

NOTES

1438 MOUNTAIN AVE
 KELOWNA BC
 PID 009-731-601
 KAP9180
 SEC 30 LOT 2
 TOWNSHIP 26
 LAND DISTRICT 41

REVISION DATE

DRAWN BY S.D.B

DESIGNED BY S.D.B

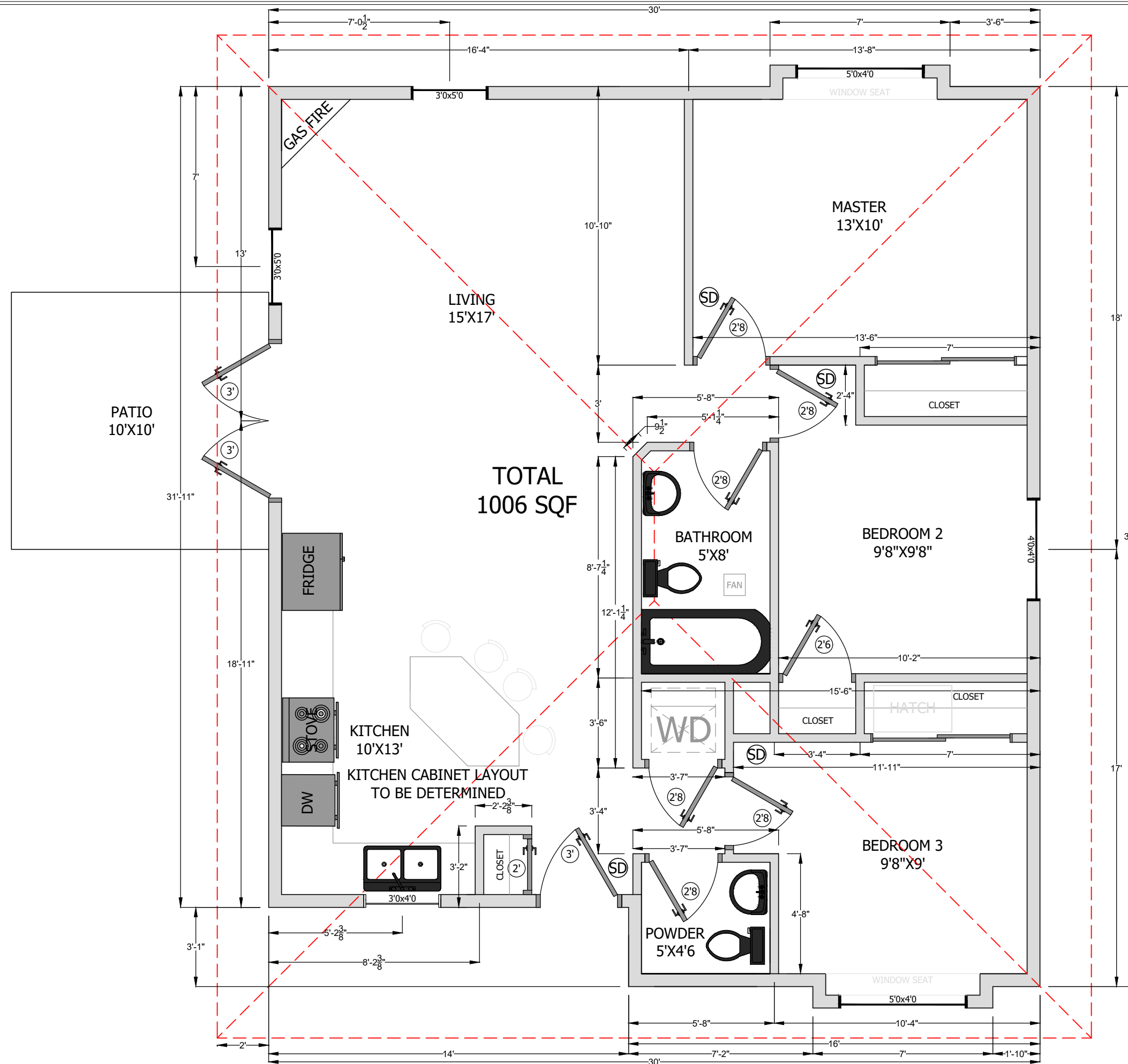
DATE October 30, 2017

NAME BOWIE

SCALE 1:150

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PLOT



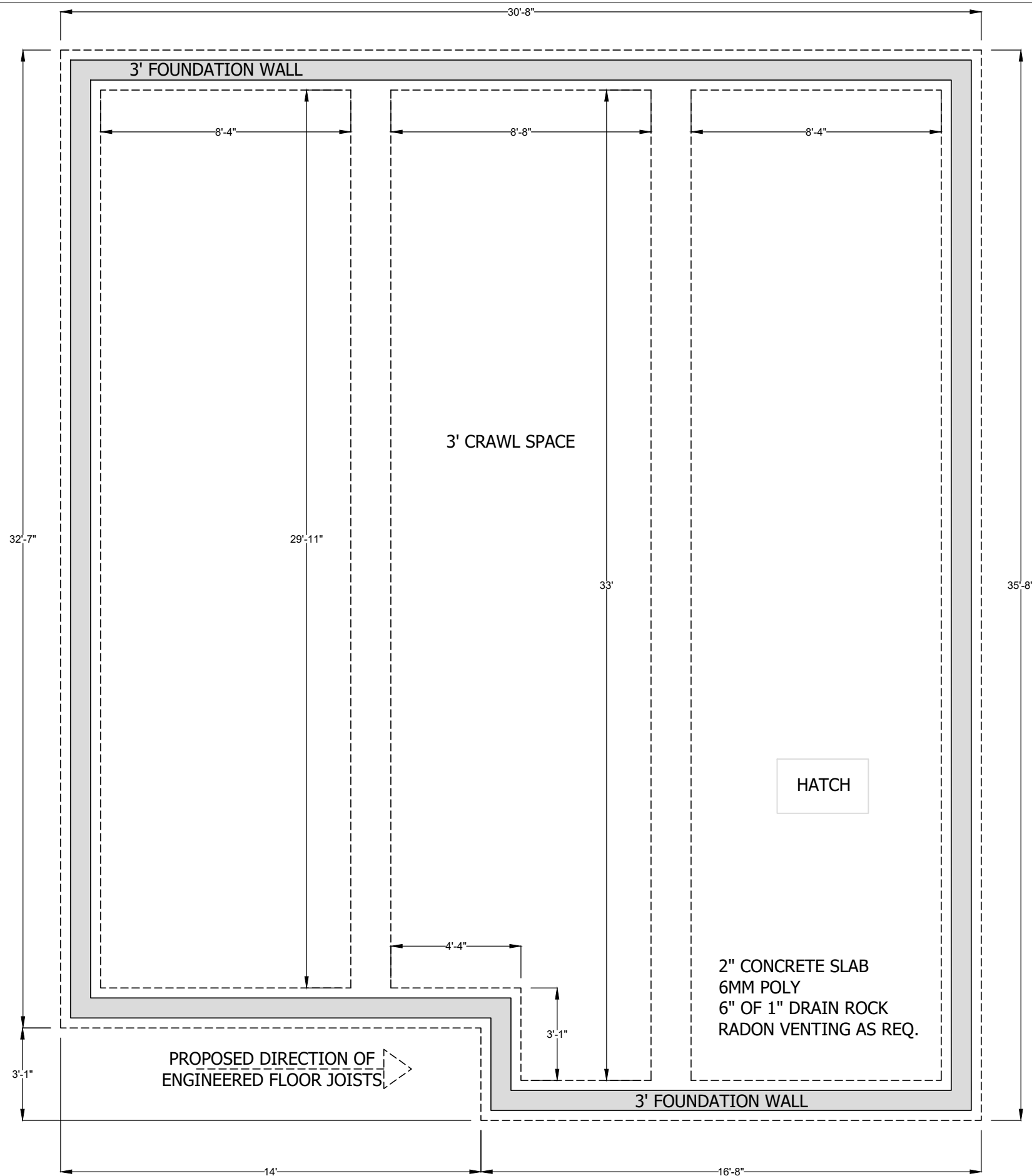
ATTACHMENT B
 This forms part of application
 # Z18-0031

Planner Initials **AF**

City of Kelowna
 COMMUNITY PLANNING

NOTES	
REVISION DATE	
DRAWN BY	S.D.B
DESIGNED BY	S.D.B
DATE	October 30, 2017
NAME	BOWIE
SCALE	PAGE
1/4" = 1'0"	2 / 7

MAIN



ATTACHMENT B

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Z18-0031



City of
Kelowna
COMMUNITY PLANNING

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CONCRETE FOUNDATION:
8" CONCRETE FOUNDATION WALL
16"X8" CONCRETE FOOTING
2 ROWS OF 10MM REBAR AROUND
PERIMETER OF TOP AND BOTTOM OF
FOUNDATION WALL
PROVIDE DAMP PROOFING AROUND
EXTERIOR PERIMETER OF FOUNDATION
PROVIDE 1/2" ANCHOR BOLTS AROUND THE
TOP OF THE FOUNDATION WALL @ 6' -0" OC



NOTES

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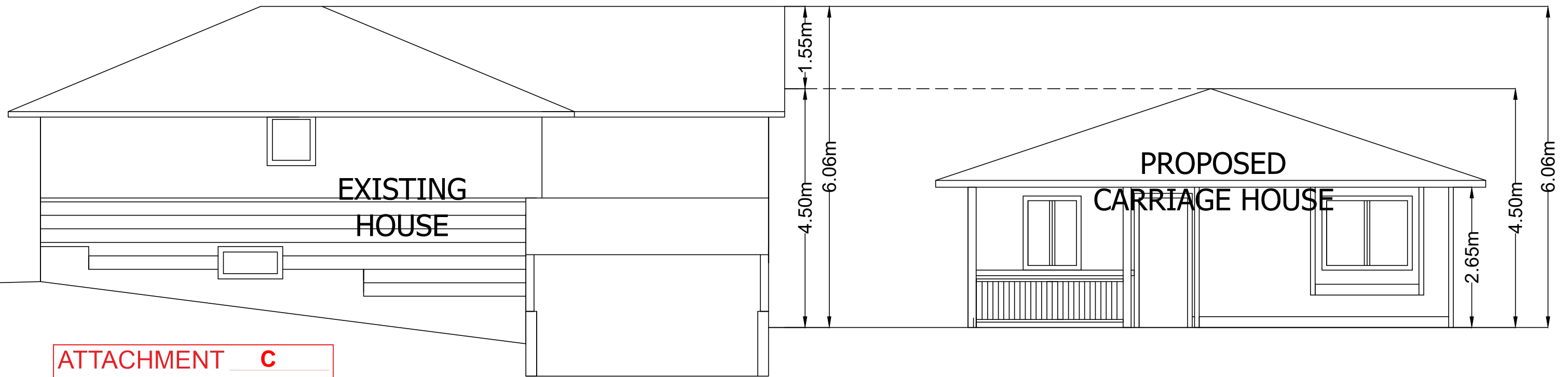
DATE October 30, 2017

NAME BOWIE

SCALE 1/4" = 1'0

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FOUNDATION

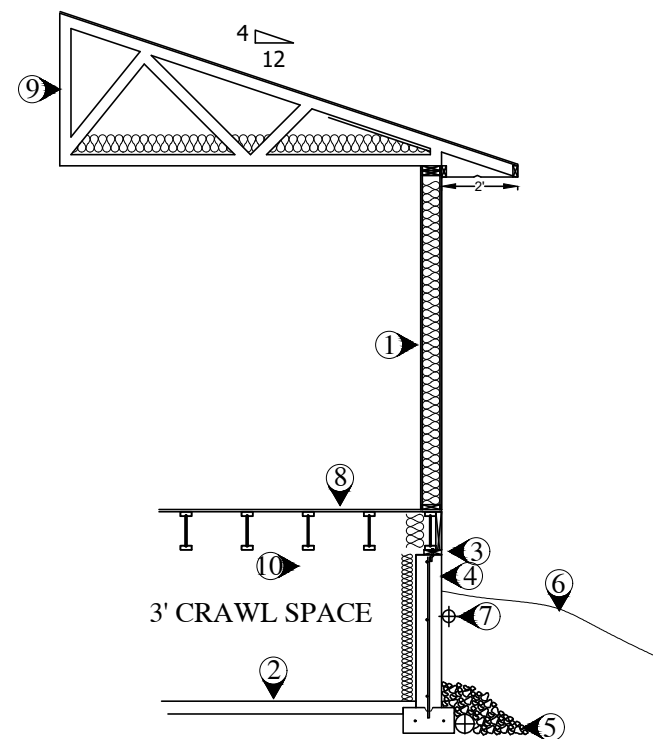


ATTACHMENT C

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City of Kelowna
COMMUNITY PLANNING



- ① **EXTERIOR STUD WALL:**
CONVENTIONAL HARDY PLANK SIDING
1 LAYERS 30 MIN. BUILDING PAPER
EXTERIOR PLYWOOD SHEATHING
2X6 WOOD STUDS AT 24" O.C.
R20 FIBROUS BATT INSULATION
6MIL. POLY VAPOR BARRIER
1/2" GYPSUM BOARD
- ② **BASEMENT FLOOR:**
2" CONCRETE SLAB ON GRADE
6 MIL. POLY VAPOR BARRIER
6" COMPACTED 1" GRAVEL
RADON VENTING AS REQUIRED
- ③ **PLATE TO FOUNDATION CONNECTION:**
2"x6" (OR AS REQ.D) WOOD PLATE
SILL GASKET (OR APPROVED EQUAL)
5/8" φ ANCHOR BOLTS WITHIN 12" OF ENDS W/7" MIN. EMBEDMENT AT 6' O/C
MINIMUM 2 PER SEGMENT
- ④ **EXTERIOR FOUNDATION WALL:**
1 COAT ASPHALT EMULSION- APPLY TO EXTERIOR PERIMETER UP TO GRADE
8" CONCRETE FOUNDATION WALL (C/W REINFORCING)
R-10 RIGID INSULATION- MIN. 24" BELOW GRADE- APPLY TO INTERIOR
PERIMETER 16"x8" CONCRETE FOOTING
- ⑤ **DRAINAGE:**
4" PERF. DRAIN LINE CONT. TO STORM DRAIN OR PIT
GEOTECHNICAL ENGINEER TO CONFIRM
DRAINAGE ROCK
FILTER FABRIC
12" MIN. DRAIN ROCK
- ⑥ **EXTERIOR GRADE:**
2% SLOPE AWAY FROM FINISH GRADE
8" MIN. BELOW PLYWOOD
- ⑦ **ROOF DRAIN:**
ROOF DOWN SPOUT CONNECTED TO 4" SOLID PVC
TIE INTO STORM DRAIN
- ⑧ **FLOOR SYSTEM**
FINISH FLOORING
3/4" T&G PLYWOOD SUBFLOOR GLUED & SCREWED
2X12 FLOOR JOISTS @ 16" O/C (UNLESS OTHERWISE NOTED)
2X2 CROSS BRIDGING @ 6'10" O/C MAX.
6-20 BATT. INSULATION BETWEEN EXTERIOR JOIST ENDS
1/2" DRYWALL
- ⑨ **ROOF**
25 YEAR ASPHALT SHINGLES TO CONFORM WITH NEIGHBORHOOD SPECS
30 LBS ROOFING FELT
SOFFIT AND ROOF VENTING
1/2" PLYWOOD SHEETING
ENGINEERED TRUSSES
R-60 BATT INSULATION
6 MIL VAPOR BARRIER
1/2" DRYWALL



NOTES	
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CROSS

FRONT



ATTACHMENT **C**

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Z18-0031

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REAR



NOTES

REVISION DATE

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DESIGNED BY S.D.B

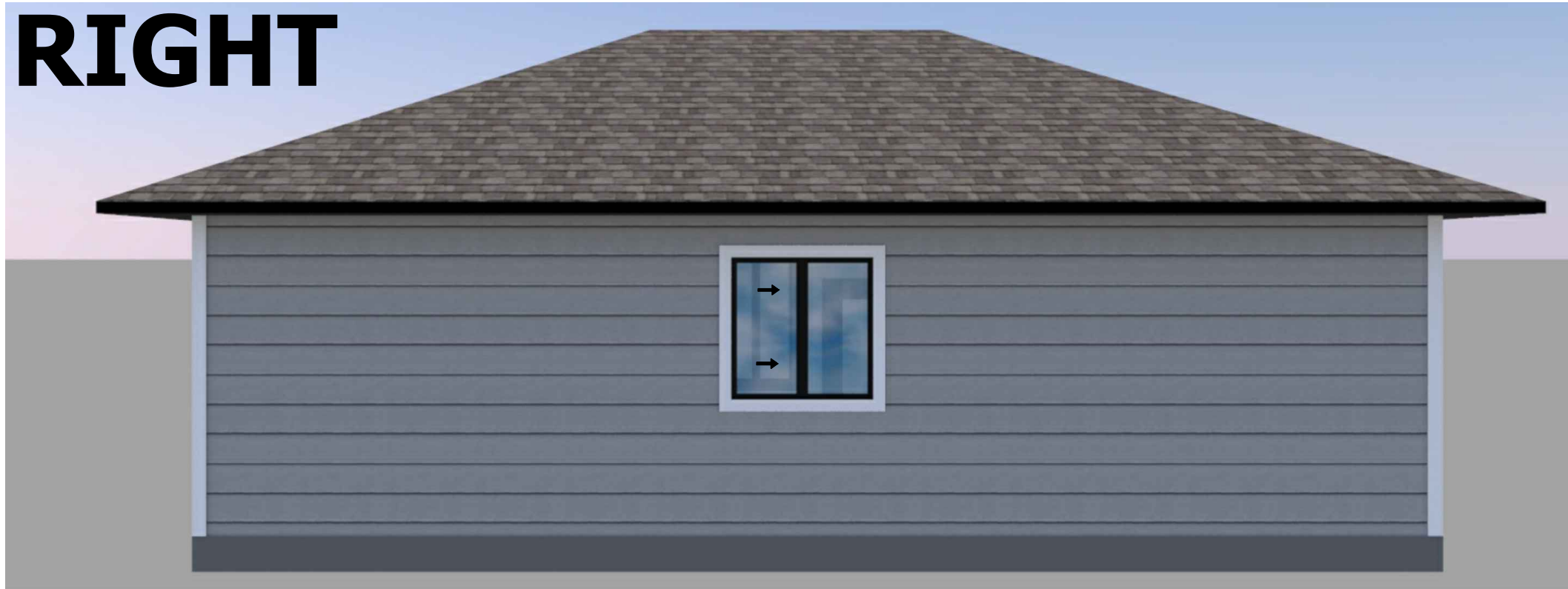
DATE October 30, 2017

NAME
BOWIE

SCALE
1/4" = 1'0

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RIGHT



ATTACHMENT **C**

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LEFT



NOTES

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NAME BOWIE

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CITY OF KELOWNA
MEMORANDUM

Date: March 29, 2018
File No.: Z18-0031
To: Community Planning (AF)
From: Development Engineering Manager (JK)
Subject: 1438 Mountain Ave RU1 to RU1c Carriage House

ATTACHMENT D
This forms part of application
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City of Kelowna
COMMUNITY PLANNING



Development Engineering has the following comments and requirements associated with this application. The utility upgrading requirements outlined in this report will be a requirement of this development.

- Domestic Water and Fire Protection
This property is currently serviced with a 19mm-diameter water service. The service will be adequate for this application. One metered water service will supply both the main residence and the carriage house.
- Sanitary Sewer
Our records indicate that this property is currently serviced with a 100mm-diameter sanitary sewer service. The service will be adequate for this application. One metered water service will supply both the main residence and the carriage house.
- Development Permit and Site Related Issues
Direct the roof drains onto splash pads.
Proposed driveway shown on Plan will not be permitted
Driveway access permissible is one (1) 6m wide per lot as per bylaw.
- Electric Power and Telecommunication Services
It is the applicant's responsibility to make a servicing application with the respective electric power, telephone and cable transmission companies to arrange for service upgrades to these services which would be at the applicant's cost.



James Kay, P. Eng.
Development Engineering Manager

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