

Development Permit DP18-0117 & DVP18-0118



This permit relates to land in the City of Kelowna municipally known as

1975 Union Road

and legally known as

Lot 27 Section 4 Township 23 ODYD Plan KAP51847

The development has been approved subject to any attached terms and conditions, and to full compliance with the approved plans bearing the stamp of approval and the above described development permit number.

The present owner and any subsequent owner of the above described land must comply with any attached terms and conditions.

Date of Decision: July 17, 2018

Decision By: CITY COUNCIL

Issued Date: Tbd

Development Permit Area: Comprehensive Development Permit Area

File Manager: Alec Warrender

This permit will not be valid if development has not commenced by July 17, 2020.

Existing Zone: C5 – Transition Commercial

Future Land Use Designation: Commercial

This is NOT a Building Permit.

In addition to your Development Permit, a Building Permit may be required prior to any work commencing. For further information, contact the City of Kelowna, Development Services Branch.

NOTICE

This permit does not relieve the owner or the owner's authorized agent from full compliance with the requirements of any federal, provincial or other municipal legislation, or the terms and conditions of any easement, covenant, building scheme or agreement affecting the building or land.

Owner's Agent: Paul Shuster Novation Design Studio

Address: 302 – 2237 Leckie Road

City: Kelowna, BC

Phone: 250-718-1302

Ryan Smith, Community Planning Department Manager
Community Planning & Strategic Investments

Date

1. SCOPE OF APPROVAL

This Development Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.

This Development Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this permit, noted in the Terms and Conditions below.

The issuance of a permit limits the permit holder to be in strict compliance with regulations of the Zoning Bylaw and all other Bylaws unless specific variances have been authorized by the Development Permit. No implied variances from bylaw provisions shall be granted by virtue of drawing notations that are inconsistent with bylaw provisions and that may not have been identified as required Variances by the applicant or Municipal staff.

2. CONDITIONS OF APPROVAL

- a) The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A";
- b) The exterior design and finish of the building to be constructed on the land be in accordance with Schedule "B";
- c) Landscaping to be provided on the land be in accordance with Schedule "C"; and
- d) Development Variance to the following Zoning Bylaw No. 8000 regulation:

Section 14.5.5 (d) Development Regulations – Height

To vary the height of the building from 2 ½ storeys permitted to 3 storeys proposed.

This Development Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

3. PERFORMANCE SECURITY

As a condition of the issuance of this Permit, Council is holding the security set out below to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Developer and be paid to the Developer or his or her designate if the security is returned. The condition of the posting of the security is that should the Developer fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the Municipality may use enter into an agreement with the property owner of the day to have the work carried out, and any surplus shall be paid over to the property own of the day. Should the Developer carry out the development permitted by this Permit within the time set out above, the security shall be returned to the Developer or his or her designate. There is filed accordingly:

- a) A Certified Cheque in the amount of tbd.

Before any bond or security required under this Permit is reduced or released, the Developer will provide the City with a statutory declaration certifying that all labour, material, workers' compensation and other taxes and costs have been paid.

4. Indemnification

Upon commencement of the works authorized by this Permit the Developer covenants and agrees to save harmless and effectually indemnify the Municipality against:

- a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality said Permit.

All costs, expenses, claims that may be incurred by the Municipality where the construction, engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

**The PERMIT HOLDER is the CURRENT LAND OWNER.
Security shall ONLY be returned to the signatory of the
Landscape Agreement or their designates.**



Architectural Drawing List	
no.	name
A0.00	PROJECT INFORMATION AND DRAWINGS INDEX
A1.01	SITE PLAN
A2.01	MAIN FLOOR PLAN
A2.02	UPPER FLOOR PLAN
A2.03	THIRD FLOOR PLAN
A2.04	ROOF PLAN
A2.07	UNIT PLANS
A3.01	EXTERIOR ELEVATIONS
A3.02	EXTERIOR ELEVATIONS
A3.03	EXTERIOR ELEVATIONS
A3.04	EXTERIOR ELEVATIONS

Address: 1975 Union Road, Kelowna, B.C.
Legal: PID: 018-677-878 Lot 27 KAP 51848

Zoning (Current) : C5
Permitted Use: Refer to Zoning bylaw #8000
Zoning: (Proposed) C5
Permitted Use: Refer to Zoning bylaw #8000 section 14.5

Site Area:	2,345.3	sq.m.
	25,245	sq.ft.
	0.2345	Ha

	ALLOWED		PROPOSED	
Min Lot Width	40.0	m	58.7	m
Min Lot Depth	35.0	m	65.7	m
Min Parcel Size	1300.0	m2	2339	m2

	ALLOWED		PROPOSED	
Front yard	4.5	m	19.2	m
Front yard parking	2.0	m	2.0	m
Front yard/Flanking	4.5	m	4.5	m
Side yard	2.3	m	2.4	m
Rear Yard (South)	6.0	m	7.5	m

LANDSCAPE BUFFER			Continu
Level	3.0	m	
2	9.81	ft	
Level	3.0	m	
3	9.84	ft	
Level	3.0	m	
3	9.84	ft	

Parcel Coverage Maximum 40%
(Building Footprint)

Maximum # of dwelling units

Floor Area Ratio Commercial Area: .4 max

Residential Area: .2 max

Combined Area: .6 max

Height Principal buildings
or 2.5 storeys

Private Open Spaace At residential mezzanine level

Parking Commercial: 2.0 stalls/100 m2
Gross Area: 921 sq.m. [9,913 sq.ft.]
Residential: 2 stalls / unit
5 units - 3 bedrooms

Regular Size (6m x 2.5m) 50% 15 stalls min.
Medium (4.8m x 2.3m) 40% 12 stalls max.
Compact (3.4m x 2m) 10% 3 stalls

SCHEDULE A

This forms part of application
DP18-0117 & DVP18-0118

Planner Initials

AW



ALLOWED/REQUIRED		PROPOSED	
1,407	sq.m.	745	sq.m.
10,098	sq.ft.	8,013	sq.ft.
1 unit		N/A	

938	sq.m.	814	sq.m.
10,098	sq.ft.	8,765	sq.ft.

5,049	sq.ft.	5,045	sq.ft.
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15,147	sq.ft.	13,810	sq.ft.
TOTAL		13,810	sq.ft.

9.5	m	9.5	m
31.2	ft	31.2	ft

6	sq.m.	21	sq.m.
65	sq.ft.	230	sq.ft.

Required	18.4	spaces
	10.0	spaces
Total Required	28	spaces

Regular	15	spaces
Medium	12	spaces
Compact	7	spaces
Total Provided	34	spaces
Visitor	0	spaces
Loading 1/1900 m2 GFA		spaces

Notes:

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2 20180525 RE-ISSUED FOR DP
1 2018002 ISSUED FOR DP

no. date description

Revisions



101 - 1865 DILWORTH DR. SUITE 520
KELOWNA B.C. V1Y 9T1



project title

Union Road

1975 Union Road Kelowna British Columbia

project no. 1975

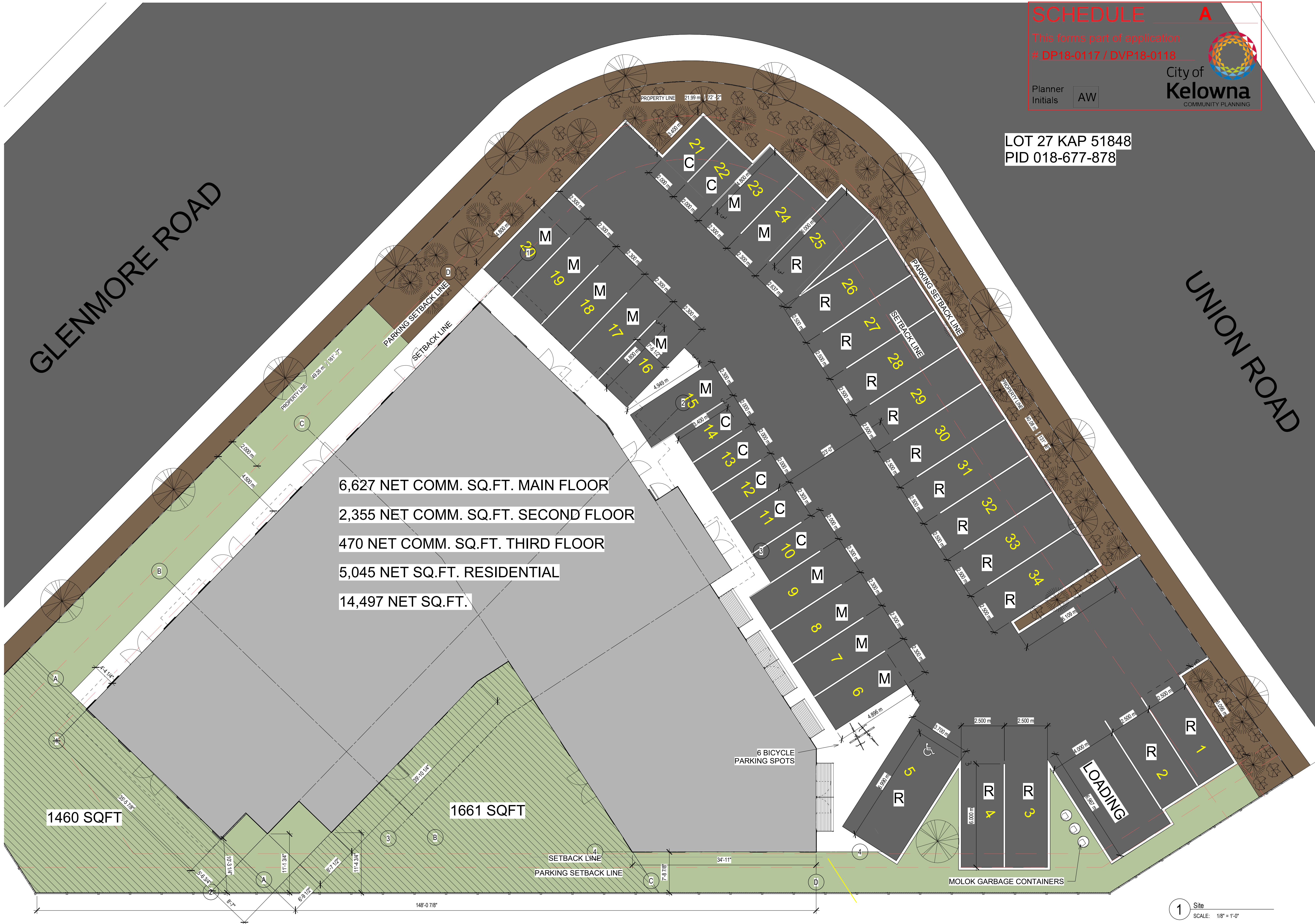
drawing title
PROJECT INFORMATION
AND DRAWINGS INDEX

designed	PS	scale
drawn	BD	
checked		

drawing no.

A0.00

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SCHEDULE A

This forms part of application
DP18-0117 / DVP18-0118

Planner
Initials AW



LOT 27 KAP 51848
PID 018-677-878

6,627 NET COMM. SQ.FT. MAIN FLOOR
2,355 NET COMM. SQ.FT. SECOND FLOOR
470 NET COMM. SQ.FT. THIRD FLOOR
5,045 NET SQ.FT. RESIDENTIAL
14,497 NET SQ.FT.

1460 SQFT

1661 SQFT

6 BICYCLE
PARKING SPOTS

MOLOK GARBAGE CONTAINERS

LOADING

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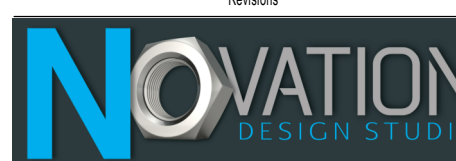
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1	20180502	ISSUED FOR DP
no.	date	description



101 - 1865 DILWORTH DR, SUITE 520
KELOWNA BC V1Y 9T1

PM
**PATRICK McCUSKER
ARCHITECTURE INC.**
AAA MAIBC MRAIC
3430 BENOULIN ROAD
KELOWNA BC V1W 4M5
~ Phone: 778-484-0223 ~
pat@pmccarch.com

project title
Union Road

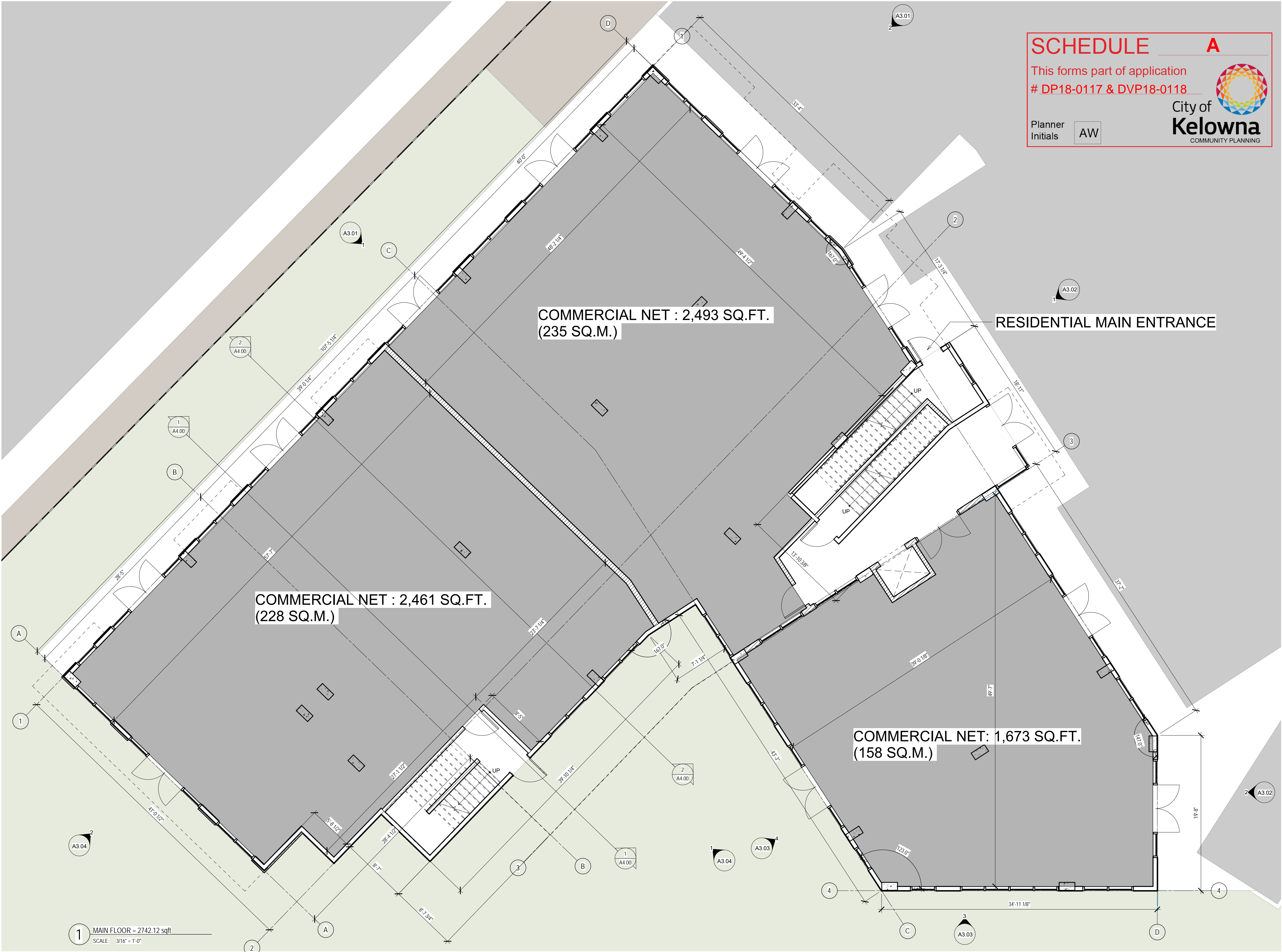
1975 Union Road Kelowna British Columbia
project no. 1975

drawing title
SITE PLAN

designed	PS	scale	1/8" = 1'-0"
drawn	BW		
checked			
drawing no.			

A1.01

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101-1865 DILWORTH DR. SUITE 520
KELOWNA BC V1Y 9T1

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- Phone: 778-484-0223 -
patepmccarch.com

project title
Union Road

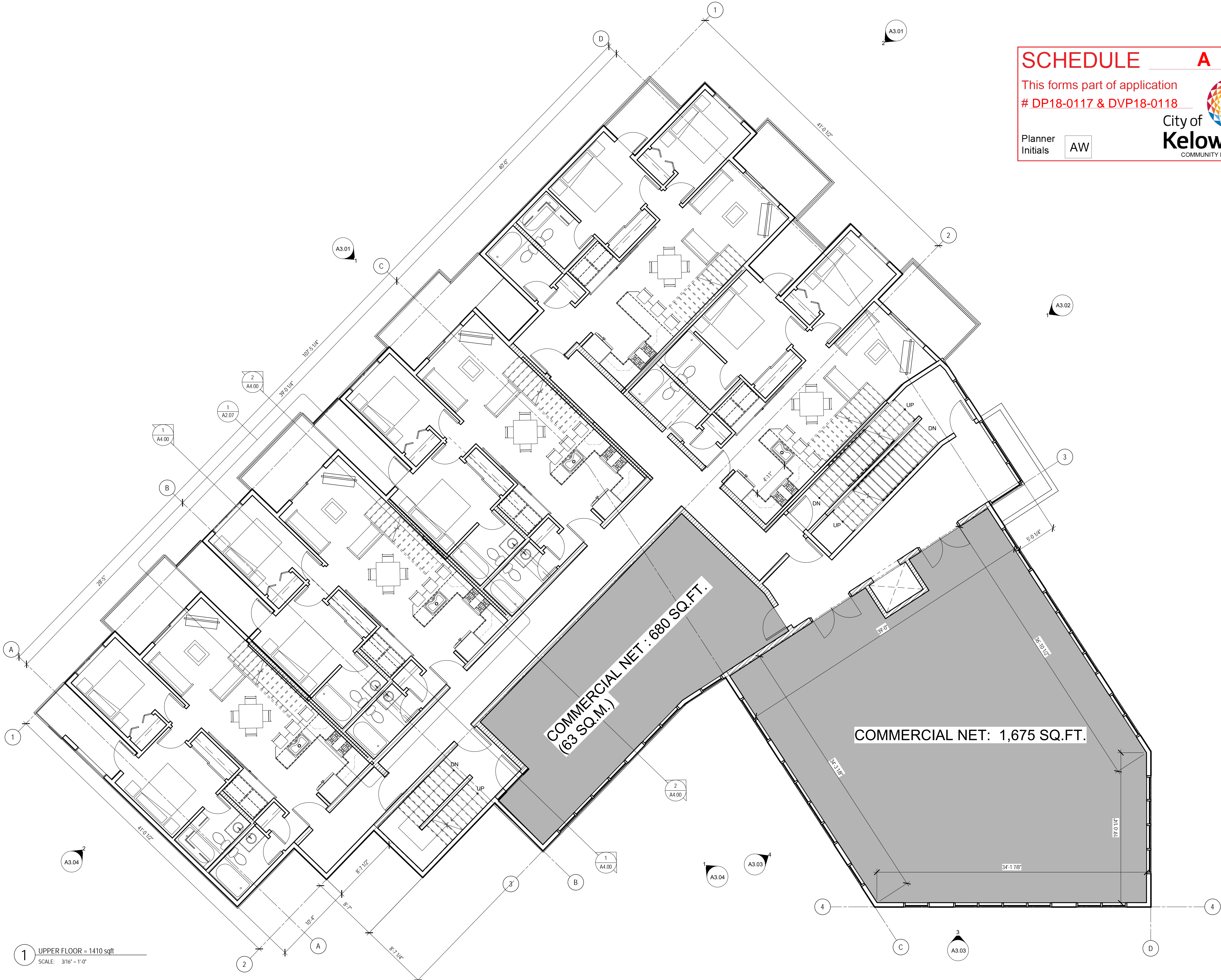
1975 Union Road Kelowna British Columbia
project no. 1975

drawing title
MAIN FLOOR PLAN

designed	PS	scale	3/16" = 1'-0"
drawn	BW		
checked			
drawing no.			

A2.01

plotted 2018-05-25 10:17:28 AM



SCHEDULE A

This forms part of application
DP18-0117 & DVP18-0118

Planner
Initials

AW

City of
Kelowna
COMMUNITY PLANNING



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101-1865 DILWORTH DR. SUITE 520
KELOWNA BC V1Y 9T1

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PATRICK McCUSKER
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3430 BENOULIN ROAD
KELOWNA BC V1W 4M5
- Phone: 778-484-0223 -
pat@pmccarch.com

project title
Union Road

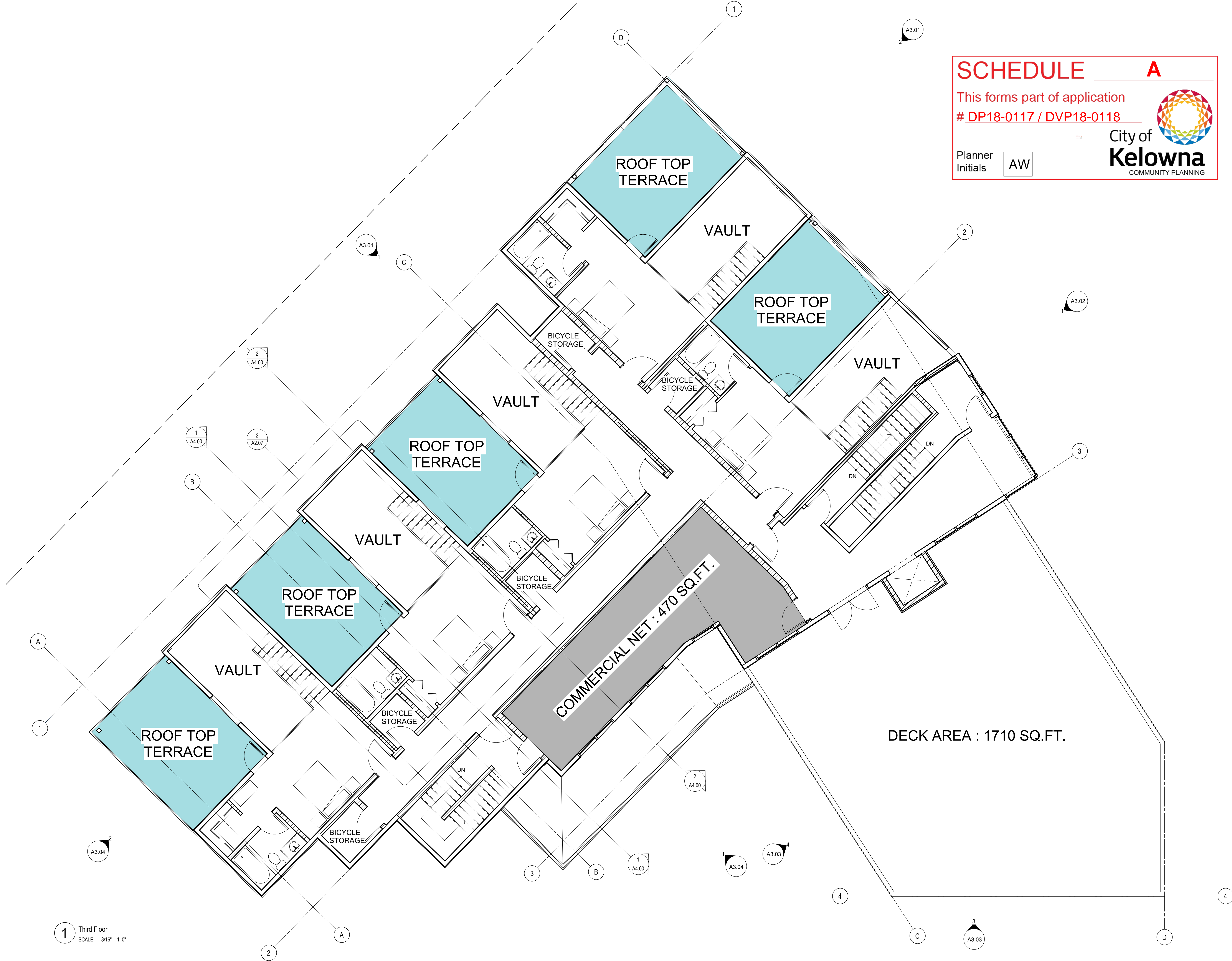
1975 Union Road Kelowna British Columbia
project no. 1975

drawing title
UPPER FLOOR PLAN

designed	PS	scale	3/16" = 1'-0"
drawn	BW		
checked			
drawing no.			

A2.02

plotted 2018-05-25 10:20:27 AM



1 Third Floor
SCALE: 3/16" = 1'-0"

SCHEDULE

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City of Kelowna

COMMUNITY PLANNING

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no.	date	description

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KELOWNA BC V1Y 9T1

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AAA MAIBC MRAIC
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project title
Union Road

1975 Union Road Kelowna British Columbia

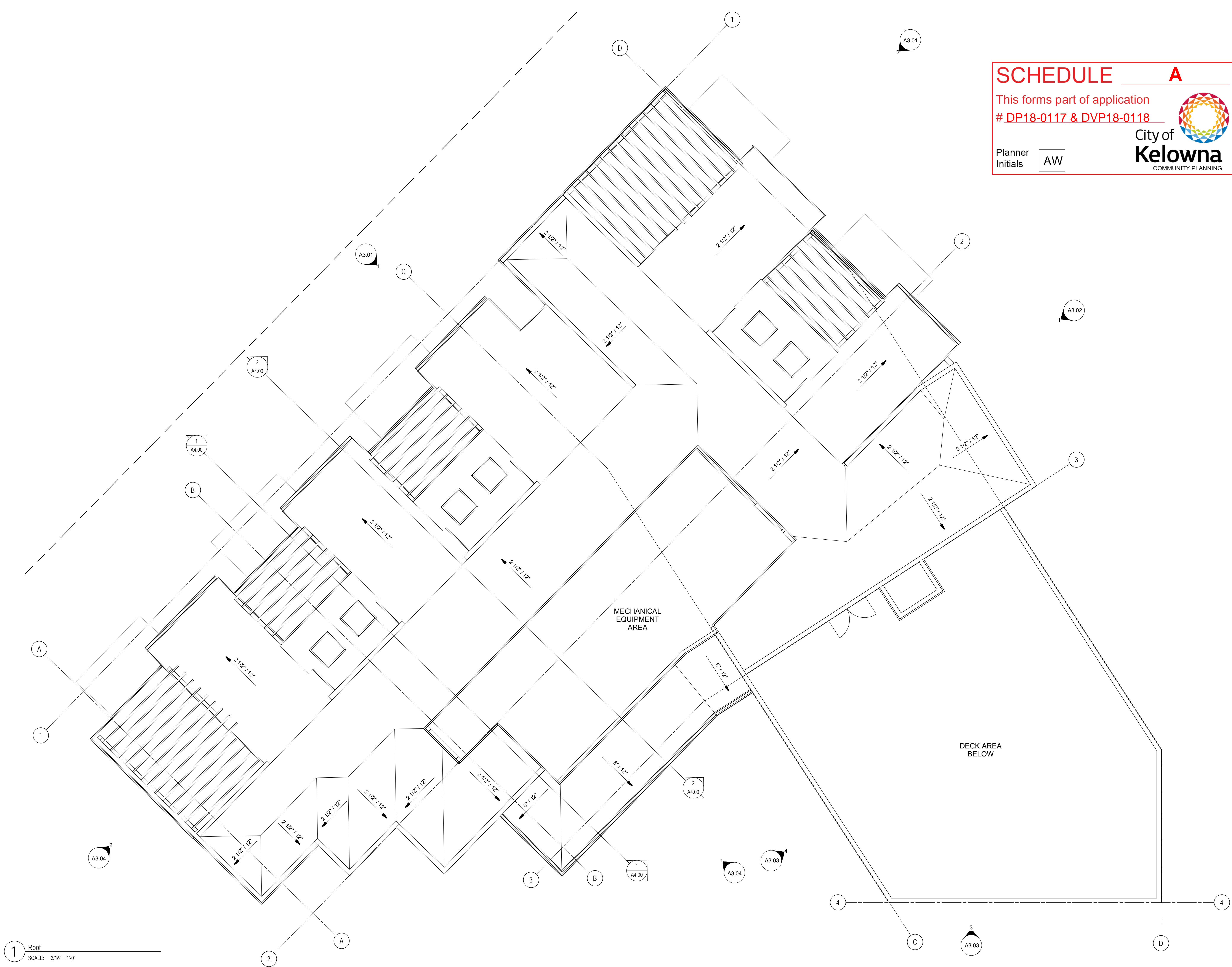
project no. 1975

drawing title
THIRD FLOOR PLAN

designed	PS	scale	3/16" = 1'-0"
drawn	BW		
checked	Checker		
drawing no.			

A2.03

plotted 2018-06-15 10:47:21 AM



SCHEDULE

A

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20180502

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no.

date

description

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101 - 1865 DILWORTH DR. SUITE 520

KELOWNA BC V1Y 9T1

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project title

Union Road

1975 Union Road Kelowna British Columbia

project no. 1975

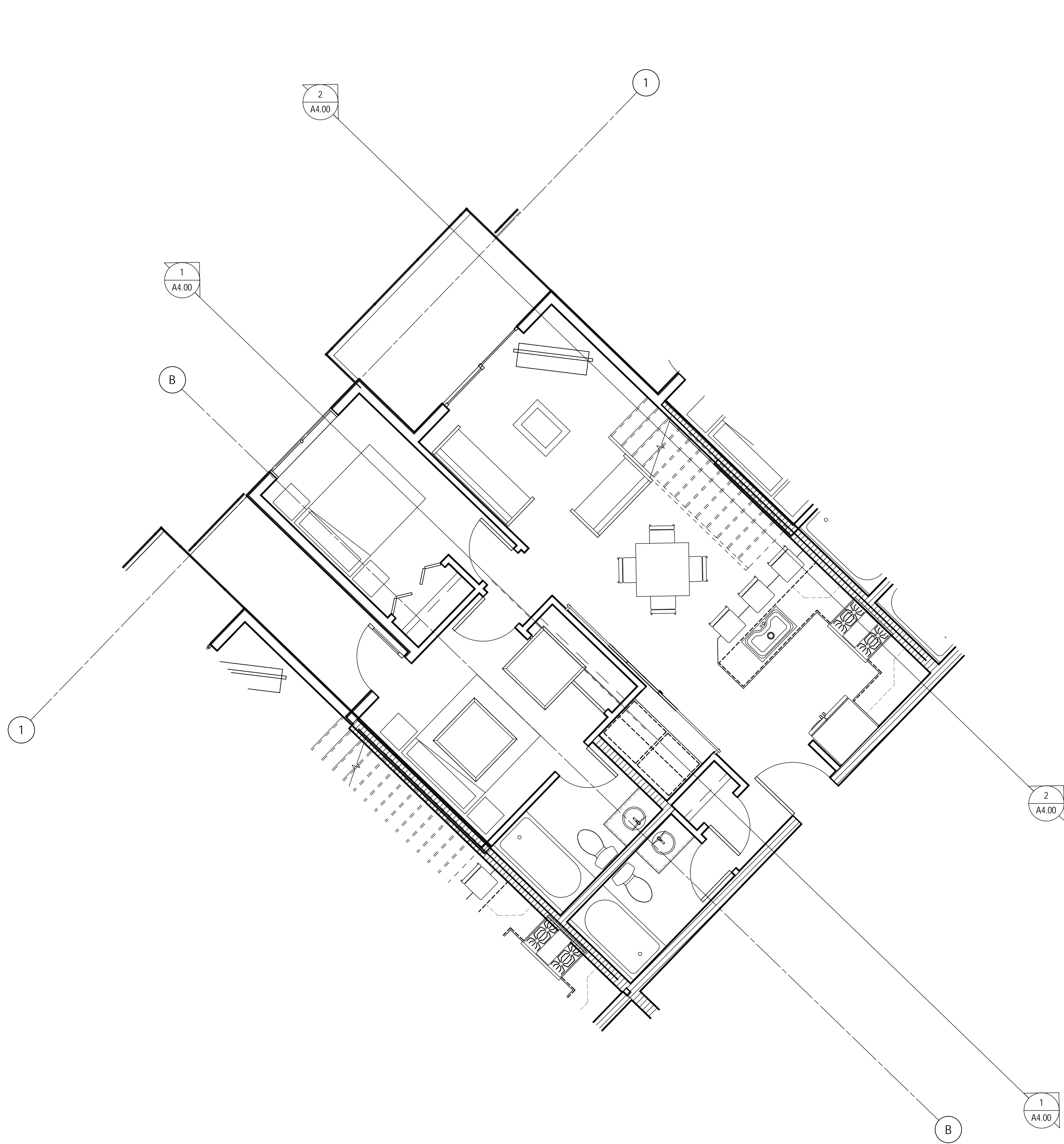
drawing title

ROOF PLAN

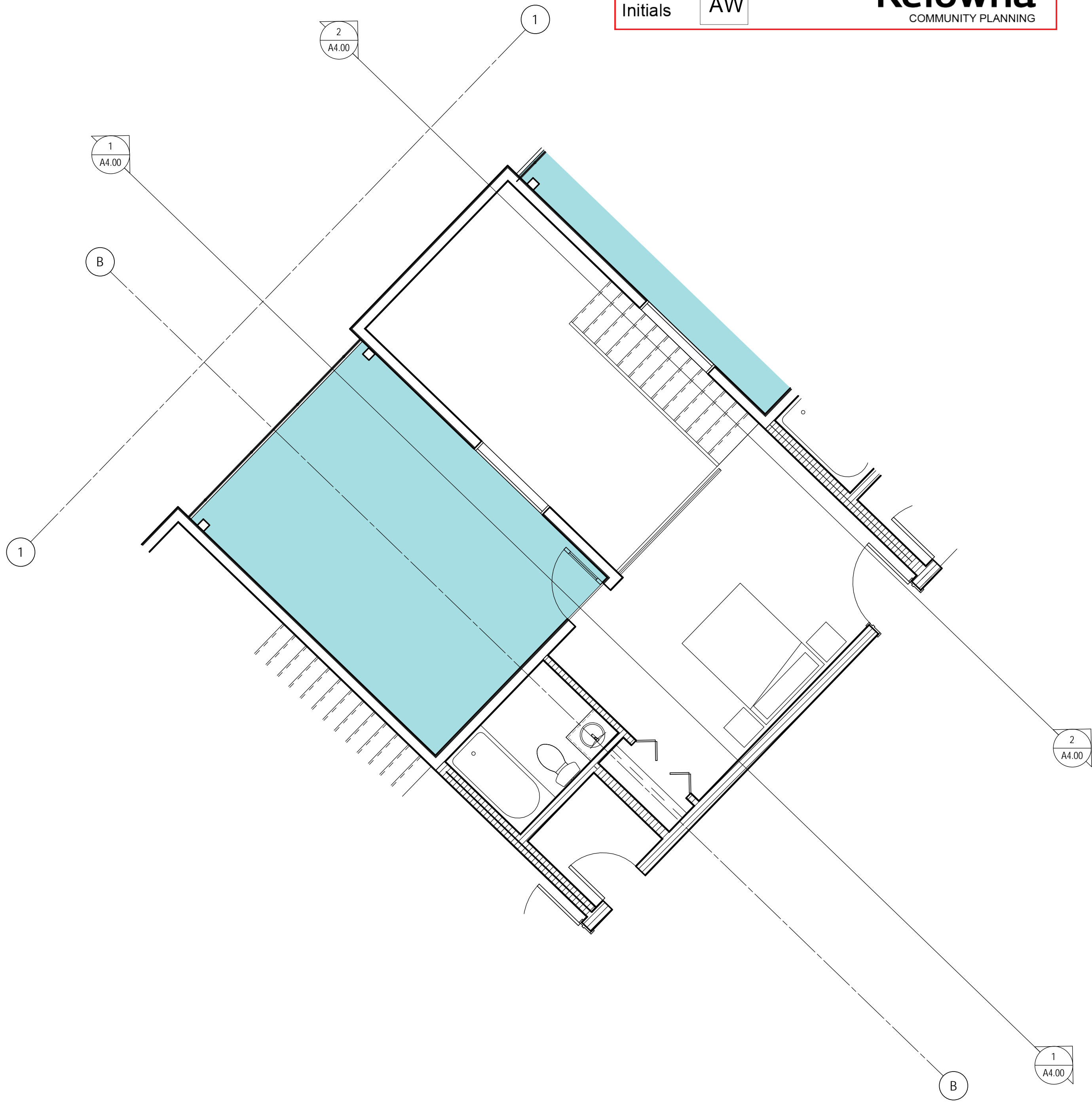
designed	PS	scale	3/16" = 1'-0"
drawn	BW		
checked	Checker		
drawing no.			

A2.04

plotted 2018-05-25 10:20:47 AM



1 Upper Floor - Unit Plan Callout
SCALE: 1/4" = 1'-0"



2 Mezzanine Level - Unit Plan Callout
SCALE: 1/4" = 1'-0"

SCHEDULE

A

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1 20180502 ISSUED FOR DP

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KELOWNA BC V1Y 9T1

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- Phone: 778-484-0223 -
pat@pmccarch.com

project title
Union Road

1975 Union Road Kelowna British Columbia

project no. 1975

drawing title
UNIT PLANS

designed	PS	scale	1/4" = 1'-0"
drawn	BW		
checked	Checker		
drawing no.			

A2.07

plotted 2018-05-25 10:20:50 AM



1 Elevation 1
SCALE: 3/16" = 1'-0"

- 1 - STUCCO - COLOUR 1
- 2 - STUCCO - COLOUR 2
- 3 - CEDAR-LOOK FINISHED SIDING MATERIAL BY SAGIPER
- 4 - BLACK VINYL WINDOW SYSTEM
- 5 - CLEAR GLASS
- 6 - FROSTED GLASS
- 7 - CEDAR-LOOK FINISHED SOFFIT MATERIAL BY SAGIPER
- 8 - STONE FINISH
- 9 - BLACK ALUMINUM WINDOW SYSTEM



2 Elevation 2
SCALE: 3/16" = 1'-0"

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1	20180502	ISSUED FOR DP

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NOVATION
DESIGN STUDIO

101 - 1865 DILWORTH DR. SUITE 520
KELOWNA BC V1Y 9T1

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PATRICK McCUSKER
ARCHITECTURE INC.

AAA MAIBC MRAIC
3 4 3 0 BENVOLIN ROAD
KELOWNA BC V1W 4M5
- Phone: 778-484-0223 -
patepmccarch.com

project title

Union Road

1975 Union Road Kelowna British Columbia

project no. 1975

drawing title
EXTERIOR ELEVATIONS

designed	PS	scale	3/16" = 1'-0"
drawn	BW		
checked	Checker		
drawing no.			

A3.01

plotted 2018-05-25 10:21:57 AM



1 Elevation 3
SCALE: 3/16" = 1'-0"

- 1 - STUCCO - COLOUR 1
- 2 - STUCCO - COLOUR 2
- 3 - CEDAR-LOOK FINISHED SIDING MATERIAL BY SAGIPER
- 4 - BLACK VINYL WINDOW SYSTEM
- 5 - CLEAR GLASS
- 6 - FROSTED GLASS
- 7 - CEDAR-LOOK FINISHED SOFFIT MATERIAL BY SAGIPER
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- 9 - BLACK ALUMINUM WINDOW SYSTEM

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SCHEDULE B

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DP18-0117 & DP18-0118

Planner
Initials
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1	20180502	ISSUED FOR DP



101 - 1865 DILWORTH DR. SUITE 520
KELOWNA BC V1Y 9T1

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ARCHITECTURE INC.**
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project title

Union Road

1975 Union Road Kelowna British Columbia

project no. 1975

drawing title
EXTERIOR ELEVATIONS

designed	PS	scale	3/16" = 1'-0"
drawn	BW		
checked	PK		

drawing no.

A3.02

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2 Elevation 4
SCALE: 3/16" = 1'-0"



3 Elevation 5
SCALE: 3/16" = 1'-0"

- 1 - STUCCO - COLOUR 1
- 2 - STUCCO - COLOUR 2
- 3 - CEDAR-LOOK FINISHED SIDING MATERIAL BY SAGIPER
- 4 - BLACK VINYL WINDOW SYSTEM
- 5 - CLEAR GLASS
- 6 - FROSTED GLASS
- 7 - CEDAR-LOOK FINISHED SOFFIT MATERIAL BY SAGIPER
- 8 - STONE FINISH
- 9 - BLACK ALUMINUM WINDOW SYSTEM



4 Elevation 6
SCALE: 3/16" = 1'-0"

SCHEDULE B

This forms part of application
DP18-0117 & DP18-0118

Planner
Initials AW



Notes:

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All work shall be carried out in accordance with Canadian standards, specifications, B.C. Building Code (Current Edition) and local authority by-laws and regulations.
Tabulated scales refer to Arch D size drawings sheet.
This drawing must not be scaled.
Contractors shall verify all dimensions prior to commencement of work.
Any omissions or discrepancies shall be reported to the architect.

Seal

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NOT FOR CONSTRUCTION

2 20180505 RE-ISSUED FOR DP
1 20180502 ISSUED FOR DP

no.	date	description
Revisions		

NOVATION
DESIGN STUDIO

101-1865 DILWORTH DR. SUITE 520
KELOWNA BC V1Y 9T1

PM

PATRICK McCUSKER
ARCHITECTURE INC.

AAA MAIBC MRAIC
3430 BENOULIN ROAD
KELOWNA BC V1W 4M5
- Phone: 778-484-0223 -
pat@pmccarch.com

project title
Union Road

1975 Union Road Kelowna British Columbia

project no. 1975

drawing title
EXTERIOR ELEVATIONS

designed	PS	scale	3/16" = 1'-0"
drawn	BW		
checked	Checker		
drawing no.			

A3.03

plotted 2018-05-25 10:24:24 AM



1 Elevation 7
SCALE: 3/16" = 1'-0"

- 1 - STUCCO - COLOUR 1
- 2 - STUCCO - COLOUR 2
- 3 - CEDAR-LOOK FINISHED SIDING MATERIAL BY SAGIPER
- 4 - BLACK VINYL WINDOW SYSTEM
- 5 - CLEAR GLASS
- 6 - FROSTED GLASS
- 7 - CEDAR-LOOK FINISHED SOFFIT MATERIAL BY SAGIPER
- 8 - STONE FINISH
- 9 - BLACK ALUMINUM WINDOW SYSTEM



2 Elevation 8
SCALE: 3/16" = 1'-0"

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NOT FOR CONSTRUCTION

2 20180505 RE-ISSUED FOR DP
1 20180502 ISSUED FOR DP

no. date description

Revisions

NOVATION
DESIGN STUDIO

101 - 1865 DILWORTH DR. SUITE 520
KELOWNA BC V1Y 9T1

PM 
PATRICK McCUSKER
ARCHITECTURE INC.

AAA MAIBC MRAIC
3 4 3 0 B E N V O U L I N R O A D
K E L O W N A B C V 1 W 4 M 5
- P h o n e : 7 7 8 - 4 8 4 - 0 2 2 3 -
p a t @ p m c c a r c h . c o m

project title

Union Road

1975 Union Road Kelowna British Columbia

project no. 1975

drawing title

EXTERIOR ELEVATIONS

designed	Designer	scale	3/16" = 1'-0"
drawn	Author		
checked	Checker		
drawing no.			

A3.04

plotted 2018-05-25 10:26:26 AM

SCHEDULE

B

This forms part of application
DP18-0117 & DP18-0118

Planner
Initials

AW

City of
Kelowna
COMMUNITY PLANNING



SCHEDULE

B

This forms part of application
DP18-0117 & DP18-0118



City of
Kelowna
COMMUNITY PLANNING

Planner
Initials

AW





SCHEDULE

C

This forms part of application

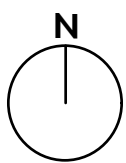
DP18-0117 & DVP18-0118

Planner Initials

AW

City of Kelowna

COMMUNITY PLANNING



PROJECT TITLE

1975 UNION ROAD

Kelowna, BC

DRAWING TITLE

**CONCEPTUAL
LANDSCAPE PLAN**

ISSUED FOR / REVISION		
1	18.02.08	Review
2		
3		
4		
5		

PROJECT NO.	18-005
DESIGN BY	CS
DRAWN BY	NG
CHECKED BY	FB
DATE	FEB. 8, 2018
SCALE	1:150

SEAL



DRAWING NUMBER

L1/1

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- NOTES**
1. PLANT MATERIAL AND CONSTRUCTION METHODS SHALL MEET OR EXCEED CNLA STANDARDS.
 2. ALL SOFT LANDSCAPE AREAS SHALL BE WATERED BY A FULLY AUTOMATIC TIMED UNDERGROUND IRRIGATION SYSTEM.
 3. TREE AND SHRUB BEDS TO BE DRESSED IN A MINIMUM 50mm DOUGLAS RED FIR MULCH OR ROCK MULCH, AS SHOWN IN PLANS. DO NOT PLACE WEED MAT UNDERNEATH TREE AND SHRUB BEDS.
 4. TREE AND SHRUB BEDS TO RECEIVE A MINIMUM 300mm DEPTH TOPSOIL PLACEMENT.
 5. TURF AREAS FROM SOD SHALL BE NO. 1 GRADE GROWN FROM CERTIFIED SEED OF IMPROVED CULTIVARS REGISTERED FOR SALE IN B.C. AND SHALL BE TOLERANT OF DROUGHT CONDITIONS. A MINIMUM OF 100mm DEPTH OF GROWING MEDIUM IS REQUIRED BENEATH TURF AREAS. TURF AREAS SHALL MEET EXISTING GRADES AND HARD SURFACES FLUSH.

PLANT LIST			
BOTANICAL NAME	COMMON NAME	QTY	SIZE/SPACING & REMARKS
TREES			
ACER PLATANOIDES 'COLUMNARBROAD'	PARKWAY MAPLE	6	6cm CAL.
QUERCUS ROBUR 'PYRAMICH'	SKYMASTER OAK	1	6cm CAL.
TILIA AMERICANA 'CONTINENTAL APPEAL'	CONTINENTAL APPEAL LINDEN	7	6cm CAL.
SHRUBS			
CORNUS STOLONIFERA 'FARROW'	ARCTIC FIRE DOGWOOD	53	#01 CONT. /1.0M O.C. SPACING
ROSA 'NEARLY WILD'	NEARLY WILD ROSE	94	#01 CONT. /0.75M O.C. SPACING
SYMPHORICARPOS ALBUS	SNOWBERRY	24	#01 CONT. /1.5M O.C. SPACING
PERENNIALS & GRASSES			
ACHILLEA MILLEFOLIUM	COMMON YARROW	43	#01 CONT. /0.6M O.C. SPACING
ASTER X FRIKARTII 'MONCH'	FRIKART'S ASTER	28	#01 CONT. /0.75M O.C. SPACING
CHASMANTHIUM LATIFOLIUM	NORTHERN SEA OATS	28	#01 CONT. /0.75M O.C. SPACING
PEROVSKIA ATRIPLICIFOLIA	RUSSIAN SAGE	16	#01 CONT. /1.0M O.C. SPACING
PSEUDOROEGNERIA SPICATA	BLUEBUNCH WHEATGRASS	16	#01 CONT. /1.0M O.C. SPACING
RUDBECKIA FULGIDA 'GOLDSTURM'	GOLDSTURM CONEFLOWER	43	#01 CONT. /0.6M O.C. SPACING
SALVIA NEMOROSA 'SNOW HILL'	SNOWHILL MEADOW SAGE	43	#01 CONT. /0.6M O.C. SPACING