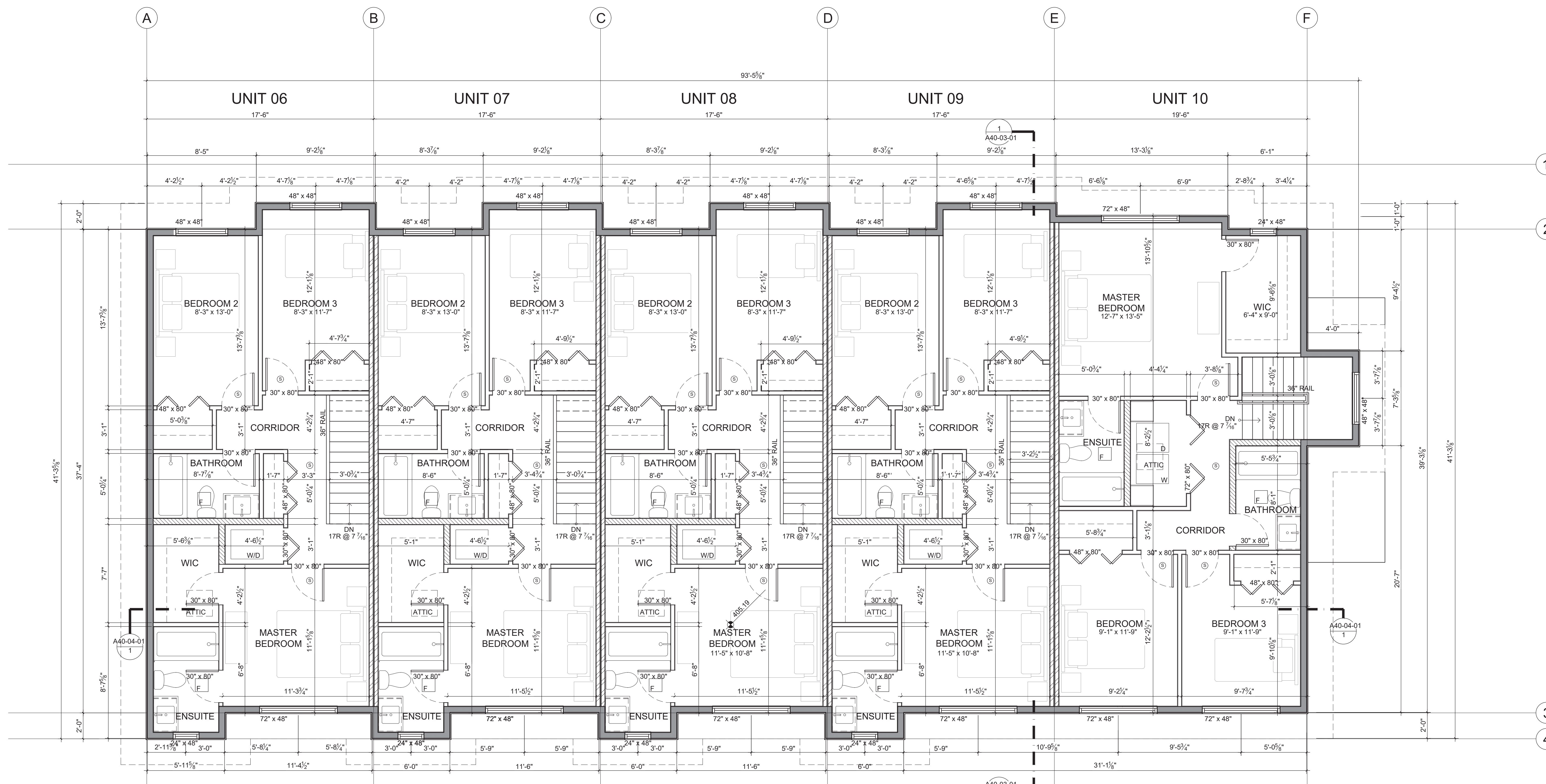
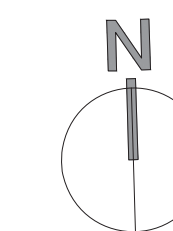
PROJECT:  
 1297 Findlay Road,  
 Kelowna, BC  
 Townhomes

TITLE:  
 Building 3  
 Main Floor Plan

DRAWN: PG  
 SCALE: 3/4" = 1'-0"  
 JOB N°: 1801  
 DATE: March 2018

DRAWING N°:  
 A20-03-02





1 BLDG 3 - SECOND LEVEL  
 1/4" = 1'-0"  
 3,343 SF GROSS AREA / 3,181 SF NET AREA

- EXHAUST FAN  
PER 9.32.3.3
- SMOKE/CARBON MONOXIDE ALARM  
HARDWIRED PER 9.10.19 and 9.32.4.2
- FLOOR DRAIN
- W1 - FOUNDATION WALL
- W2 - EXTERIOR WALL
- W2a - 1 HR F.R.R. EXTERIOR WALL
- W3 - 1 HR F.R.R. WALL
- W4 - INTERIOR WALL
- W5 - PLUMBING WALL
- W6 - GARAGE WALL

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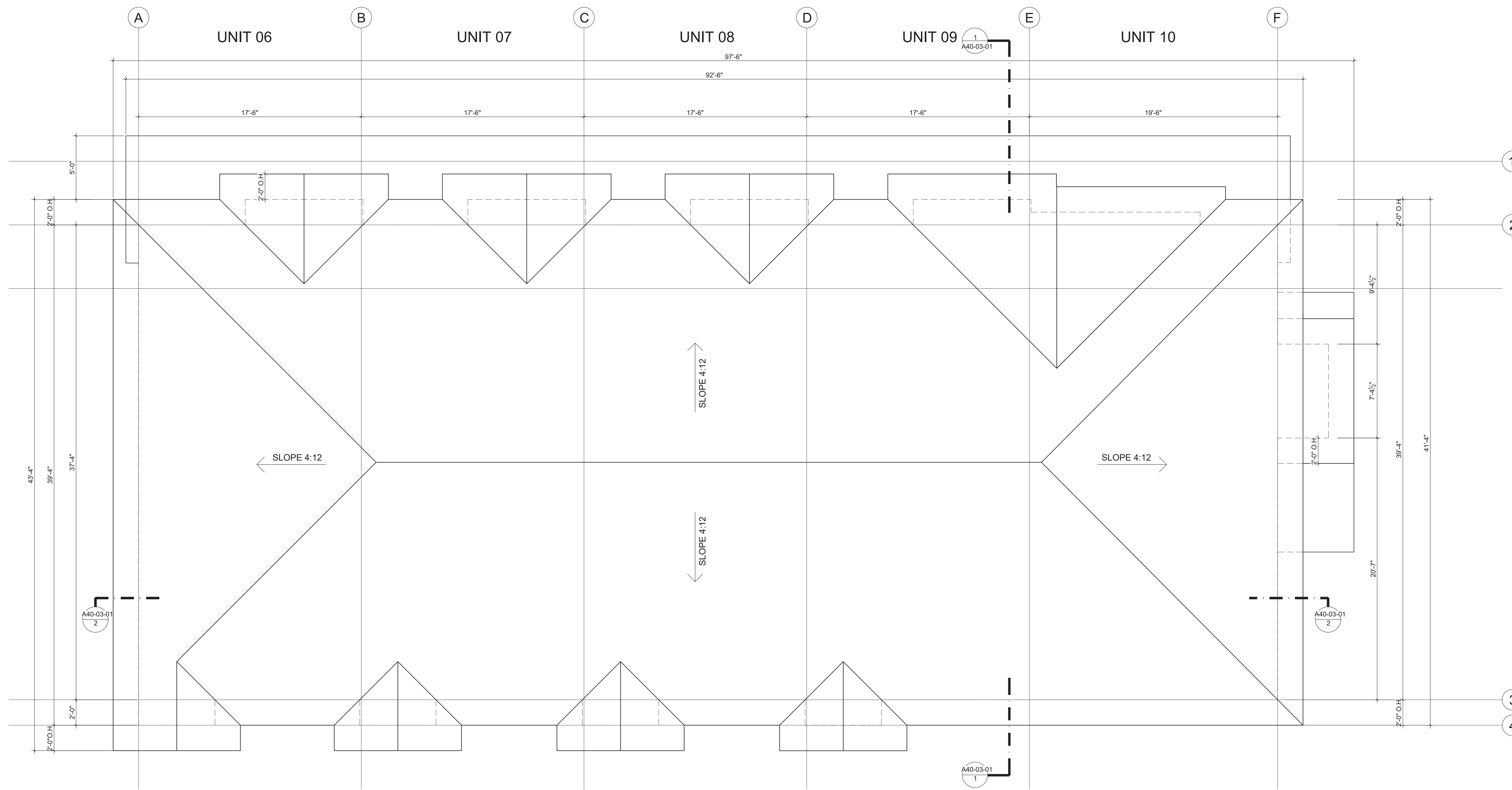
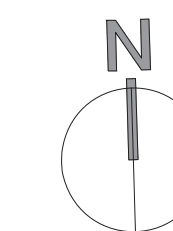
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PROJECT:  
 1297 Findlay Road,  
 Kelowna, BC  
 Townhomes

TITLE:  
 Building 3  
 Second Floor Plan

DRAWN: PG DRAWING NO: A20-03-03  
 SCALE: 1/4" = 1'-0"  
 JOB NO: 1801  
 DATE: March 2018



1 BLDG 3 - ROOF PLAN  
1/4" = 1'-0"

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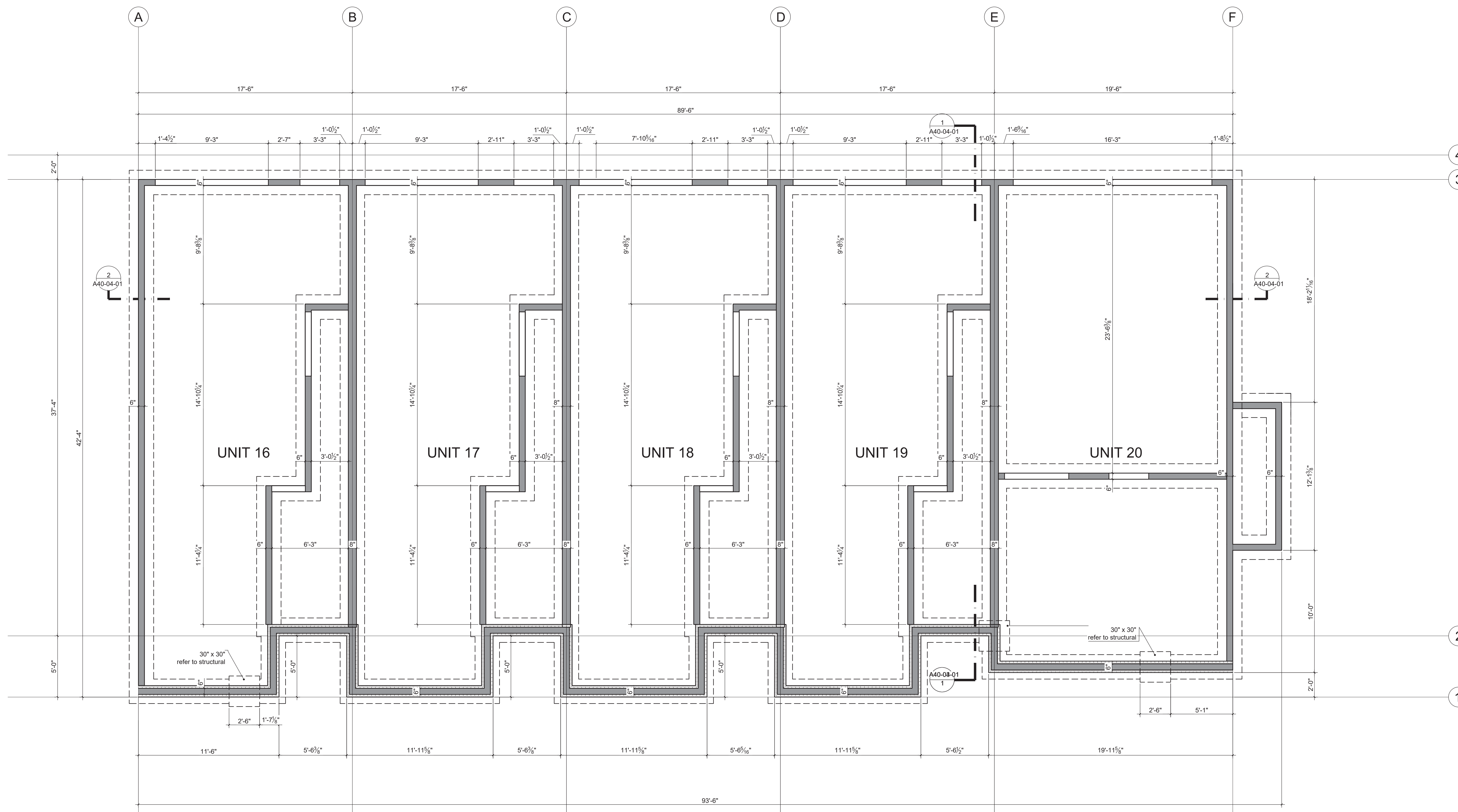
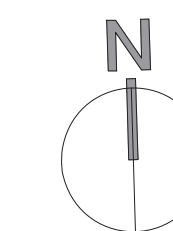
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PROJECT:  
**1297 Findlay Road,  
Kelowna, BC  
Townhomes**

TITLE:  
**Building 3  
Roof Plan**

DRAWN: PG  
SCALE: 1/4" = 1'-0"  
JOB N°: 1801  
DATE: March 2018

DRAWING N°:  
**A20-03-04**



1 BLDG 4 - FOUNDATION PLAN  
 1/4" = 1'-0"  
 REFER TO STRUCTURAL

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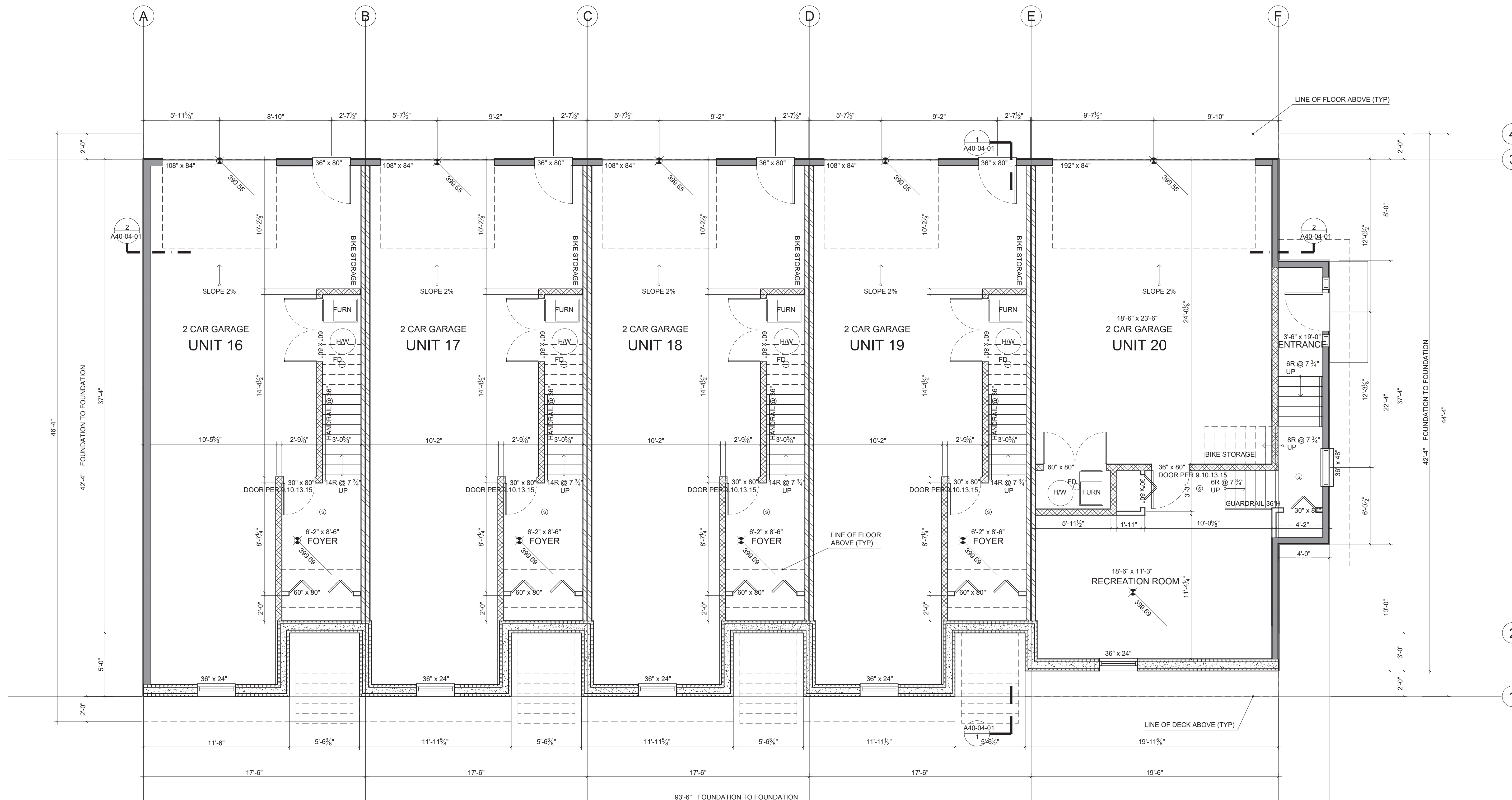
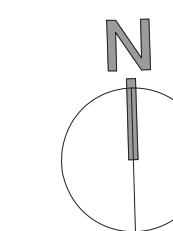
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PROJECT:  
 1297 Findlay Road,  
 Kelowna, BC  
 Townhomes

TITLE:  
 Building 4  
 Foundation Plan

DRAWN: PG DRAWING N°:  
 SCALE: 1/4" = 1'-0" A20-04-00  
 JOB N°: 1801  
 DATE: March 2018



1 BLDG 4 - GROUND LEVEL  
 1/4" = 1'-0"  
 3,638 SF GROSS AREA / 593 SF NET AREA

- EXHAUST FAN  
PER 9.32.3.3
- SMOKE/CARBON MONOXIDE ALARM  
HARDWIRED PER 9.10.19 and 9.32.4.2
- FLOOR DRAIN  
FD
- GARAGE DOOR TO BE TIGHT-FITTING,  
WEATHERSTRIPPED, SELF CLOSING  
PER 9.10.13.15
- W1 - FOUNDATION WALL
- W2 - EXTERIOR WALL
- W2a - 1 HR F.R.R. EXTERIOR WALL
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- W6 - GARAGE WALL

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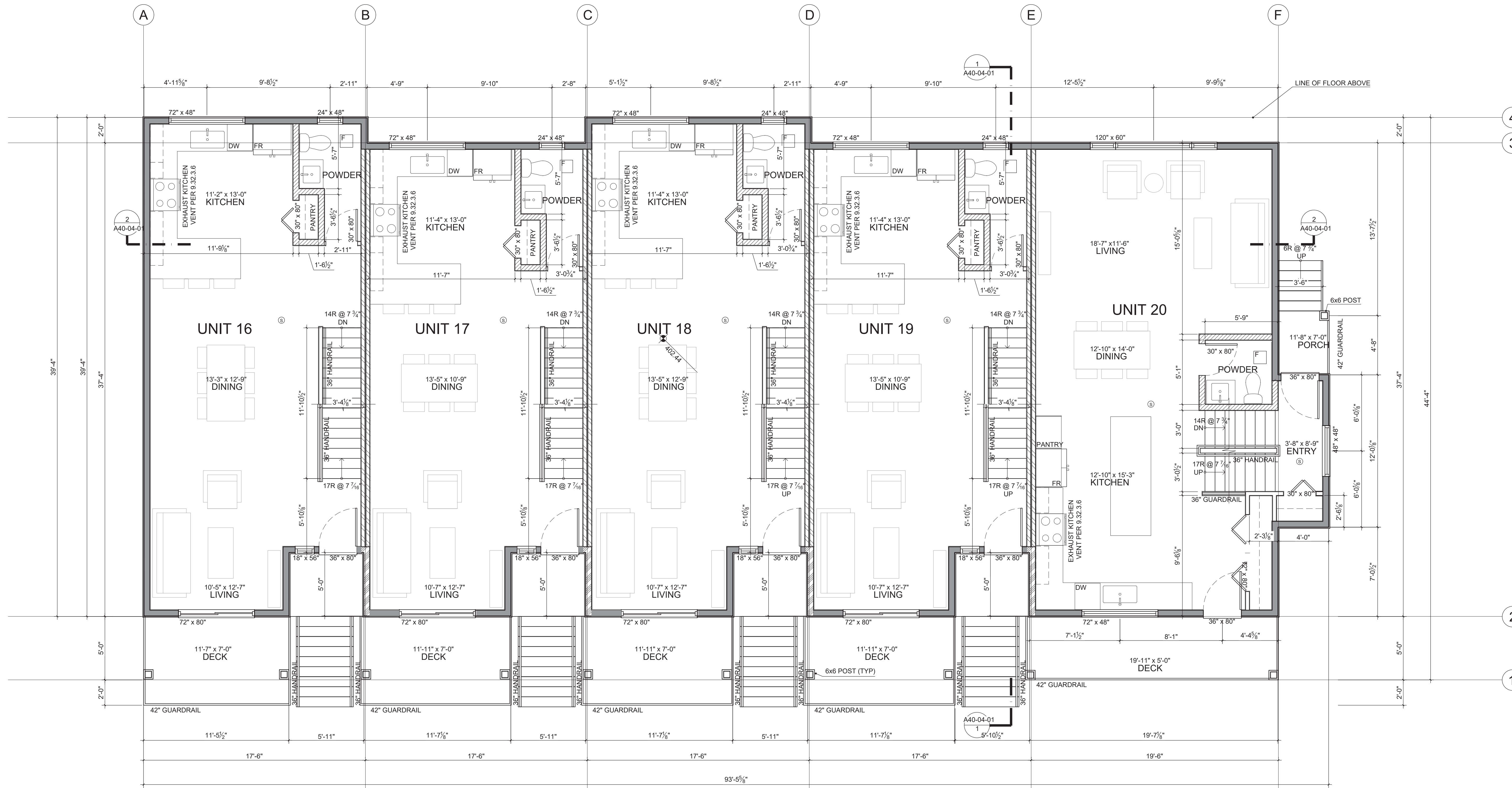
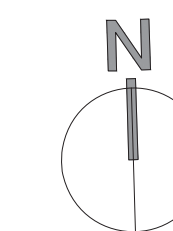
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PROJECT:  
 1297 Findlay Road,  
 Kelowna, BC  
 Townhomes  
 TITLE:  
 Building 4  
 Ground Floor Plan

DRAWN: PG  
 SCALE: 1/4" = 1'-0"  
 JOB N°: 1801  
 DATE: March 2018  
 DRAWING N°:  
 A20-04-01





**1** BLDG 4 - MAIN LEVEL  
 1/4" = 1'-0"  
 3,343 SF GROSS / 3,343 SF NET

- EXHAUST FAN PER 9.32.3.3
- SMOKE/CARBON MONOXIDE ALARM HARDWIRED PER 9.10.19 and 9.32.4.2
- FLOOR DRAIN
- W1 - FOUNDATION WALL
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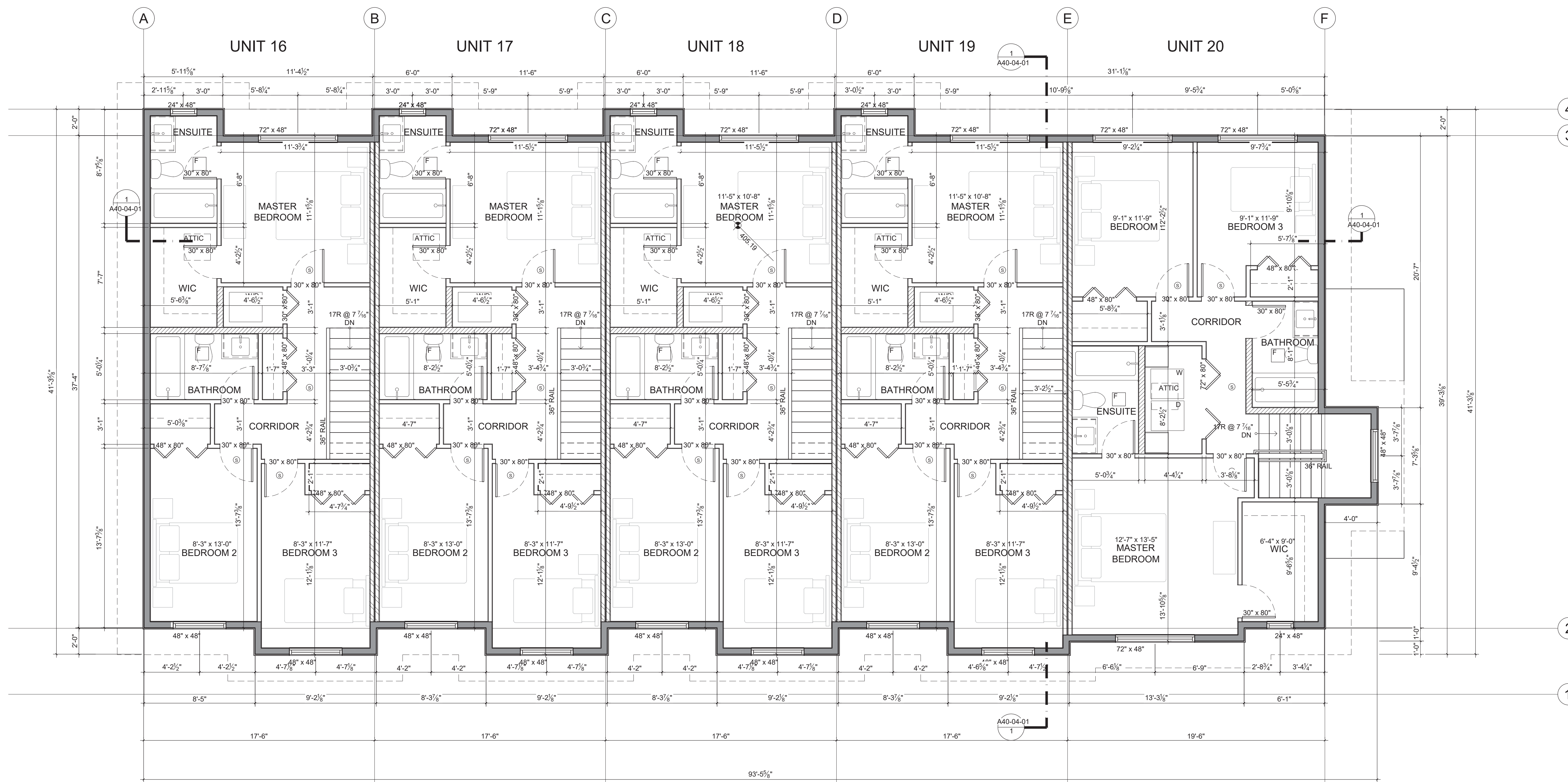
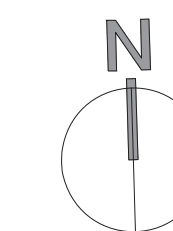
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PROJECT:  
**1297 Findlay Road,  
 Kelowna, BC  
 Townhomes**

TITLE:  
**Building 4  
 Main Floor Plan**

DRAWN: PG DRAWING NO:  
 SCALE: 1/4" = 1'-0" **A20-04-02**  
 JOB NO: 1801  
 DATE: March 2018



1 BLDG 4 - SECOND LEVEL  
 1/4" = 1'-0"  
 3,343 SF GROSS AREA / 3,181 SF NET AREA

- EXHAUST FAN  
PER 9.32.3.3
- SMOKE/CARBON MONOXIDE ALARM  
HARDWIRED PER 9.10.19 and 9.32.4.2
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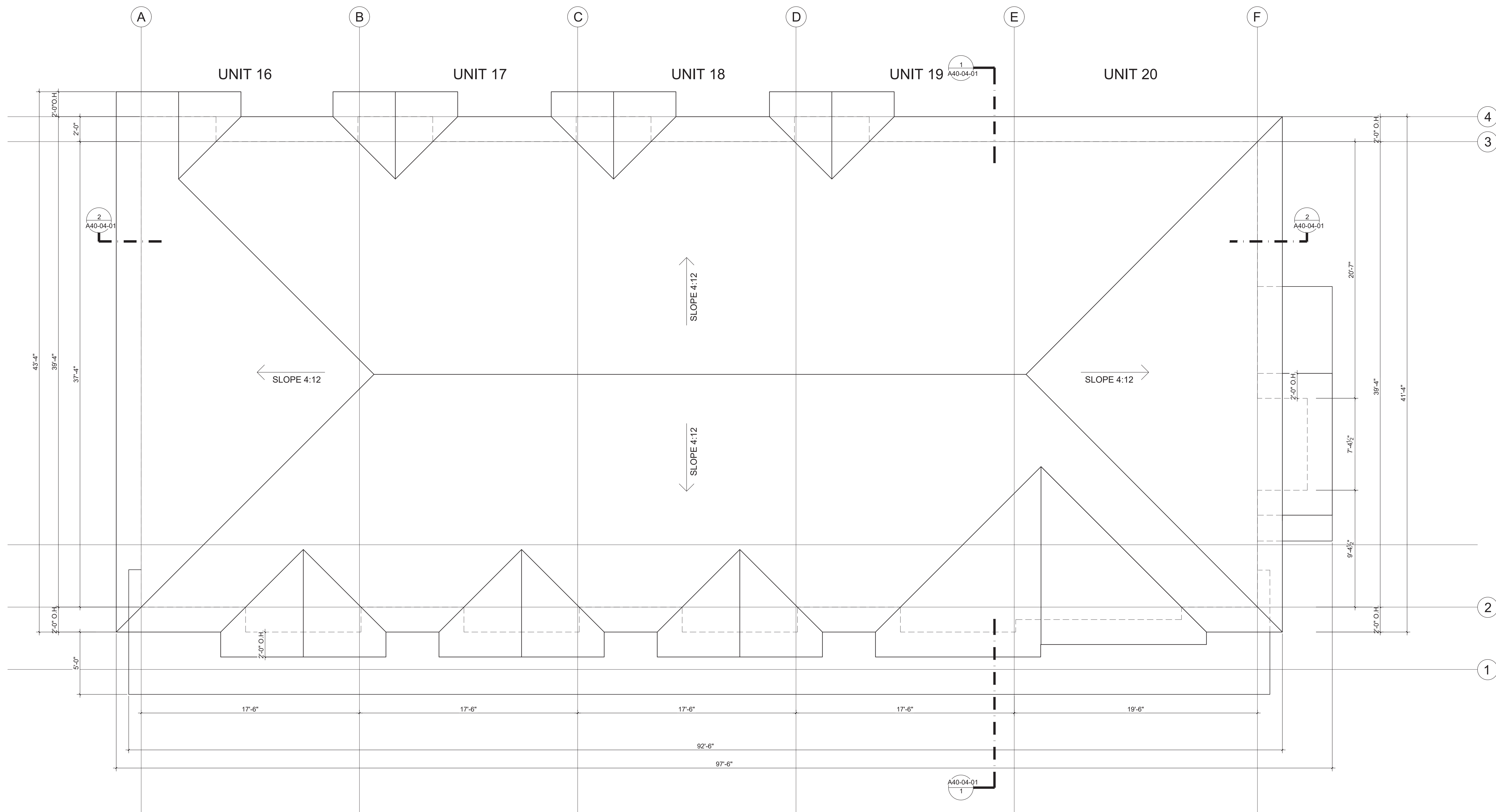
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PROJECT:  
 1297 Findlay Road,  
 Kelowna, BC  
 Townhomes

TITLE:  
 Building 4  
 Second Floor Plan

DRAWN: PG DRAWING NO: A20-04-03  
 SCALE: 1/4" = 1'-0"  
 JOB NO: 1801  
 DATE: March 2018



1 BLDG 4 - ROOF PLAN  
1/4" = 1'-0"

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PROJECT:  
1297 Findlay Road,  
Kelowna, BC  
Townhomes

TITLE:  
Building 4  
Roof Plan

DRAWN: PG

DRAWING N°:

SCALE: 1/4" = 1'-0"

A20-04-04

JOB N°: 1801

DATE: March 2018





1 ILLUSTRATION - STREETVIEW



2 ILLUSTRATION - EXTERIOR SOUTH ELEVATION



2 ILLUSTRATION - INTERIOR NORTH ELEVATION

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PROJECT:  
1297 Findlay Road,  
Kelowna, BC  
Townhomes

TITLE:  
Illustrations

DRAWN: PG DRAWING N°:  
SCALE: 3/4" = 1'-0" A10-01-00  
JOB N°: 1801  
DATE: June 2018





1 BLDG 1 - SOUTH ELEVATION  
1/4" = 1'-0"

FINISH NOTES

- 1. Vinyl Windows\*: White
- 2. Railings: Aluminum Picket, white
- 3. Built-up Columns: Cobblestone
- 4. Overhead Garage Doors\*: Clopay Almond
- 5. Fascia: 5 1/2" 5/4 Smooth Hardie Trim Cobblestone
- 6. Soffits, Gutters: Aluminum, to match Royal Alumipro "Carbon" 856
- 6. Downspout: Aluminum, to match Royal Alumipro "Carbon" 856
- 7. Belly Board: 11 1/4" x 1" 5/4 Smooth Hardie Trim, Cobblestone
- 8. Window & Door Trim: 3 1/2" x 1" 5/4 Smooth Hardie Trim, Cobblestone
- 9. Board & Batten Siding: Cedar Mill Hardie Board + 2 1/2" x 3/4" Smooth Hardie Battens Evening Blue Cobblestone (battens spaced 16" OC)
- 10. Lap Siding: 5" Exposure Cedar Mill Hardie (6.25"), Aged Pewter
- 11. Corners: 3 1/2" x 1" 5/4 Smooth Hardie Trim, to match siding
- 12. Entry Doors\*: to match Cobblestone
- 13. Roof: Black Asphalt Shingle IKO Cambridge in Dual Black
- 14. Vinyl Decking: Global Decking Systems in "Stonehenge"

\*Windows, Doors, Skylights and their components shall be designed and constructed in accordance with Article 9.7.4.2.1.  
a) AAMA/WDMA/CSA 101/1.S.2/A440, "NAFS - North American Fenestration Standard/Specification for Windows, Doors, and Skylights" (Harmonized Standard), and  
b) A440S1, "Canadian Supplement to AAMA/WDMA/CSA/101/1.S.2.A440, NAFS - North American Fenestration Standard/Specification for Windows, Doors, and Skylights."

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PROJECT:  
1297 Findlay Road,  
Kelowna, BC  
Townhomes

TITLE:  
Building 1  
South Elevation

DRAWN: PG

DRAWING NO.:

SCALE: 1/4" = 1'-0"

A30-01-01

JOB NO: 1801

DATE: June 2018



1 BLDG 1 - NORTH ELEVATION  
1/4" = 1'-0"

FINISH NOTES

- 1. Vinyl Windows\*: White
- 2. Railings: Aluminum Picket, white
- 3. Built-up Columns: Cobblestone
- 4. Overhead Garage Doors\*: Clopay Almond
- 5. Fascia: 5 1/2" x 5/4 Smooth Hardie Trim Cobblestone
- 6. Soffits, Gutters: Aluminum, to match Royal Alumipro "Carbon" 856
- 6. Downspout: Aluminum, to match Royal Alumipro "Carbon" 856
- 7. Belly Board: 11 1/4" x 1" 5/4 Smooth Hardie Trim, Cobblestone
- 8. Window & Door Trim: 3 1/2" x 1" 5/4 Smooth Hardie Trim, Cobblestone
- 9. Board & Batten Siding: Cedar Mill Hardie Board + 2 1/2" x 3/4" Smooth Hardie Battens Evening Blue Cobblestone (battens spaced 16" OC)
- 10. Lap Siding: 5" Exposure Cedar Mill Hardie (6.25"), Aged Pewter
- 11. Corners: 3 1/2" x 1" 5/4 Smooth Hardie Trim, to match siding
- 12. Entry Doors\*: to match Cobblestone
- 13. Roof: Black Asphalt Shingle IKO Cambridge in Dual Black
- 14. Vinyl Decking: Global Decking Systems in "Stonehenge"

8. Window & Door Trim: 3 1/2" x 1" 5/4 Smooth Hardie Trim, Cobblestone

9. Board & Batten Siding: Cedar Mill Hardie Board + 2 1/2" x 3/4" Smooth Hardie Battens Evening Blue Cobblestone (battens spaced 16" OC)

10. Lap Siding: 5" Exposure Cedar Mill Hardie (6.25"), Aged Pewter

11. Corners: 3 1/2" x 1" 5/4 Smooth Hardie Trim, to match siding

12. Entry Doors\*: to match Cobblestone

13. Roof: Black Asphalt Shingle IKO Cambridge in Dual Black

14. Vinyl Decking: Global Decking Systems in "Stonehenge"

\*Windows, Doors, Skylights and their components shall be designed and constructed in accordance with Article 9.7.4.2.1.

a) AAMA/WDMA/CSA 101/1.S.2/A440, "NAFS - North American Fenestration Standard/Specification for Windows, Doors, and Skylights" (Harmonized Standard), and b) A440S1, "Canadian Supplement to AAMA/WDMA/CSA/101/1.S.2.A440, NAFS - North American Fenestration Standard/Specification for Windows, Doors, and Skylights."

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PROJECT:  
1297 Findlay Road,  
Kelowna, BC  
Townhomes

TITLE:  
Building 1  
North Elevation

DRAWN: PG

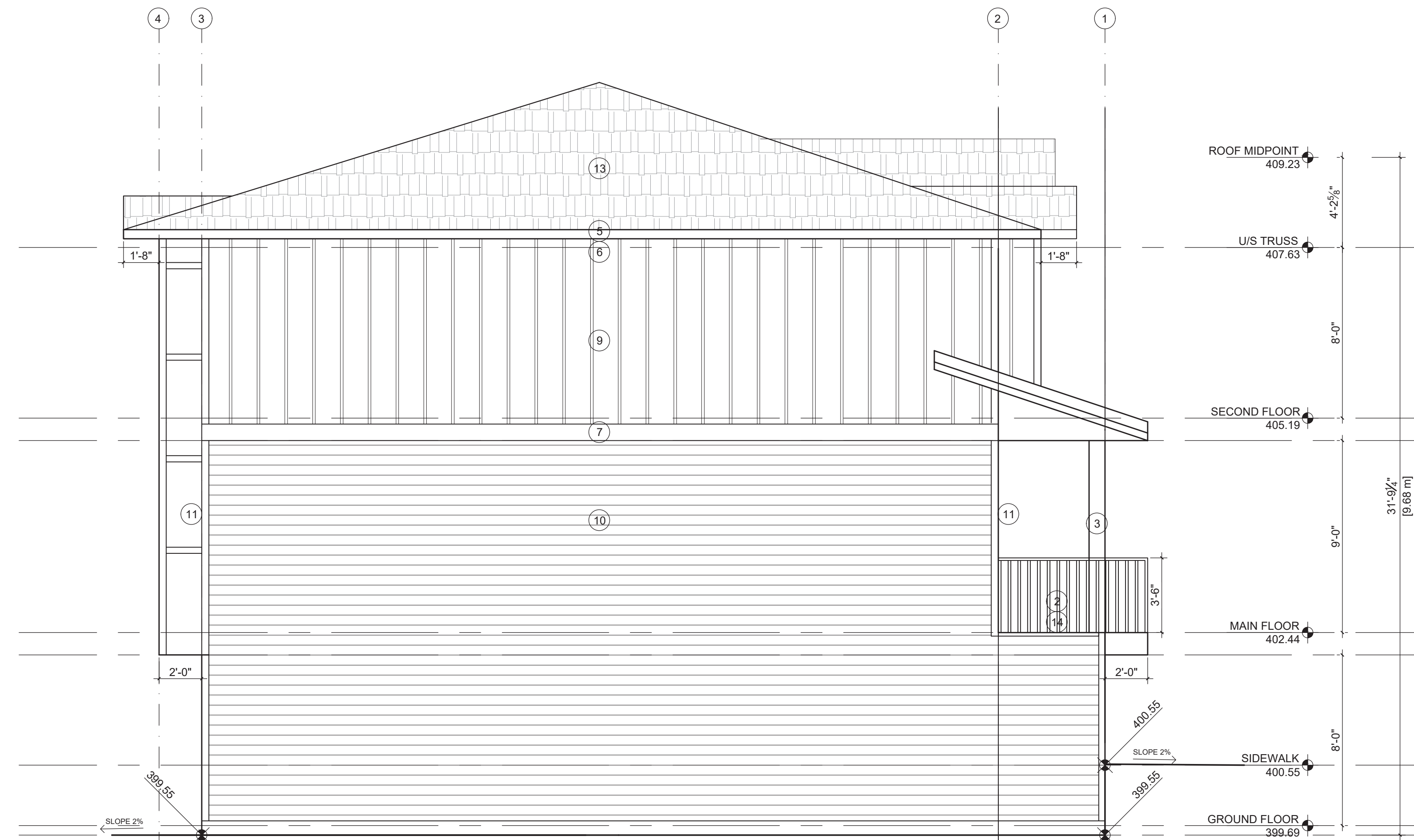
DRAWING NO.:

SCALE: 1/4" = 1'-0"

A30-01-02

JOB NO: 1801

DATE: June 2018



1 BLDG 1 - EAST ELEVATION  
1/4" = 1'-0"



2 BLDG 1 - WEST ELEVATION  
1/4" = 1'-0"

- FINISH NOTES**
- 1 Vinyl Windows\*: White
  - 2 Railings: Aluminum Picket, white
  - 3 Built-up Columns: Cobblestone
  - 4 Overhead Garage Doors\*: Clopay Almond
  - 5 Fascia: 5 1/2" 5/4 Smooth Hardie Trim  
Cobblestone
  - 6 Soffits, Gutters: Aluminum,  
to match Royal Alumipro "Carbon" 856
  - 6 Downspout: Aluminum,  
to match Royal Alumipro "Carbon" 856
  - 7 Belly Board: 11 1/4" x 1" 5/4 Smooth Hardie Trim,  
Cobblestone
  - 8 Window & Door Trim: 3 1/2" x 1" 5/4 Smooth Hardie Trim,  
Cobblestone
  - 9 Board & Batten Siding: Cedarmill Hardie Board +  
2 /12" x 3/4" Smooth Hardie Battens  
Evening Blue  
Cobblestone (battens spaced 16" OC)
  - 10 Lap Siding: 5" Exposure Cedarmill Hardie (6.25"),  
Aged Pewter
  - 11 Corners: 3 1/2" x 1" 5/4 Smooth Hardie Trim,  
to match siding
  - 12 Entry Doors\*: to match Cobblestone
  - 13 Roof: Black Asphalt Shingle  
IKO Cambridge in Dual Black
  - 14 Vinyl Decking: Global Decking Systems in "Stonehenge"

\*Windows, Doors, Skylights and their components shall be designed and constructed in accordance with Article 9.7.4.2.1.  
a) AAMA/WDMA/CSA 101/1.S.2/A440, "NAFS - North American Fenestration Standard/Specification for Windows, Doors, and Skylights" (Harmonized Standard), and  
b) A440/S1, "Canadian Supplement to AAMA/WDMA/CSA/101/1.S.2/A440, NAFS - North American Fenestration Standard/Specification for Windows, Doors, and Skylights."

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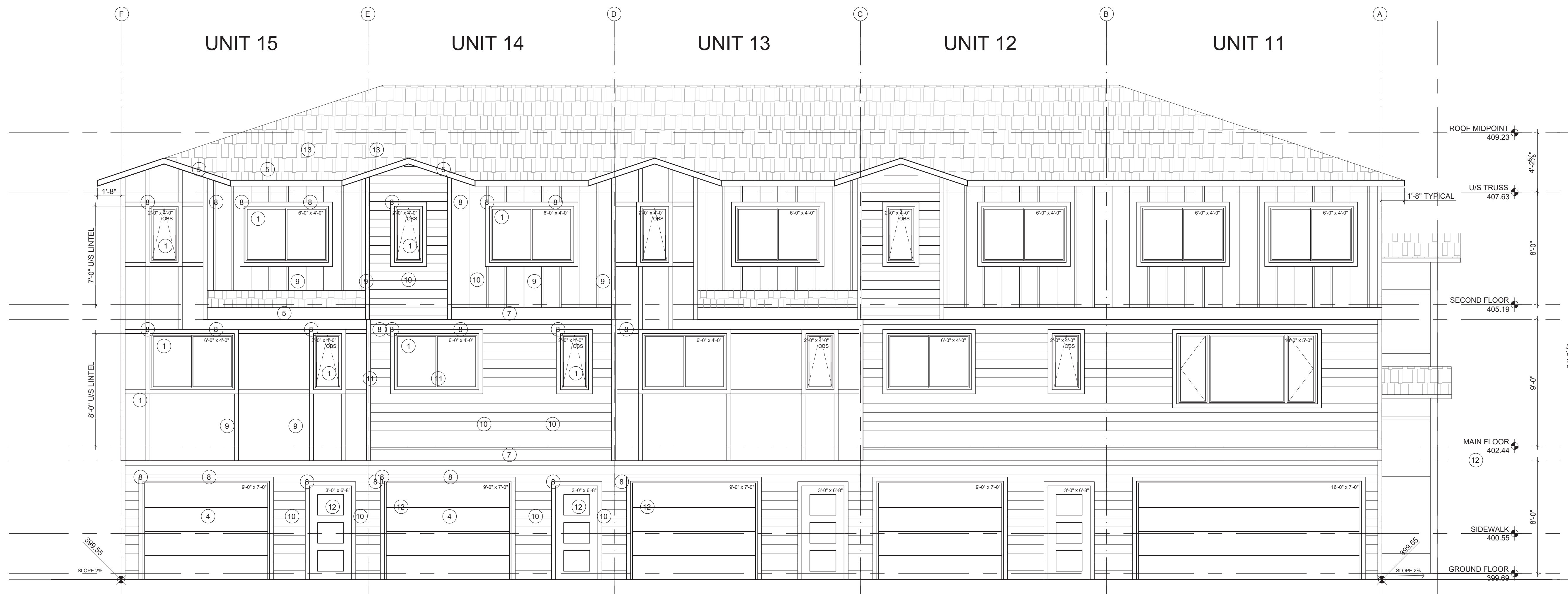
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PROJECT:  
**1297 Findlay Road,  
Kelowna, BC  
Townhomes**

TITLE:  
**Building 1  
East and West Elevations**

DRAWN: PG DRAWING NO: A30-01-03  
SCALE: 1/4" = 1'-0"  
JOB NO: 1801  
DATE: June 2018





1 BLDG 2 - NORTH ELEVATION  
1/4" = 1'-0"

**FINISH NOTES**

- 1. Vinyl Windows\*: White
- 2. Railings: Aluminum Picket, Cobblestone
- 3. Built-up Columns: Cobblestone
- 4. Overhead Garage Doors\*: Clopay Almond
- 5. Fascia: 5 1/2" 5/4 Smooth Hardie Trim Cobblestone
- 6. Soffits, Gutters: Aluminum, to match Royal Alumipro "Carbon" 856
- 6. Downspout: Aluminum, to match Royal Alumipro "Carbon" 856
- 7. Belly Board: 11 1/4" x 1" 5/4 Smooth Hardie Trim, Cobblestone
- 8. Window & Door Trim: 3 1/2" x 1" 5/4 Smooth Hardie Trim, Cobblestone
- 9. Board & Batten Siding: Cedarmill Hardie Board + 2 1/2" x 3/4" Smooth Hardie Battens Evening Blue Cobblestone (battens spaced 16" OC)
- 10. Lap Siding: 5" Exposure Cedarmill Hardie (6.25"), Aged Pewter
- 11. Corners: 3 1/2" x 1" 5/4 Smooth Hardie Trim, to match siding
- 12. Entry Doors\*: to match Cobblestone
- 13. Roof: Black Asphalt Shingle IKO Cambridge in Dual Black
- 14. Vinyl Decking: Global Decking Systems in "Stonehenge"

\*Windows, Doors, Skylights and their components shall be designed and constructed in accordance with Article 9.7.4.2.1.  
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PROJECT:  
1297 Findlay Road,  
Kelowna, BC  
Townhomes

TITLE:  
Building 2  
North Elevation

DRAWN: PG

DRAWING NO:

SCALE: 1/4" = 1'-0"

A30-02-01

JOB NO: 1801

DATE: March 2018





1 BLDG 2 - SOUTH ELEVATION  
1/4" = 1'-0"

FINISH NOTES

- 1 Vinyl Windows\*: White
- 2 Railings: Aluminum Picket, white
- 3 Built-up Columns: Cobblestone
- 4 Overhead Garage Doors\*: Clopay Almond
- 5 Fascia: 5 1/2" 5/4 Smooth Hardie Trim  
Cobblestone
- 6 Downspout: Aluminum, to match Royal Alumipro "Carbon" 856
- 7 Belly Board: 11 1/4" x 1" 5/4 Smooth Hardie Trim, Cobblestone
- 8 9. Board & Batten Siding: Cedarmill Hardie Board + 2 /12" x 3/4" Smooth Hardie Battens Evening Blue Cobblestone (battens spaced 16" OC)
- 10 Lap Siding: 5" Exposure Cedarmill Hardie (6.25"), Aged Pewter
- 11 Corners: 3 1/2" x 1" 5/4 Smooth Hardie Trim, to match siding
- 12 Entry Doors\*: to match Cobblestone
- 13 Roof: Black Asphalt Shingle  
IKO Cambridge in Dual Black
- 14 Vinyl Decking: Global Decking Systems in "Stonehenge"

\*Windows, Doors, Skylights and their components shall be designed and constructed in accordance with Article 9.7.4.2.1.

a) AAMA/WDMA/CSA 1011.S.2/A440, "NAFS - North American Fenestration Standard/Specification for Windows, Doors, and Skylights" (Harmonized Standard), and b) A440S1, "Canadian Supplement to AAMA/WDMA/CSA/1011.S.2/A440, NAFS - North American Fenestration Standard/Specification for Windows, Doors, and Skylights."

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PROJECT:  
1297 Findlay Road,  
Kelowna, BC  
Townhomes

TITLE:  
Building 2  
South Elevation

DRAWN: PG

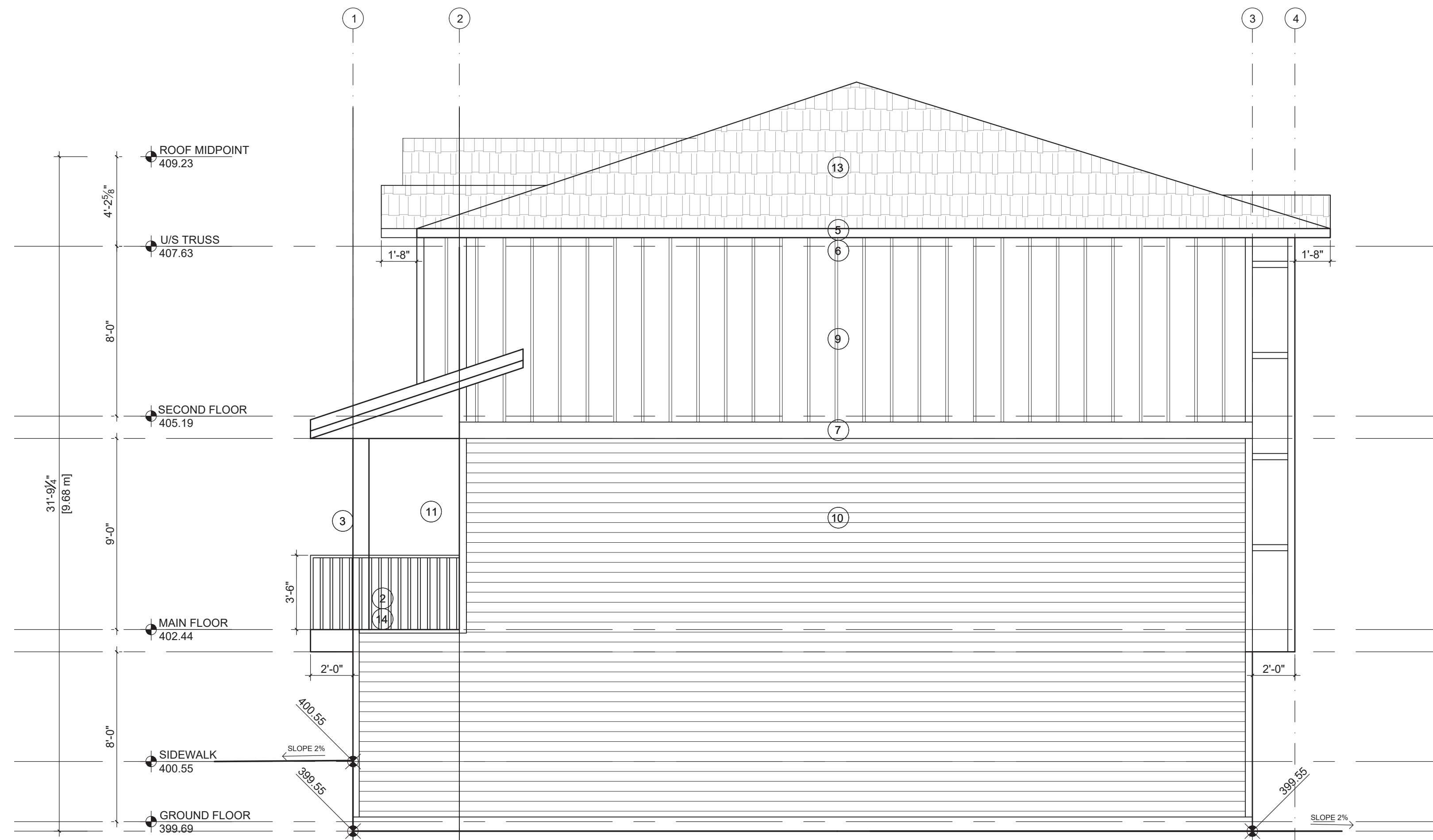
DRAWING NO.:

SCALE: 1/4" = 1'-0"

A30-02-02

JOB NO: 1801

DATE: March 2018



1 BLDG 2 - EAST ELEVATION  
1/4" = 1'-0"



2 BLDG 2 - WEST ELEVATION  
1/4" = 1'-0"

FINISH NOTES

- 1 Vinyl Windows\*: White
- 2 Railings: Aluminum Picket, white
- 3 Built-up Columns: Cobblestone
- 4 Overhead Garage Doors\*: Clopay Almond
- 5 Fascia: 5 1/2" x 5/4 Smooth Hardie Trim, Cobblestone
- 6 Soffits, Gutters: Aluminum, to match Royal Alumipro "Carbon" 856
- 6 Downspout: Aluminum, to match Royal Alumipro "Carbon" 856
- 7 Belly Board: 11 1/4" x 1" 5/4 Smooth Hardie Trim, Cobblestone
- 8 Window & Door Trim: 3 1/2" x 1" 5/4 Smooth Hardie Trim, Cobblestone
- 9 Board & Batten Siding: Cedar Mill Hardie Board + 2 1/2" x 3/4" Smooth Hardie Battens Evening Blue Cobblestone (battens spaced 16" OC)
- 10 Lap Siding: 5" Exposure Cedar Mill Hardie (6.25"), Aged Pewter
- 11 Corners: 3 1/2" x 1" 5/4 Smooth Hardie Trim, to match siding
- 12 Entry Doors\*: to match Cobblestone
- 13 Roof: Black Asphalt Shingle IKO Cambridge in Dual Black
- 14 Vinyl Decking: Global Decking Systems in "Stonehenge"

\*Windows, Doors, Skylights and their components shall be designed and constructed in accordance with Article 9.7.4.2.1.  
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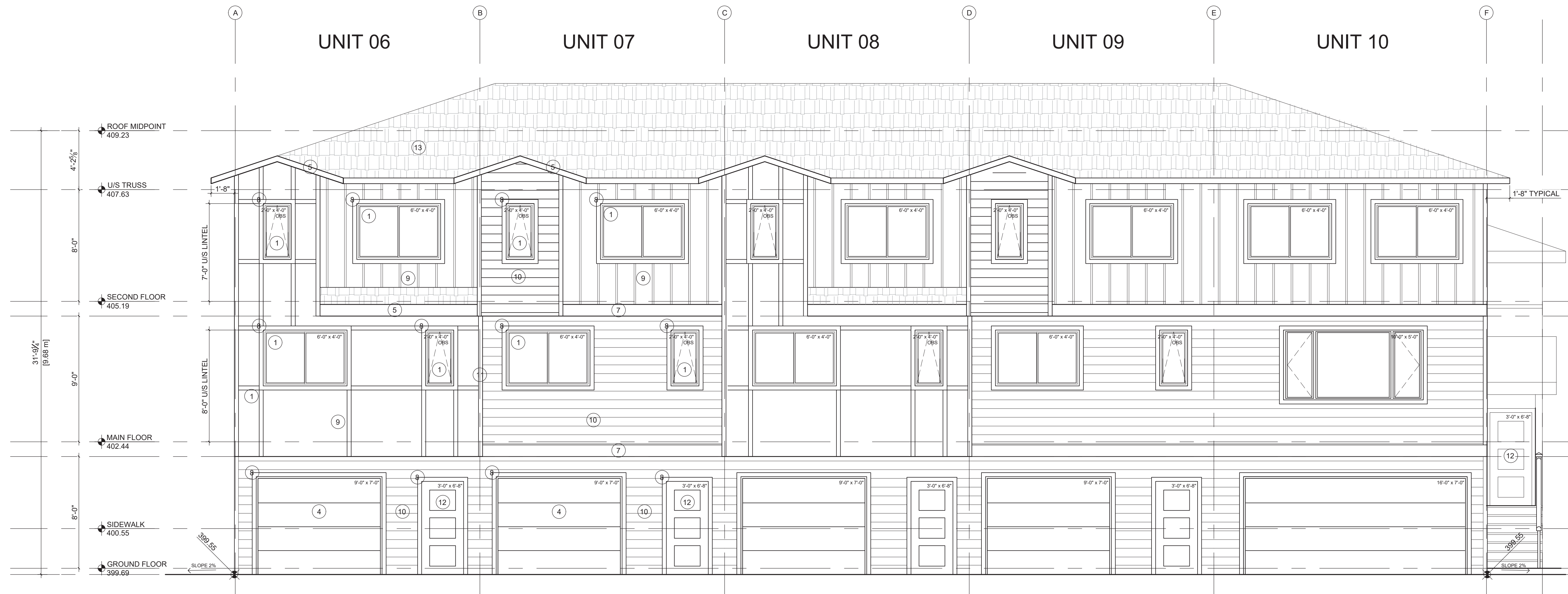
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PROJECT:  
 1297 Findlay Road,  
 Kelowna, BC  
 Townhomes

TITLE:  
 Building 2  
 East and West Elevations

DRAWN: PG DRAWING NO.:  
 SCALE: 1/4" = 1'-0" A30-02-03  
 JOB NO.: 1801  
 DATE: March 2018



1 BLDG 3 - SOUTH ELEVATION  
1/4" = 1'-0"

FINISH NOTES

- |  |  |
|--|--|
| <ul style="list-style-type: none"> <li>1. Vinyl Windows*: White</li> <li>2. Railings: Aluminum Picket, white</li> <li>3. Built-up Columns: Cobblestone</li> <li>4. Overhead Garage Doors*: Clopay Almond</li> <li>5. Fascia: 5 1/2" 5/4 Smooth Hardie Trim Cobblestone</li> <li>6. Soffits, Gutters: Aluminum, to match Royal Alumipro "Carbon" 856</li> <li>6. Downspout: Aluminum, to match Royal Alumipro "Carbon" 856</li> <li>7. Belly Board: 11 1/4" x 1" 5/4 Smooth Hardie Trim, Cobblestone</li> </ul> | <ul style="list-style-type: none"> <li>8. Window &amp; Door Trim: 3 1/2" x 1" 5/4 Smooth Hardie Trim, Cobblestone</li> <li>9. Board &amp; Batten Siding: Cedarmill Hardie Board + 2 1/2" x 3/4" Smooth Hardie Battens Evening Blue Cobblestone (battens spaced 16" OC)</li> <li>10. Lap Siding: 5" Exposure Cedarmill Hardie (6.25"), Aged Pewter</li> <li>11. Corners: 3 1/2" x 1" 5/4 Smooth Hardie Trim, to match siding</li> <li>12. Entry Doors*: to match Cobblestone</li> <li>13. Roof: Black Asphalt Shingle IKO Cambridge in Dual Black</li> <li>14. Vinyl Decking: Global Decking Systems in "Stonehenge"</li> </ul> |
|--|--|

\*Windows, Doors, Skylights and their components shall be designed and constructed in accordance with Article 9.7.4.2.1.  
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PROJECT:  
1297 Findlay Road,  
Kelowna, BC  
Townhomes

TITLE:  
Building 3  
South Elevation

DRAWN: PG

DRAWING NO.:

SCALE: 1/4" = 1'-0"

A30-03-01

JOB NO: 1801

DATE: March 2018





1 BLDG 3 - NORTH ELEVATION  
1/4" = 1'-0"

FINISH NOTES

- 1. Vinyl Windows\*: White
- 2. Railings: Aluminum Picket, white
- 3. Built-up Columns: Cobblestone
- 4. Overhead Garage Doors\*: Clopay Almond
- 5. Fascia: 5 1/2" x 5/4 Smooth Hardie Trim, Cobblestone
- 6. Soffits, Gutters: Aluminum, to match Royal Alumipro "Carbon" 856
- 6. Downspout: Aluminum, to match Royal Alumipro "Carbon" 856
- 7. Belly Board: 11 1/4" x 1" 5/4 Smooth Hardie Trim, Cobblestone
- 8. Window & Door Trim: 3 1/2" x 1" 5/4 Smooth Hardie Trim, Cobblestone
- 9. Board & Batten Siding: Cedar Mill Hardie Board + 2 1/2" x 3/4" Smooth Hardie Battens, Evening Blue, Cobblestone (battens spaced 16" OC)
- 10. Lap Siding: 5" Exposure Cedar Mill Hardie (6.25"), Aged Pewter
- 11. Corners: 3 1/2" x 1" 5/4 Smooth Hardie Trim, to match siding
- 12. Entry Doors\*: to match Cobblestone
- 13. Roof: Black Asphalt Shingle, IKO Cambridge in Dual Black
- 14. Vinyl Decking: Global Decking Systems in "Stonehenge"

\*Windows, Doors, Skylights and their components shall be designed and constructed in accordance with Article 9.7.4.2.1.  
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PROJECT:  
1297 Findlay Road,  
Kelowna, BC  
Townhomes

TITLE:  
Building 3  
North Elevation

DRAWN: PG

DRAWING N°:

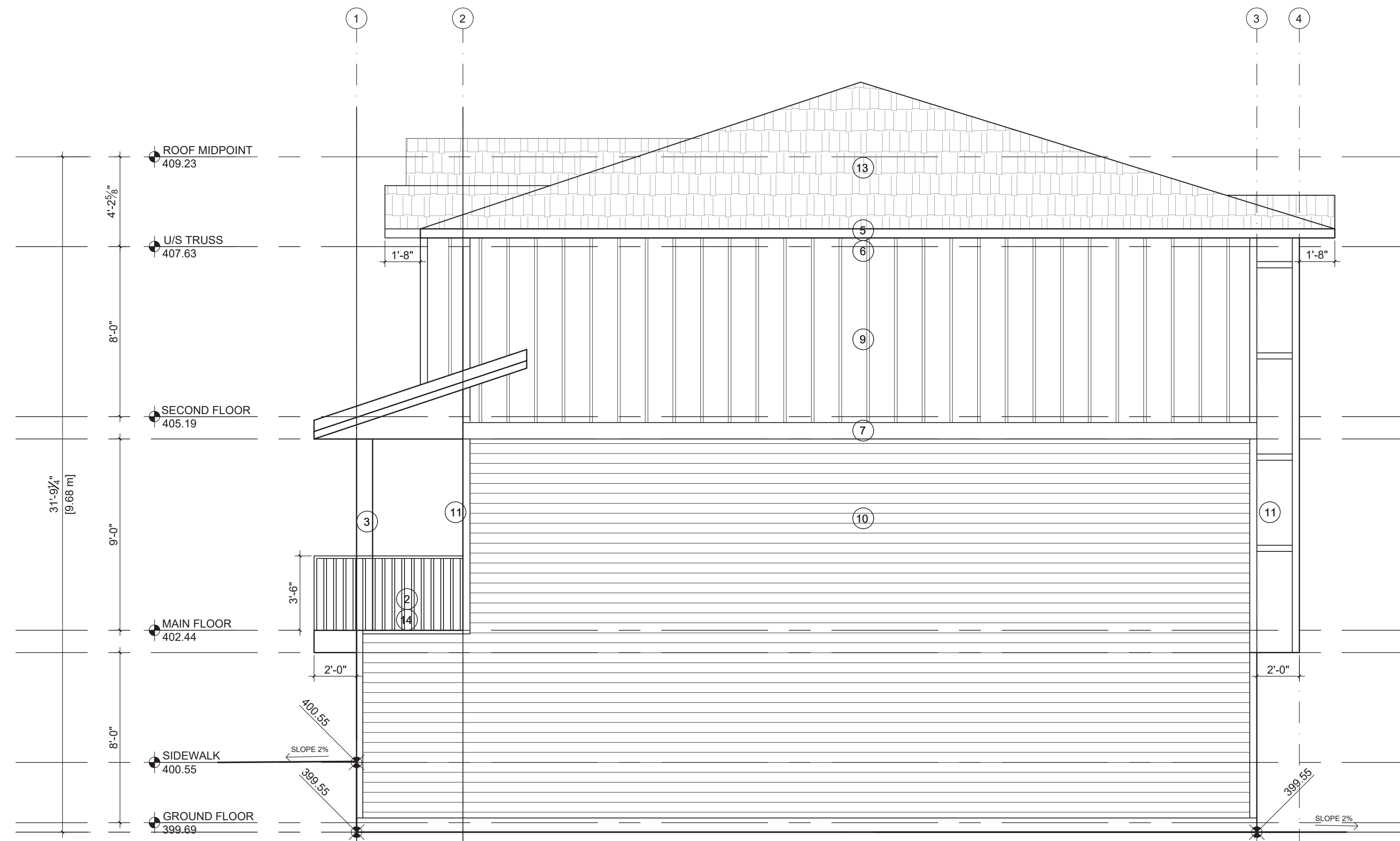
SCALE: 1/4" = 1'-0"

A30-03-02

JOB N°: 1801

DATE: March 2018





1 BLDG 3 - WEST ELEVATION  
1/4" = 1'-0"



2 BLDG 3 - EAST ELEVATION  
1/4" = 1'-0"

FINISH NOTES

1. Vinyl Windows\*: White
2. Railings: Aluminum Picket, white
3. Built-up Columns: Cobblestone
4. Overhead Garage Doors\*: Clopay Almond
5. Fascia: 5 1/2" x 5/4" Smooth Hardie Trim, Cobblestone
6. Soffits, Gutters: Aluminum, to match Royal Alumipro "Carbon" 856
6. Downspout: Aluminum, to match Royal Alumipro "Carbon" 856
7. Belly Board: 11 1/4" x 1" 5/4" Smooth Hardie Trim, Cobblestone
8. Window & Door Trim: 3 1/2" x 1" 5/4" Smooth Hardie Trim, Cobblestone
9. Board & Batten Siding: Cedar Mill Hardie Board + 2 1/2" x 3/4" Smooth Hardie Battens Evening Blue, Cobblestone (battens spaced 16" OC)
10. Lap Siding: 5" Exposure Cedar Mill Hardie (6.25"), Aged Pewter
11. Corners: 3 1/2" x 1" 5/4" Smooth Hardie Trim, to match siding
12. Entry Doors\*: to match Cobblestone
13. Roof: Black Asphalt Shingle, IKO Cambridge in Dual Black
14. Vinyl Decking: Global Decking Systems in "Stonehenge"

\*Windows, Doors, Skylights and their components shall be designed and constructed in accordance with Article 9.7.4.2.1.  
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PROJECT:  
1297 Findlay Road,  
Kelowna, BC  
Townhomes  
TITLE:  
Building 3  
East and West Elevations

DRAWN: PG DRAWING NO.:  
SCALE: 1/4" = 1'-0" A30-03-03  
JOB NO.: 1801  
DATE: March 2018



1 BLDG 4 - NORTH ELEVATION  
1/4" = 1'-0"

FINISH NOTES

- 1. Vinyl Windows\*: White
- 2. Railings: Aluminum Picket, white
- 3. Built-up Columns: Cobblestone
- 4. Overhead Garage Doors\*: Clopay Almond
- 5. Fascia: 5 1/2" 5/4 Smooth Hardie Trim Cobblestone
- 6. Soffits, Gutters: Aluminum, to match Royal Alumipro "Carbon" 856
- 6. Downspout: Aluminum, to match Royal Alumipro "Carbon" 856
- 7. Belly Board: 11 1/4" x 1" 5/4 Smooth Hardie Trim, Cobblestone
- 8. Window & Door Trim: 3 1/2" x 1" 5/4 Smooth Hardie Trim, Cobblestone
- 9. Board & Batten Siding: Cedar Mill Hardie Board + 2 1/2" x 3/4" Smooth Hardie Battens Evening Blue Cobblestone (battens spaced 16" OC)
- 10. Lap Siding: 5" Exposure Cedar Mill Hardie (6.25"), Aged Pewter
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PROJECT:  
1297 Findlay Road,  
Kelowna, BC  
Townhomes

TITLE:  
Building 4  
North Elevation

DRAWN: PG

DRAWING NO.:

SCALE: 1/4" = 1'-0"

A30-04-01

JOB NO: 1801

DATE: March 2018



1 BLDG 4 - SOUTH ELEVATION  
1/4" = 1'-0"

FINISH NOTES

- |   |   |
|---|---|
| <ul style="list-style-type: none"> <li>1 Vinyl Windows*: White</li> <li>2 Railings: Aluminum Picket, white</li> <li>3 Built-up Columns Cobblestone</li> <li>4 Overhead Garage Doors*: Clopay Almond</li> <li>5 Fascia: 5 1/2" 5/4 Smooth Hardie Trim Cobblestone</li> <li>6 Soffits, Gutters: Aluminum, to match Royal Alumipro "Carbon" 856</li> <li>6 Downspout: Aluminum, to match Royal Alumipro "Carbon" 856</li> <li>7 Belly Board: 11 1/4" x 1" 5/4 Smooth Hardie Trim, Cobblestone</li> </ul> | <ul style="list-style-type: none"> <li>8 Window &amp; Door Trim: 3 1/2" x 1" 5/4 Smooth Hardie Trim, Cobblestone</li> <li>9 Board &amp; Batten Siding: Cedarmill Hardie Board + 2 1/2" x 3/4" Smooth Hardie Battens spaced 16" OC, Evening Blue (along street facing side) Cobblestone (elsewhere)</li> <li>10 Lap Siding: 5" Exposure Cedarmill Hardie (6.25"), Aged Pewter</li> <li>11 Corners: 3 1/2" x 1" 5/4 Smooth Hardie Trim, to match siding</li> <li>12 Entry Doors*: to match Cobblestone</li> <li>13 Roof: Black Asphalt Shingle IKO Cambridge in Dual Black</li> <li>14 Vinyl Decking: Global Decking Systems in "Stonehenge"</li> </ul> |
|---|---|

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PROJECT:  
1297 Findlay Road,  
Kelowna, BC  
Townhomes

TITLE:  
Building 4  
South Elevation

DRAWN: PG

DRAWING NO.:

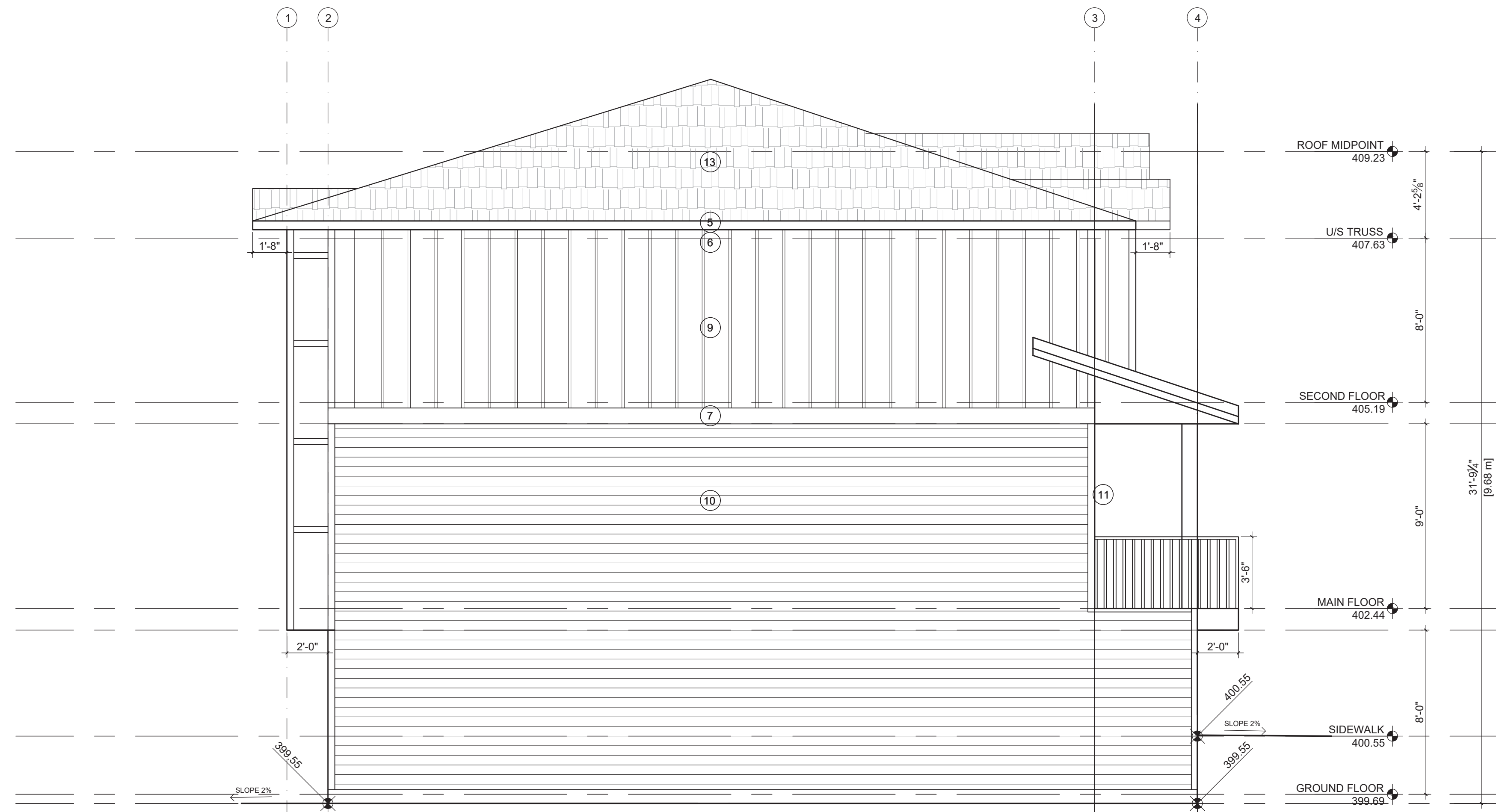
SCALE: 1/4" = 1'-0"

A30-04-02

JOB NO: 1801

DATE: March 2018





1 BLDG 4 - WEST ELEVATION  
1/4" = 1'-0"



2 BLDG 4 - EAST ELEVATION  
1/4" = 1'-0"

FINISH NOTES

- 1 Vinyl Windows\*: White
- 2 Railings: Aluminum Picket, white
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 b) A440S1, "Canadian Supplement to AAMA/WDMA/CSA/101/1.S.2.A440, NAFS - North American Fenestration Standard/Specification for Windows, Doors, and Skylights."

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DIMENSIONS:  
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PROJECT:  
 1297 Findlay Road,  
 Kelowna, BC  
 Townhomes

TITLE:  
 Building 4  
 East and West Elevations

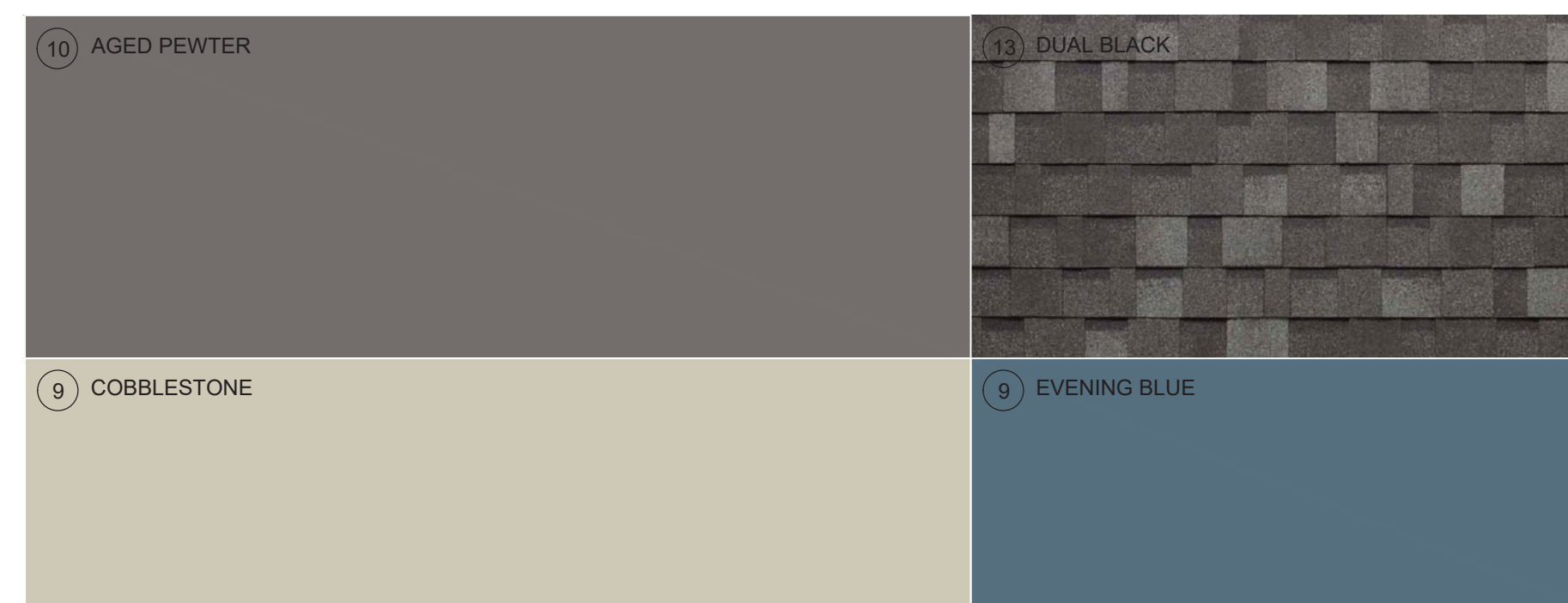
DRAWN: PG DRAWING NO.:  
 SCALE: 1/4" = 1'-0" A30-04-03  
 JOB NO.: 1801  
 DATE: March 2018





1 BLDG 1 - SOUTH ELEVATION  
1/4" = 1'-0"

COLOUR LEGEND



FINISH NOTES

1. Vinyl Windows\*: White
2. Railings: Aluminum Picket, white
3. Built-up Columns: Cobblestone
4. Overhead Garage Doors\*: Clopay Almond
5. Fascia: 5 1/2" 5/4 Smooth Hardie Trim Cobblestone
6. Soffits, Gutters: Aluminum, to match Royal Alumipro "Carbon" 856
6. Downspout: Aluminum, to match Royal Alumipro "Carbon" 856
7. Belly Board: 11 1/4" x 1" 5/4 Smooth Hardie Trim, Cobblestone
8. Window & Door Trim: 3 1/2" x 1" 5/4 Smooth Hardie Trim, Cobblestone
9. Board & Batten Siding: Cedarmill Hardie Board + 2 1/2" x 3/4" Smooth Hardie Battens Evening Blue Cobblestone (battens spaced 16" OC)
10. Lap Siding: 5" Exposure Cedarmill Hardie (6.25"), Aged Pewter
11. Corners: 3 1/2" x 1" 5/4 Smooth Hardie Trim, to match siding
12. Entry Doors\*: to match Cobblestone
13. Roof: Black Asphalt Shingle IKO Cambridge in Dual Black
14. Vinyl Decking: Global Decking Systems in "Stonehenge"

\*Windows, Doors, Skylights and their components shall be designed and constructed in accordance with Article 9.7.4.2.1.  
a) AAMA/WDMA/CSA 1011/S.2/A440, "NAFS - North American Fenestration Standard/Specification for Windows, Doors, and Skylights" (Harmonized Standard), and  
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PROJECT:  
1297 Findlay Road,  
Kelowna, BC  
Townhomes

TITLE:  
Building 1  
South Elevation

DRAWN: PG

DRAWING N°:

SCALE: 1/4" = 1'-0"

A40-01-01

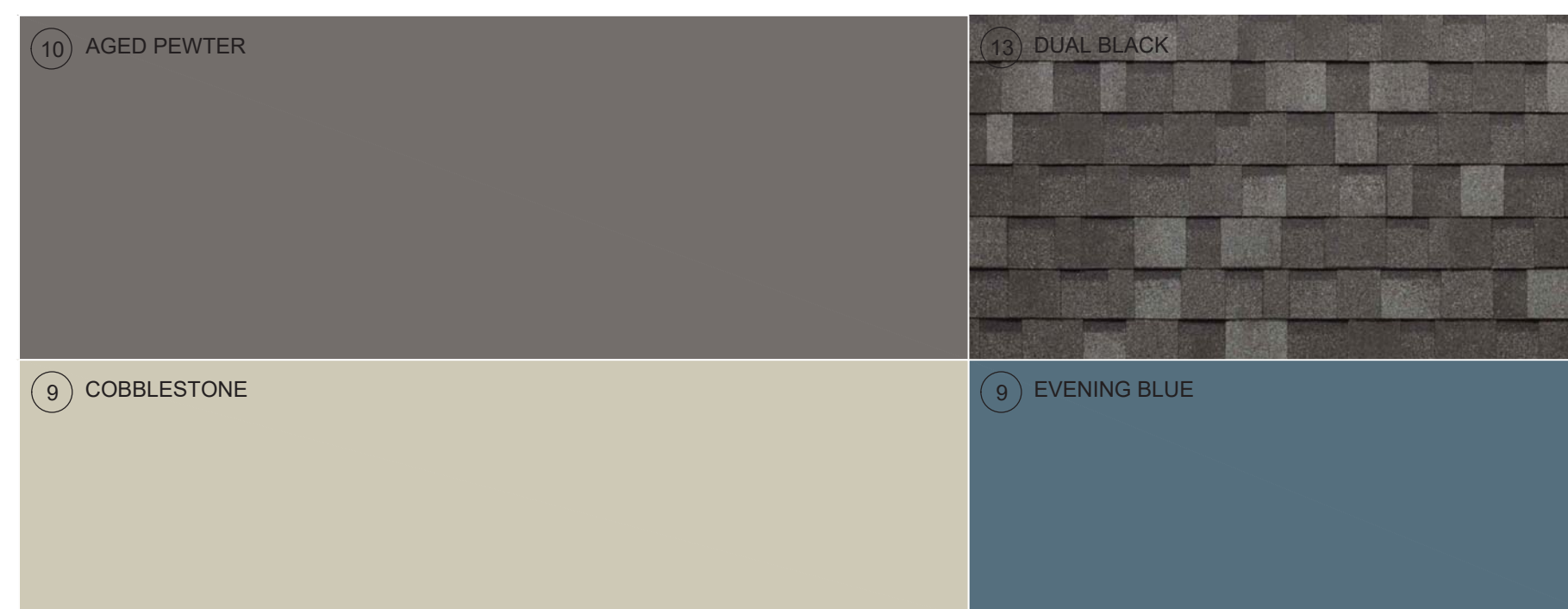
JOB N°: 1801

DATE: June 2018



1 BLDG 1 - NORTH ELEVATION  
1/4" = 1'-0"

COLOUR LEGEND



FINISH NOTES

1. Vinyl Windows\*: White
2. Railings: Aluminum Picket, white
3. Built-up Columns: Cobblestone
4. Overhead Garage Doors\*: Olopay Almond
5. Fascia: 5 1/2" x 5/4 Smooth Hardie Trim Cobblestone
6. Soffits, Gutters: Aluminum, to match Royal Alumipro "Carbon" 856
6. Downspout: Aluminum, to match Royal Alumipro "Carbon" 856
7. Belly Board: 11 1/4" x 1" x 5/4 Smooth Hardie Trim,
8. Window & Door Trim: 3 1/2" x 1" x 5/4 Smooth Hardie Trim, Cobblestone
9. Board & Batten Siding: Cedarmill Hardie Board + 2 1/2" x 3/4" Smooth Hardie Battens Evening Blue Cobblestone (battens spaced 16" OC)
10. Lap Siding: 5" Exposure Cedarmill Hardie (6.25"), Aged Pewter
11. Corners: 3 1/2" x 1" x 5/4 Smooth Hardie Trim, to match siding
12. Entry Doors\*: to match Cobblestone
13. Roof: Black Asphalt Shingle IKO Cambridge in Dual Black
14. Vinyl Decking: Global Decking Systems in "Stonehenge"

\*Windows, Doors, Skylights and their components shall be designed and constructed in accordance with Article 9.7.4.2.1.  
a) AAMA/WDMA/CSA 1011/S.2/A440, "NAFS - North American Fenestration Standard/Specification for Windows, Doors, and Skylights" (Harmonized Standard), and b) A440S1, "Canadian Supplement to AAMA/WDMA/CSA/1011/S.2.A440, NAFS - North American Fenestration Standard/Specification for Windows, Doors, and Skylights."

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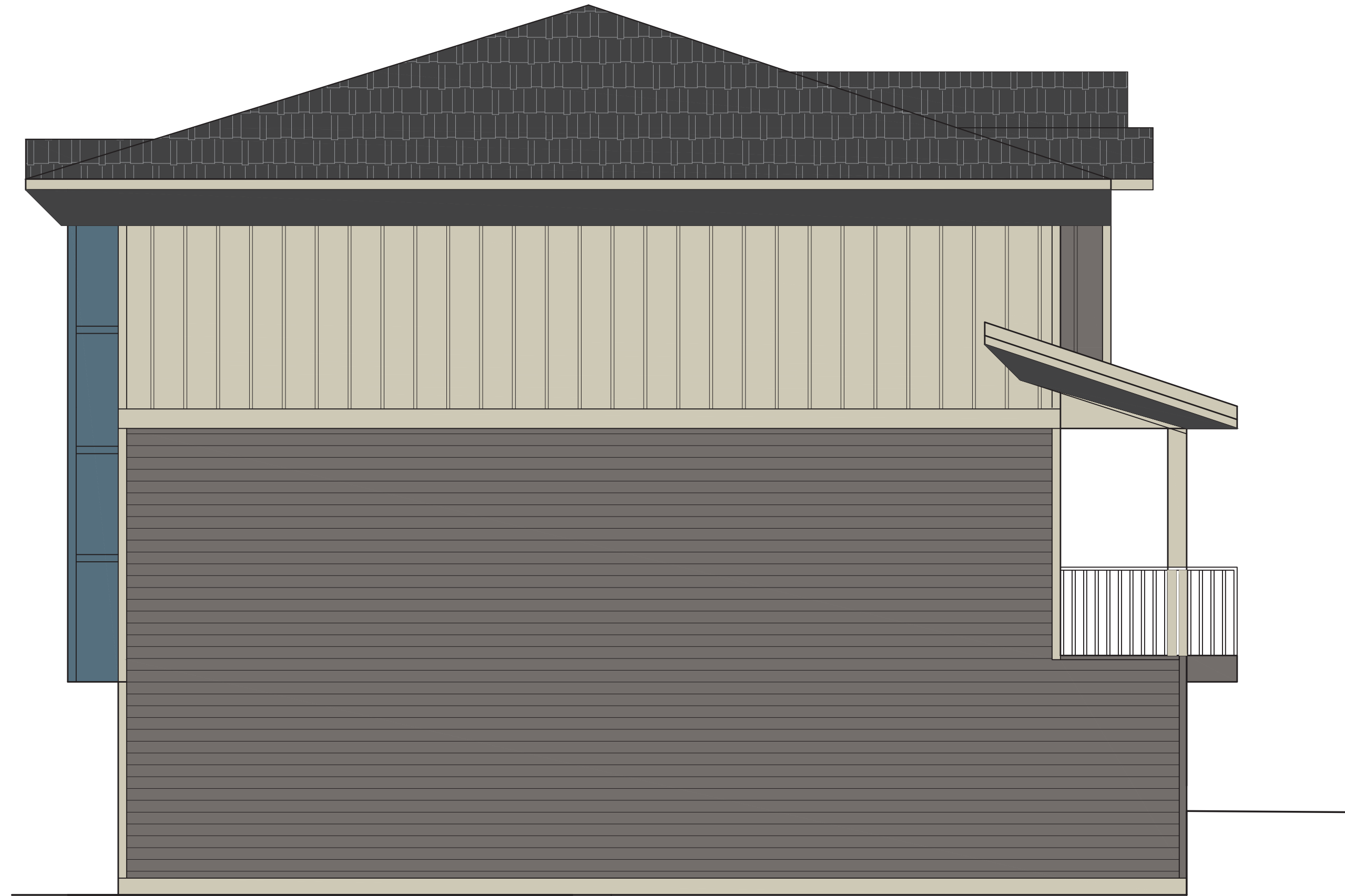
DIMENSIONS:  
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PROJECT:  
1297 Findlay Road,  
Kelowna, BC  
Townhomes

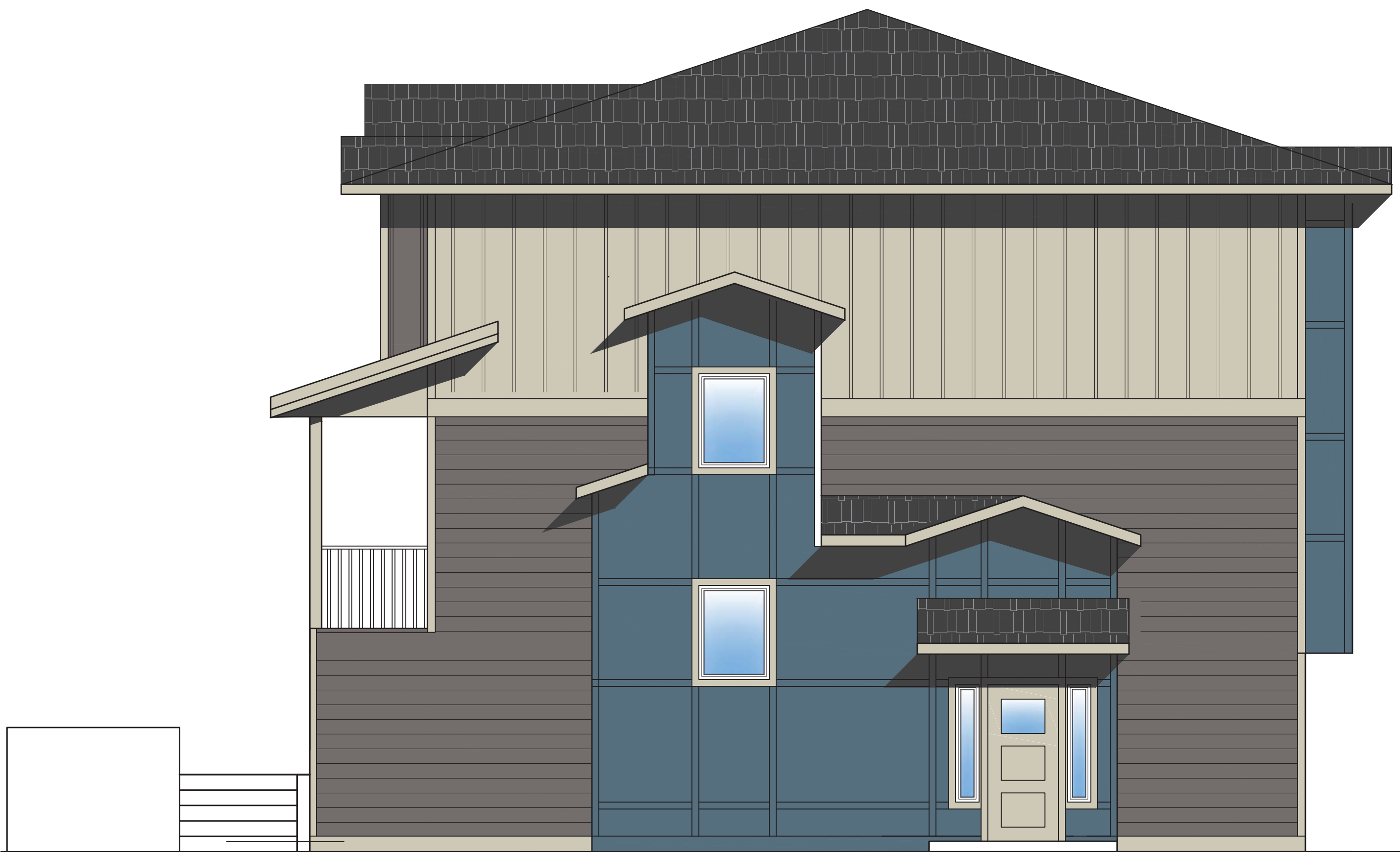
TITLE:  
Building 1  
North Elevation

DRAWN: PG  
SCALE: 1/4" = 1'-0"  
JOB N°: 1801  
DATE: June 2018  
DRAWING N°: A40-01-02





1 BLDG 1 - EAST ELEVATION  
1/4" = 1'-0"



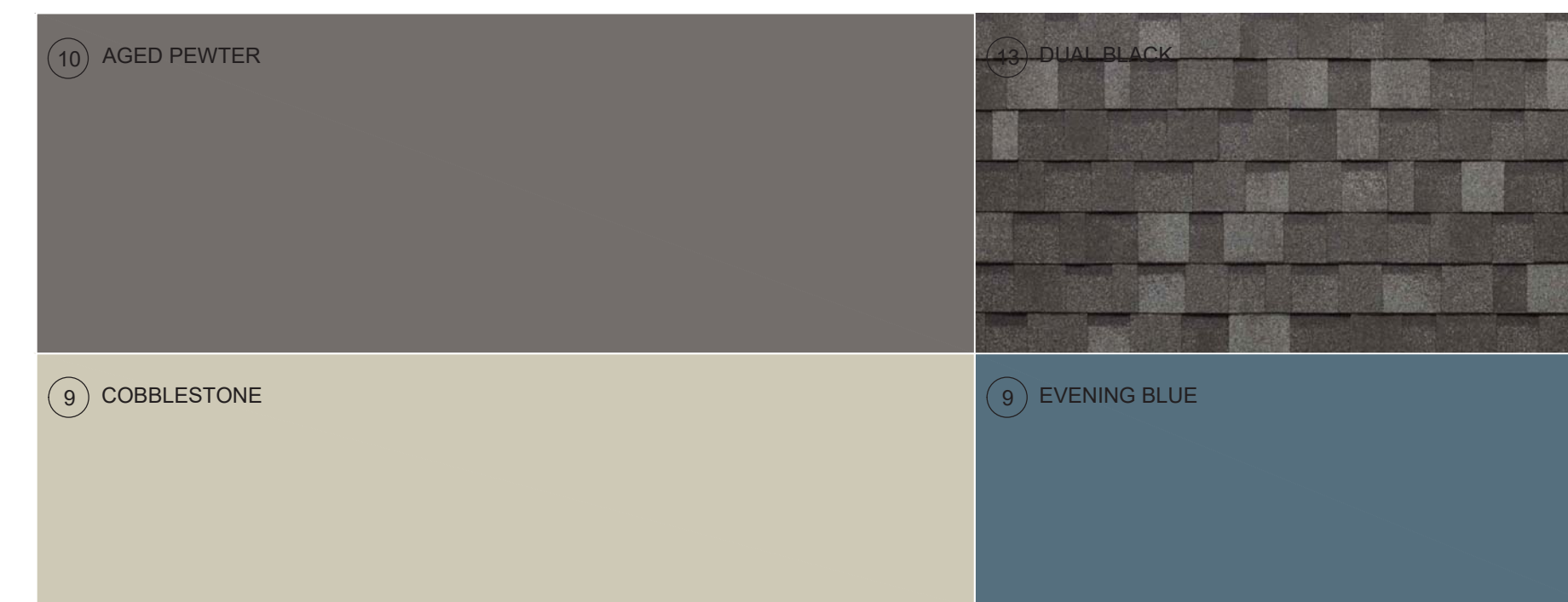
2 BLDG 1 - WEST ELEVATION  
1/4" = 1'-0"

FINISH NOTES

1. Vinyl Windows\*: White
2. Railings: Aluminum Picket, white
3. Built-up Columns: Cobblestone
4. Overhead Garage Doors\*: Clopay Almond
5. Fascia: 5 1/2" x 5/4 Smooth Hardie Trim, Cobblestone
6. Soffits, Gutters: Aluminum, to match Royal Alumipro "Carbon" 856
6. Downspout: Aluminum, to match Royal Alumipro "Carbon" 856
7. Belly Board: 11 1/4" x 1" 5/4 Smooth Hardie Trim, Cobblestone
8. Window & Door Trim: 3 1/2" x 1" 5/4 Smooth Hardie Trim, Cobblestone
9. Board & Batten Siding: Cedar Mill Hardie Board + 2 1/2" x 3/4" Smooth Hardie Battens Evening Blue, Cobblestone (battens spaced 16" OC)
10. Lap Siding: 5" Exposure Cedar Mill Hardie (6.25"), Aged Pewter
11. Corners: 3 1/2" x 1" 5/4 Smooth Hardie Trim, to match siding
12. Entry Doors\*: to match Cobblestone
13. Roof: Black Asphalt Shingle, IKO Cambridge in Dual Black
14. Vinyl Decking: Global Decking Systems in "Stonehenge"

\*Windows, Doors, Skylights and their components shall be designed and constructed in accordance with Article 9.7.4.2.1.  
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COLOUR LEGEND



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PROJECT:  
 1297 Findlay Road,  
 Kelowna, BC  
 Townhomes

TITLE:  
 Building 1  
 East and West Elevations

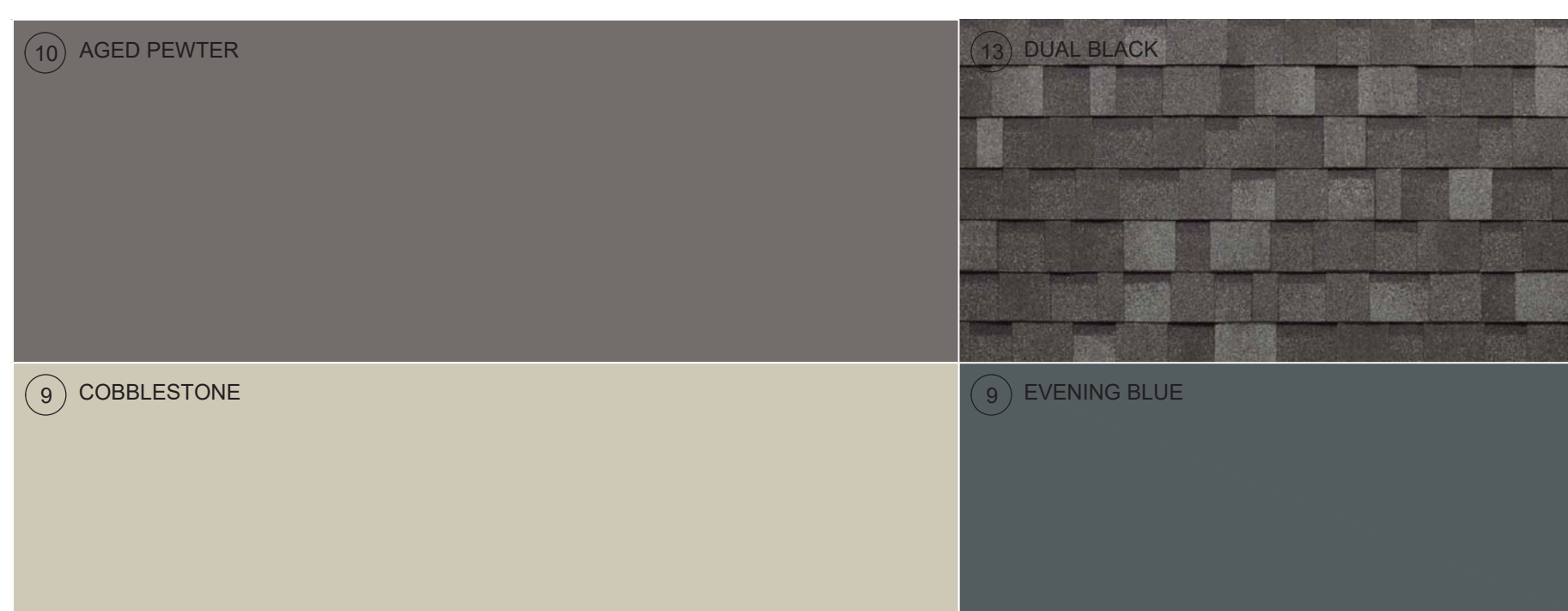
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 SCALE: 1/4" = 1'-0" A40-01-03  
 JOB N°: 1801  
 DATE: June 2018





1 BLDG 2 - NORTH ELEVATION  
1/4" = 1'-0"

COLOUR LEGEND



FINISH NOTES

1. Vinyl Windows\*: White
2. Railings: Aluminum Picket, white
3. Built-up Columns: Cobblestone
4. Overhead Garage Doors\*: Clopay Almond
5. Fascia: 5 1/2" x 1/4" Smooth Hardie Trim, Cobblestone
6. Soffits, Gutters: Aluminum, to match Royal Alumipro "Carbon" 856
7. Downspout: Aluminum, to match Royal Alumipro "Carbon" 856
8. Window & Door Trim: 3 1/2" x 1" 5/4 Smooth Hardie Trim, Cobblestone
9. Board & Batten Siding: Cedarmill Hardie Board + 2 1/2" x 3/4" Smooth Hardie Battens spaced 16" OC, Evening Blue, Cobblestone
10. Lap Siding: 5" Exposure Cedarmill Hardie (6.25"), Aged Pewter
11. Corners: 3 1/2" x 1" 5/4 Smooth Hardie Trim, to match siding
12. Entry Doors\*: to match Cobblestone
13. Roof: Black Asphalt Shingle, IKO Cambridge in Dual Black
14. Vinyl Decking: Global Decking Systems in "Stonehenge"

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PROJECT:  
1297 Findlay Road,  
Kelowna, BC  
Townhomes

TITLE:  
Building 2  
North Elevation

DRAWN: PG

DRAWING N°:

SCALE: 1/4" = 1'-0"

A40-02-01

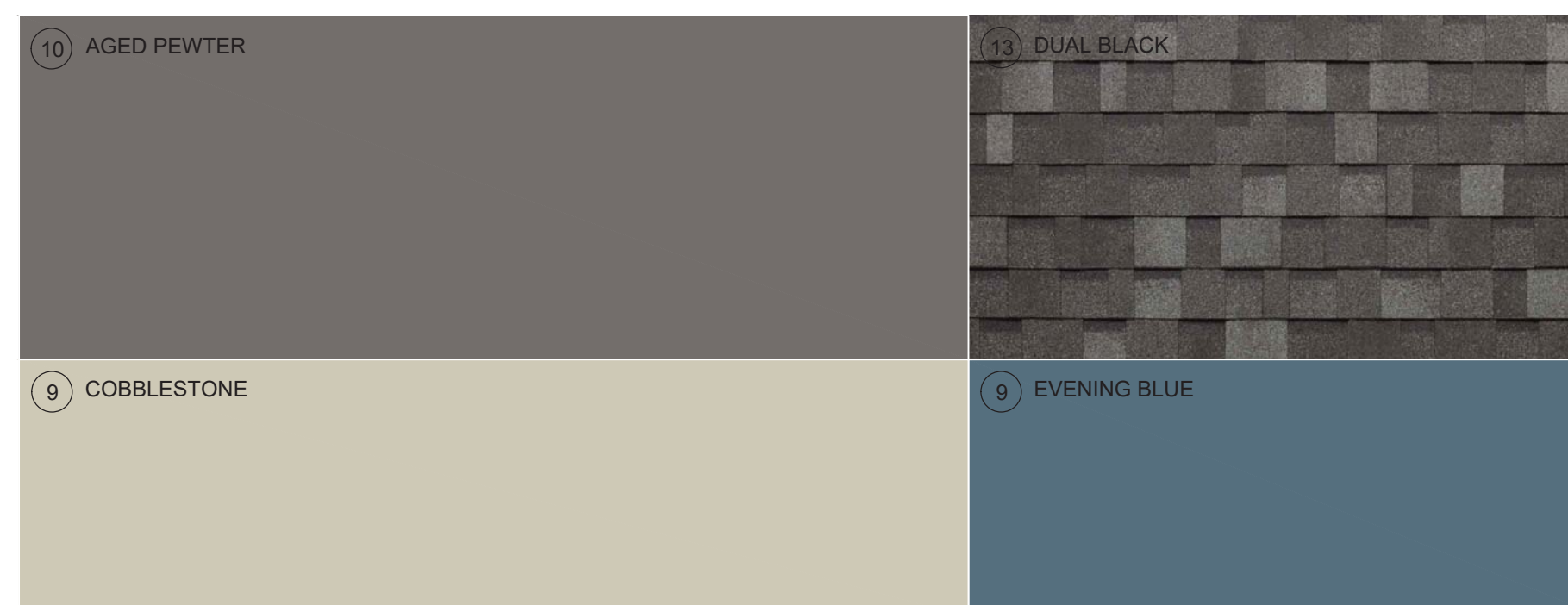
JOB N°: 1801

DATE: March 2018



1 BLDG 2 - SOUTH ELEVATION  
1/4" = 1'-0"

COLOUR LEGEND



FINISH NOTES

1. Vinyl Windows\*: White
2. Railings: Aluminum Picket, white
3. Built-up Columns: Cobblestone
4. Overhead Garage Doors\*: Clopay Almond
5. Fascia: 5 1/2" x 1" 5/4 Smooth Hardie Trim, Cobblestone
6. Soffits, Gutters: Aluminum, to match Royal Alumipro "Carbon" 856
6. Downspout: Aluminum, to match Royal Alumipro "Carbon" 856
7. Belly Board: 11 1/4" x 1" 5/4 Smooth Hardie Trim, Cobblestone
8. Window & Door Trim: 3 1/2" x 1" 5/4 Smooth Hardie Trim, Cobblestone
9. Board & Batten Siding: Cedarmill Hardie Board + 2 1/2" x 3/4" Smooth Hardie Battens Evening Blue Cobblestone (battens spaced 16" OC)
10. Lap Siding: 5" Exposure Cedarmill Hardie (6.25"), Aged Pewter
11. Corners: 3 1/2" x 1" 5/4 Smooth Hardie Trim, to match siding
12. Entry Doors\*: to match Cobblestone
13. Roof: Black Asphalt Shingle IKO Cambridge in Dual Black
14. Vinyl Decking: Global Decking Systems in "Stonehenge"

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PROJECT:  
1297 Findlay Road,  
Kelowna, BC  
Townhomes

TITLE:  
Building 2  
South Elevation

DRAWN: PG

DRAWING N°:

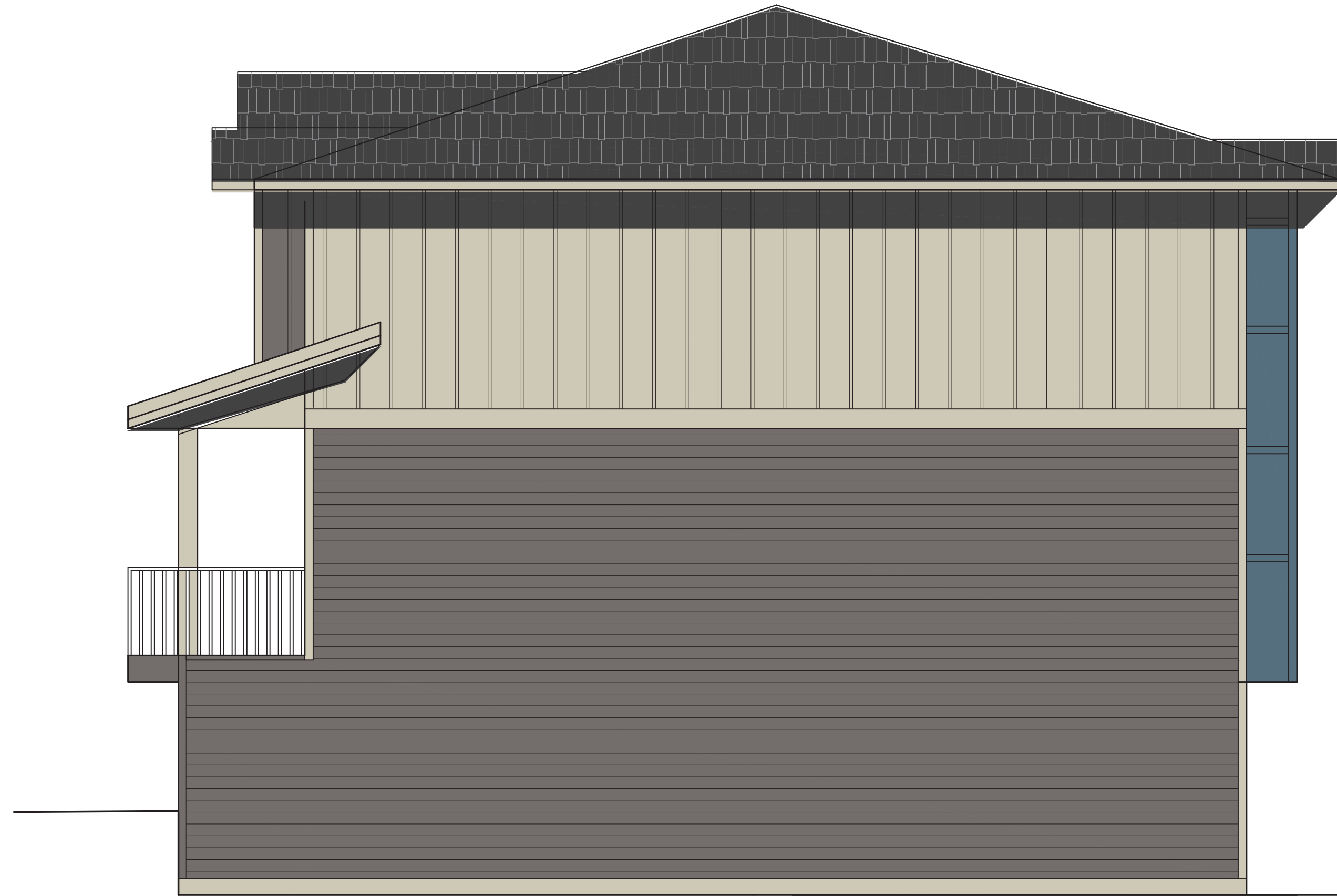
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A40-02-02

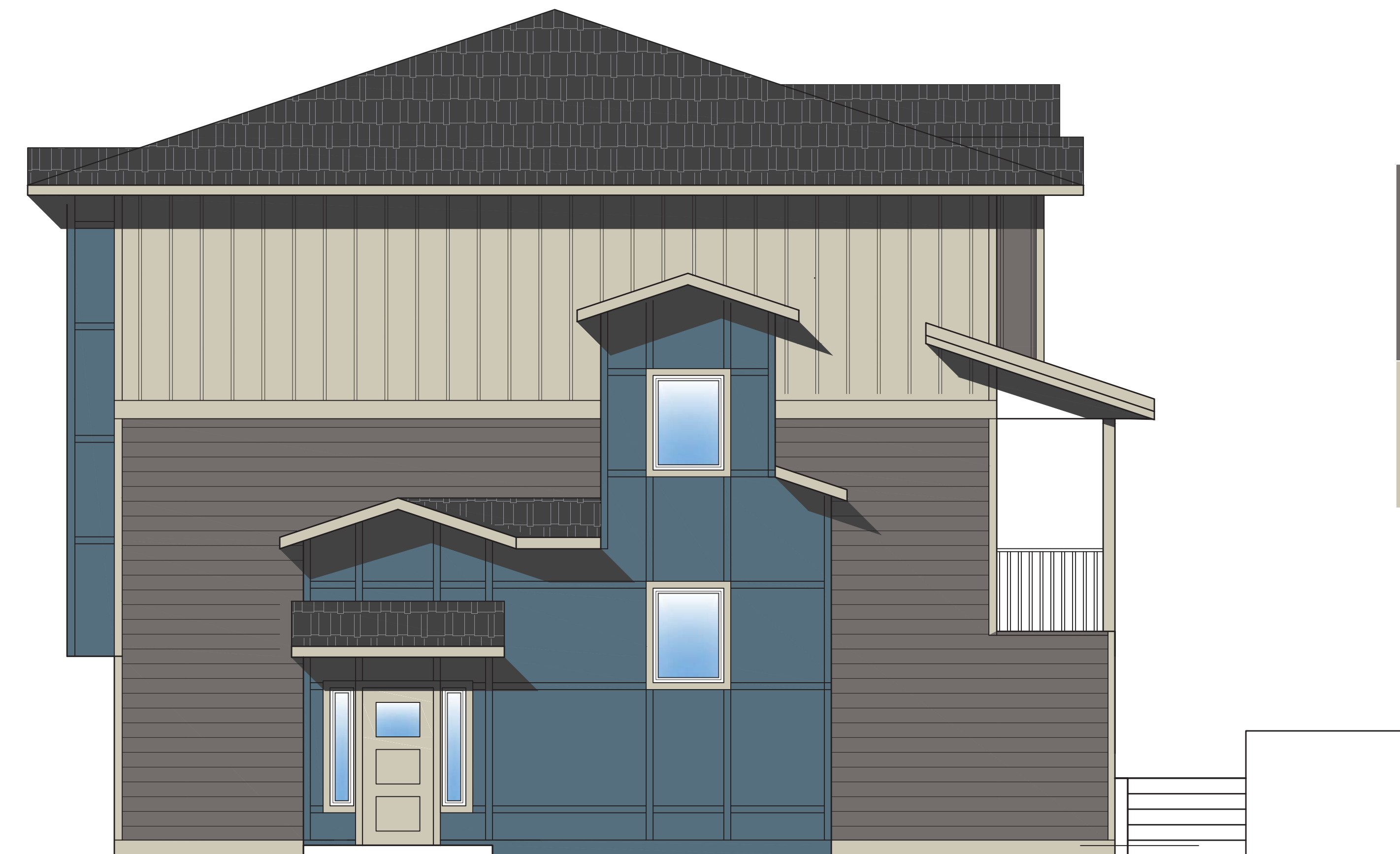
JOB N°: 1801

DATE: March 2018





1 BLDG 2 - EAST ELEVATION  
1/4" = 1'-0"



2 BLDG 2 - WEST ELEVATION  
1/4" = 1'-0"

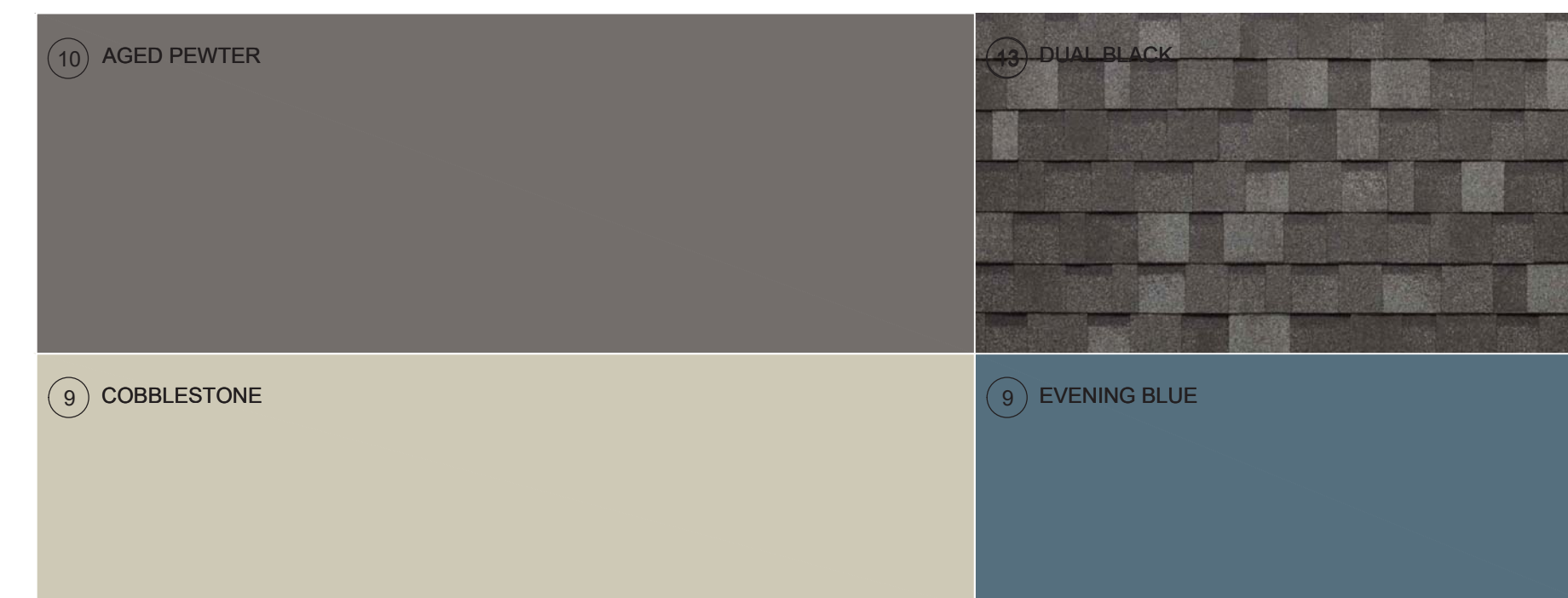
FINISH NOTES

- 1 Vinyl Windows\*: White
- 2 Railings: Aluminum Picket, white
- 3 Built-up Columns: Cobblestone
- 4 Overhead Garage Doors\*: Clopay Almond
- 5 Fascia: 5 1/2" x 5/4 Smooth Hardie Trim, Cobblestone
- 6 Soffits, Gutters: Aluminum, to match Royal Alumipro "Carbon" 856
- 6 Downspout: Aluminum, to match Royal Alumipro "Carbon" 856
- 7 Belly Board: 11 1/4" x 1" 5/4 Smooth Hardie Trim, Cobblestone
- 8 Window & Door Trim: 3 1/2" x 1" 5/4 Smooth Hardie Trim, Cobblestone
- 9 Board & Batten Siding: Cedar Mill Hardie Board + 2 1/2" x 3/4" Smooth Hardie Battens Evening Blue, Cobblestone (battens spaced 16" OC)
- 10 Lap Siding: 5" Exposure Cedar Mill Hardie (6.25"), Aged Pewter
- 11 Corners: 3 1/2" x 1" 5/4 Smooth Hardie Trim, to match siding
- 12 Entry Doors\*: to match Cobblestone
- 13 Roof: Black Asphalt Shingle, IKO Cambridge in Dual Black
- 14 Vinyl Decking: Global Decking Systems in "Stonehenge"

\*Windows, Doors, Skylights and their components shall be designed and constructed in accordance with Article 9.7.4.2.1.

a) AAMA/WDMA/CSA 101/1.S.2/A440, "NAFS - North American Fenestration Standard/Specification for Windows, Doors, and Skylights" (Harmonized Standard), and b) A440S1, "Canadian Supplement to AAMA/WDMA/CSA/101/1.S.2/A440, NAFS - North American Fenestration Standard/Specification for Windows, Doors, and Skylights."

COLOUR LEGEND



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PROJECT:  
1297 Findlay Road,  
Kelowna, BC  
Townhomes

TITLE:  
Building 2  
East and West Elevations

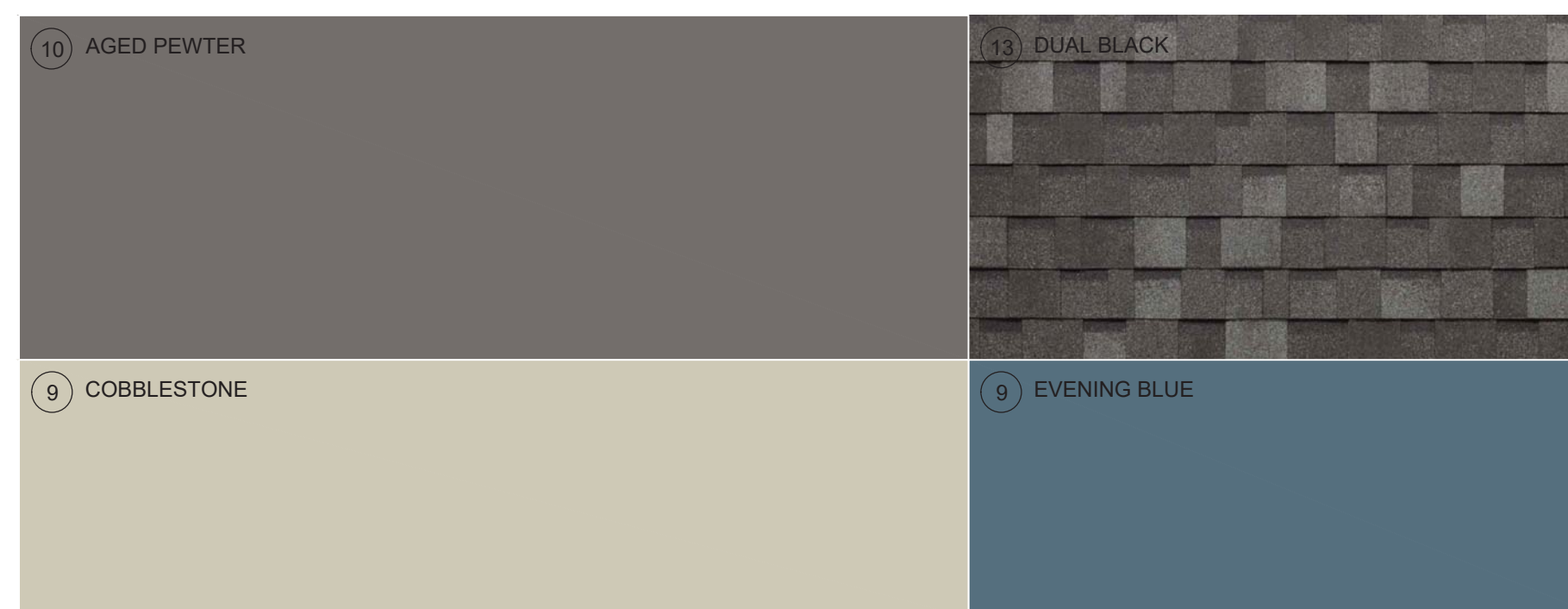
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SCALE: 1/4" = 1'-0" A40-02-03  
JOB N°: 1801  
DATE: March 2018





1 BLDG 3 - SOUTH ELEVATION  
1/4" = 1'-0"

COLOUR LEGEND



FINISH NOTES

1. Vinyl Windows\*: White
2. Railings: Aluminum Picket, white
3. Built-up Columns: Cobblestone
4. Overhead Garage Doors\*: Clopay Almond
5. Fascia: 5 1/2" 5/4 Smooth Hardie Trim Cobblestone
6. Soffits, Gutters: Aluminum, to match Royal Alumipro "Carbon" 856
6. Downspout: Aluminum, to match Royal Alumipro "Carbon" 856
7. Belly Board: 11 1/4" x 1" 5/4 Smooth Hardie Trim, Cobblestone
8. Window & Door Trim: 3 1/2" x 1" 5/4 Smooth Hardie Trim, Cobblestone
9. Board & Batten Siding: Cedarmill Hardie Board + 2 1/2" x 3/4" Smooth Hardie Battens Evening Blue Cobblestone (battens spaced 16" OC)
10. Lap Siding: 5" Exposure Cedarmill Hardie (6.25"), Aged Pewter
11. Corners: 3 1/2" x 1" 5/4 Smooth Hardie Trim, to match siding
12. Entry Doors\*: to match Cobblestone
13. Roof: Black Asphalt Shingle IKO Cambridge in Dual Black
14. Vinyl Decking: Global Decking Systems in "Stonehenge"

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PROJECT:  
1297 Findlay Road,  
Kelowna, BC  
Townhomes

TITLE:  
Building 3  
South Elevation

DRAWN: PG

DRAWING N°:

SCALE: 1/4" = 1'-0"

A40-03-01

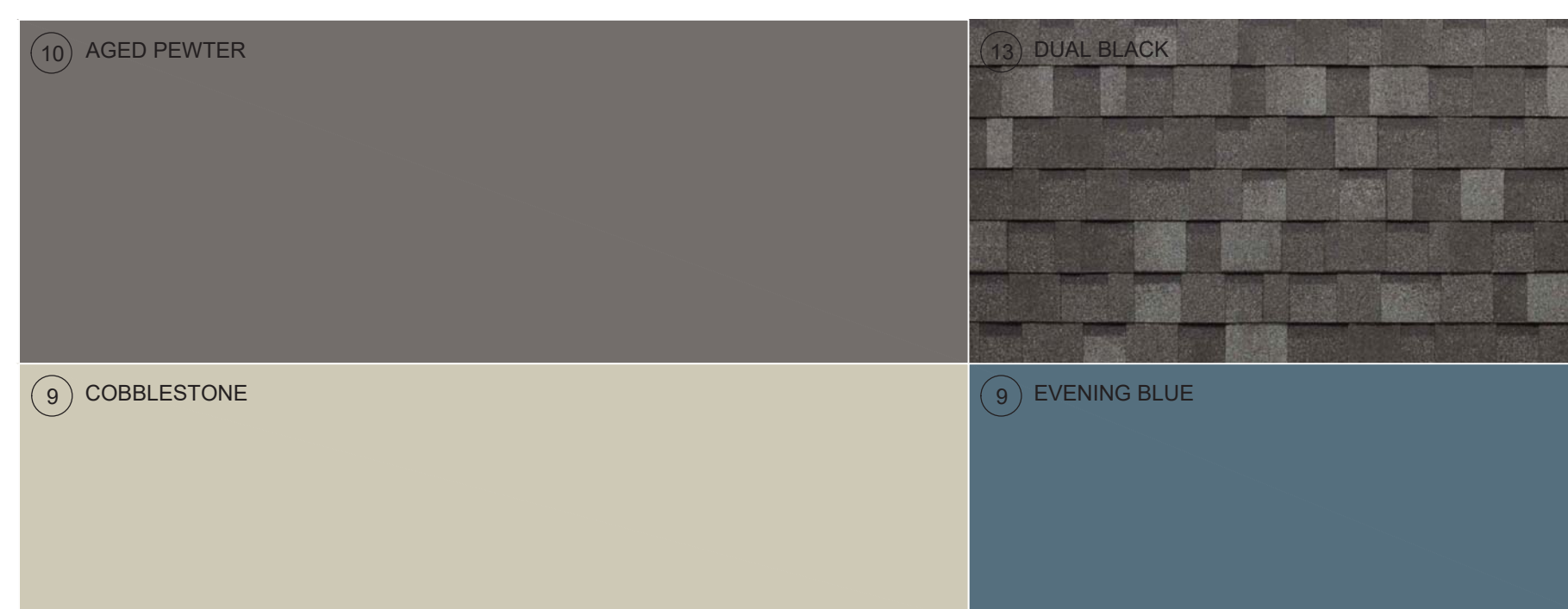
JOB N°: 1801

DATE: March 2018



1 BLDG 3 - NORTH ELEVATION  
1/4" = 1'-0"

COLOUR LEGEND



FINISH NOTES

- 1. Vinyl Windows\*: White
- 2. Railings: Aluminum Picket, white
- 3. Built-up Columns: Cobblestone
- 4. Overhead Garage Doors\*: Clopay Almond
- 5. Fascia: 5 1/2" 5/4 Smooth Hardie Trim Cobblestone
- 6. Soffits, Gutters: Aluminum, to match Royal Alumipro "Carbon" 856
- 6. Downspout: Aluminum, to match Royal Alumipro "Carbon" 856
- 7. Belly Board: 11 1/4" x 1" 5/4 Smooth Hardie Trim, Cobblestone
- 8. Window & Door Trim: 3 1/2" x 1" 5/4 Smooth Hardie Trim, Cobblestone
- 9. Board & Batten Siding: Cedar Mill Hardie Board + 2 1/2" x 3/4" Smooth Hardie Battens Evening Blue Cobblestone (battens spaced 16"OC)
- 10. Lap Siding: 5" Exposure Cedar Mill Hardie (6.25"), Aged Pewter
- 11. Corners: 3 1/2" x 1" 5/4 Smooth Hardie Trim, to match siding
- 12. Entry Doors\*: to match Cobblestone
- 13. Roof: Black Asphalt Shingle IKO Cambridge in Dual Black
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PROJECT:  
1297 Findlay Road,  
Kelowna, BC  
Townhomes

TITLE:  
Building 3  
North Elevation

DRAWN: PG

DRAWING N°:

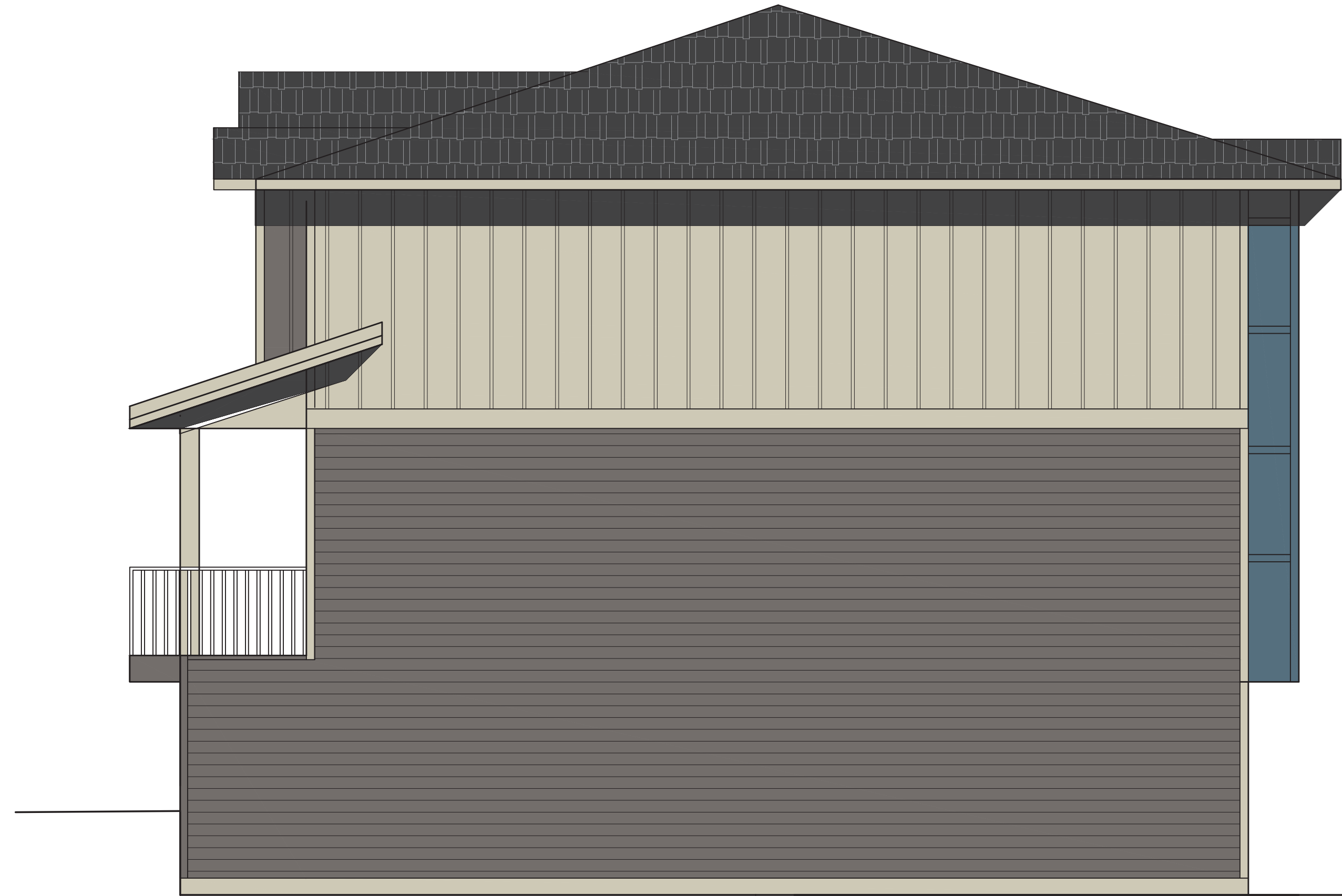
SCALE: 1/4" = 1'-0"

A40-03-02

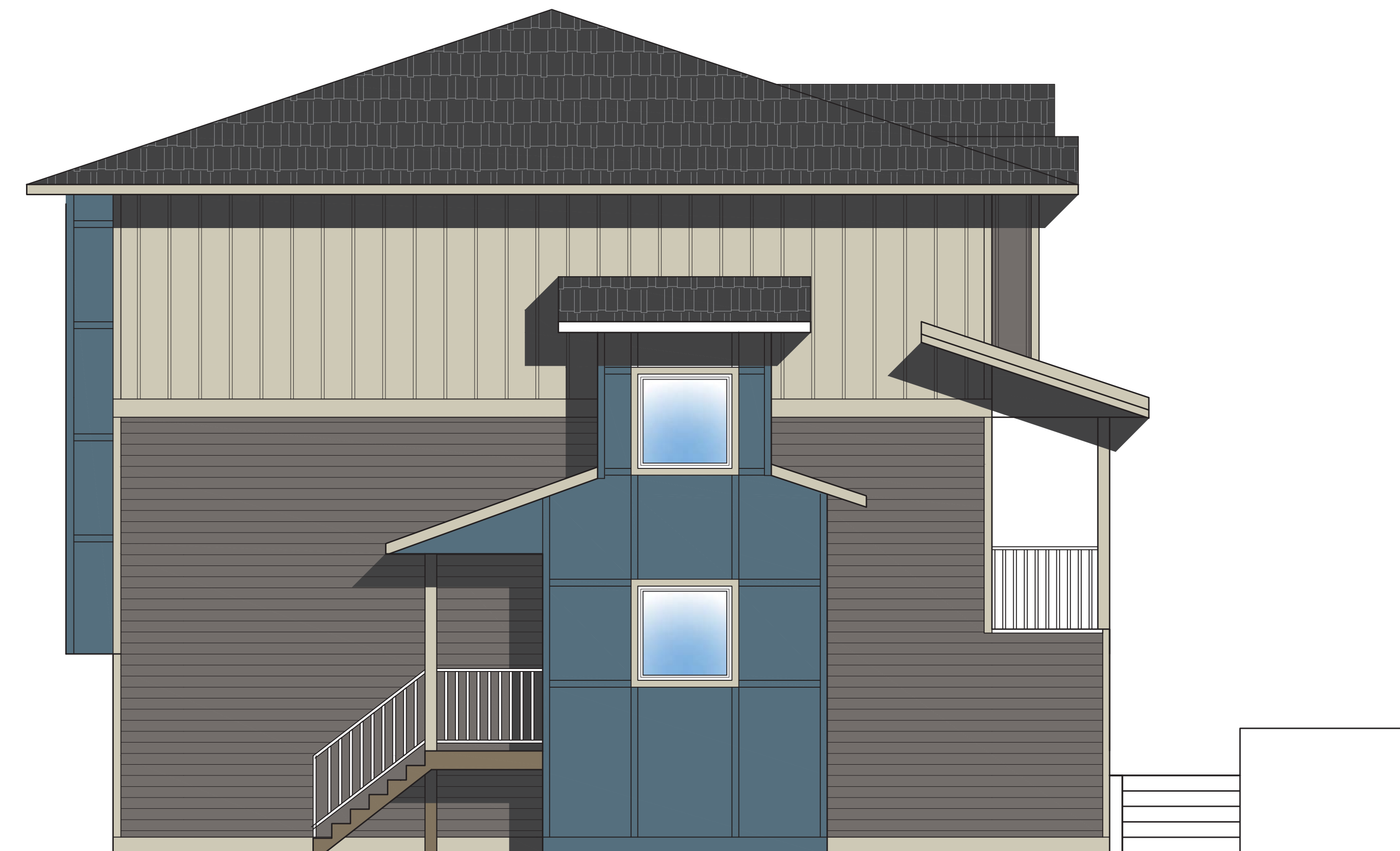
JOB N°: 1801

DATE: March 2018





1 BLDG 3 - WEST ELEVATION  
1/4" = 1'-0"



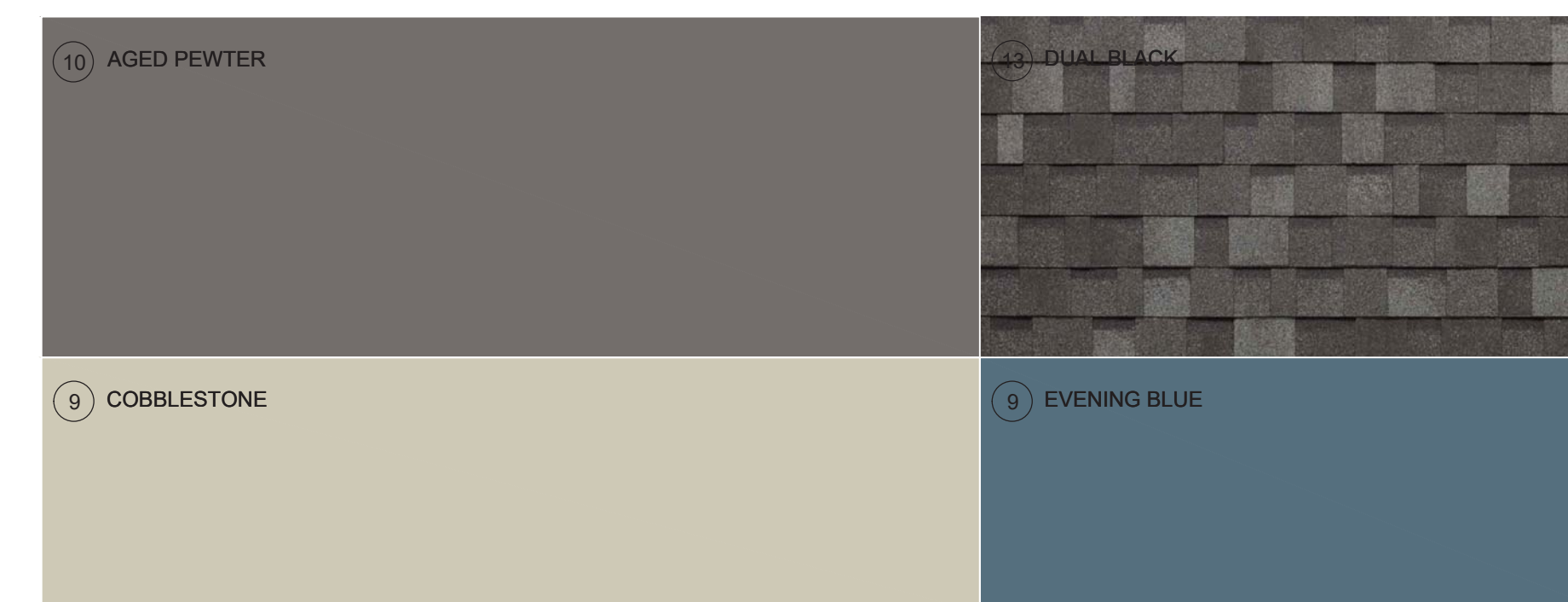
2 BLDG 3 - EAST ELEVATION  
1/4" = 1'-0"

FINISH NOTES

1. Vinyl Windows\*: White
2. Railings: Aluminum Picket, white
3. Built-up Columns: Cobblestone
4. Overhead Garage Doors\*: Clopay Almond
5. Fascia: 5 1/2" x 5/4 Smooth Hardie Trim, Cobblestone
6. Soffits, Gutters: Aluminum, to match Royal Alumipro "Carbon" 856
6. Downspout: Aluminum, to match Royal Alumipro "Carbon" 856
7. Belly Board: 11 1/4" x 1" 5/4 Smooth Hardie Trim, Cobblestone
8. Window & Door Trim: 3 1/2" x 1" 5/4 Smooth Hardie Trim, Cobblestone
9. Board & Batten Siding: Cedar Mill Hardie Board + 2 1/2" x 3/4" Smooth Hardie Battens Evening Blue, Cobblestone (battens spaced 16" OC)
10. Lap Siding: 5" Exposure Cedar Mill Hardie (6.25"), Aged Pewter
11. Corners: 3 1/2" x 1" 5/4 Smooth Hardie Trim, to match siding
12. Entry Doors\*: to match Cobblestone
13. Roof: Black Asphalt Shingle, IKO Cambridge in Dual Black
14. Vinyl Decking: Global Decking Systems in "Stonehenge"

\*Windows, Doors, Skylights and their components shall be designed and constructed in accordance with Article 9.7.4.2.1.  
 a) AAMA/WDMA/CSA 101/I.S.2/A440, "NAFS - North American Fenestration Standard/Specification for Windows, Doors, and Skylights" (Harmonized Standard), and  
 b) A440S1, "Canadian Supplement to AAMA/WDMA/CSA/101/I.S.2.A440, NAFS - North American Fenestration Standard/Specification for Windows, Doors, and Skylights."

COLOUR LEGEND



4 18-Jun-22 reissued for DP ISSUES:

Ron Hart Architect Ltd

1887 Ontario Street  
 Vancouver, B.C., V5T 2W7  
 778 233 7241  
 ron@ronhart.ca

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DIMENSIONS:  
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PROJECT:  
 1297 Findlay Road,  
 Kelowna, BC  
 Townhomes

TITLE:  
 Building 3  
 East and West Elevations

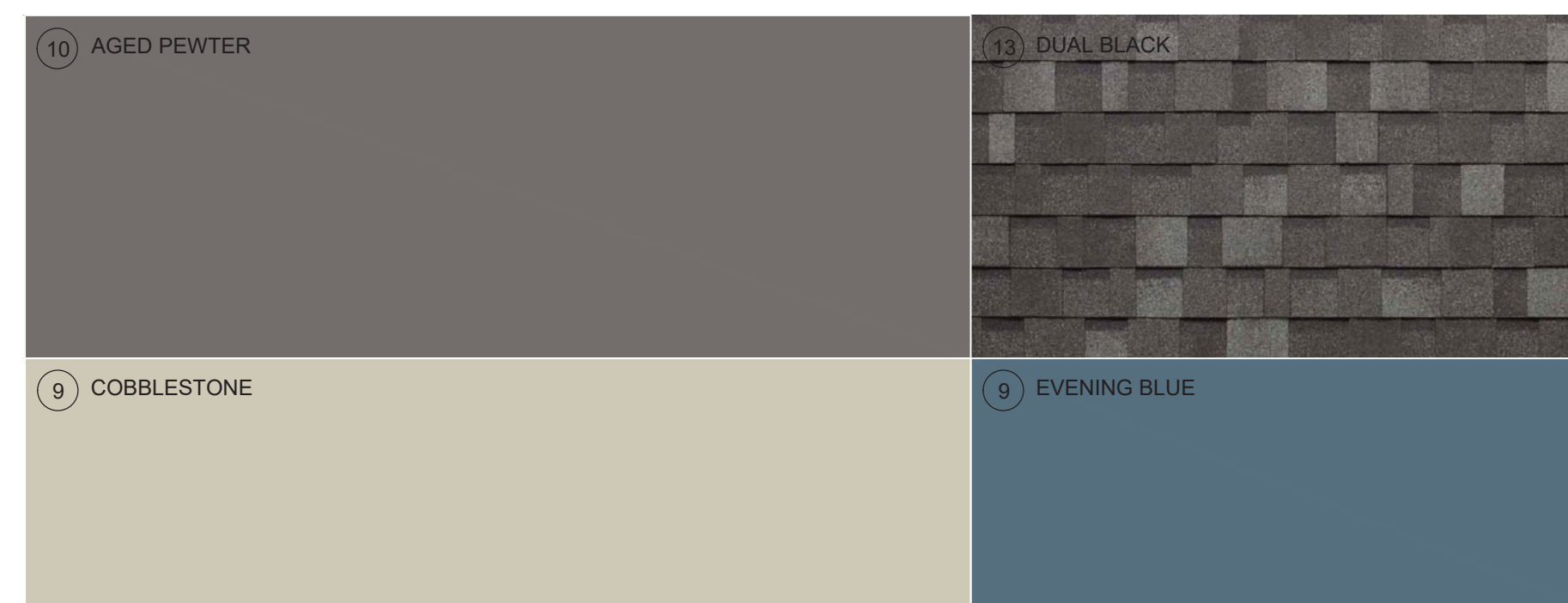
DRAWN: PG DRAWING N°:  
 SCALE: 1/4" = 1'-0" A40-03-03  
 JOB N°: 1801  
 DATE: March 2018





1 BLDG 4 - NORTH ELEVATION  
1/4" = 1'-0"

COLOUR LEGEND



FINISH NOTES

1. Vinyl Windows\*: White
2. Railings: Aluminum Picket, white
3. Built-up Columns: Cobblestone
4. Overhead Garage Doors\*: Clopay Almond
5. Fascia: 5 1/2" x 5/4 Smooth Hardie Trim, Cobblestone
6. Soffits, Gutters: Aluminum, to match Royal Alumipro "Carbon" 856
6. Downspout: Aluminum, to match Royal Alumipro "Carbon" 856
7. Belly Board: 11 1/4" x 1" 5/4 Smooth Hardie Trim,
8. Window & Door Trim: 3 1/2" x 1" 5/4 Smooth Hardie Trim, Cobblestone
9. Board & Batten Siding: Cedar Mill Hardie Board + 2 1/2" x 3/4" Smooth Hardie Battens, Evening Blue, Cobblestone (battens spaced 16" OC)
10. Lap Siding: 5" Exposure Cedar Mill Hardie (6.25"), Aged Pewter
11. Corners: 3 1/2" x 1" 5/4 Smooth Hardie Trim, to match siding
12. Entry Doors\*: to match Cobblestone
13. Roof: Black Asphalt Shingle, IKO Cambridge in Dual Black
14. Vinyl Decking: Global Decking Systems in "Stonehenge"

\*Windows, Doors, Skylights and their components shall be designed and constructed in accordance with Article 9.7.4.2.1.  
a) AAMA/WDMA/CSA 1011/S.2/A440, "NAFS - North American Fenestration Standard/Specification for Windows, Doors, and Skylights" (Harmonized Standard), and  
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1887 Ontario Street  
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PROJECT:  
1297 Findlay Road,  
Kelowna, BC  
Townhomes

TITLE:  
Building 4  
North Elevation

DRAWN: PG

DRAWING N°:

SCALE: 1/4" = 1'-0"

A40-04-01

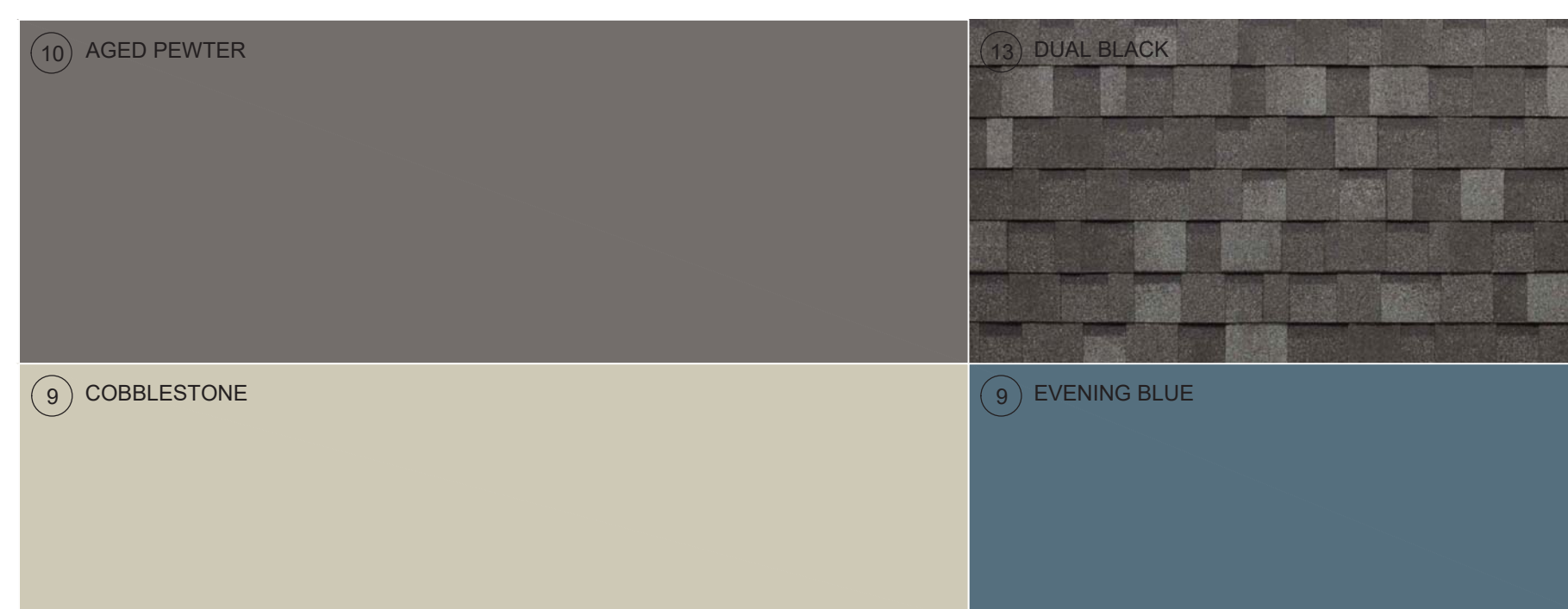
JOB N°: 1801

DATE: March 2018



1 BLDG 4 - SOUTH ELEVATION  
1/4" = 1'-0"

COLOUR LEGEND



FINISH NOTES

- 1. Vinyl Windows\*: White
- 2. Railings: Aluminum Picket, white
- 3. Built-up Columns: Cobblestone
- 4. Overhead Garage Doors\*: Clopay Almond
- 5. Fascia: 5 1/2" x 5/4 Smooth Hardie Trim Cobblestone
- 6. Soffits, Gutters: Aluminum, to match Royal Alumipro "Carbon" 856
- 6. Downspout: Aluminum, to match Royal Alumipro "Carbon" 856
- 7. Belly Board: 11 1/4" x 1" 5/4 Smooth Hardie Trim, Cobblestone
- 8. Window & Door Trim: 3 1/2" x 1" 5/4 Smooth Hardie Trim, Cobblestone
- 9. Board & Batten Siding: Cedar Mill Hardie Board + 2 1/2" x 3/4" Smooth Hardie Battens Evening Blue Cobblestone (battens spaced 16" OC)
- 10. Lap Siding: 5" Exposure Cedar Mill Hardie (6.25"), Aged Pewter
- 11. Corners: 3 1/2" x 1" 5/4 Smooth Hardie Trim, to match siding
- 12. Entry Doors\*: to match Cobblestone
- 13. Roof: Black Asphalt Shingle IKO Cambridge in Dual Black
- 14. Vinyl Decking: Global Decking Systems in "Stonehenge"

\*Windows, Doors, Skylights and their components shall be designed and constructed in accordance with Article 9.7.4.2.1.  
a) AAMA/WDMA/CSA 1011/S.2/A440, "NAFS - North American Fenestration Standard/Specification for Windows, Doors, and Skylights" (Harmonized Standard), and  
b) A440S1, "Canadian Supplement to AAMA/WDMA/CSA/1011/S.2.A440, NAFS - North American Fenestration Standard/Specification for Windows, Doors, and Skylights."

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PROJECT:  
1297 Findlay Road,  
Kelowna, BC  
Townhomes

TITLE:  
Building 4  
South Elevation

DRAWN: PG

DRAWING N°:

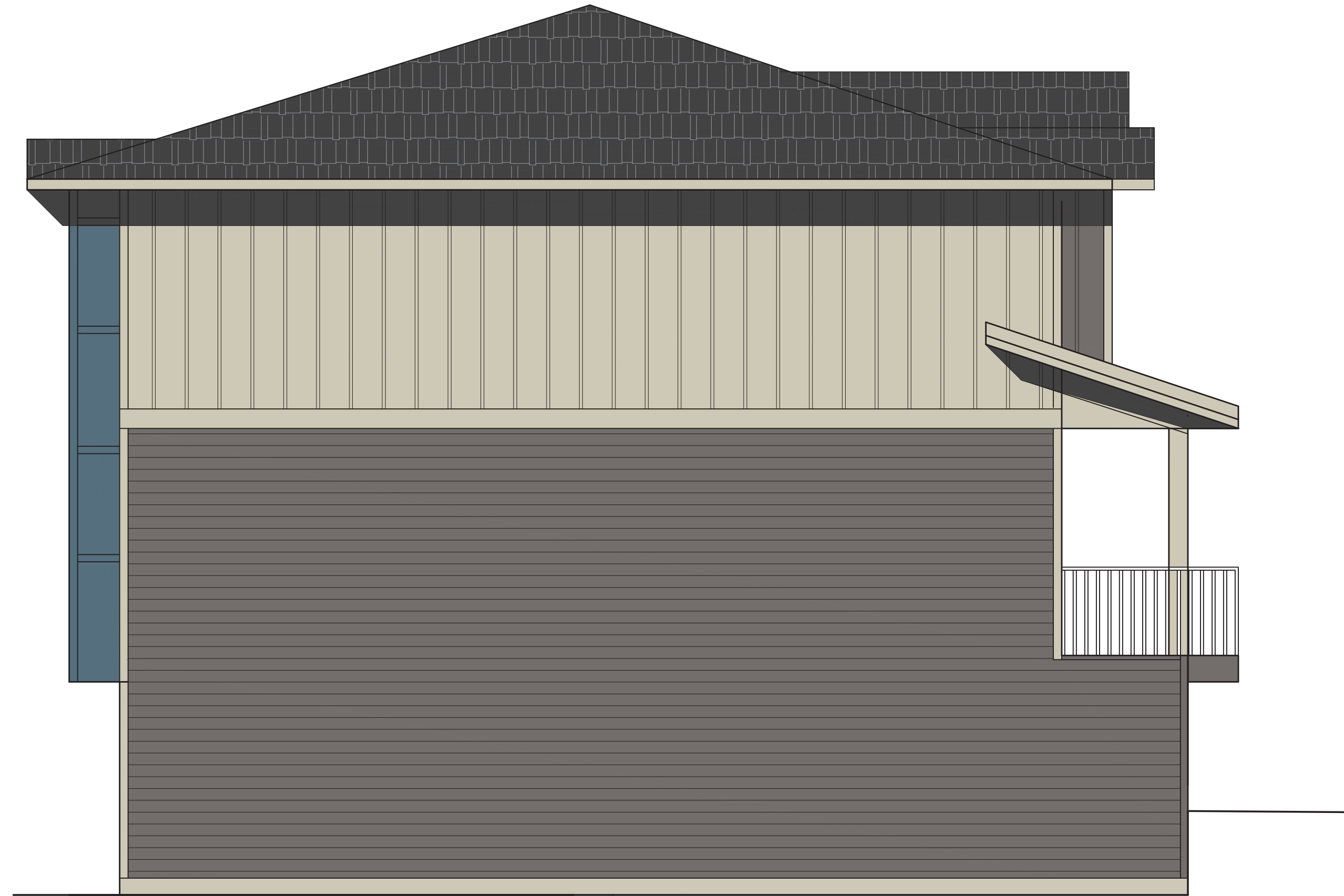
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A40-04-02

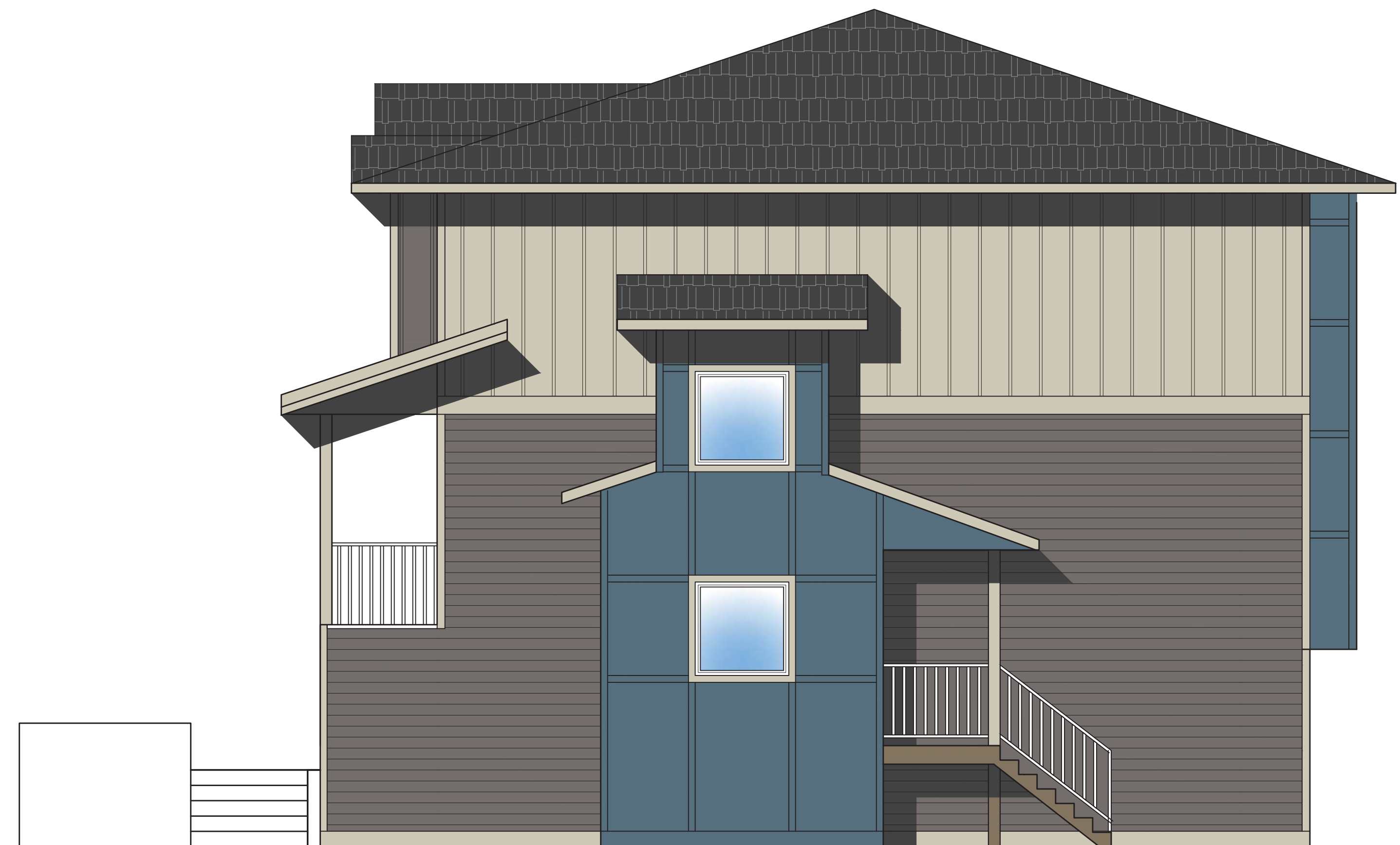
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DATE: March 2018





1 BLDG 4 - WEST ELEVATION  
1/4" = 1'-0"



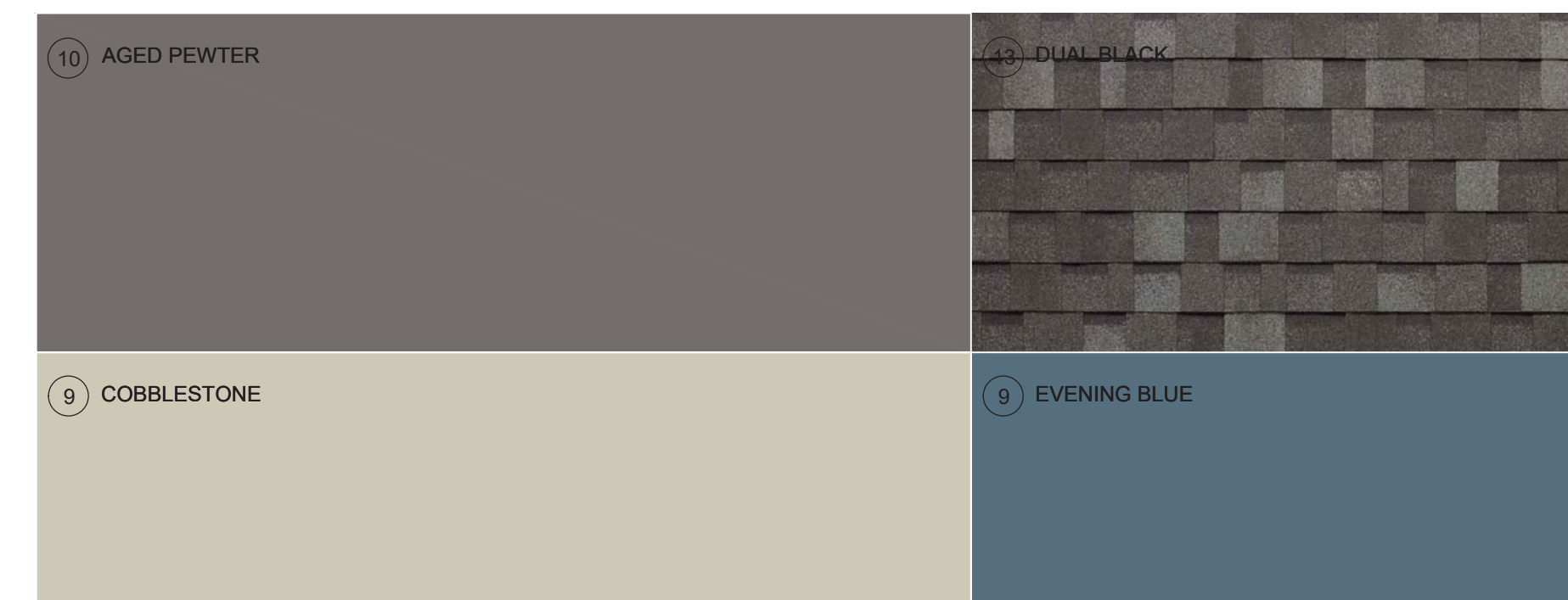
2 BLDG 4 - EAST ELEVATION  
1/4" = 1'-0"

FINISH NOTES

- 1 Vinyl Windows\*:  
White
- 2 Railings: Aluminum Picket, white
- 3 Built-up Columns  
Cobblestone
- 4 Overhead Garage Doors\*:  
Clopay Almond
- 5 Fascia:  
5 1/2" x 1" 5/4 Smooth Hardie Trim  
Cobblestone
- 6 Soffits, Gutters:  
Aluminum,  
to match Royal Alumipro "Carbon" 856
- 6 Downspout:  
Aluminum,  
to match Royal Alumipro "Carbon" 856
- 7 Belly Board:  
11 1/4" x 1" 5/4 Smooth Hardie Trim,  
Cobblestone
- 8 Window & Door Trim:  
3 1/2" x 1" 5/4 Smooth Hardie Trim,  
Cobblestone
- 9 Board & Batten Siding:  
Cedarmill Hardie Board +  
2 1/2" x 3/4" Smooth Hardie Battens  
Evening Blue  
Cobblestone (battens spaced 16" OC)
- 10 Lap Siding:  
5" Exposure Cedarmill Hardie (6.25"),  
Aged Pewter
- 11 Corners:  
3 1/2" x 1" 5/4 Smooth Hardie Trim,  
to match siding
- 12 Entry Doors\*:  
to match Cobblestone
- 13 Roof:  
Black Asphalt Shingle  
IKO Cambridge in Dual Black
- 14 Vinyl Decking:  
Global Decking Systems in "Stonehenge"

\*Windows, Doors, Skylights and their components shall be designed and constructed in accordance with Article 9.7.4.2.1.  
a) AAMA/WDMA/CSA 101/I.S.2/A440, "NAFS - North American Fenestration Standard/Specification for Windows, Doors, and Skylights" (Harmonized Standard), and  
b) A440S1, "Canadian Supplement to AAMA/WDMA/CSA/101/I.S.2/A440, NAFS - North American Fenestration Standard/Specification for Windows, Doors, and Skylights."

COLOUR LEGEND



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DIMENSIONS:  
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PROJECT:  
1297 Findlay Road,  
Kelowna, BC  
Townhomes

TITLE:  
Building 4  
East and West Elevations

DRAWN: PG DRAWING N°:  
SCALE: 1/4" = 1'-0" A40-04-03  
JOB N°: 1801  
DATE: March 2018





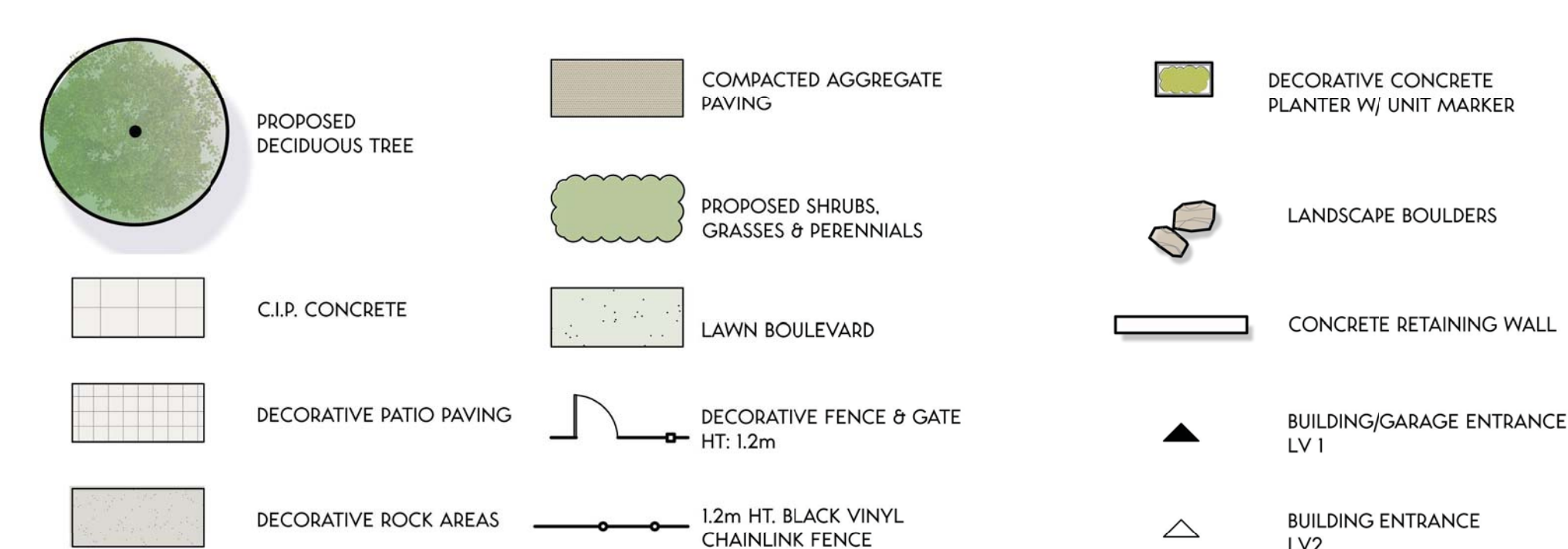
**DEVELOPMENT PERMIT NOTES:**

- A PLANT MATERIALS AND CONSTRUCTION METHODS SHALL CONFORM TO MINIMUM STANDARDS ESTABLISHED IN THE LATEST EDITION OF THE B.C. LANDSCAPE STANDARDS, PUBLISHED BY B.C.L.N.A. AND B.C.S.L.A. AS WELL AS THE CITY OF KELOWNA LANDSCAPE STANDARDS IN BYLAW 7900.
- B THE LANDSCAPE DESIGN DESIGNATED HEREIN IS CONCEPTUAL BUT REFLECTS THE MINIMUM CITY OF KELOWNA FORM AND CHARACTER REQUIREMENTS
- C PLANT MATERIAL SELECTIONS ARE CONCEPTUAL ONLY. FINAL PLANTING SELECTIONS MAY VARY DEPENDING UPON AVAILABILITY AT THE TIME OF CONSTRUCTION.
- D TREES SHALL BE INSTALLED IN DEFINED SOIL PITS OR PLANTING BED AREAS. ADEQUATE SOIL VOLUME SHALL BE PROVIDED BASED ON THE SPECIFIED TREE SPECIES AND LOCATION.
- E ORNAMENTAL SHRUB, GRASS AND PERENNIAL CLUSTERS ARE TO BE PLACED WITHIN DEFINED PLANTING BEDS. ALL PLANTING BEDS SHALL HAVE A MIN. OF 300mm (15") IMPORTED GROWING MEDIUM AND 75mm (3") OF COMPOSTED MULCH OR APPROVED EQUAL.
- F DECORATIVE ROCK AREAS SHALL HAVE A MIN. OF 100mm (4") OF 25mm DECORATIVE CRUSHED ROCK. LANDSCAPE FABRIC SHALL BE INSTALLED BELOW ALL DECORATIVE ROCK AREAS. LANDSCAPE FABRIC SHALL BE NILEX 4545 OR APPROVED EQUAL.
- G COMPACTED AGGREGATE PAVING AREAS SHALL HAVE 100mm (4") OF CRUSHED CHIPS. A CRUSHED BASE SHALL BE INSTALLED BELOW TO GET PROPER COMPACTION.
- H TURF AREAS SHALL BE LOW WATER USE "NO. 1 PREMIUM" SOD WITH A MIN. OF 150mm (6") IMPORTED GROWING MEDIUM.
- I A HIGH EFFICIENCY IRRIGATION SYSTEM SHALL BE INSTALLED FOR ALL ORNAMENTAL LANDSCAPE AREAS AND SHALL CONFORM TO THE CITY OF KELOWNA'S IRRIGATION STANDARDS IN BYLAW 7900.

**PLANT LIST:**

TREES			
Botanical Name	Common Name	Size/Spacing	Root
<i>Acer rubrum</i> 'Armstrong'	Armstrong maple	6cm Cal.	B&B
<i>Cercidiphyllum japonica</i>	Katsura tree	6cm Cal.	B&B
<i>Fagus sylvatica</i> 'Dawycck Gold'	Dawycck Golden European beech	6cm Cal.	B&B
<i>Magnolia stellata</i> 'Royal Star'	Royal Star magnolia	4cm Cal.	B&B
SHRUBS			
Botanical Name	Common Name	Size/Spacing	Root
<i>Berberis thunbergii</i> 'Rose Glow'	Rose Glow barberry	#03 Cont./1.0m O.C.	Potted
<i>Juniperus virginiana</i> 'Idyllwild'	Idyllwild juniper	#03 Cont./2.0m O.C.	Potted
<i>Mahonia aquifolium</i>	Oregon grape	#05 Cont./1.5m O.C.	Potted
<i>Pinus mugo</i> 'Slowmound'	Slowmound mugo pine	#03 Cont./1.0m O.C.	Potted
<i>Rosa</i> 'Morden Sunrise'	Morden Sunrise rose	#05 Cont./1.2m O.C.	Potted
PERENNIALS			
Botanical Name	Common Name	Size/Spacing	Root
<i>Achillea millefolium</i> 'Terracotta'	Terracotta yarrow	#01 Cont./0.6m O.C.	Potted
<i>Alchemilla mollis</i>	Lady's mantle	#01 Cont./0.6m O.C.	Potted
<i>Coreopsis verticillata</i> 'Moonbeam'	Moonbeam threadleaf coreopsis	#01 Cont./0.50m O.C.	Potted
<i>Pachysandra terminalis</i>	Japanese spurge	#01 Cont./0.60m O.C.	Potted
<i>Rudbeckia fulgida</i> 'Goldsturm'	Goldsturm coneflower	#01 Cont./0.6m O.C.	Potted
<i>Salvia nemorosa</i> 'East Friesland'	East Friesland meadow sage	#01 Cont./0.6m O.C.	Potted
GRASSES			
Botanical Name	Common Name	Size/Spacing	Root
<i>Calamagrostis acutiflora</i> 'Overdam'	Variagated reed grass	#01 Cont./0.6m O.C.	Potted
<i>Deschampsia cespitosa</i> 'Goldtau'	Gold Dew tufted hair grass	#01 Cont./0.6m O.C.	Potted
<i>Helictotrichon sempervirens</i>	Blue oat grass	#01 Cont./0.75m O.C.	Potted
<i>Miscanthus sinensis</i> 'Strictus'	Porcupine grass	#01 Cont./1.2m O.C.	Potted
<i>Sesleria autumnalis</i>	Autumn moor grass	#01 Cont./0.3m O.C.	Potted

**LEGEND:**



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NO.	DATE	DESCRIPTION
8	APR 23/18	RE-ISSUED FOR DP
7	APR 05/17	RE-ISSUED FOR DP
6	DEC 01/16	RE-ISSUED FOR DP
5	SEPT 28/16	ISSUED FOR DP
4	SEPT 15/16	ISSUED FOR REVIEW
3	SEPT 02/16	ISSUED FOR REVIEW
2	AUG 05/16	ISSUED FOR REVIEW
1	JULY 29/16	ISSUED FOR REVIEW



CLIENT:  
**0725353 BC LTD.**  
KELOWNA, B.C.

PROJECT:  
**1297 FINDLAY ROAD**  
KELOWNA, B.C.

SHEET TITLE:  
**LANDSCAPE PLAN**

DESIGN BY: SD  
DRAWN BY: SD  
CHECKED BY: KN  
PROJECT NO.: 16-024  
SCALE: 1:125

SHEET NO.:

**L-1**

**NOT FOR CONSTRUCTION**