

HS 43208

B.C. LAND SURVEYOR'S CERTIFICATE



ON LOT 16, DISTRICT LOT 167,
O.D.Y.D., PLAN 13550

CIVIC ADDRESS: 468 BARKLEY ROAD

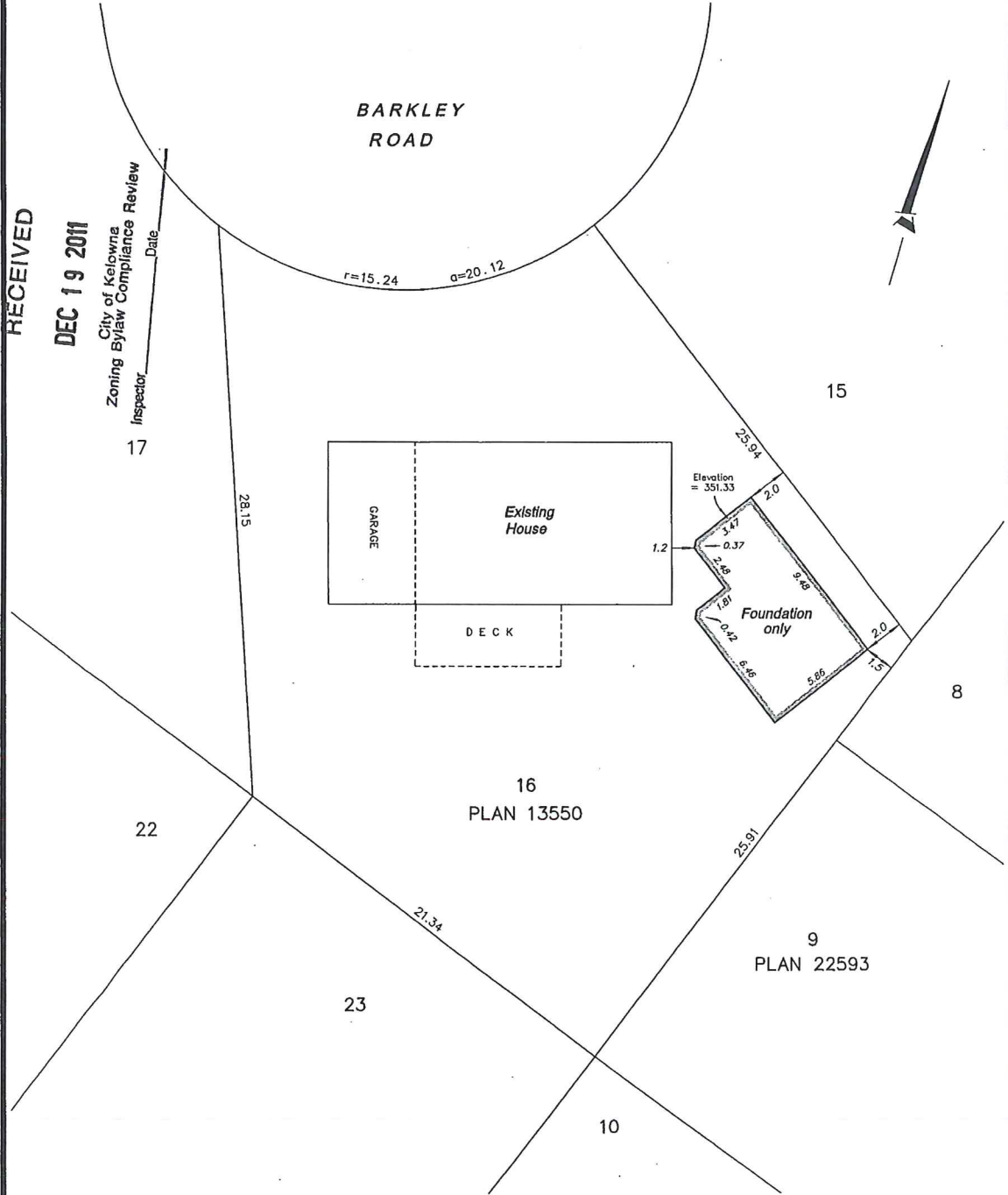
SCALE 1:250 All distances are in metres.

RECEIVED

DEC 19 2011

City of Kelowna
Zoning Bylaw Compliance Review
Inspector _____
Date _____

17



Certified correct this 16th day of December, 2011.



 NEIL R. DENBY B.C.L.S.

RUNNALLS DENBY

british columbia land surveyors

259A Lawrence Avenue Phone: (250)763-7322
 Kelowna, B.C. V1Y 6L2 Fax: (250)763-4413
 Email: neil@runnallsdenby.com

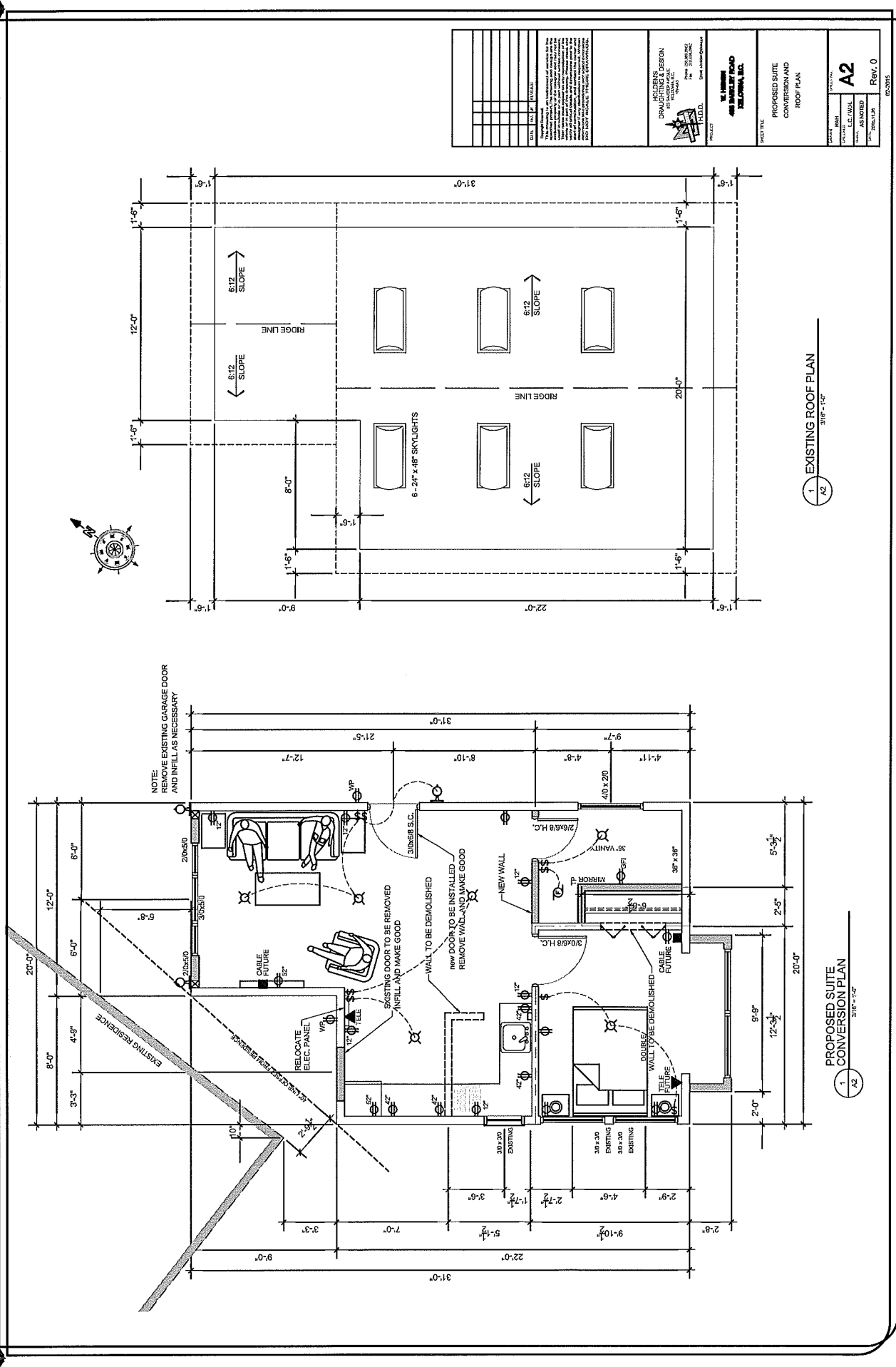
CLIENT: HEINEN
 FILE No: 13465 SC 2

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THE DIMENSIONS SHOWN ON THIS CERTIFICATE ARE NOT TO BE USED TO DEFINE PROPERTY BOUNDARIES.



1 EXISTING ROOF PLAN
31'-0" x 22'-0"

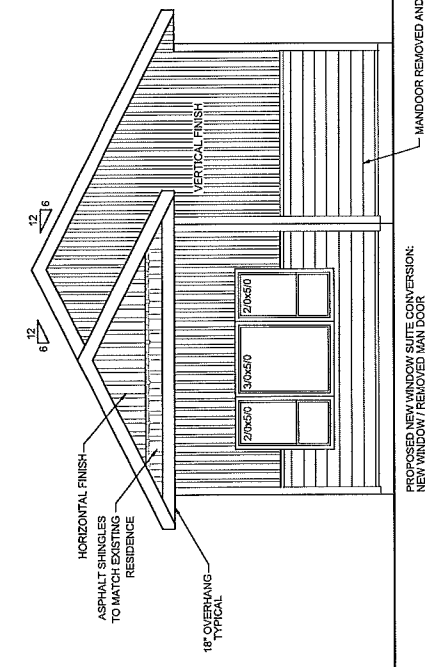
1 PROPOSED SUITE CONVERSION PLAN
31'-0" x 22'-0"

DATE	BY	REVISION

PROJECT: PROPOSED SUITE CONVERSION AND ROOF PLAN
 DRAWING: 1-1
 SHEET: A2
 REV: 0
 DATE: 08/20/15

EC-0015

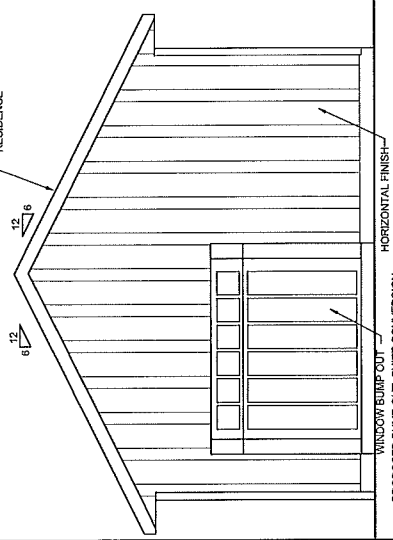
- NOTE:**
1. ALL GUTTERS AND DOWNSPOUTS HAVE BEEN NOT SHOWN FOR CLARITY. DOWNSPUTS SHALL BE LOCATED AT THE END OF EACH SIDE OF THE HOUSE. LOCATE DOWNSPOUTS IN CONFORMANCE WITH LOCAL CODES AND COORDINATE ANY NECESSARY ADJUSTMENTS TO HOUSE WITH OWNER.
 2. PLUMBING AND HVAC VENTING SHALL BE GROUNDED TO BELONGED AS TO MINIMIZE PUBLIC VIEW. ALL VENTING SHALL BE PRIMED AND PAINTED TO MATCH ROOF COLOR.
 3. REQUIRE INTX. VENTILATION PER LOCAL CODE REQUIREMENTS.
 4. EXTERIOR GLASSING SHALL BE CORRECTLY INSTALLED AT ALL CONNECTIONS BETWEEN ROOF AND WALLS. ALL GLASSING SHALL BE INSTALLED AS REQUIRED BY APPROVED CONSTRUCTION PRACTICES.
 5. CONTRACTOR SHALL PROVIDE ACCURATE INTX. VENTILATION / ROOF VENTS PER LOCAL CODE REQUIREMENTS. PROVIDE APPROPRIATE SOFT VENTILATION AT ALL OVERHANGS.
 6. FINISH GRADE TO SLOPE AWAY FROM BUILDING FOUNDATION TO BELONGED AS TO MINIMIZE PUBLIC VIEW. FINISH GRADE TO SLOPE AFTER THAT TO AN APPROVED DRAINAGE AREA.



PROPOSED NEW WINDOW SUITE CONVERSION:
NEW WINDOW / REMOVED MAN DOOR

1 A3
FACING BARKLEY ROAD
316° - 150°

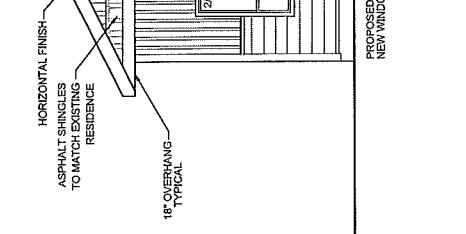
ASPHALT SHINGLES TO MATCH EXISTING RESIDENCE



PROPOSED BUMP OUT SUITE CONVERSION:
1.5 M offset from property line

3 A3
FACING REAR PROPERTY
316° - 150°

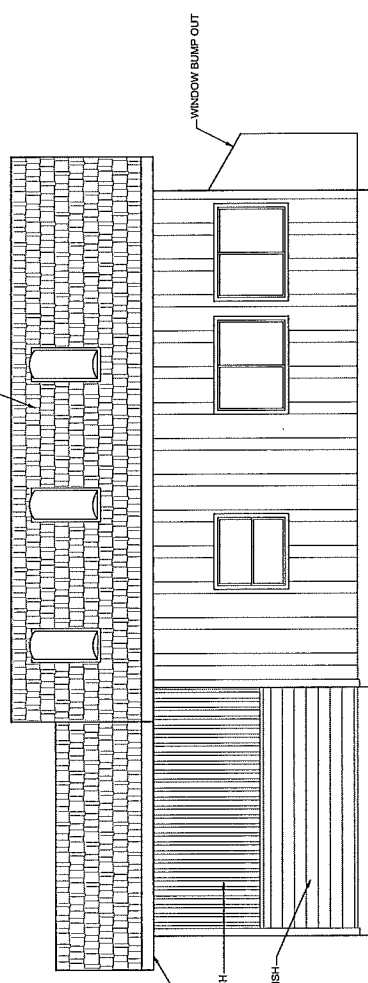
PROPOSED DOOR SUITE CONVERSION:
NEW DOOR AND WINDOW



PROPOSED DOOR SUITE CONVERSION:
NEW DOOR AND WINDOW

2 A3
LIVING AREA CALCULATIONS
9 sq. ft + 21 sq. ft. = 29 sq. ft. / 9.5 M²
9 sq. ft + 21 sq. ft. = 29 sq. ft. / 9.5 M²
distance from property line 2.0 m

ASPHALT SHINGLES TO MATCH EXISTING RESIDENCE



4 A3
FACING INTO PROPERTY
316° - 150°

M. J. BERRY DRAUGHTING & DESIGN 4800 W. BARKLEY ROAD WILKINSON, NC 27686 TEL: 703.276.1111 FAX: 703.276.1112 WWW.MJBERRYDESIGN.COM		PROJECT: PROPOSED ELEVATION CHANGES TO SUITE CONVERSION	SHEET TITLE: PROPOSED ELEVATION CHANGES TO SUITE CONVERSION	SCALE: 1/8" = 1'-0" 1/4" = 1'-0" 1/2" = 1'-0" 3/4" = 1'-0" 1" = 1'-0" 1 1/4" = 1'-0" 1 1/2" = 1'-0" 1 3/4" = 1'-0" 2" = 1'-0" 2 1/4" = 1'-0" 2 1/2" = 1'-0" 2 3/4" = 1'-0" 3" = 1'-0" 3 1/4" = 1'-0" 3 1/2" = 1'-0" 3 3/4" = 1'-0" 4" = 1'-0" 4 1/4" = 1'-0" 4 1/2" = 1'-0" 4 3/4" = 1'-0" 5" = 1'-0" 5 1/4" = 1'-0" 5 1/2" = 1'-0" 5 3/4" = 1'-0" 6" = 1'-0" 6 1/4" = 1'-0" 6 1/2" = 1'-0" 6 3/4" = 1'-0" 7" = 1'-0" 7 1/4" = 1'-0" 7 1/2" = 1'-0" 7 3/4" = 1'-0" 8" = 1'-0" 8 1/4" = 1'-0" 8 1/2" = 1'-0" 8 3/4" = 1'-0" 9" = 1'-0" 9 1/4" = 1'-0" 9 1/2" = 1'-0" 9 3/4" = 1'-0" 10" = 1'-0" 10 1/4" = 1'-0" 10 1/2" = 1'-0" 10 3/4" = 1'-0" 11" = 1'-0" 11 1/4" = 1'-0" 11 1/2" = 1'-0" 11 3/4" = 1'-0" 12" = 1'-0" 12 1/4" = 1'-0" 12 1/2" = 1'-0" 12 3/4" = 1'-0" 13" = 1'-0" 13 1/4" = 1'-0" 13 1/2" = 1'-0" 13 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1
A1
STREET VIEW OF RESIDENCE



2
A1
STREET VIEW OF EXISTING GARAGE



3
A1
CLOSE UP OF EXISTING GARAGE

DATE	1/10/16	BY	SE-88274
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HOLDEN'S DRAUGHTING & DESIGN 633 SALVOUR AVENUE KELLOWNA, B.C. V1Y 4A3 Phone: 250.838.2622 Fax: 250.865.0732 Email: info@hdd.ca			
PROJECT W. HENIN 488 BARKLEY ROAD KELLOWNA, B.C.			
SHEET TITLE SITE PLAN			
DRAWN RAH	SHEET NO. A1		
CHECKED L.C. / W.H.			
SCALE AS NOTED			
DATE 2016.11.26	Rev. 0		



CITY OF KELOWNA
MEMORANDUM

Date: January 25, 2016
File No.: Z15-0036 ~~66~~ 67
To: Community Planning (AC)
From: Development Engineering Manager
Subject: 468 Barkley Rd RU1c

Development Engineering has the following comments and requirements associated with this application to rezone from RU1 to RU1c.

1. Domestic Water and Fire Protection

Our records indicate this property is currently serviced with a 19mm-diameter water service. The service is adequate for the proposed application.

2. Sanitary Sewer

Our records indicate that this property is serviced with a 100mm-diameter sanitary sewer service complete with inspection chamber. The service is adequate for the proposed application.

3. Development Permit and Site Related Issues

Direct the roof drains into on-site rock pits.

4. Electric Power and Telecommunication Services

It is the applicant's responsibility to make a servicing application with the respective electric power, telephone and cable transmission companies to arrange for service upgrades to these services which would be at the applicant's cost.



Steve Muenz, P. Eng.
Development Engineering Manager

SS

