



## CITY OF KELOWNA

## MEMORANDUM

**Date:** April 25, 2018  
**File No.:** Z18-0036  
**To:** Community Planning (JR)  
**From:** Development Engineering Manager  
**Subject:** 5165 Lakeshore Road      Lot 11 Plan 8976      RR2 to RR2C

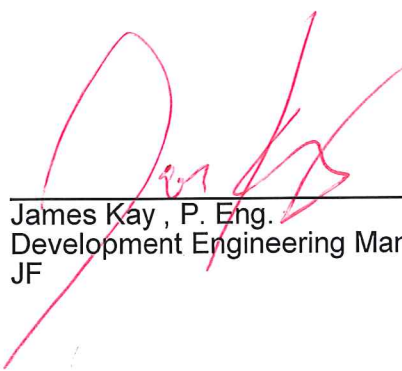
Development Engineering Services have the following requirements associated with this rezoning application;

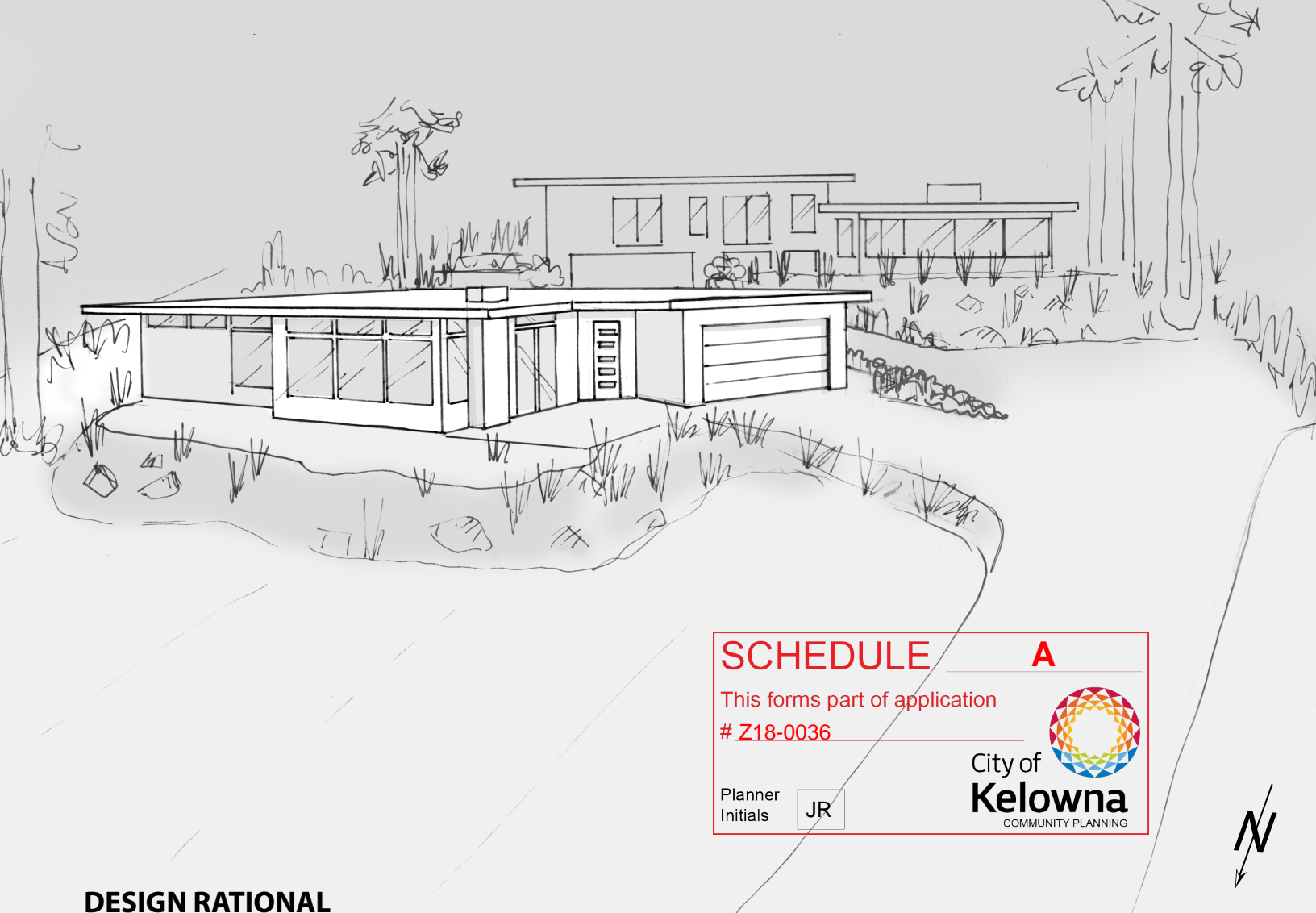
1. Domestic Water and Fire Protection

The property is located in South Mission Water ESA 14 CWS-20 The water charge for this property as proposed is an additional 0.5 equivalent dwelling units (EDU). therefore the fee is (0.5 of \$4,029.00) **\$2,014.50** (effective to 2018-09-29)

2. Sanitary Sewer

The property is located in Sewer Connection Area No. 28 (Okaview). The sewer charge for this property as proposed is 0.5 equivalent dwelling units (EDU). Therefore, the fee is (0.5 of \$16,200) **\$8,100.00**.

  
James Kay, P. Eng.  
Development Engineering Manager  
JF



## DESIGN RATIONAL

We are proposing to build a small, one level, two bedroom home of approximately 100 m sq (1074sq ft) for my elderly parents. The carriage house will be their permanent residence.

The carriage house will be designed to blend with our existing home and feature a low slope/flat roof and similar exterior finish and design. The carriage house will have a two car garage

The carriage house will be positioned between our existing home and Lakeshore Road. The carriage house's one level design, it's low slope roof and it's position on the lot, tucked into the curve of the existing driveway and set into the natural slope will ensure that the lake views of the main house and neighbouring properties are not obstructed.

Construction of the carriage house will require the removal of one, possibly two existing large fir trees from the lower level of our lot. The removal of the tree/s will likely improve the lake views for the neighbouring properties.

A short driveway spur will be added to our existing driveway to provide access to the carriage house's garage. Landscaping around the carriage house will match the rest of the property and will lean towards low maintenance and low water use.

ADDRESS: 5165 Lakeshore Road, Kelowna, BC, V1W 4J1

LEGAL DESCRIPTION: Lot 11 section 23 township 28 Similkameen division Yale district plan 8976

TERRIEN CARRIAGE HOUSE: Ken & Darlene Therrien, 778 477-4549, ken.therrien@ddbkidthink.com

ADDRESS  
5165 Lakeshore Road, Kelowna, BC, V1W 4J1

LEGAL DESCRIPTION  
Lot 11 section 23 township 28  
Similkameen division Yale district plan 8976

THERRIEN CARRIAGE HOUSE  
Ken & Darlene Therrien  
778 477-4549  
ken.therrien@ddbkidthink.com

Proposed landscaping to match existing landscaping on the rest of the property:

Grass lawn, above sloped bank covered with decorative rock/boulders and planted with low water use decorative grasses and junipers.

Short driveway spur connects carriage house garage with existing drive



## SCHEDULE

A

This forms part of application  
# Z18-0036

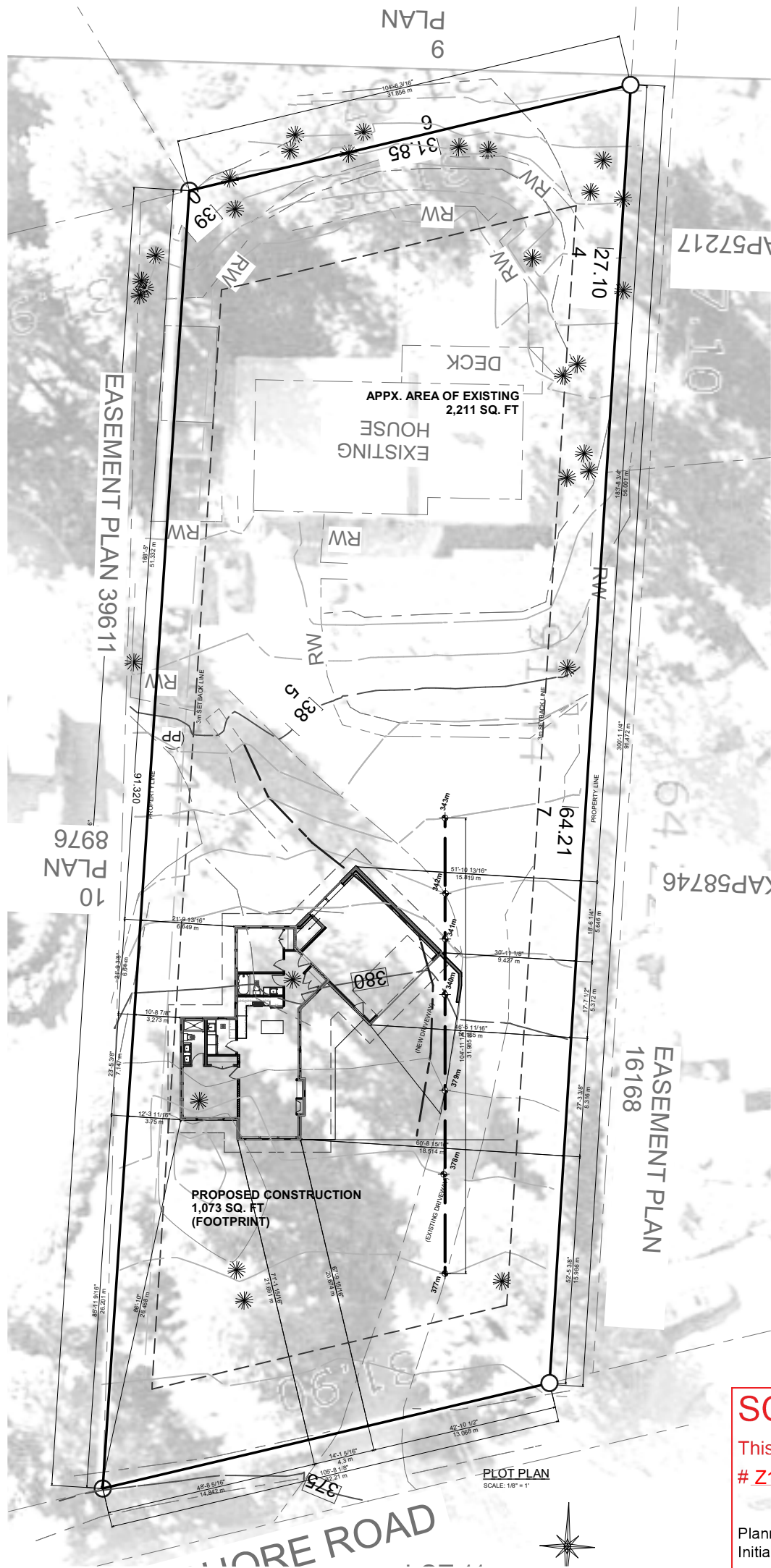
Planner  
Initials

JR



Scale: 1cm = 4m





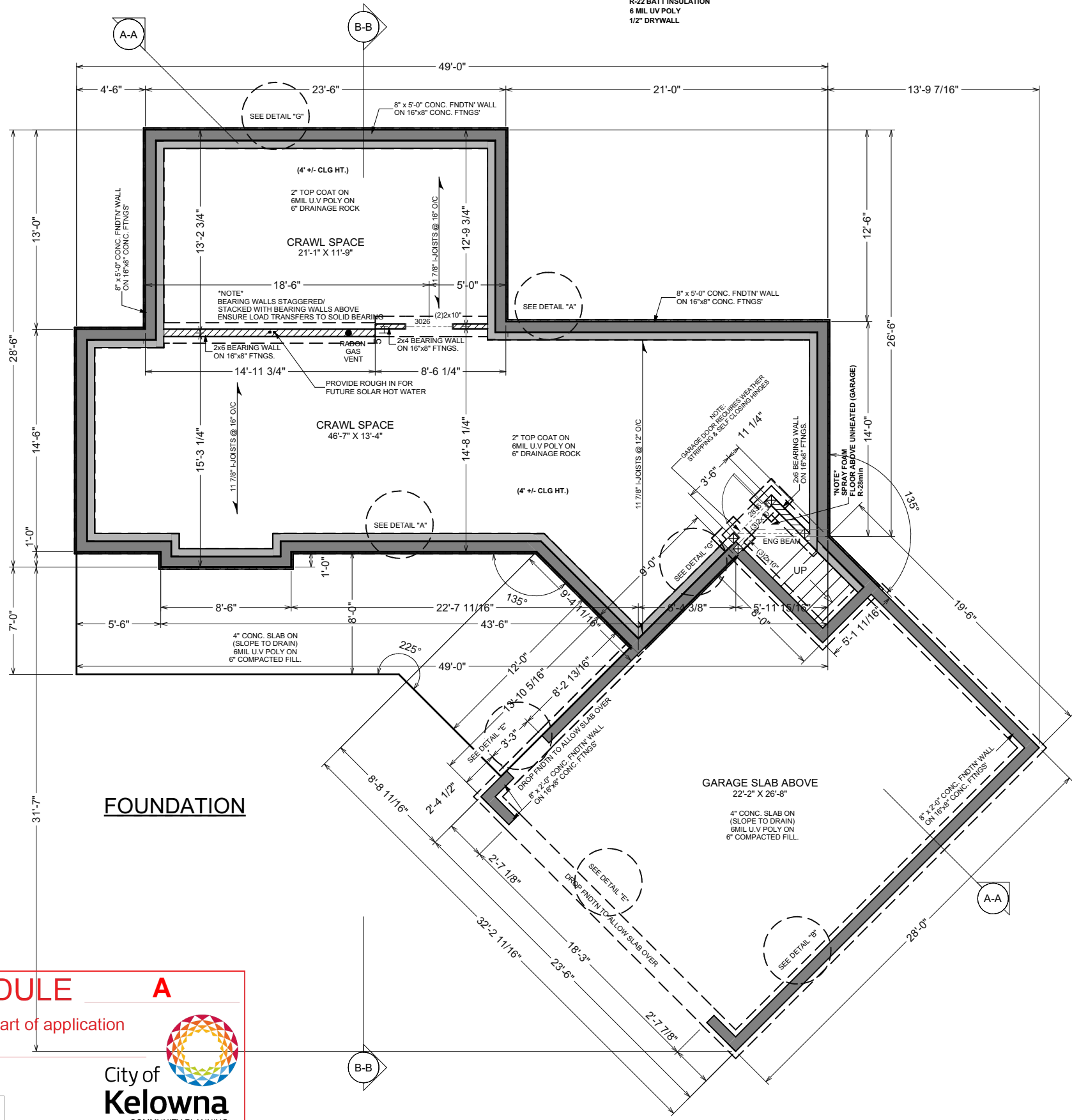
- GENERAL NOTES**
- ALL WORK SHALL BE IN ACCORDANCE WITH THE CURRENT EDITION OF THE B.C. BUILDING CODE AND ALL LOCAL LAWS AND BYLAWS.
  - BEFORE CONSTRUCTION COMMENCES IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CHECK ALL DETAILS AND DIMENSIONS TO CONFIRM ACCURACY AND TO ASSURE THERE ARE NO DISCREPANCIES.
  - IT IS THE RESPONSIBILITY OF THE CONTRACTOR FOR THE CORRECT SITING OF THE BUILDING TO CONFORM WITH NECESSARY SETBACKS.
  - ALTHOUGH EVERY EFFORT HAS BEEN MADE TO PROVIDE COMPLETE AND ACCURATE DRAWINGS WE CANNOT ELIMINATE THE POSSIBILITY OF HUMAN ERROR, THEREFORE MULLINS DRAFTING & DESIGN WILL NOT BE LIABLE FOR ANY ERRORS OR OMISSIONS.

**\*\*NOTE\*\***  
**CONTRACTOR TO CONFIRM DIM PRIOR TO CONST.**

**\*\*NOTE\*\***

PROVIDE PROPER SLOPE TO ALLOW DRAINAGE AWAY FROM RESIDENCE.  
**\*\*NOTE\*\***  
WINDOW SPEC'S TO BE CONFIRMED BY OWNER/ CONTRACTOR PRIOR TO ORDERING TO ENSURE PROPER VENTING AND EGRESS.

- SPECIFICATIONS**
- ROOF**  
TORCH ON ROOFING  
7/16" ROOF SHEATHING  
ENGINEERED ROOF TRUSSES  
R-50 INSULATION  
6 MIL UV POLY  
5/8" DRYWALL
- SOFFIT & FASCIA**  
6" PARAPET WALL  
2x8 SUB FASCIA  
18" STEPPED FASCIA  
VENTED SOFFIT
- EXT. WALL**  
STUCCO  
7/16" WALL SHEATHING  
2x6 STUDS 24" o/c  
R-22 BATT INSULATION  
6 MIL UV POLY  
1/2" DRYWALL
- INT. WALL**  
2x4 STUDS 16" o/c  
1/2" DRYWALL BOTH SIDES
- FLOOR SYSTEM**  
3/4" T&G SHEETING  
ENGINEERED 1 JOIST
- DECK CONSTRUCTION**  
8" CONC. PEIRS  
2X10 JOISTS @16" o/c  
VINYL DECKING  
POSTS & BEAMS AS REQ.
- STAIR CONSTRUCTION**  
PRE MANUFACTURED  
STAIR SYSTEM  
2X6 @ 16" o/c LANDINGS
- FOUNDATION**  
8" CONC. FOUNDATION  
10MM REBAR  
R12 STYROFOAM INSULATION  
8"x16" CONC. FOOTING
- CONC. SLAB**  
4" CONC. SLAB  
6 MIL UV POLY  
6" DRAINAGE ROCK
- DRAINAGE TILE**  
4" DRAIN TILE  
MINIMUM 6" DRAIN ROCK  
DRY SHEETING PAPER



**SCHEDULE A**

This forms part of application  
# Z18-0036

Planner Initials **JR**

City of Kelowna  
COMMUNITY PLANNING

**MULLINS DRAFTING & DESIGN**

**UNIT 203 - 1889 SPALL RD.  
Kelowna BC V1Y 4R2**  
Bus: (250) 717-3415  
Cell: (250) 258-7819  
e-mail: mullinsdrafting@shaw.ca

**PROPOSED PROJECT FOR  
THERRIEN  
5165 LAKESHORE RD.**

**THE LITTLE HOUSE CONTRACTING CORP.**

**SHEET NUMBER  
2/5**

**SCALE: 1/4" = 1'**

**DATE : JUN-14-2018**

# SCHEDULE A

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# Z18-0036



City of  
**Kelowna**  
COMMUNITY PLANNING

Planner  
Initials JR

SHEET NUMBER

3/5

SCALE: 1/4" = 1'

DATE : JUN-14-2018



PROPOSED PROJECT FOR

TERRIER

5165 LAKESHORE RD.

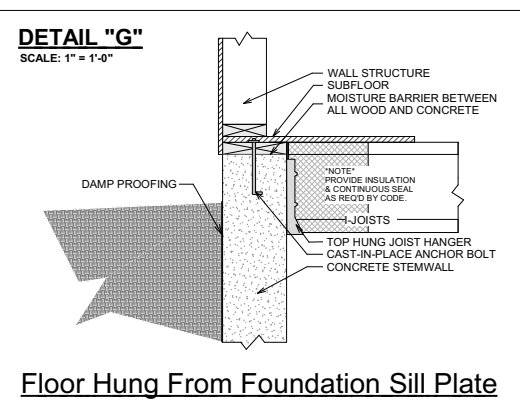
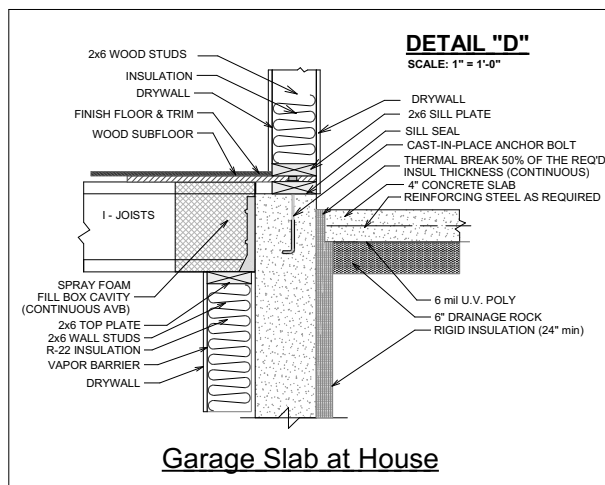
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MULLINS  
DRAFTING & DESIGN

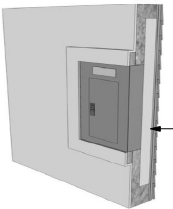


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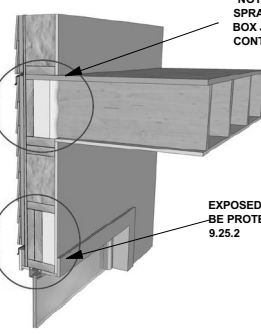
## 9.36

MECHANICAL, ELECTRICAL, AND PLUMBING COMPONENTS PLACED WITHIN AN EXTERIOR WALL MUST BE INSULATED BEHIND TO THE EFFECTIVE THERMAL RESISTANCE REQUIRED FOR THE ABOVE OR BELOW GRADE WALL ASSEMBLY.



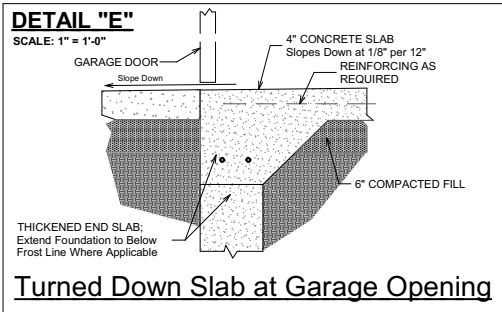
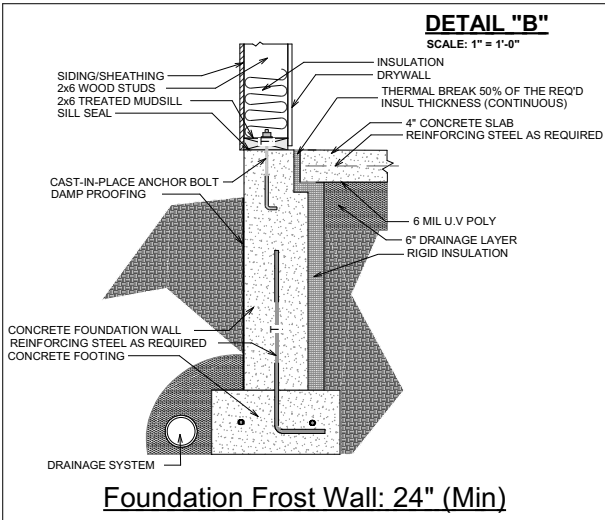
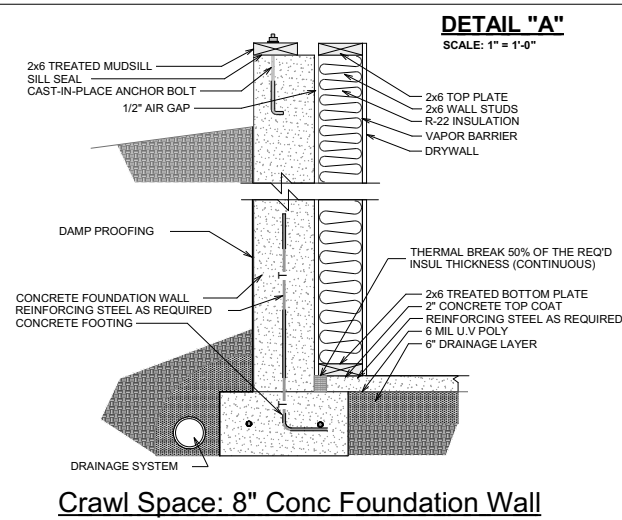
\*NOTE\*  
- PROVIDE MIN RSI VALUE  
2.97 OR R-16.86 INSUL.

## 9.25.2



\*NOTE\*  
SPRAY FOAM REQ'D IN  
BOX JOIST ENDS, ENSURE  
CONTINUOUS (AVB)

EXPOSED FOAM PLASTICS TO  
BE PROTECTED AS PER BCBC  
9.25.2

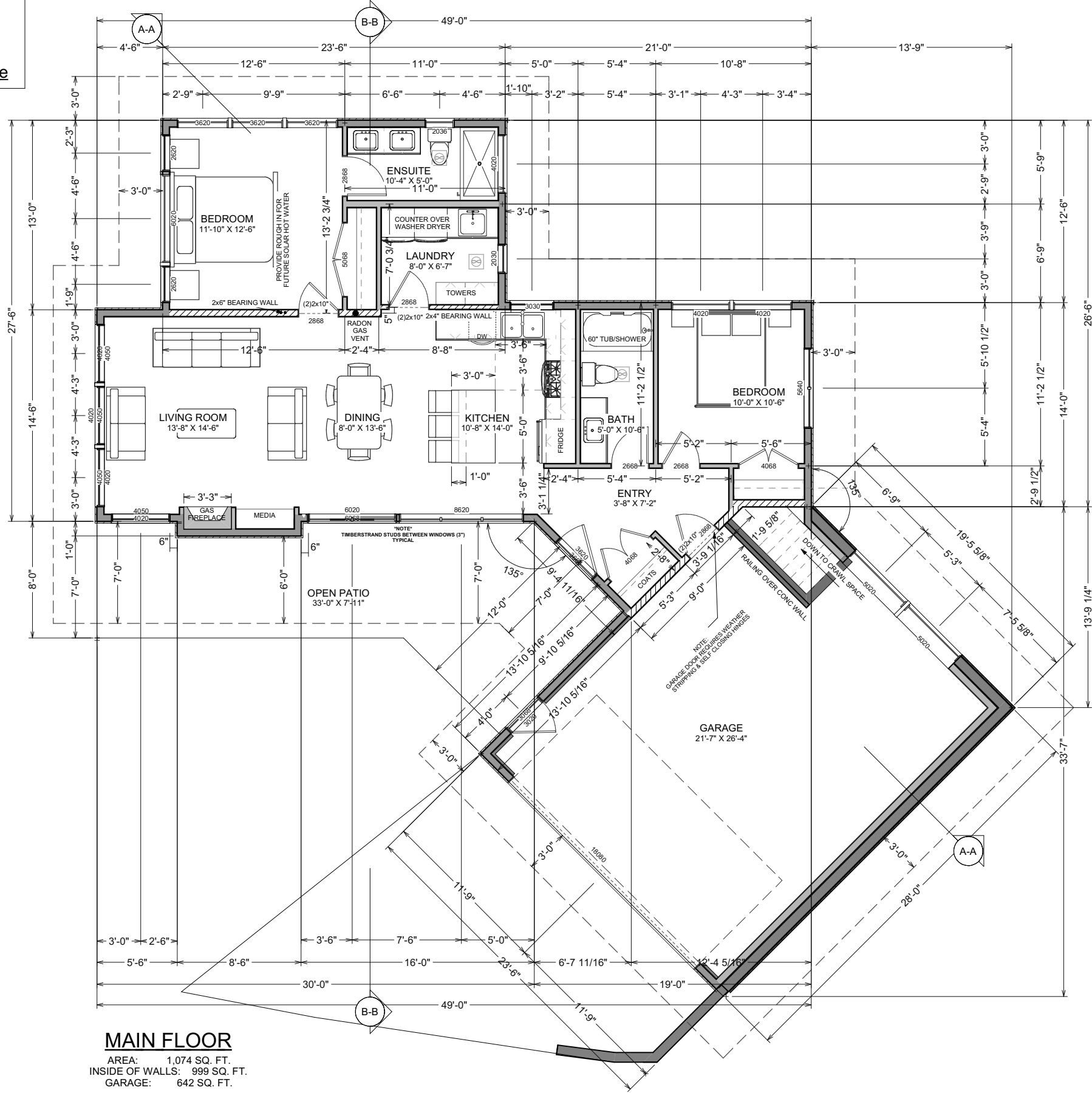
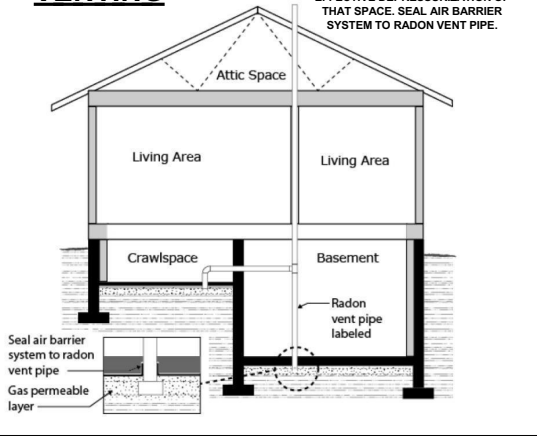


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CONTRACTOR TO CONFIRM  
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PROVIDE PROPER SLOPE TO ALLOW DRAINAGE  
AWAY FROM RESIDENCE.

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WINDOW SPECS TO BE CONFIRMED BY OWNER/  
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PROPER VENTING AND EGRESS.

## RADON GAS VENTING



## MAIN FLOOR

AREA: 1,074 SQ. FT.  
INSIDE OF WALLS: 999 SQ. FT.  
GARAGE: 642 SQ. FT.





# SCHEDULE

A

This forms part of application

# Z18-0036

Planner  
Initials

JR



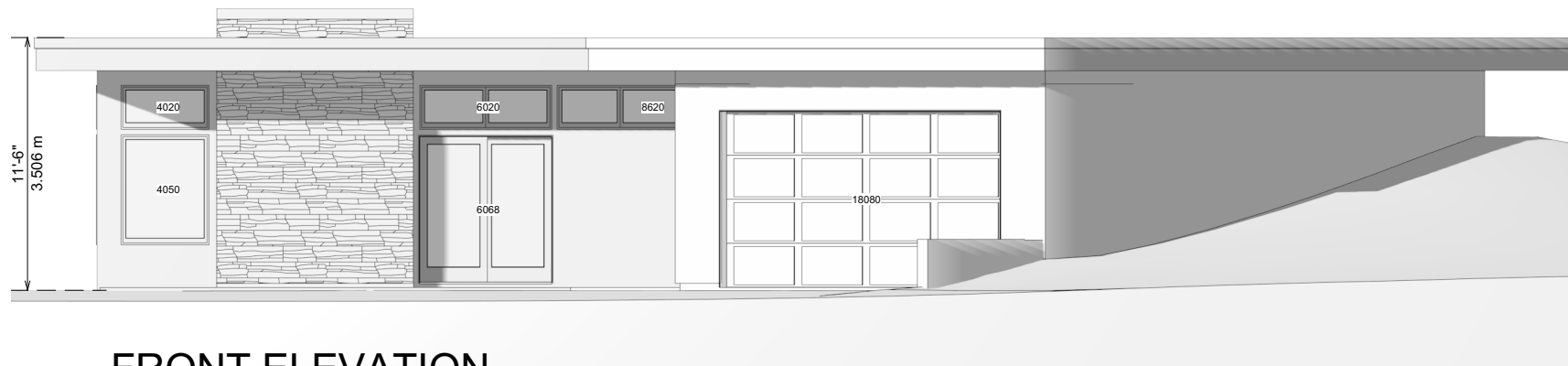
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PROPOSED PROJECT FOR  
THERRIEN  
5165 LAKESHORE RD.



SCALE: 1/4" = 1'  
DATE : APR-04-2018

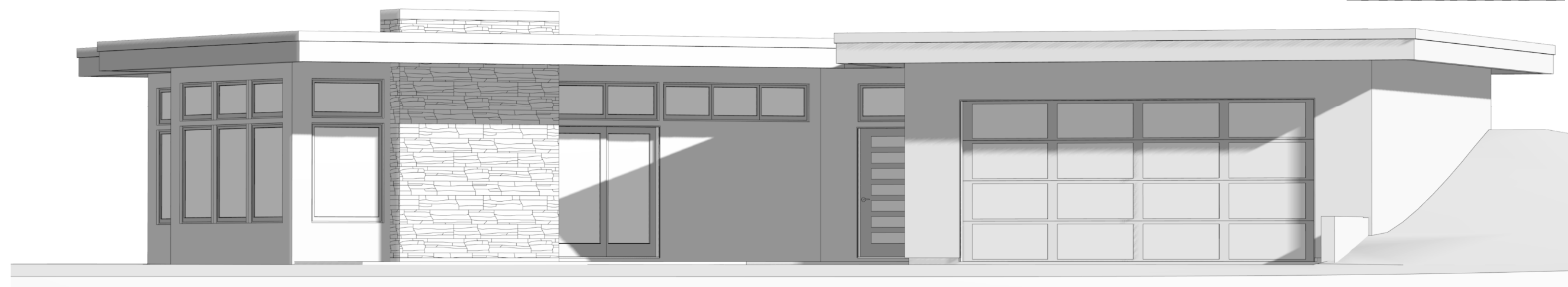
SHEET NUMBER  
5/6



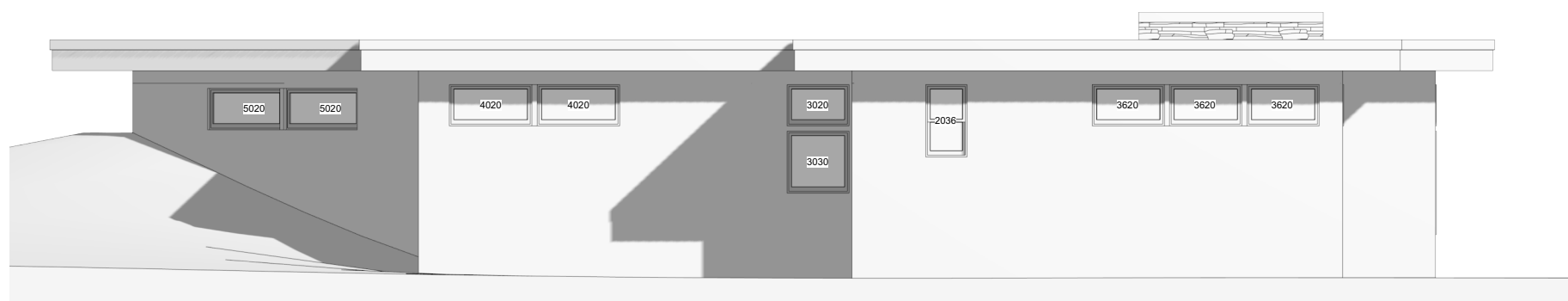
**FRONT ELEVATION**



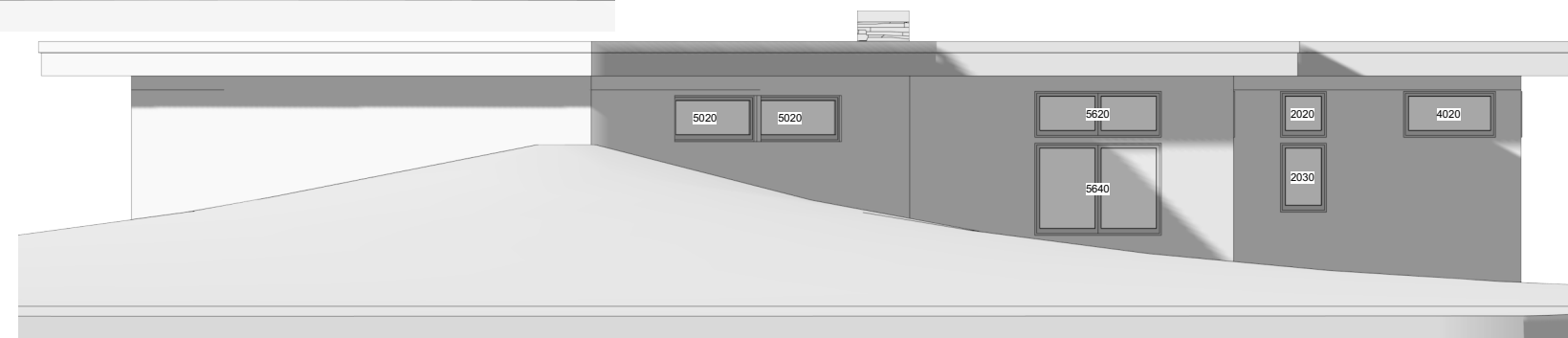
**LEFT ELEVATION**



**FRONT PERSPECTIVE**



**REAR ELEVATION**



**RIGHT ELEVATION**

**SCHEDULE**

**B**

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# Z18-0036

Planner  
Initials

JR

City of  
**Kelowna**  
COMMUNITY PLANNING



SHEET NUMBER

**1/6**

SCALE: 1/4" = 1'

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PROPOSED PROJECT FOR

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**5165 LAKESHORE RD.**

UNIT 203 - 1889 SPALL RD.  
Kelowna BC V1Y 4R2

Bus: (250) 717-3415

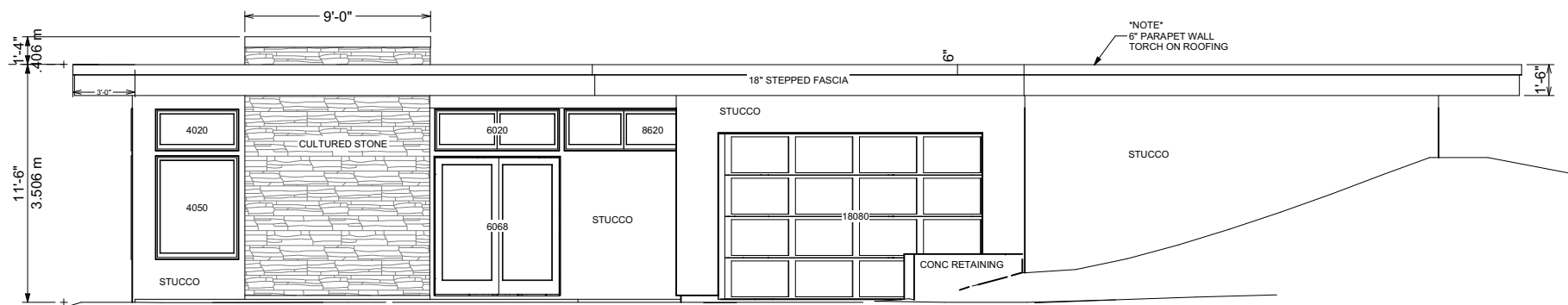
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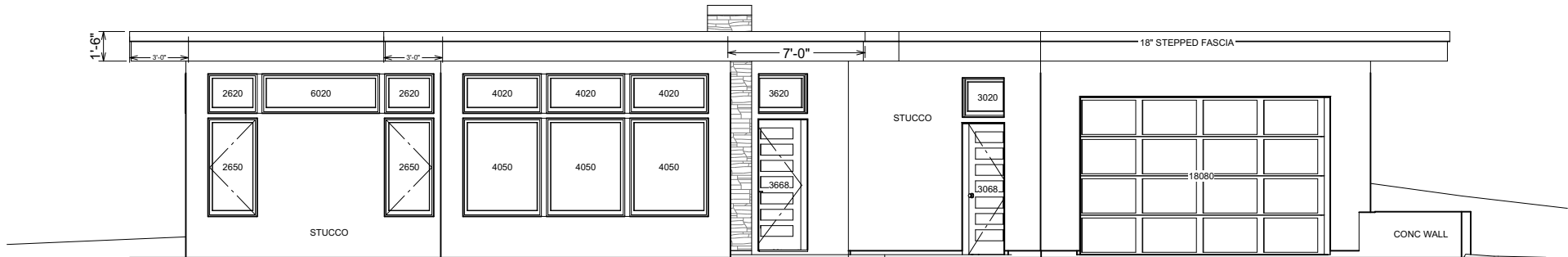
**MULLINS**  
DRAFTING & DESIGN



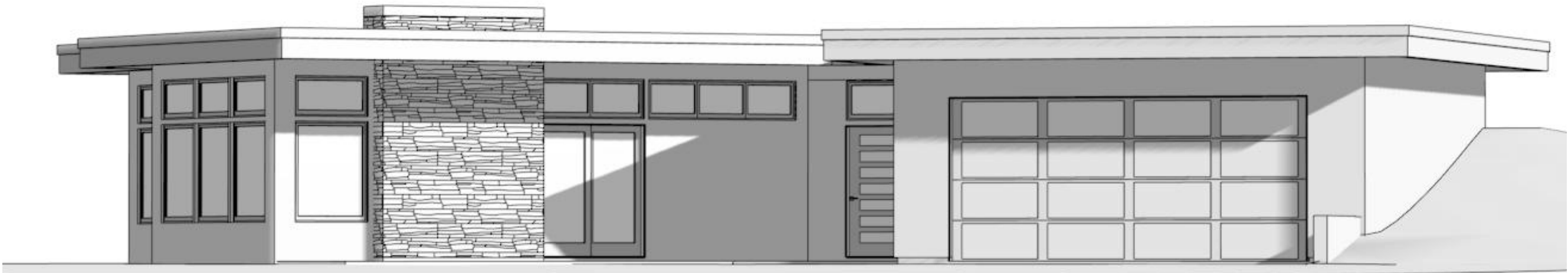




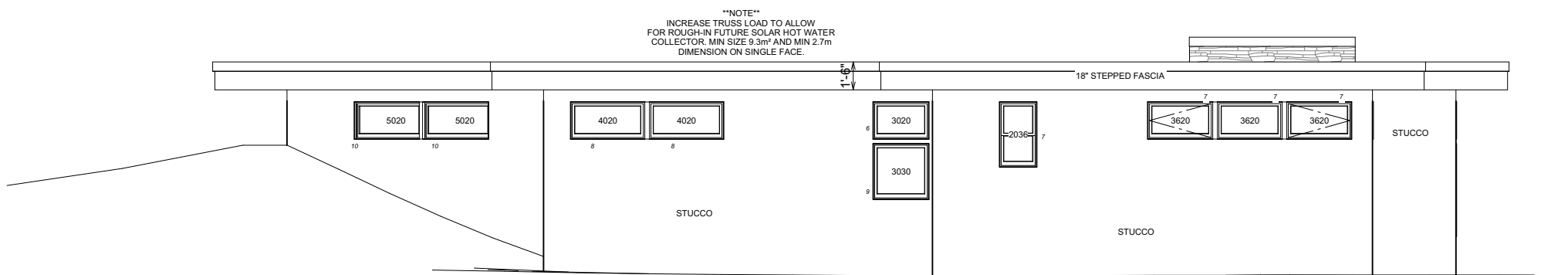
FRONT ELEVATION



LEFT ELEVATION

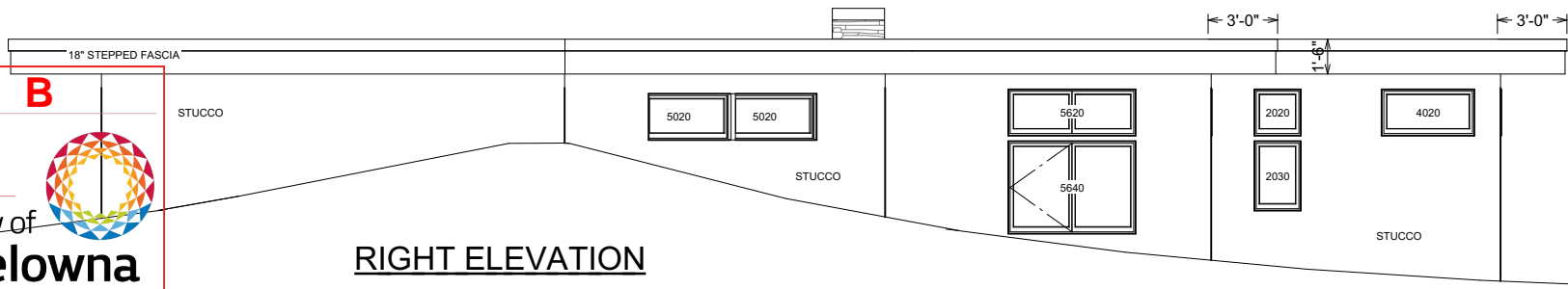


FRONT PERSPECTIVE



REAR ELEVATION

DISTANCE WALL TO PROPERTY: 3.273m  
TOTAL WALL AREA: 576 SQ. FT.  
TOTAL GLASS AREA: 79 SQ. FT.  
TOTAL PERCENTAGE OF GLASS: 13.8 %



RIGHT ELEVATION

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SPECIFICATIONS

ROOF

TORCH ON ROOFING  
7/16" ROOF SHEATHING  
ENGINEERED ROOF TRUSSES  
R-50 INSULATION  
6 MIL UV POLY  
5/8" DRYWALL

SOFFIT & FASCIA

6" PARAPET WALL  
2x8 SUB FASCIA  
18" STEPPED FASCIA  
VENTED SOFFIT

EXT. WALL

STUCCO  
7/16" WALL SHEATHING  
2x6 STUDS 24" o/c  
R-22 BATT INSULATION  
6 MIL UV POLY  
1/2" DRYWALL

INT. WALL

2x4 STUDS 16" o/c  
1/2" DRYWALL BOTH SIDES

FLOOR SYSTEM

3/4" T&G SHEETING  
ENGINEERED I JOIST

DECK CONSTRUCTION

8" CONC. PEIRS  
2X10 JOISTS @16" o/c  
VINYL DECKING  
POSTS & BEAMS AS REQ.

STAIR CONSTRUCTION

PRE MANUFACTURED  
STAIR SYSTEM  
2X6 @ 16" o/c LANDINGS

FOUNDATION

8" CONC. FOUNDATION  
10MM REBAR  
R12 STYROFOAM INSULATION  
8"x16" CONC. FOOTING

CONC. SLAB

4" CONC. SLAB  
6 MIL UV POLY  
6" DRAINAGE ROCK

DRAINAGE TILE

4" DRAIN TILE  
MINIMUM 6" DRAIN ROCK  
DRY SHEETING PAPER

SCHEDULE

This forms part of application  
# Z18-0036

Planner  
Initials JR



SHEET NUMBER

1/5

SCALE: 1/4" = 1'

DATE : JUN-14-2018



PROPOSED PROJECT FOR

THERRIEN  
5165 LAKESHORE RD.

UNIT 203 - 1889 SPALL RD.

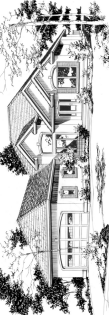
Kelowna BC V1Y 4R2

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MULLINS  
DRAFTING & DESIGN



## SCHEDULE

B

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Planner  
Initials JR



## 9.36.2.6

## THERMAL CHARACTERISTICS OF ABOVE GROUND OPAQUE ASSEMBLIES

## EFFECTIVE RSI-VALUES (WITH HRV)

CLIMATE ZONE (HEATING DEGREE  
DAYS DEGREES CELSIUS)

## ASSEMBLY

	(4)	(5)	(6)	(7)A	(7)B
CEILINGS	6.91 (39.23)	6.91 (39.23)	8.67 (49.2)	8.67 (49.2)	10.43 (59.2)
CATHEDRAL CEILINGS	4.67 (26.5)	4.67 (26.5)	4.67 (26.5)	5.02 (28.5)	5.02 (28.5)
WALLS (2x6 @ 16")	2.78 (15.75)	2.97 (16.86)	2.97 (16.86)	2.97 (16.86)	3.08 (17.48)
FLOORS OVER UNHEATED SPACE	4.67 (26.5)	4.67 (26.5)	4.67 (26.5)	5.02 (28.5)	5.02 (28.5)

## \*NOTE\*

## MINIMUM REQUIREMENTS.

## WALL ASSEMBLY

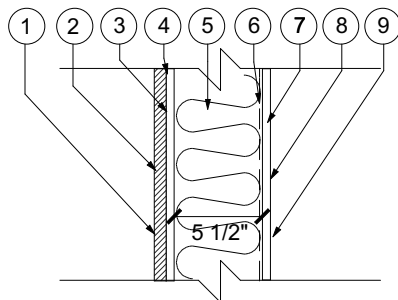
W5

## WALL ASSEMBLY

W3

## STUCCO CLADDING

COMPONENTS	RSI	R
1. EXTERIOR AIR FILM	0.03	0.17
2. STUCCO CLADDING (15mm)	0.135	0.08
3. ASPHALT IMPREGNATED PAPER	0.00	0.00
4. 7/16" (11.1 mm) OSB SHEATHING	0.11	0.62
5. 2x6 FRAMING FILLED WITH R22 BATT @ 24" O/C	2.67	15.16
6. POLYETHYLENE	0.00	0.00
7. 1/2" (12.7mm) GYPSUM BOARD	0.08	0.45
8. FINISH: 1 COAT LATEX PRIMER AND LATEX PAINT	0.00	0.00
9. INTERIOR AIR FILM	0.12	0.68



ENERGY EFFICIENCY REQUIREMENTS AS PER BCBC 9.36

TO MEET THE MINIMUM (EFFECTIVE) RSI VALUE FOR THE WALL ASSEMBLY OF 2.97 OR R-VALUE OF 16.86 AN HRV MUST BE INCORPORATED INTO THIS DESIGN.

EFFECTIVE RSI / R VALUE OF  
ENTIRE ASSEMBLY

3.0235 17.16

## WALL ASSEMBLY

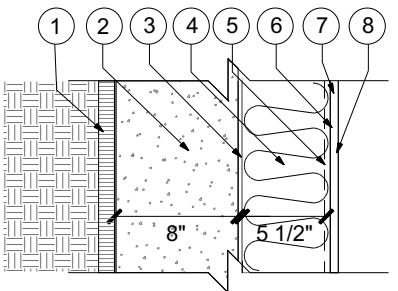
W1

## WALL ASSEMBLY

W2

BELOW GRADE  
(GARAGE TO HOUSE)

COMPONENTS	RSI	R
1. 2" RIGID INSULATION (R-10)	1.76	10.0
2. 8" REINFORCED CONCRETE WALL	0.08	0.45
3. 1/2" AIR GAP	0.16	0.91
4. 2x6 FRAMING FILLED WITH R22 BATT @ 24" O/C	2.67	15.16
5. POLYETHYLENE	0.00	0.00
6. 1/2" (12.7mm) GYPSUM BOARD	0.08	0.45
7. FINISH: 1 COAT LATEX PRIMER AND LATEX PAINT	0.00	0.00
8. INTERIOR AIR FILM	0.12	0.68



ENERGY EFFICIENCY REQUIREMENTS AS PER BCBC 9.36

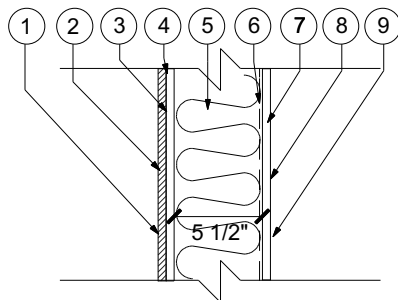
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EFFECTIVE RSI / R VALUE OF  
ENTIRE ASSEMBLY

4.87 27.65

2x6 EXTERIOR  
(GARAGE TO HOUSE)

COMPONENTS	RSI	R
1. EXTERIOR AIR FILM	0.03	0.17
2. 1/2" (12.7mm) GYPSUM BOARD	0.08	0.45
3. ASPHALT IMPREGNATED PAPER	0.00	0.00
4. 7/16" (11.1 mm) OSB SHEATHING	0.11	0.62
5. 2x6 FRAMING FILLED WITH R22 BATT @ 24" O/C	2.67	15.16
6. POLYETHYLENE	0.00	0.00
7. 1/2" (12.7mm) GYPSUM BOARD	0.08	0.45
8. FINISH: 1 COAT LATEX PRIMER AND LATEX PAINT	0.00	0.00
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ENERGY EFFICIENCY REQUIREMENTS AS PER BCBC 9.36

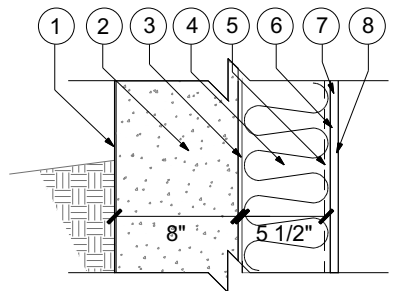
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EFFECTIVE RSI / R VALUE OF  
ENTIRE ASSEMBLY

3.09 17.53

## BELOW GRADE

COMPONENTS	RSI	R
1. DAMP PROOFING	0.03	0.17
2. 8" REINFORCED CONCRETE WALL	0.08	0.45
3. 1/2" AIR GAP	0.16	0.91
4. 2x6 FRAMING FILLED WITH R22 BATT @ 24" O/C	2.67	15.16
5. POLYETHYLENE	0.00	0.00
6. 1/2" (12.7mm) GYPSUM BOARD	0.08	0.45
7. FINISH: 1 COAT LATEX PRIMER AND LATEX PAINT	0.00	0.00
8. INTERIOR AIR FILM	0.12	0.68

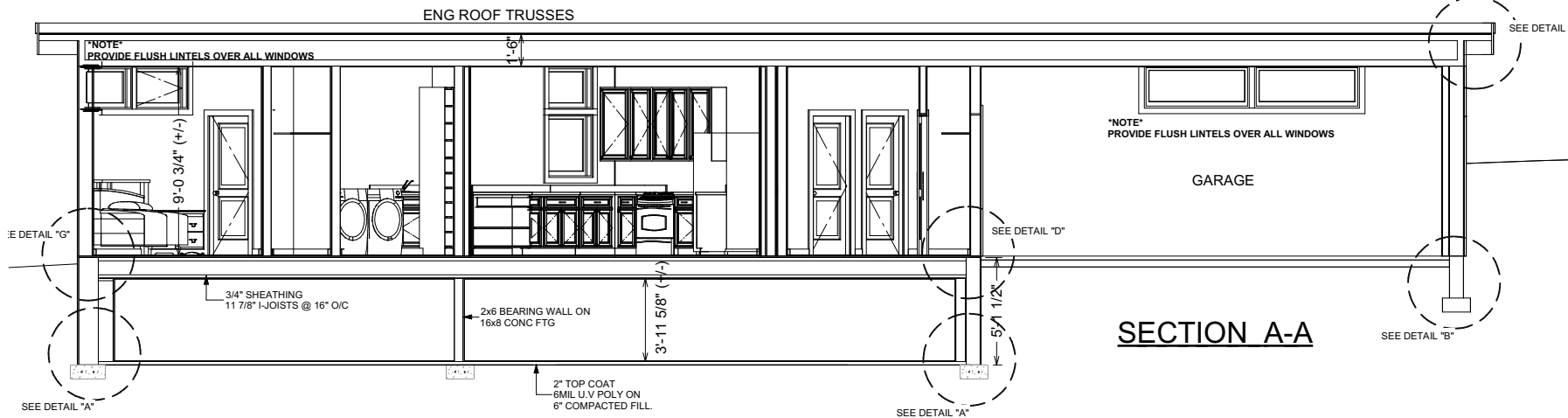


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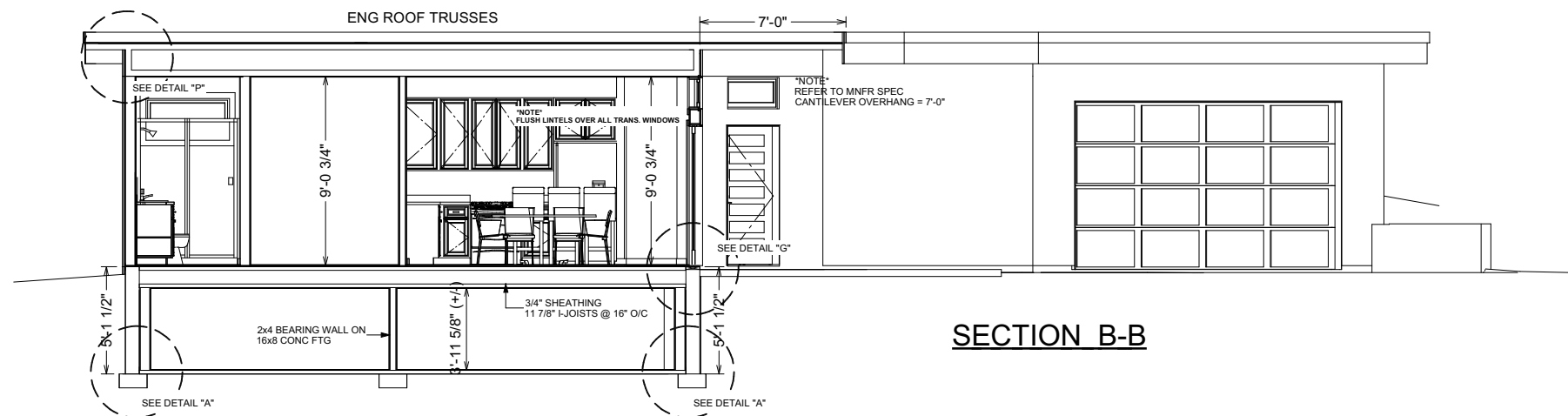
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EFFECTIVE RSI / R VALUE OF  
ENTIRE ASSEMBLY

3.14 17.82



## SECTION A-A



## SECTION B-B

## SPECIFICATIONS

## ROOF

TORCH ON ROOFING  
7/16" ROOF SHEATHING  
ENGINEERED ROOF TRUSSES  
R-50 INSULATION  
6 MIL UV POLY  
5/8" DRYWALL

## SOFFIT &amp; FASCIA

6" PARAPET WALL  
2x8 SUB FASCIA  
18" STEPPED FASCIA  
VENTED SOFFIT

## EXT. WALL

STUCCO  
7/16" WALL SHEATHING  
2x6 STUDS 24" o/c  
R-22 BATT INSULATION  
6 MIL UV POLY  
1/2" DRYWALL

## INT. WALL

2x4 STUDS 16" o/c  
1/2" DRYWALL BOTH SIDES  
FLOOR SYSTEM  
3/4" T&O SHEETING  
ENGINEERED JOIST

## DECK CONSTRUCTION

8" CONC. PEIRS  
2X10 JOISTS @ 16" o/c  
VINYL DECKING  
POSTS & BEAMS AS REQ.

## STAIR CONSTRUCTION

PRE MANUFACTURED  
STAIR SYSTEM  
2X6 @ 16" o/c LANDINGS

## FOUNDATION

8" CONC. FOUNDATION  
10MM REBAR  
R12 STYROFOAM INSULATION  
8"x16" CONC. FOOTING

## CONC. SLAB

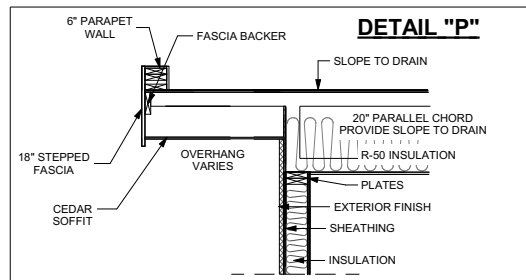
4" CONC. SLAB  
6 MIL UV POLY  
6" DRAINAGE ROCK

## DRAINAGE TILE

4" DRAIN TILE  
MINIMUM 6" DRAIN ROCK  
DRY SHEETING PAPER

## GENERAL NOTES

- ALL WORK SHALL BE IN ACCORDANCE WITH THE CURRENT EDITION OF THE B.C. BUILDING CODE AND ALL LOCAL LAWS AND BYLAWS.
- BEFORE CONSTRUCTION COMMENCES IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CHECK ALL DETAILS AND DIMENSIONS TO CONFIRM ACCURACY AND TO ASSURE THERE ARE NO DISCREPANCIES.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR FOR THE CORRECT SITING OF THE BUILDING TO CONFORM WITH NECESSARY SETBACKS.
- ALTHOUGH EVERY EFFORT HAS BEEN MADE TO PROVIDE COMPLETE AND ACCURATE DRAWINGS WE CANNOT ELIMINATE THE POSSIBILITY OF HUMAN ERROR, THEREFORE MULLINS DRAFTING & DESIGN WILL NOT BE LIABLE FOR ANY ERRORS OR OMISSIONS.



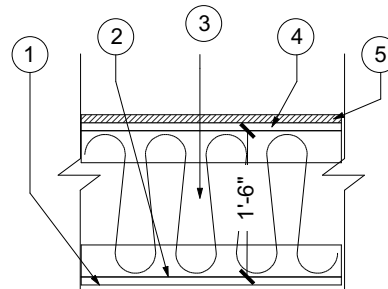
## DETAIL "P"

## ROOF ASSEMBLY

R1

ENG. FLAT ROOF SYSTEM  
(PARALLEL CHORD TRUSS)

COMPONENTS	RSI	R
1. INTERIOR AIR FILM	0.12	0.68
2. 1/2" (12.7mm) GYPSUM BOARD	0.08	0.45
3. ENG. TRUSS SYSTEM WITH R-50 BATT INSULATION	8.81	50.0
4. 7/16" (11.1 mm) OSB SHEATHING	0.11	0.62
5. ROOF FINISH	0.00	0.00



EFFECTIVE RSI / R VALUE OF  
ENTIRE ASSEMBLY

9.12 51.75

## CODES AND STANDARDS

All workmanship is to be of a standard equal in all respects to good building practice.

At the time of preparation, this plan was drawn in accordance with the current edition of the B.C. Building Code. It is the responsibility of the owner/builder to insure that changes made to the code are complied with and all amendments are incorporated in the construction of this plan. All work shall conform to local building codes and bylaws which may take precedence.

Prior to proceeding with construction, the owner/builder must verify all information, dimensions and specifications of this plan. Written dimensions always take precedence over scale measurements.

Any variance from structural drawings and specifications or from conditions encountered at the job site, shall be resolved by the owner/builder and such solutions shall be their sole responsibility.

## CONCRETE &amp; FOOTINGS

All concrete to have a minimum compressive strength of 2,900 PSI (20 MPa) at 28 days.

Concrete footings must be placed on undisturbed or compacted soil to an elevation below frost penetration. Footings shown on these drawings have been designed for soil bearing capacity of 2,500 PSF. If a lesser bearing capacity is encountered, it is the responsibility of the owner/builder to have the footings redesigned by qualified persons to suit existing conditions.

All footings are to have two 1/2" reinforcing bars. The reinforcing bars are to be situated such that one bar is 3" (75 mm) clear of the side and bottom of the footing on both sides of the footing.

Grades shown on elevations are estimated. Adjust on site as required. Retaining walls other than the foundation walls of the residence are beyond the scope of these drawings unless otherwise noted.

## ABOVE GRADE MASONRY

All above grade masonry is to conform to the BC Building Code.

If brick veneer is to be installed, counter flashing shall be installed up to 8" (200 mm) behind the building felt and below the bottom course with vertical joints raked clean. Weep holes 24" (600 mm) o.c.

## CARPENTRY

Framing lumber shall be number two (2) or better Spruce unless otherwise specified on the plan. All beam and lintel sizes shown on the drawings to be reviewed & confirmed by truss manufacturer and contractor. Any beam or lintel sizes provided by truss/floor manufacturer take precedence.

Joists are to be doubled under parallel partitions.

Joists shall be placed to accommodate plumbing, in the event of a discrepancy please contact floor supplier before any alterations or cuts are made.

Wood in contact with concrete shall be damp proofed with 45 lb. felt or a sill plate gasket and pressure treated with a waterborne preservative or other approved method on exterior walls.

Interior framing to be 4" (100 mm) clear of back and sides of firebox and 2" (50 mm) clear of brick chimneys. Frame exterior walls 1" (25 mm) clear from exterior fireplaces.

Plates are to be anchored to concrete with 1/2" anchor bolts, maximum 6 ft. o.c. or other approved method.

Flush framed wood members shall be anchored with 200 lb. joist hangers unless otherwise specified.

## INSULATION / VENTILATION

Minimum insulation requirements:

Roof/Ceiling - R 50  
Walls - 2 x 6 - R 22  
Garage Ceiling - R 32

Ceiling insulation may be loose fill type or batt type. Wall and floor insulation must be batt type.

Walls and ceilings between residence and attached garage shall be insulated.

Insulation requirements may vary with heating systems and with local conditions.

All roof spaces shall be ventilated with soffit, roof or gable vents or a combination of these, equally distributed between the top of the roof space and soffits.

## MISCELLANEOUS

Caulk over and around all exterior openings using non-hardening caulking compound.

Flash all changes of materials on exterior walls.

Flash over all exterior openings.

All siding or stucco to be a minimum of 8" (200 mm) above finished grade.

All balcony railings to be 36" (910 mm) in height. Maximum spacing between vertical members is 4" (100 mm). Minimum distance between horizontal rails to be 32" (800 mm). Top rail to sustain outward load of 40 lbs. per lineal foot.

Coat and clothes closets shall have at least one rod and shelf with minimum depth of 24" unless otherwise stated. Linen closet shall have 5 adjustable shelves wherever possible. Broom closets shall have one shelf.

SHEET NUMBER

4/5

SCALE: 1/4" = 1'

DATE : JUN-14-2018



PROPOSED PROJECT FOR

THERRIEN

5165 LAKESHORE RD.

UNIT 203 - 1889 SPALL RD.

Kelowna BC V1Y 4R2

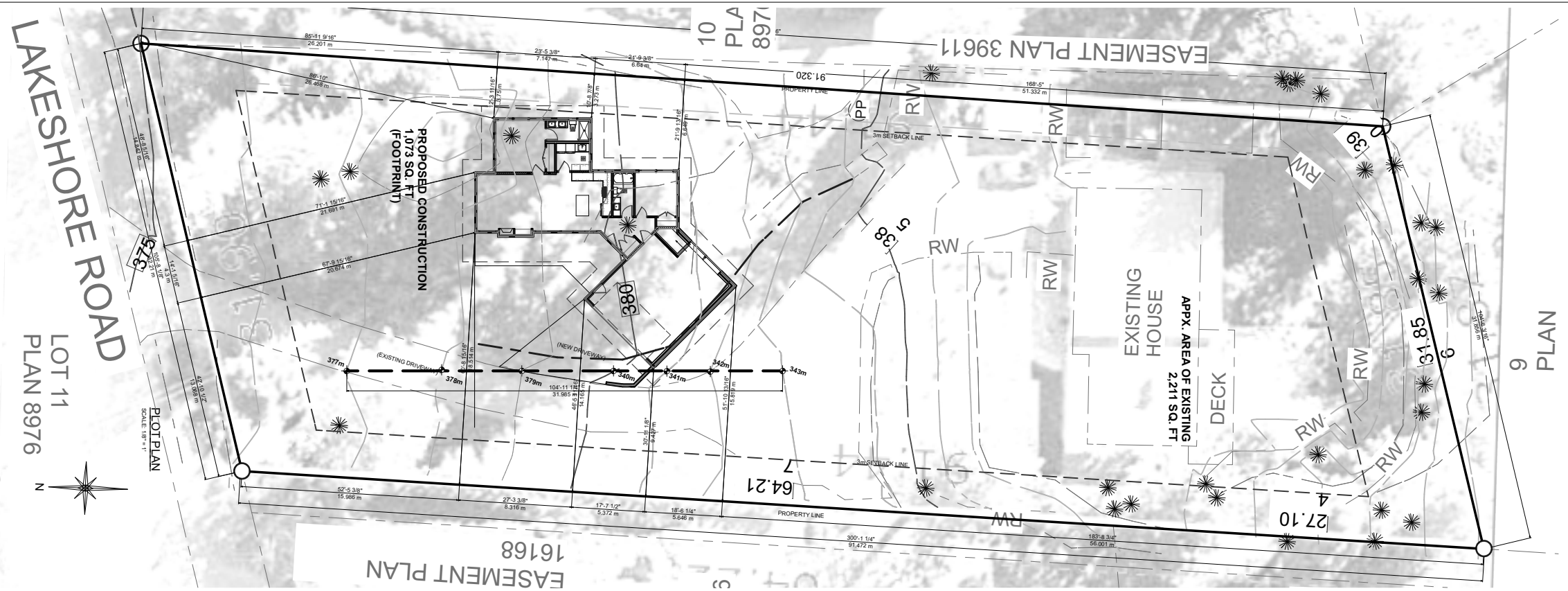
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Cell: (250) 258-7819

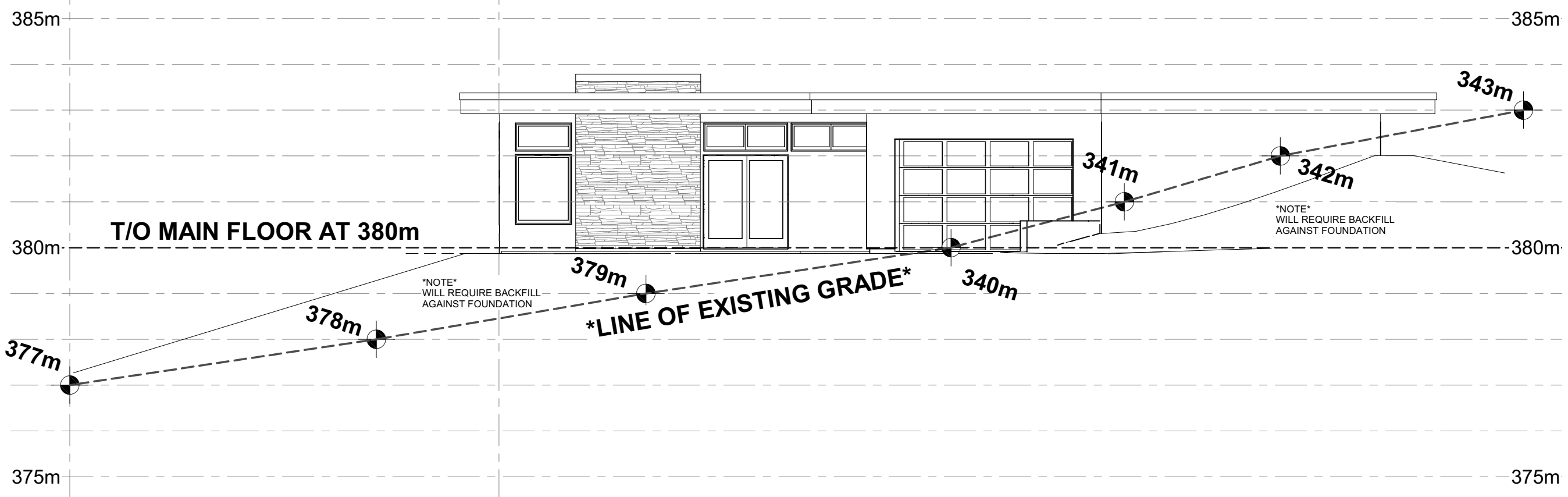
e-mail: mullinsdrafting@shaw.ca

MULLINS  
DRAFTING & DESIGN





LAKE SHORE ROAD  
LOT 11  
PLAN 8976



SCHEDULE

B

This forms part of application  
# Z18-0036

Planner  
Initials

JR

City of  
Kelowna  
COMMUNITY PLANNING

SHEET NUMBER

5/5

SCALE: 1/4" = 1'

DATE : JUN-14-2018

PROPOSED PROJECT FOR  
THERRIEN  
5165 LAKESHORE RD.

MULLINS  
DRAFTING & DESIGN

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