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**CITY OF KELOWNA**  
**MEMORANDUM**

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**Date:** June 20, 2017  
**File No.:** Z17-0040  
**To:** Urban Planning Management (LK)  
**From:** Development Engineering Manager (SM)  
**Subject:** 1065 & 1075 Leathead Rd, 500 Fleming Rd          RU1 to RM4

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The Development Engineering Department has the following comments and requirements associated with this rezoning application for the properties at 1065, 1075 Leathead Road and 500 Fleming Road to accommodate development of a multiple dwelling housing complex. The road and utility upgrading requirements outlined in this report will be requirements of this development. The Development Engineering Technologist for this project is Jason Ough

**1.     General**

These Development Engineering comments and requirements are subject to review and or revision for approval by the Ministry of Transportation (MOTI) Infrastructure.

**2.     Domestic Water and Fire Protection**

- a) This development is within the service area of the Black Mountain Irrigation District (BMID). The developer is required to make satisfactory arrangements with the BMID for these items. All charges for service connection and upgrading costs, as well as any costs to decommission existing services are to be paid directly to BMID.
- b) The developer must obtain the necessary permits and have all existing utility services disconnected prior to removing or demolishing the existing structures.

**3.     Sanitary Sewer**

- a) The subject properties are currently within Sanitary Sewer Specified Area # 20 and is serviced by the municipal sanitary sewer collection system. The developer will be responsible to cash commute, pay in full, the specified area charges for this development. The charge is currently set at \$2045.50 per Equivalent Dwelling Unit (EDU).
- b) Our records indicate that these properties are currently serviced with individual 100mm-diameter sanitary sewer service lines. The applicant's consulting mechanical engineer will determine the requirements of the proposed development and establish the service needs. Only one service per lot will be permitted for this development. If required, the applicant will arrange for the removal and disconnection of the existing service and the installation of one new larger service at the applicants cost. Contact Jason Ough (250 469 4519) for service work estimate.

**4. Storm Drainage**

The developer must engage a consulting civil engineer to provide a storm water management plan for these sites which meets the requirements of the City Subdivision Development and Servicing Bylaw 7900. The storm water management plan must also include provision of lot grading plans, minimum basement elevations (MBE), if applicable, and provision of a storm drainage service and recommendations for onsite drainage containment and disposal systems.

**5. Road Improvements**

- a) The applicant must have a civil engineering consultant submit a design for Fleming Road to be upgraded to an urban standard (SS-R5) along the full frontage of the subject property; including curb and gutter, sidewalk, LED street lighting, landscaped boulevard, storm drainage system, pavement removal and replacement and re-location or adjustment of utility appurtenances if required to accommodate the upgrading construction. An estimate for public side works will be required, for bonding purposes, to be submitted by the applicants civil engineering consultant.
- b) Provided approximately 1m of Highway Reserve along the entire frontage of Leathead Road to achieve a minimum 20m road right of way for future OCP arterial road improvement project.

**6. Subdivision and Dedication**

- a) The developer is required to consolidate the two subject properties.
- b) If any road dedication or closure affects lands encumbered by a Utility right-of-way (such as Hydro, Telus, Gas, etc.) please obtain the approval of the utility. Any works required by the utility as a consequence of the road dedication or closure must be incorporated in the construction drawings submitted to the City's Development Manager.

**7. Development Permit and Site Related Issues**

- a) Direct the roof drains into on-site rock pits or splash pads.
- b) An MSU standard size vehicle must be able to manoeuvre onto and off the site without requiring a reverse movement onto public roadways. If the development plan intends to accommodate larger vehicles movements should also be illustrated on the site plan.

**8. Electric Power and Telecommunication Services**

The electrical and telecommunication services to this building must be installed in an underground duct system, and the building must be connected by an underground service. It is the developer's responsibility to make a servicing application with the respective electric power, telephone and cable transmission companies to arrange for these services, which would be at the applicant's cost.

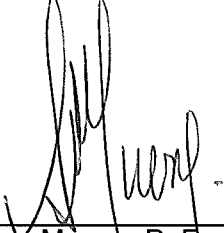
**9. Design and Construction**

- a) Design, construction supervision and inspection of all off-site civil works and site servicing must be performed by a Consulting Civil Engineer and all such work is subject to the approval of the City Engineer. Drawings must conform to City standards and requirements.
- b) Engineering drawing submissions are to be in accordance with the City's "Engineering Drawing Submission Requirements" Policy. Please note the number of sets and drawings required for submissions.
- c) Quality Control and Assurance Plans must be provided in accordance with the Subdivision, Development & Servicing Bylaw No. 7900 (refer to Part 5 and Schedule 3).
- d) A "Consulting Engineering Confirmation Letter" (City document 'C') must be completed prior to submission of any designs.
- e) Before any construction related to the requirements of this subdivision application commences, design drawings prepared by a professional engineer must be submitted to the City's Development Engineering Department. The design drawings must first be "Issued for Construction" by the City Engineer. On examination of design drawings, it may be determined that rights-of-way are required for current or future needs.

**10. Geotechnical Report**

As a requirement of this application the owner must provide a geotechnical report prepared by a Professional Engineer qualified in the field of hydro-geotechnical survey to address the following:

- f) Area ground water characteristics.
- g) Site suitability for development, unstable soils, etc.
- h) Drill and / or excavate test holes on the site and install piezometers if necessary. Log test hole data to identify soil characteristics, identify areas of fill if any. Identify unacceptable fill material, analyse soil sulphate content, identify unsuitable underlying soils such as peat, etc. and make recommendations for remediation if necessary.
- i) List extraordinary requirements that may be required to accommodate construction of roads and underground utilities as well as building foundation designs.
- j) Additional geotechnical survey may be necessary for building foundations, etc.



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Steve Muenz, P. Eng.  
Development Engineering Manager

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**CITY OF KELOWNA**  
**MEMORANDUM**

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**Date:** June 20, 2017  
**File No.:** DP17-0096  
**To:** Urban Planning Management (LK)  
**From:** Development Engineering Manager (SM)  
**Subject:** 1065 & 1075 Leathead Rd, 500 Fleming Rd

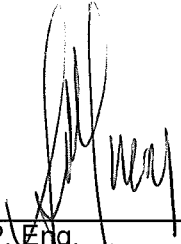
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The Development Engineering Department has the following comments and requirements associated with this Development Application Permit to evaluate the form and character of a proposed multiple dwelling housing complex development at 1065 & 1075 Leathead Rd and 500 Fleming Rd.

The Development Engineering Technologist for this project is Jason Ough

**1. General.**

All offsite infrastructure and services upgrades have been addressed in the Rezoning Application Engineering Report under file Z17-0040.



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Steve Muenz, P. Eng.  
Development Engineering Manager

jo

# LEATHEAD TOWNHOUSE

REISSUED for DP  
AUGUST 30, 2017



## ARCHITECTURAL

NEW TOWN ARCHITECTURE & ENGINEERING INC.  
1454 St. Paul Street Kelowna, B.C. V1Y 2E6  
Roman Yanchukov, Architect ABC  
ph. 250.860.8185, fax. 250.860.0985  
roman@newtownservices.net

### DRAWING LIST

A-0.0	TITLE SHEET
A-0.1	SITE PLAN
A-0.2	IMAGES
A-0.3	IMAGES
A-1.0	6 UNIT - MAIN FLOOR
A-1.1	6 UNIT - SECOND FLOOR
A-1.2	6 UNIT - THIRD FLOOR
A-1.3	6 UNIT - ROOF PLAN
A-1.4	6 UNIT - BUILDING ELEVATIONS
A-1.5	6 UNIT - BUILDING SECTIONS
A-1.6	8 UNIT - MAIN FLOOR
A-1.7	8 UNIT - SECOND FLOOR
A-1.8	8 UNIT - THIRD FLOOR
A-1.9	8 UNIT - ROOF PLAN
A-1.10	8 UNIT - BUILDING ELEVATIONS
A-1.11	8 UNIT - BUILDING SECTIONS
A-2.0	ENLARGED END UNIT PLANS
A-2.1	ENLARGED TYPICAL UNIT PLANS

ALL CONTRACTORS ARE REQUIRED TO PERFORM THEIR WORK AND SUPPLY THEIR PRODUCTS IN COMPLIANCE WITH ALL BUILDING CODES AND LAWS OF THE PROVINCE OF BRITISH COLUMBIA  
This drawing is an instrument of service and the property of New Town Services. The use of this drawing shall be restricted to the original site for which it was prepared and publication thereof is expressly limited to such use.  
This drawing must not be scaled  
Verify all dimensions and datums prior to commencement of work.  
Report all errors and omissions to the Architect.

SEAL

Revision		
No	Date	Description
1	AUG 30, 2017	REISSUED FOR DP

BUILDING/SITE SUMMARY			
<b>PROPERTY #1</b>			
CIVIC ADDRESS:	1065 LEATHEAD ROAD, KELOWNA BC		
LEGAL DESCRIPTION:	LOT 1, SECTION 27, TOWNSHIP 26, ODYD, PLAN 10847, PID 003-398-544		
<b>PROPERTY #2</b>			
CIVIC ADDRESS:	1075 LEATHEAD ROAD, KELOWNA BC		
LEGAL DESCRIPTION:	LOT A, SECTION 27, TOWNSHIP 26, ODYD, PLAN KAP79327, PID 026-454-751		
<b>PROPERTY #3</b>			
CIVIC ADDRESS:	500 FLEMING ROAD, KELOWNA BC		
LEGAL DESCRIPTION:	LOT B, SECTION 27, TOWNSHIP 26, ODYD, PLAN KAP79327, PID 026-454-769		
SITE AREA (BEFORE ROAD WIDENING):	5384.4 m <sup>2</sup>		
SITE AREA (AFTER ROAD WIDENING):	5329.27 m <sup>2</sup>		
PROPOSED NET FLOOR AREA:	4464.8 m <sup>2</sup>		
FLOOR AREA RATIO (FAR):	4464.8 / 5384.4 = 0.83		
<b>PRIVATE OPEN SPACE SUMMARY:</b>			
DWELLING UNIT >1 BEDROOMS (25.0m <sup>2</sup> EACH)	36 UNITS	= 900.0 m <sup>2</sup>	
	<b>TOTAL REQUIRED:</b>	= 900.0 m <sup>2</sup>	
<b>PRIVATE OPEN SPACE PROPOSED:</b>		= 23740.2 SF (2205.5 m <sup>2</sup> )	
<b>PARKING: NO VARIANCE REQUIRED</b>			
<b>REQUIRED:</b>			
2 STALLS PER 3 BEDROOM DWELLING UNITS:		72 STALLS	
<b>TOTAL REQUIRED PARKING:</b>		72 STALLS	
VISITOR PARKING		4 STALLS	
<b>TOTAL PROVIDED:</b>		76 STALLS	

CODE ANALYSIS			
<b>BUILDING CLASSIFICATION:</b>		1.3.3.3.1	
<b>PART 9</b>		9.10.2.1	GROUP C
<b>MAJOR OCCUPANCY:</b>		PROPOSED:	
<b>REQUIRED:</b>			
SPRINKLERED	N/A		NO
MAXIMUM AREA OF GLAZED OPENINGS		TABLE 9.10.15.4	REFER TO A2.10 & A2.11
MAX STOREYS:	3		3
NUMBER OF STREETS FACING:	2		2
MAX BUILDING AREA:			
600 M <sup>2</sup>	8 UNIT	473.8 M <sup>2</sup>	
600 M <sup>2</sup>	6 UNIT	359.7 M <sup>2</sup>	
FIRE ALARM			NOT REQUIRED - 9.10.18.2(5)
FLOOR ASSEMBLIES:			
9.10.8.11 (3.22.53(4))			NON-RATED
WALLS, COLUMNS, ARCHES:			
9.10.8.3(1)			NON-RATED
FIRE SEPARATIONS:			
GROUP C TO GROUP C		1 HOUR - 9.10.9.14(3)	
GARAGE		NOT REQ'D - 9.10.9.16(3)	
ROOF COVERING			CLASS A
SOFFIT PROTECTION			YES
ATTIC FIRE STOPS		REQUIRED - 9.10.16.1	
MAX. ATTIC AREA	300 sm WITH A FLAME SPREAD RATING GREATER THAN 25 - 9.10.16.1(5b)		
LIMITING DISTANCE		REFER TO A2.10 AND A2.11	
THERMAL BARRIER (INTERIOR SURFACE)		1 HR. TABLE 9.10.14.5.A	

ZONING BYLAW SUMMARY			
	REQUIRED	PROPOSED	
ZONE:	RM4	RM4	
MAXIMUM FLOOR AREA RATIO:	0.85	0.83	
MAXIMUM SITE COVERAGE:	50 %	40 %	
MAXIMUM SITE COVERAGE OF BUILDINGS, DRIVEWAYS & PARKING:	60 %	60 %	
MAXIMUM HEIGHT:	13.0 m OR 3 STOREYS	9.45 m OR 3 STOREYS	
MINIMUM FRONT SETBACK:	6.0 m	6.0 m	
MINIMUM SIDE SETBACK:	4.5 m	4.5 m	
MINIMUM REAR SETBACK:	9.0 m	9.0 m	

### BUILDING UNIT BREAKDOWN

<b>NET FLOOR AREA BREAKDOWN</b>	
TYPICAL UNIT C:	1273.7 SF
TYPICAL UNIT D:	1302.7 SF
END UNIT A:	1358.0 SF
END UNIT B:	1386.8 SF
<b>TOTAL NET FLOOR AREA PER 6-UNIT BUILDING:</b>	<b>8066.0 SF</b>
<b>TOTAL NET FLOOR AREA PER 8-UNIT BUILDING:</b>	<b>10642.4 SF</b>
<b>TOTAL NET FLOOR AREA (ALL BUILDINGS):</b>	<b>48059.2 SF (4464.8 SM)</b>



project title  
**LEATHEAD TH**

project address  
**LEATHEAD ROAD  
KELOWNA, B.C.**

project no. 4007

file no.

drawing title

**TITLE SHEET**

designed scale 1:50

drawn J.K.

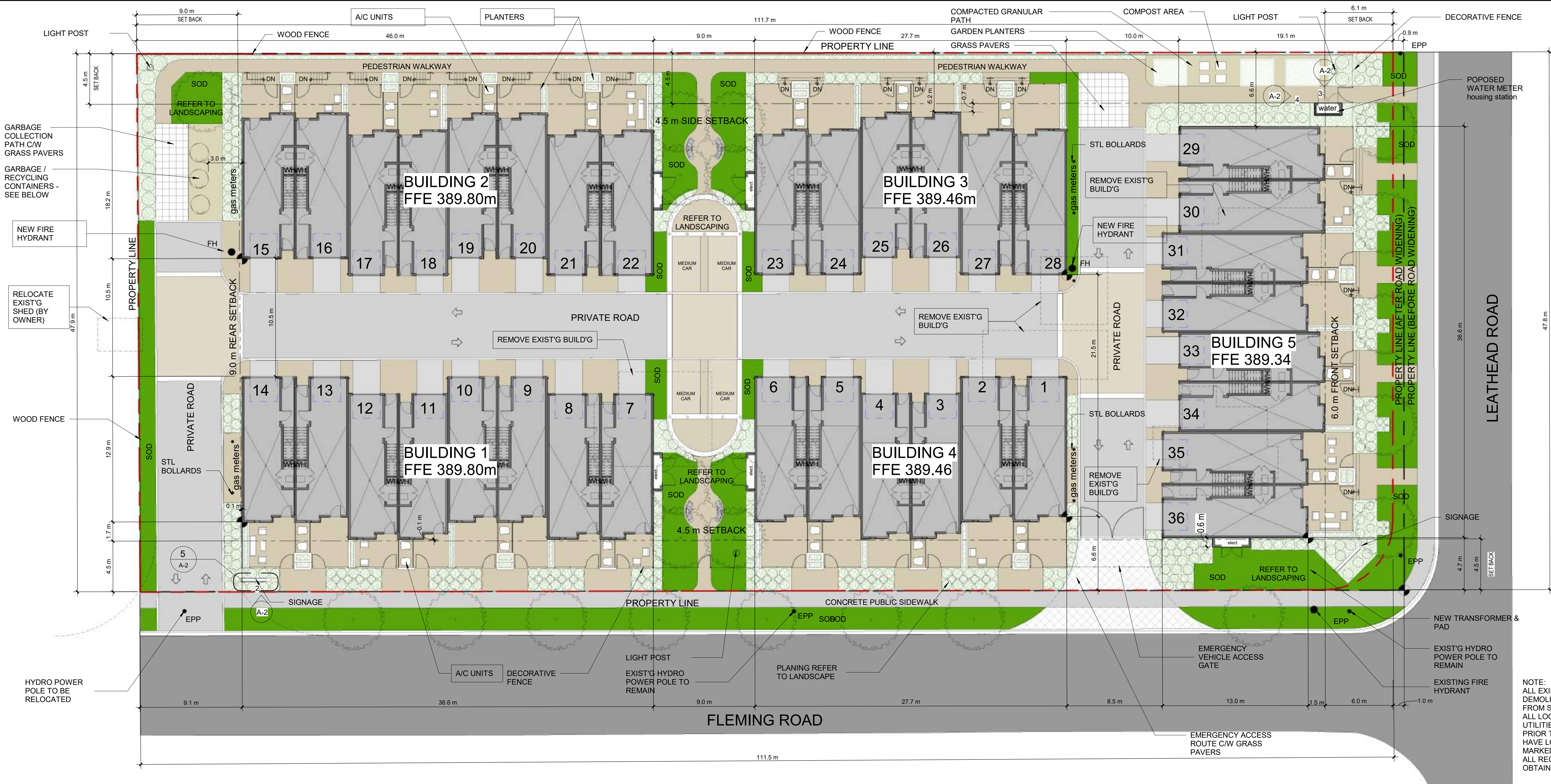
checked R.Y.

drawing no.

**A-0.0**

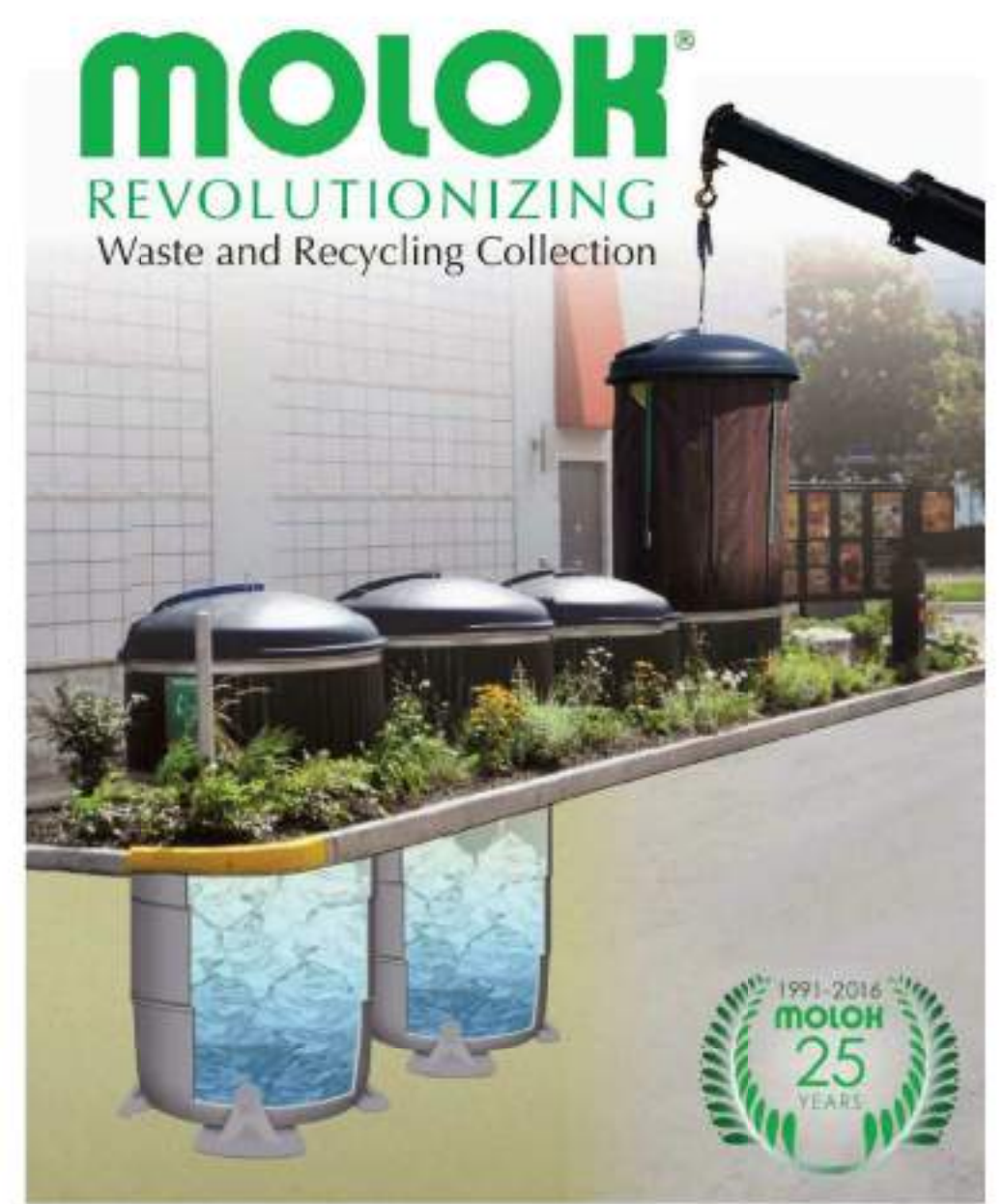
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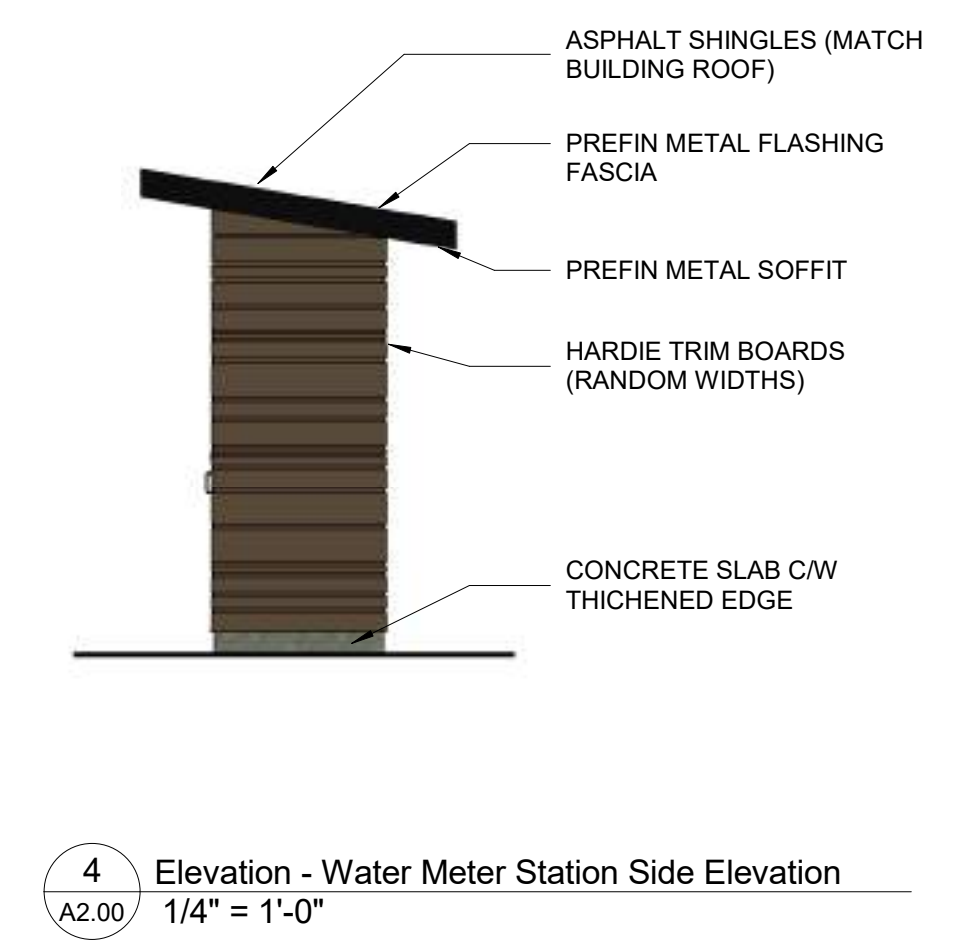
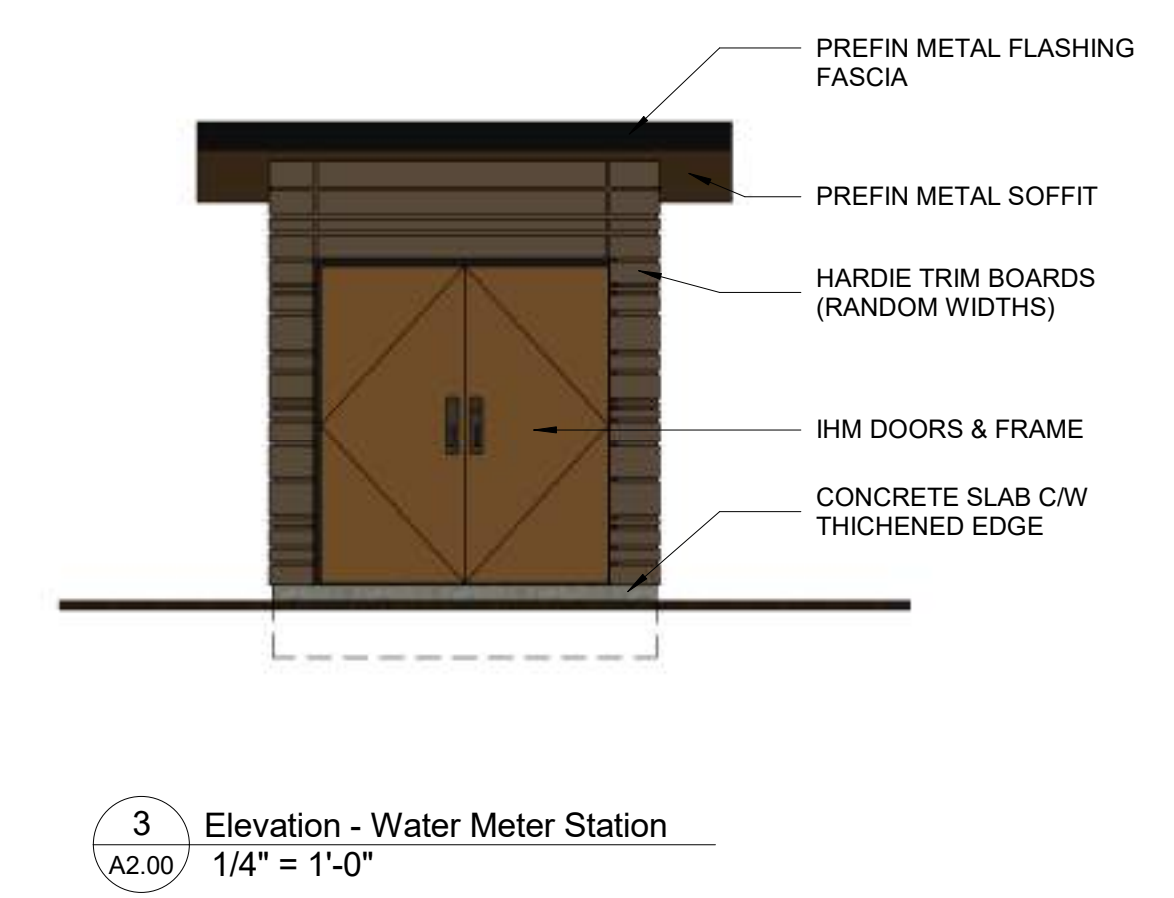
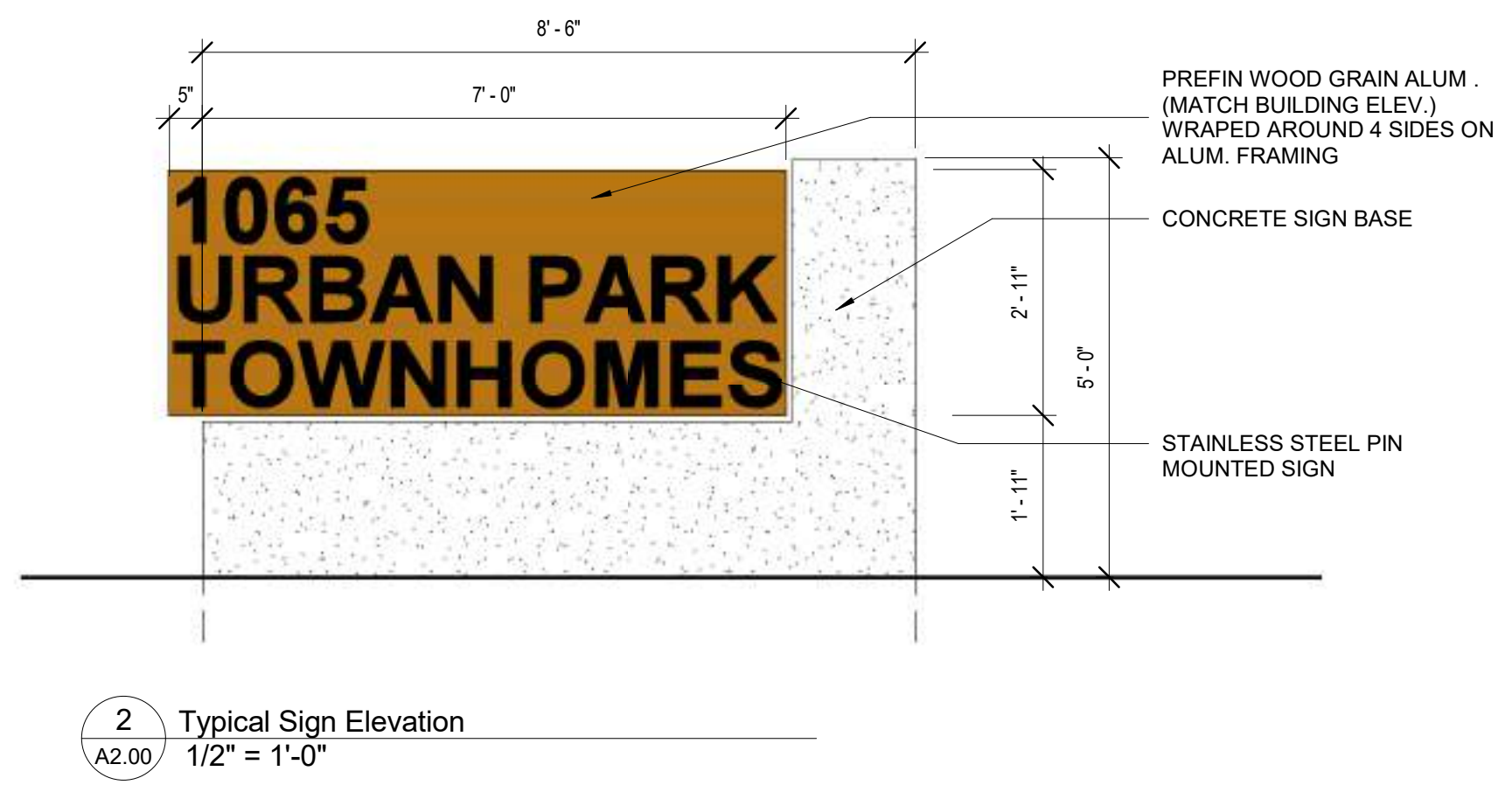
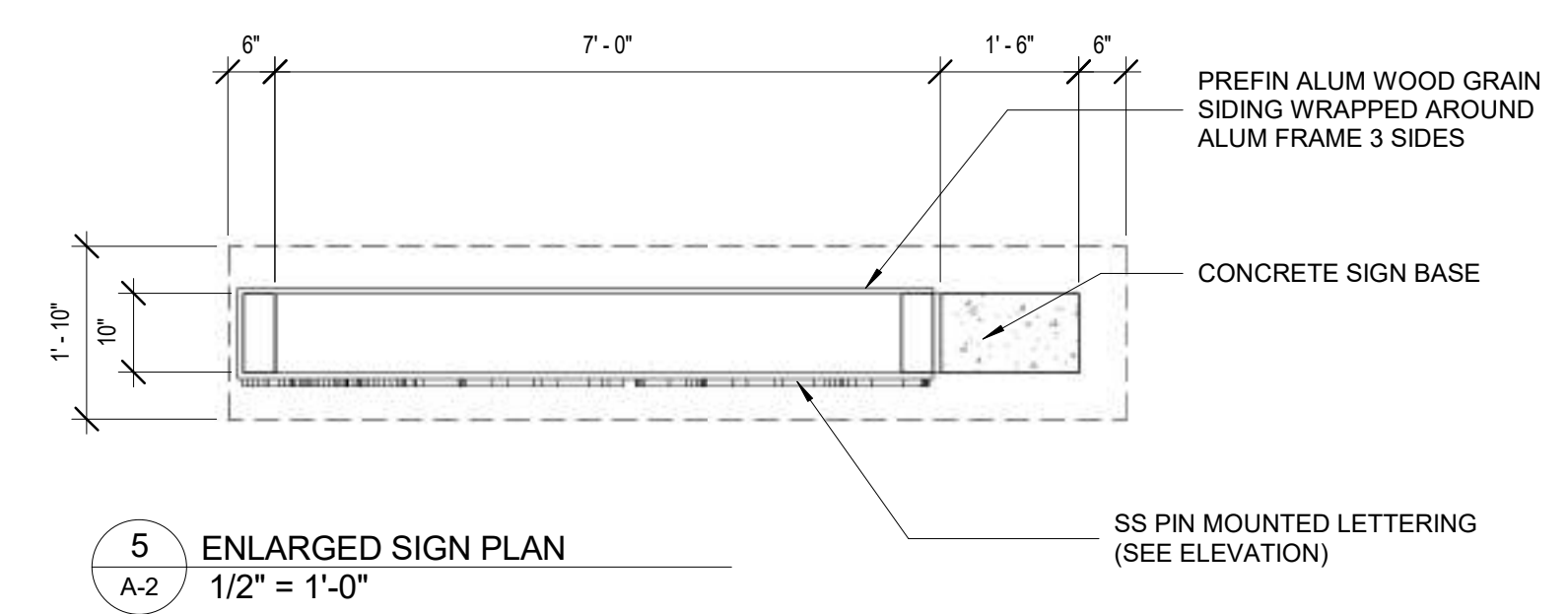


NOTE: ALL EXISTING BUILDINGS TO BE DEMOLISHED AND REMOVED FROM SITE. ALL LOCAL SERVICES / UTILITIES TO BE CONTACTED PRIOR TO DEMOLITION TO HAVE LOCATES IDENTIFIED AND MARKED. ALL REQUIRED PERMIT TO BE OBTAINED PRIOR.

Revision No	Date	Description



**MOLOK WASTE & RECYCLING COLLECTION SYSTEM**



project title  
**LEATHEAD TH**

project address  
**LEATHEAD ROAD  
KELOWNA, B.C.**

project no. 4007

file no.

drawing title  
**SITE PLAN**

designed scale As indicated

drawn M.M.

checked R.Y.

drawing no. **A-2**

plotted 9/5/2017 9:56:01 AM



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SEAL

Revision

No	Date	Description



project title  
**LEATHEAD TH**

project address  
**LEATHEAD ROAD  
KELOWNA, B.C.**

project no. 4007

file no.  
drawing title  
**IMAGES**

designed \_\_\_\_\_ scale \_\_\_\_\_

drawn \_\_\_\_\_ J.K.

checked \_\_\_\_\_ R.Y.

drawing no.

**A-0.2**

plotted 9/5/2017 10:50:52 AM

NOT FOR CONSTRUCTION



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project address  
**LEATHEAD ROAD  
KELOWNA , B.C.**

project no. 4007

file no.

drawing title  
**IMAGES**

designed \_\_\_\_\_ scale \_\_\_\_\_

drawn \_\_\_\_\_ J.K.

checked \_\_\_\_\_ R.Y.

drawing no.

**A-0.3**

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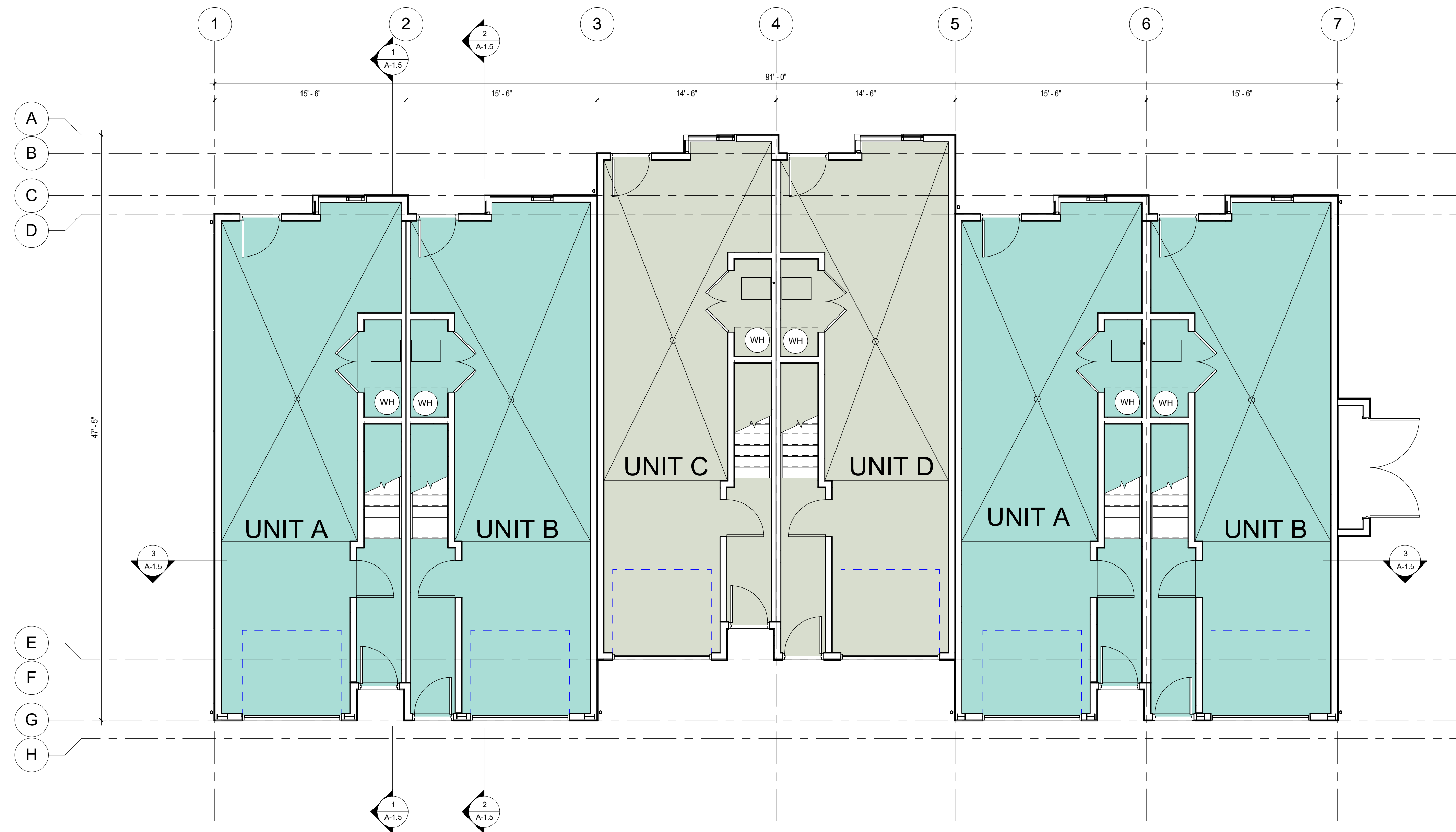
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1 OVERALL FLOOR PLAN - MAIN LEVEL  
A4.00 3/16" = 1'-0"

TYPICAL UNITS  
 END UNITS

**SUITE A**  
 FLOOR AREA: 1358.0 sqft  
 121.2 sqm  
 BEDROOMS 3  
 FULL BATH 2  
 HALF BATH 2

**SUITE C**  
 FLOOR AREA: 1273.7 sqft  
 118.3 sqm  
 BEDROOMS 3  
 FULL BATH 2  
 HALF BATH 2

**SUITE B**  
 FLOOR AREA: 1386.8 sqft  
 128.8 sqm  
 BEDROOMS 3  
 FULL BATH 2  
 HALF BATH 2

**SUITE D**  
 FLOOR AREA: 1302.7 sqft  
 121.0 sqm  
 BEDROOMS 3  
 FULL BATH 2  
 HALF BATH 2

NOT FOR CONSTRUCTION

SEAL

Revision		
No	Date	Description
1	AUG 30, 2017	REISSUED FOR DP



project title  
**LEATHEAD TH**

project address  
**LEATHEAD ROAD  
KELOWNA, B.C.**

project no. 4007

file no.

drawing title  
**6 UNIT - MAIN  
FLOOR**

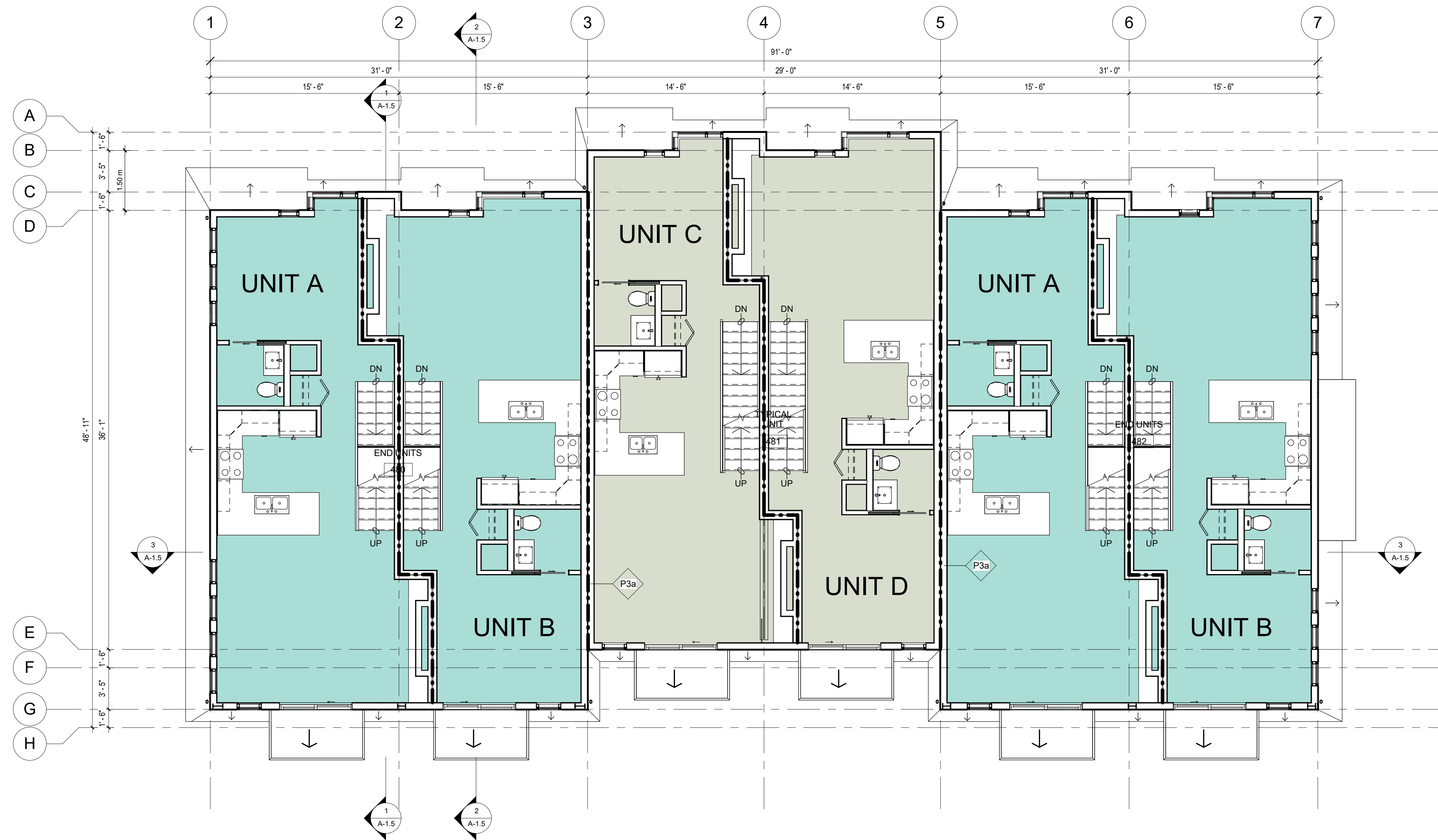
designed \_\_\_\_\_ scale As indicated

drawn \_\_\_\_\_ J.K.

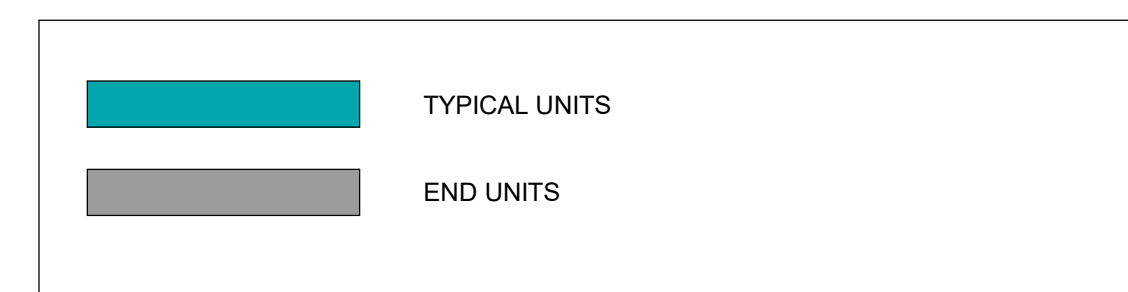
checked \_\_\_\_\_ R.Y.

drawing no. **A-1.0**

plotted 9/5/2017 10:50:55 AM



1 OVERALL FLOOR PLAN - LEVEL TWO  
A4.00 3/16" = 1'-0"



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Revision		
No	Date	Description
1	APR 6, 2017	ISSUED FOR DP
2	AUG 30, 2017	REISSUED FOR DP



project title  
**LEATHEAD TH**

project address  
**LEATHEAD ROAD  
KELOWNA, B.C.**

project no. 4007

file no.

drawing title  
**6 UNIT - SECOND FLOOR**

designed \_\_\_\_\_ scale As indicated  
drawn \_\_\_\_\_ J.K.  
checked \_\_\_\_\_ R.Y.  
drawing no. **A-1.1**  
plotted 9/5/2017 10:50:58 AM

**NOT FOR CONSTRUCTION**

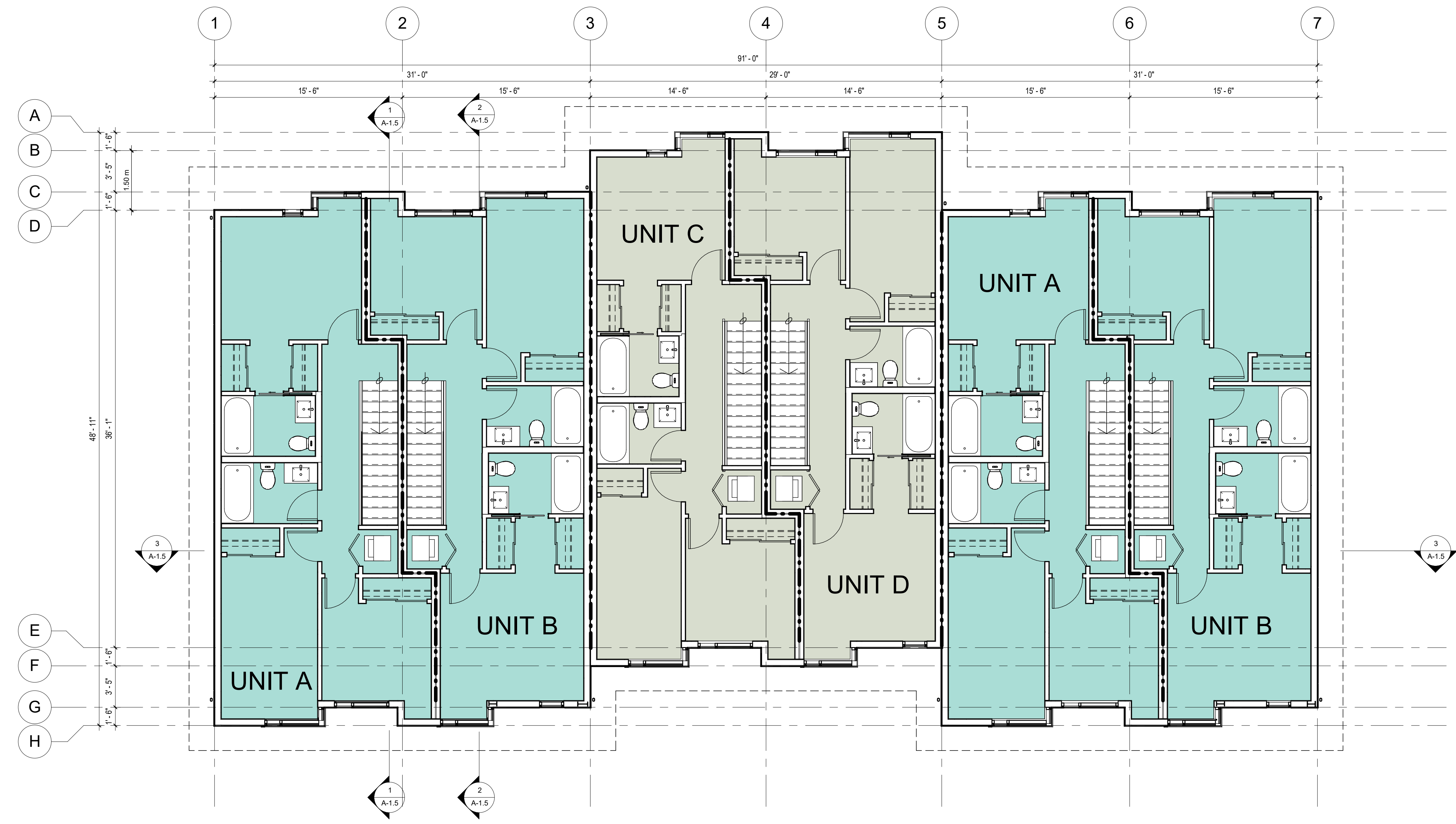
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1 OVERALL FLOOR PLAN - LEVEL THREE  
A4.00 3/16" = 1'-0"

	TYPICAL UNITS
	END UNITS

SEAL

Revision		
No	Date	Description
1	AUG 30, 2017	REISSUED FOR DP



project title  
**LEATHEAD TH**

project address  
**LEATHEAD ROAD  
KELOWNA, B.C.**

project no. 4007

file no.

drawing title  
**6 UNIT THIRD FLOOR**

designed \_\_\_\_\_ scale As indicated

drawn \_\_\_\_\_ J.K.

checked \_\_\_\_\_ R.Y.

drawing no. **A-1.2**

plotted 9/5/2017 10:51:03 AM

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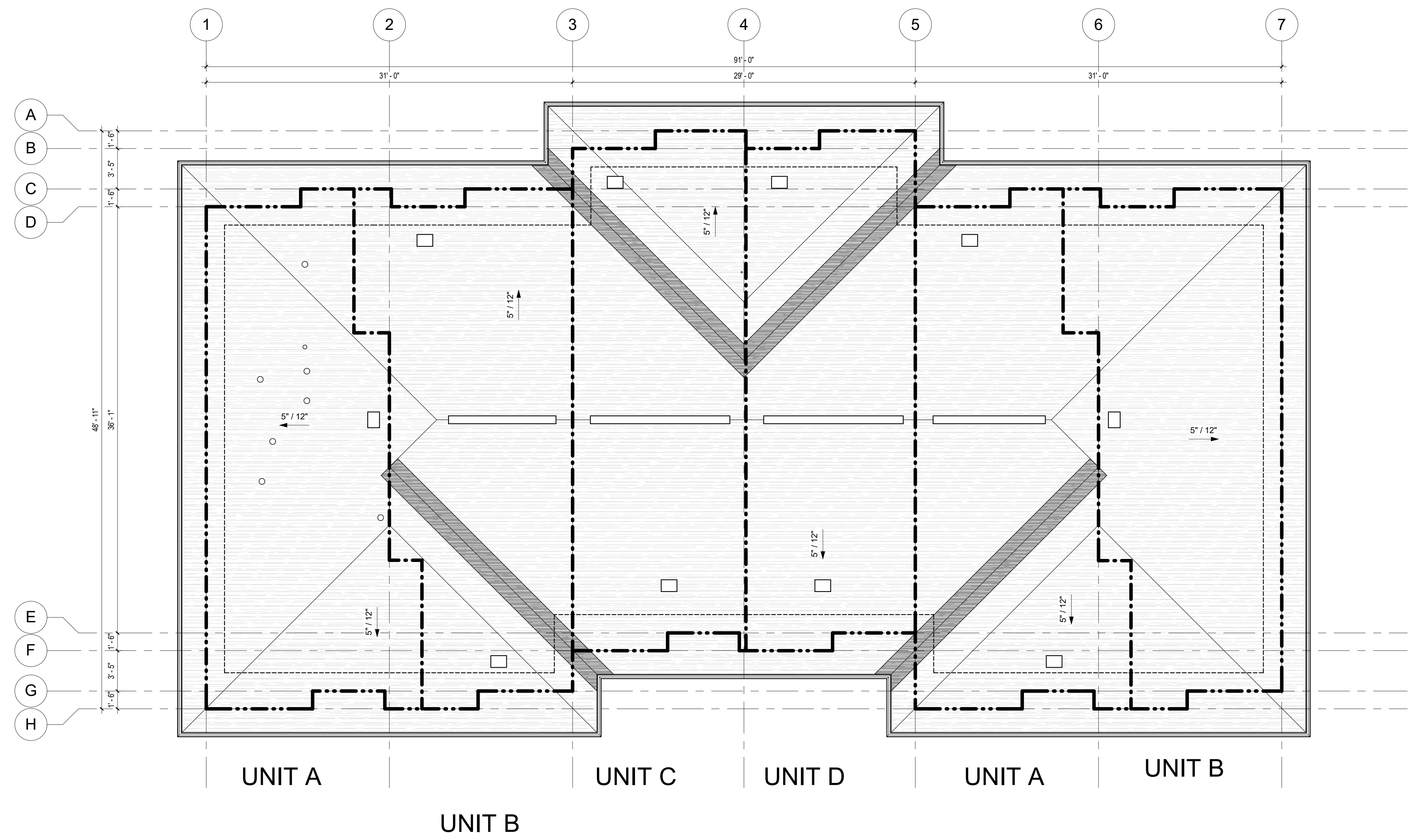
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1 ROOF PLAN DP  
AS.00 3/16" = 1'-0"

NOT FOR CONSTRUCTION

SEAL

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1	AUG 30, 2017	REISSUED FOR DP



project title  
**LEATHEAD TH**

project address  
**LEATHEAD ROAD  
KELOWNA, B.C.**

project no. 4007

file no.

drawing title  
**6 UNIT ROOF PLAN**

designed \_\_\_\_\_ scale 3/16" = 1'-0"

drawn \_\_\_\_\_ J.K.

checked \_\_\_\_\_ R.Y.

drawing no. **A-1.3**

plotted 9/5/2017 10:51:04 AM

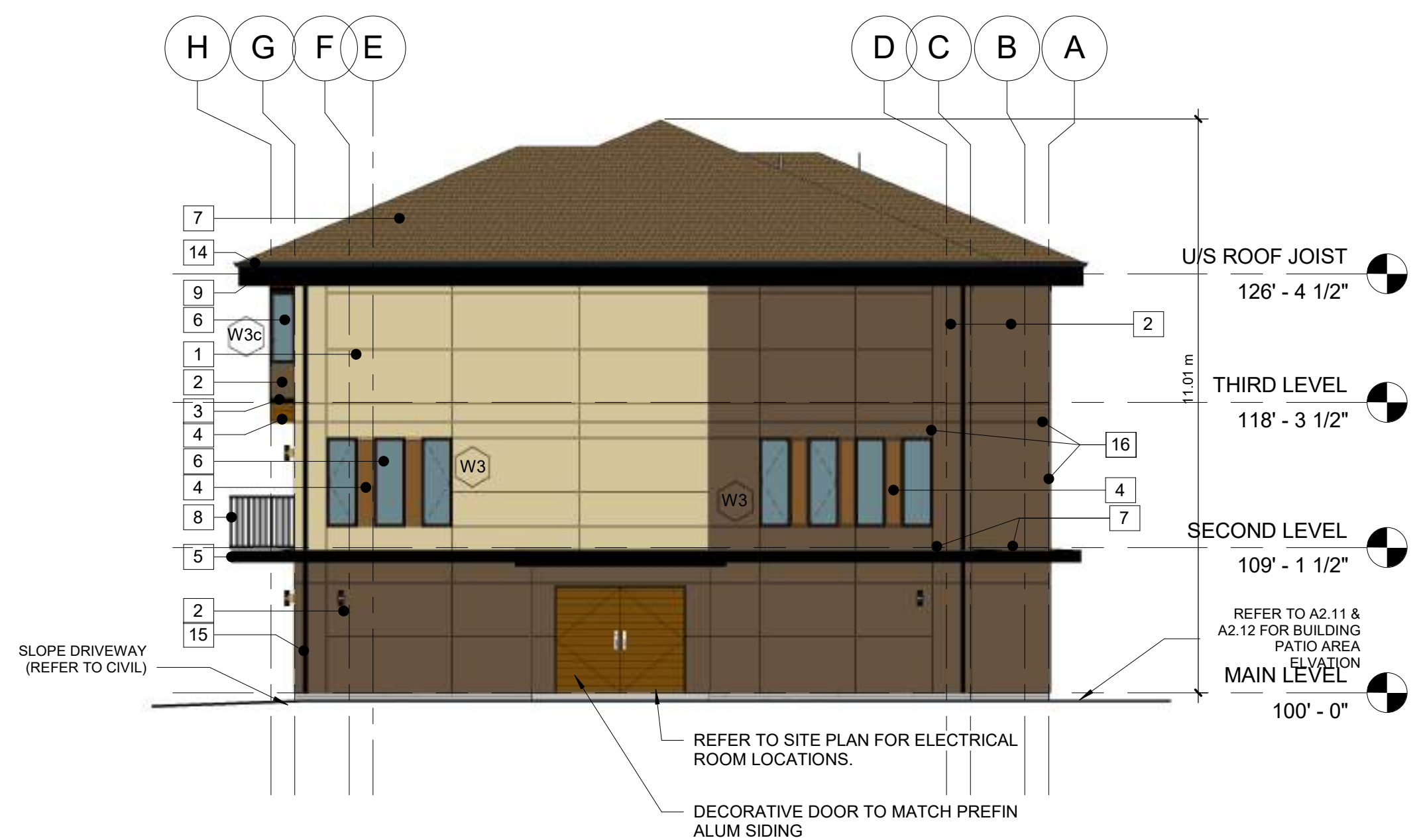
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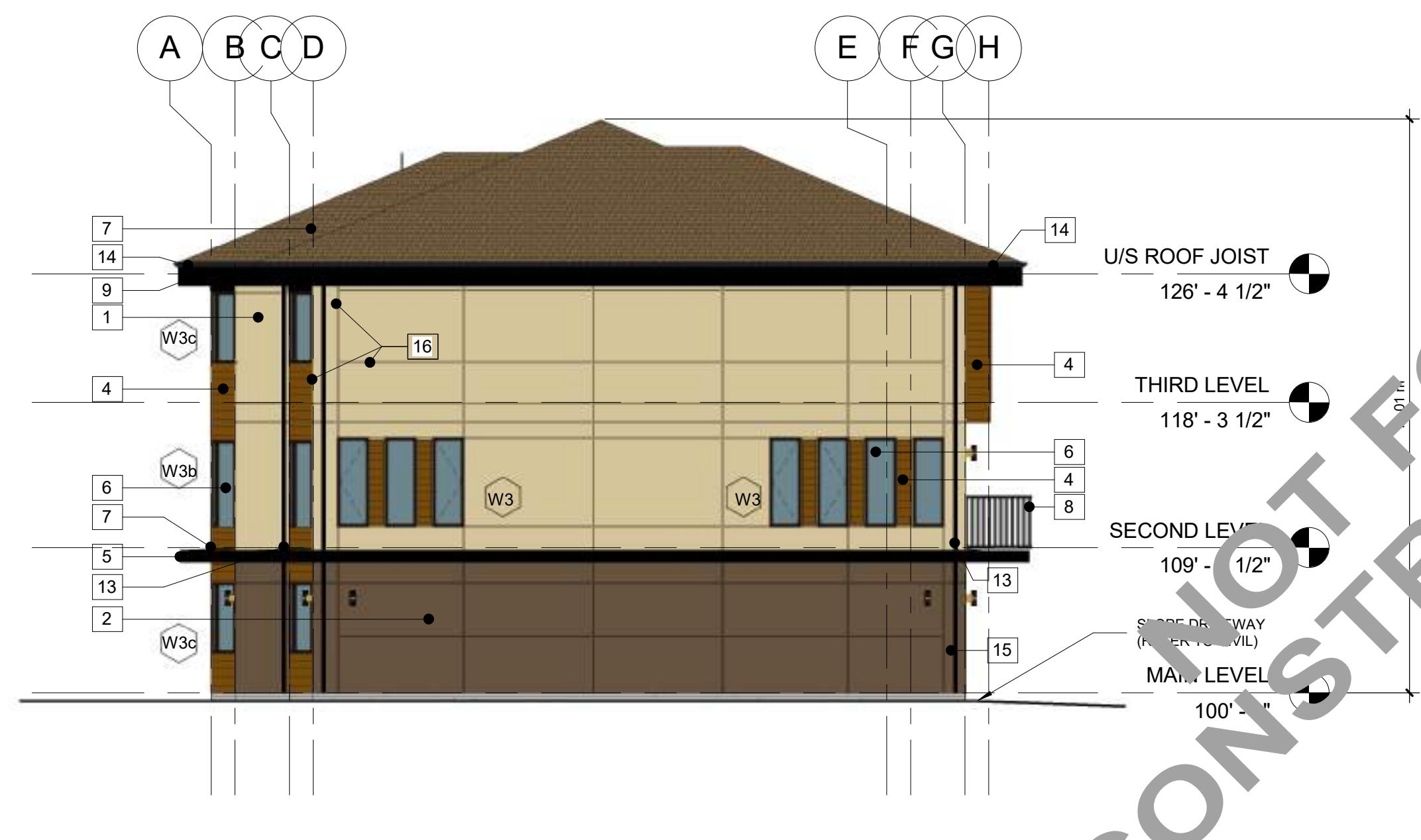
4 FRONT ELEVATION DP  
1/8" = 1'-0"



3 BACK ELEVATION DP  
1/8" = 1'-0"



2 RIGHT SIDE ELEVATION DP  
1/8" = 1'-0"



1 LEFT SIDE ELEVATION DP  
1/8" = 1'-0"

EXTERIOR MATERIAL LEGEND	
	HARDIE PANELS - BEIGE COLOUR: NAVAJO BEIGE
	HARDIE PANELS - BROWN/GREY HARDIE SOFFIT PANELS COLOUR: TIMBERBARK
	LUX ALUMINUM SIDING - WOOD GRAIN COLOUR: CEDAR
	HARDIE TRIM BOARDS / FASCIA BOARD - BLACK COLOUR: PAINTED BLACK PREFINISHED METAL FLASHING - COLOUR: BLACK TO MATCH WINDOWS/DOORS, EXTERIOR RAILINGS & GUTTER/DOWNSPOUT FIBER PANEL TRIM / REVEALS

MATERIAL KEYNOTE	
1.	HARDIE PANELS - BEIGE
2.	HARDIE PANELS - BROWN/GREY
3.	HARDIE TRIM - COLOUR - BLACK
4.	LUX ALUMINUM SIDING - WOOD GRAIN C/W ALL REQUIRED TRIM
5.	HARDIE PANELS - COLOUR - BLACK
6.	VINYL WINDOWS (NAILING FLANGE) - COLOUR BLACK
7.	ASPHALT SHINGLE ROOF - BROWN
8.	ALUMINUM GUARDRAIL - BLACK
9.	HARDIE (FASCIA) TRIM BOARD - COLOUR BLACK
10.	SOLID PAINTED DOOR - COLOR MATCH HARDIE PANELS GREY/BROWN
11.	OVERHEAD DOOR - COLOR MATH HARDIE PANELS BEIGE
12.	GLAZED SLIDING DOOR
13.	PROVIDE SLEEVE C/W FLASHING SEAL TO ALLOW FOR DOWNSPOUT TO PASS THROUGH. CLOUR - BLACK
14.	PREFIN SEAMLESS ALUM. GUTTER C/W ALL REQUIRED HARDWARE & LEAF PROTECTION. COLOUR - BLACK
15.	PREFIN ALUMN. 3 X 4 DOWNSPOUT C/W BRACKETS, DRAIN EXTENSION CONNECT TO STORM WATER COLLECTION SYSTEM. COLOUR BLACK (REFER TO MECH. / CIVIL DWG'S)
16.	PREFINISHED REVEALS, TRIMS, INSIDE/OUTSIDE CORNERS, TRANSITIONS, WINDOWS/DOORS & SOFFIT TO SUIT HARDIE PANELS. COLOUR - BLACK

Revision		
No	Date	Description
1	AUG 30, 2017	REISSUED FOR DP



project title  
**LEATHEAD TH**

project address  
**LEATHEAD ROAD  
KELOWNA, B.C.**

project no. 4007

file no.

drawing title  
**6 UNIT ELEVATIONS**

designed scale As indicated

drawn J.K.

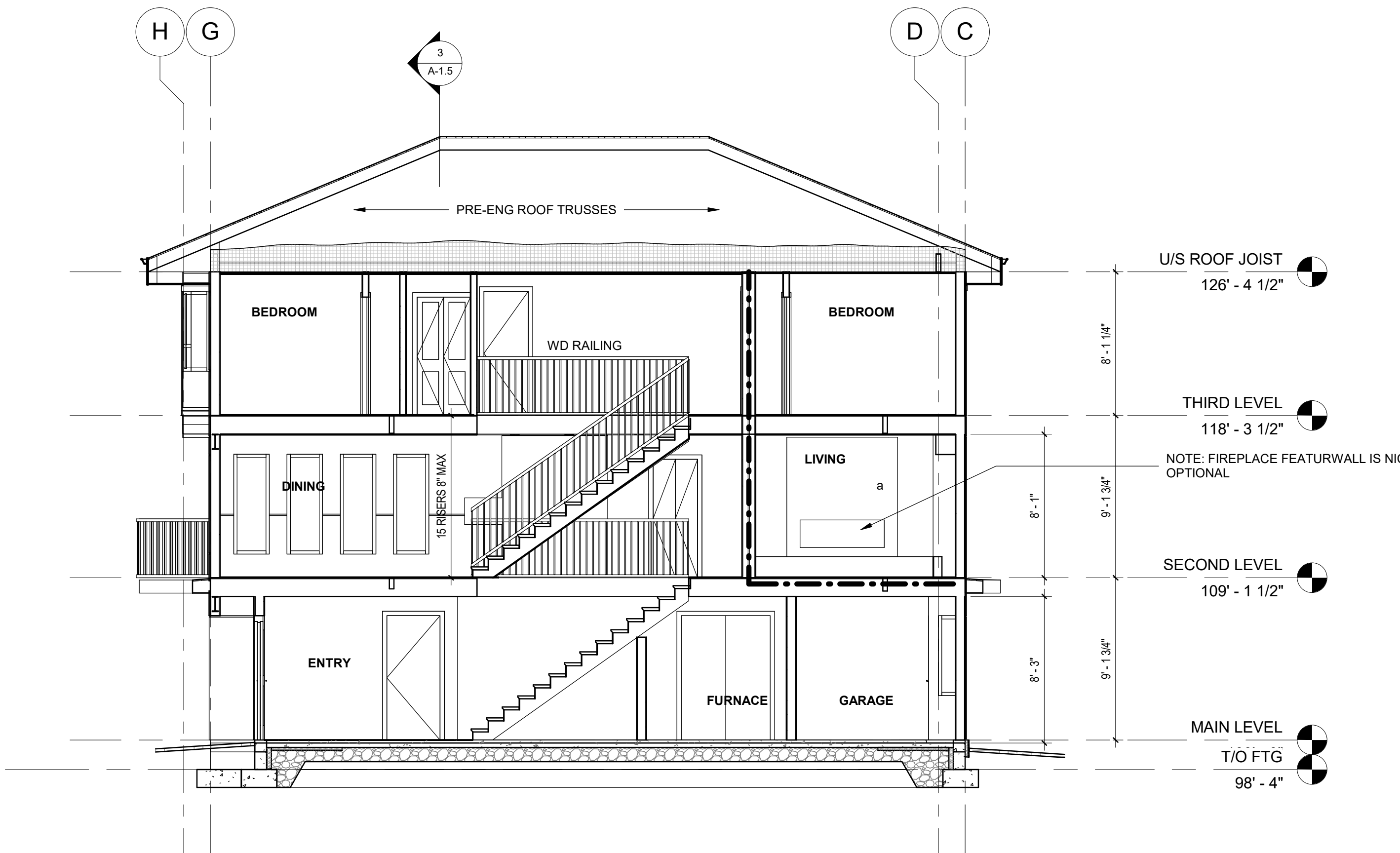
checked R.Y.

drawing no.  
**A-1.4**

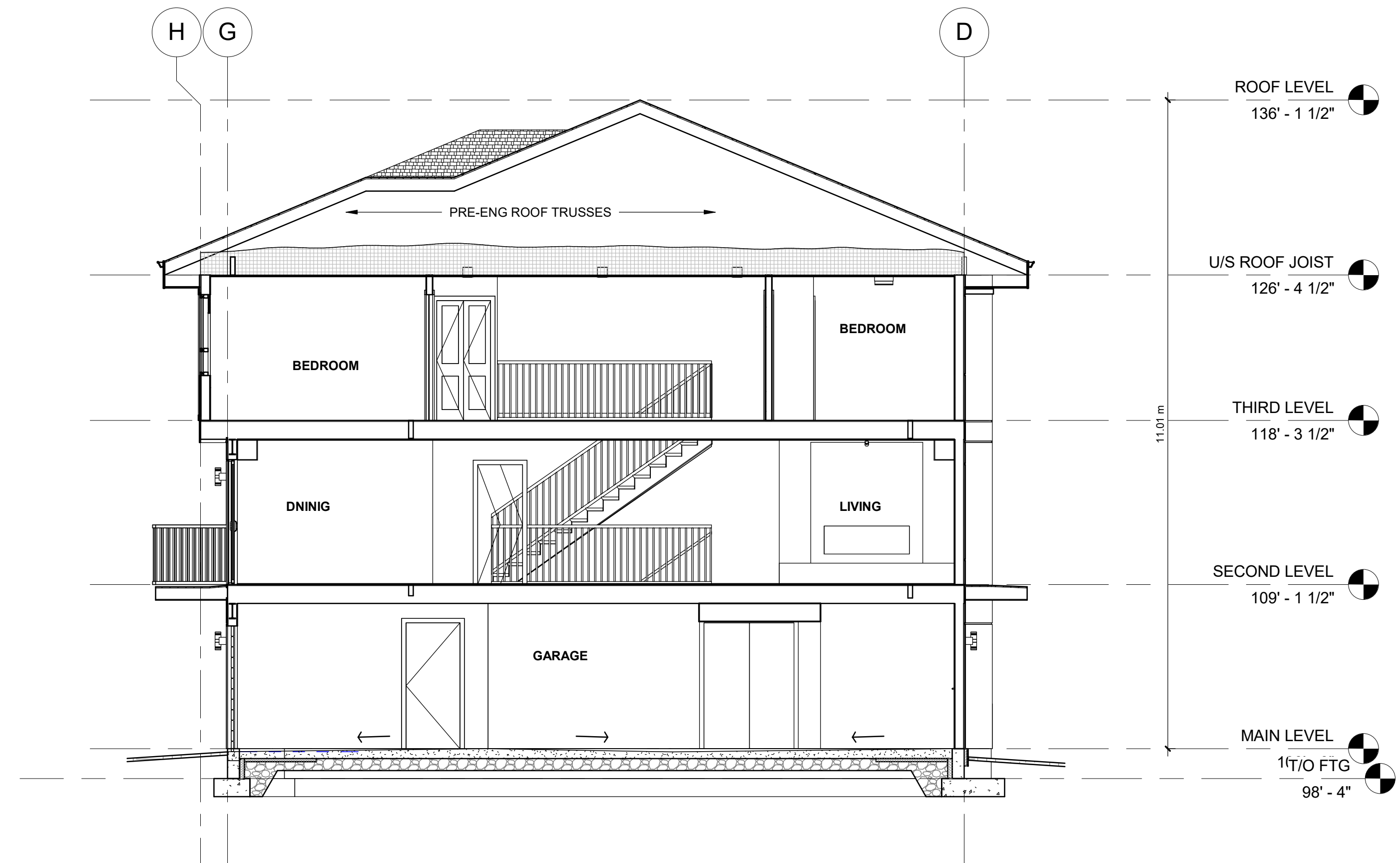
plotted 9/5/2017 10:51:11 AM

NOT FOR CONSTRUCTION

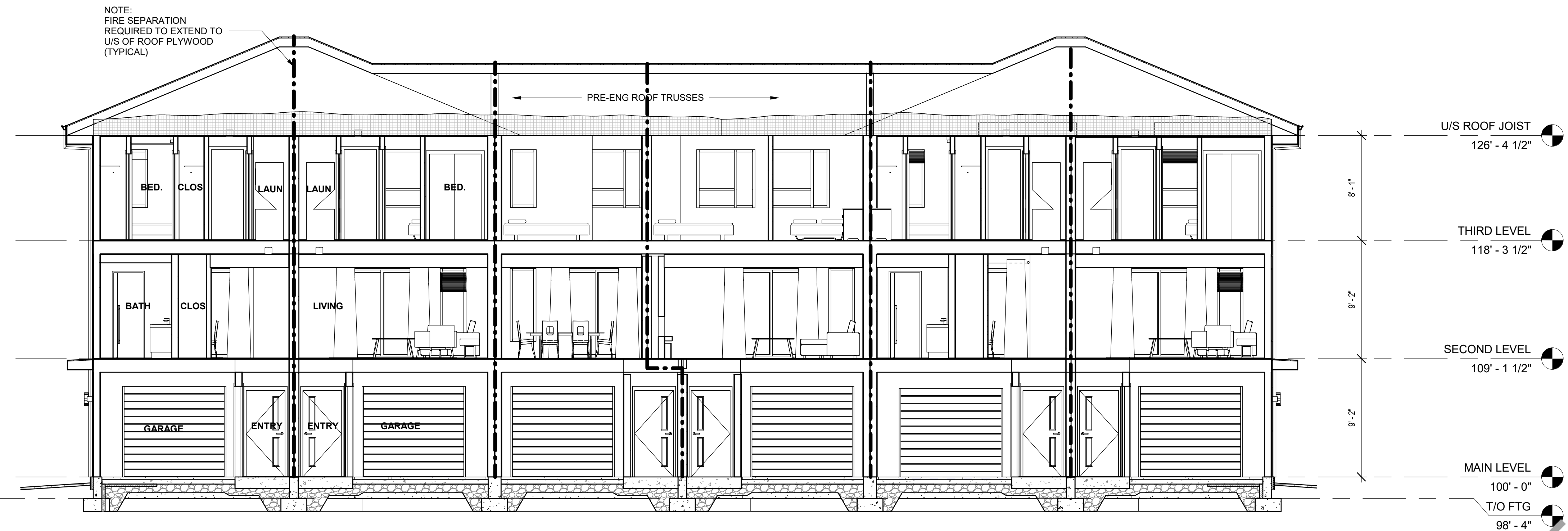
ALL CONTRACTORS ARE REQUIRED TO PERFORM THEIR WORK AND SUPPLY THEIR PRODUCTS IN COMPLIANCE WITH ALL BUILDING CODES AND LAWS OF THE PROVINCE OF BRITISH COLUMBIA. This drawing is an instrument of service and the property of New Town Services. The use of this drawing shall be restricted to the original site for which it was prepared and publication thereof is expressly limited to such use. This drawing must not be scaled. Verify all dimensions and datums prior to commencement of work. Report all errors and omissions to the Architect.



1 BUILDING SECTION @ STAIRS  
A3.00 3/16" = 1'-0"



2 BUILDING SECTION  
A3.00 3/16" = 1'-0"



3 BUILDING SECTION - 6 UNIT BUILDINGDP  
A3.00 3/16" = 1'-0"

NOT FOR CONSTRUCTION

Revision		
No	Date	Description
1	AUG 30, 2017	REISSUED FOR DP



project title  
**LEATHEAD TH**

project address  
**LEATHEAD ROAD  
KELOWNA, B.C.**

project no. 4007

file no.

drawing title  
**6 UNIT BUILDING SECTIONS**

designed scale 3/16" = 1'-0"

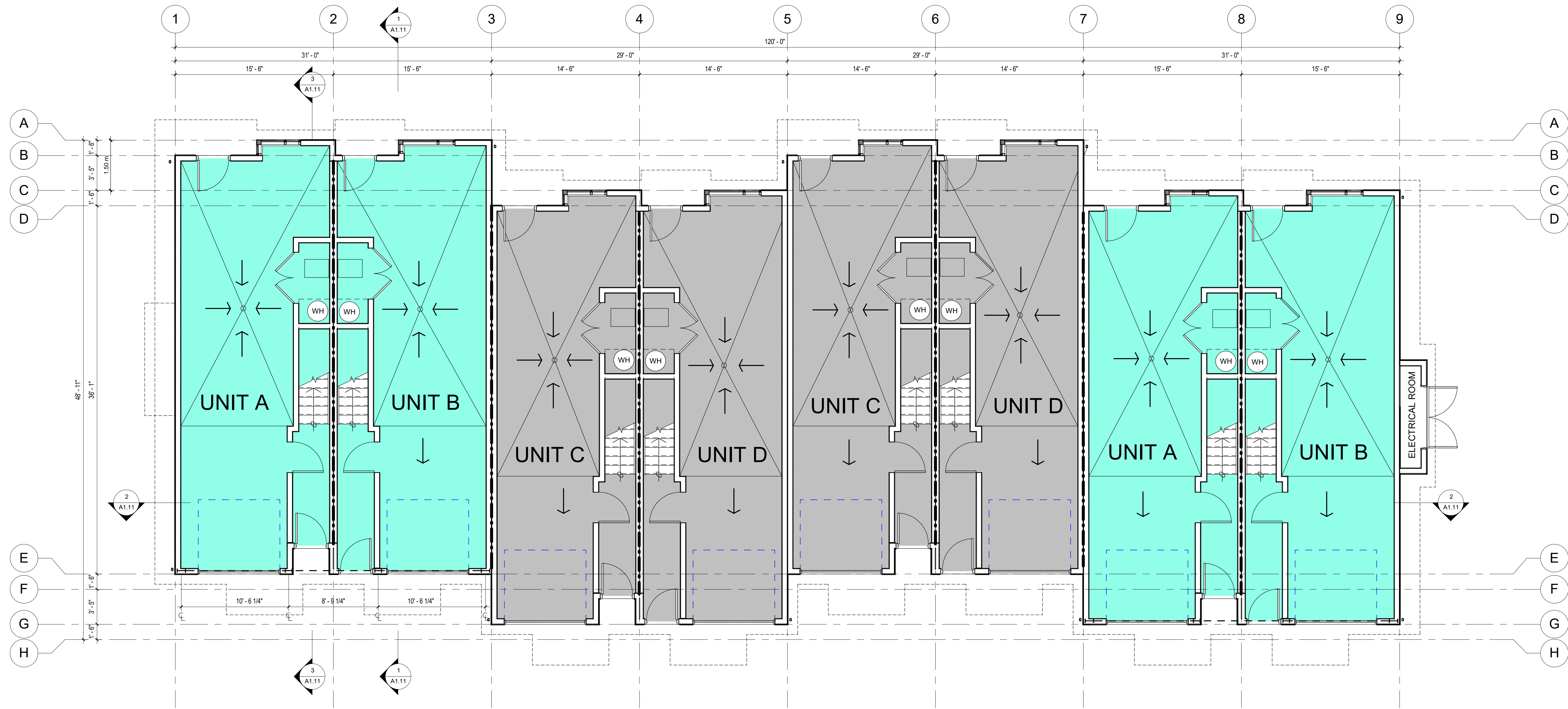
drawn J.K.

checked R.Y.

drawing no.  
**A-1.5**

plotted 9/5/2017 10:51:16 AM

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1 MAIN LEVEL - 8 UNIT BUILDING  
 A1.10 3/16" = 1'-0"

TYPICAL UNITS  
 END UNITS

<b>SUITE A</b>	
FLOOR AREA:	1358.0 sqft 121.2 sqm
BEDROOMS	3
FULL BATH	2
HALF BATH	2

<b>SUITE B</b>	
FLOOR AREA:	1386.8 sqft 128.8 sqm
BEDROOMS	3
FULL BATH	2
HALF BATH	2

<b>SUITE C</b>	
FLOOR AREA:	1273.7 sqft 118.3 sqm
BEDROOMS	3
FULL BATH	2
HALF BATH	2

<b>SUITE D</b>	
FLOOR AREA:	1302.7 sqft 121.0 sqm
BEDROOMS	3
FULL BATH	2
HALF BATH	2

NOT FOR CONSTRUCTION

Revision		
No	Date	Description
1	AUG 30, 2017	REISSUED FOR BP



project title  
**LEATHEAD TH**

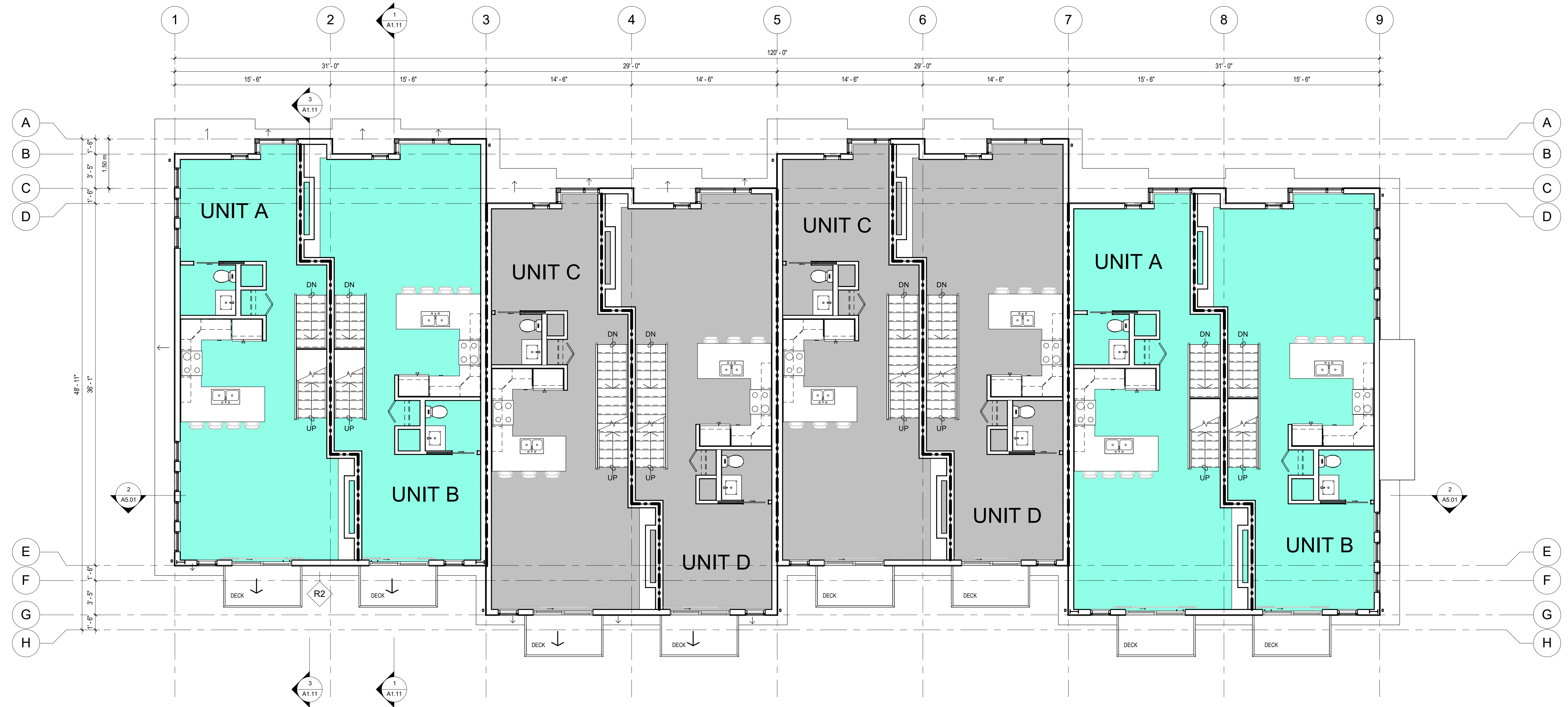
project address  
**LEATHEAD ROAD  
KELOWNA, B.C.**

project no. 4007

drawing title  
**8 UNIT - MAIN  
FLOOR**

designed \_\_\_\_\_ scale As indicated  
 drawn \_\_\_\_\_ J.F.  
 checked \_\_\_\_\_ R.Y.  
 drawing no. **A1.6**  
 plotted DEC 12, 2016 9/4/2017 1:50:42 PM

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1 SECOND LEVEL - 8 UNIT BUILDING  
 A1.10 3/16" = 1'-0"

	TYPICAL UNITS
	END UNITS

SEAL

Revision		
No	Date	Description
1	AUG 30, 2017	REISSUED FOR BP



project title  
**LEATHEAD TH**

project address  
**LEATHEAD ROAD  
 KELOWNA, B.C.**

project no. 4007

file no.

drawing title  
**8 UNIT - SECOND FLOOR**

designed \_\_\_\_\_ scale As indicated

drawn \_\_\_\_\_ J.F.

checked \_\_\_\_\_ R.Y.

drawing no.

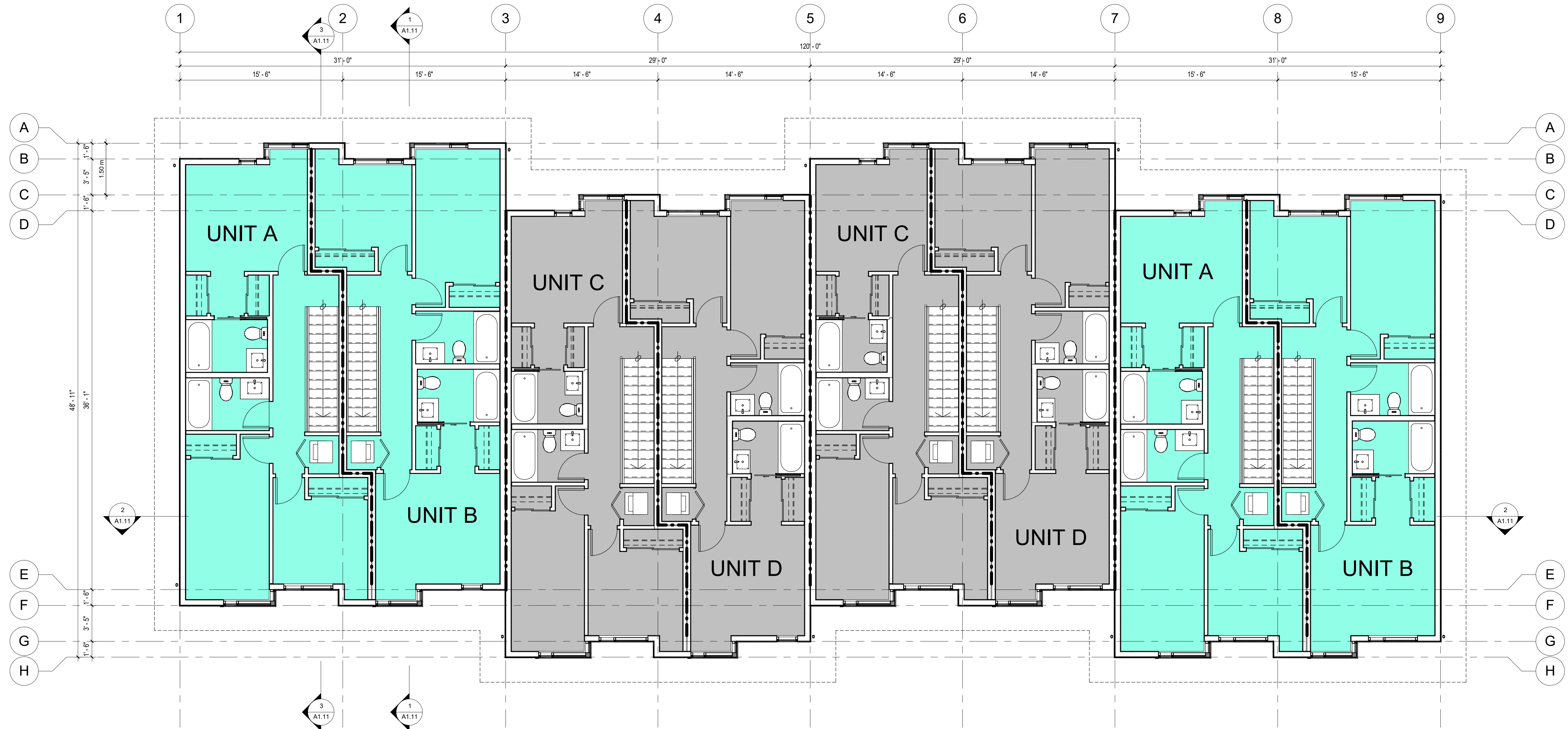
NOT FOR CONSTRUCTION

A1.7

plotted DEC 12, 2016 9/4/2017 1:50:55 PM



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1 THIRD LEVEL - 8 UNIT BUILDING  
 A1.10 3/16" = 1'-0"

TYPICAL UNITS  
 END UNITS

SEAL

Revision		
No	Date	Description
1	AUG 30, 2017	REISSUED FOR BP



project title  
**LEATHEAD TH**

project address  
**LEATHEAD ROAD  
 KELOWNA, B.C.**

project no. 4007

drawing title  
**8 UNIT - THIRD FLOOR**

designed \_\_\_\_\_ scale As indicated  
 drawn \_\_\_\_\_ J.F.  
 checked \_\_\_\_\_ R.Y.  
 drawing no.

NOT FOR CONSTRUCTION

A1.8

plotted DEC 12, 2016 9/4/2017 1:50:58 PM

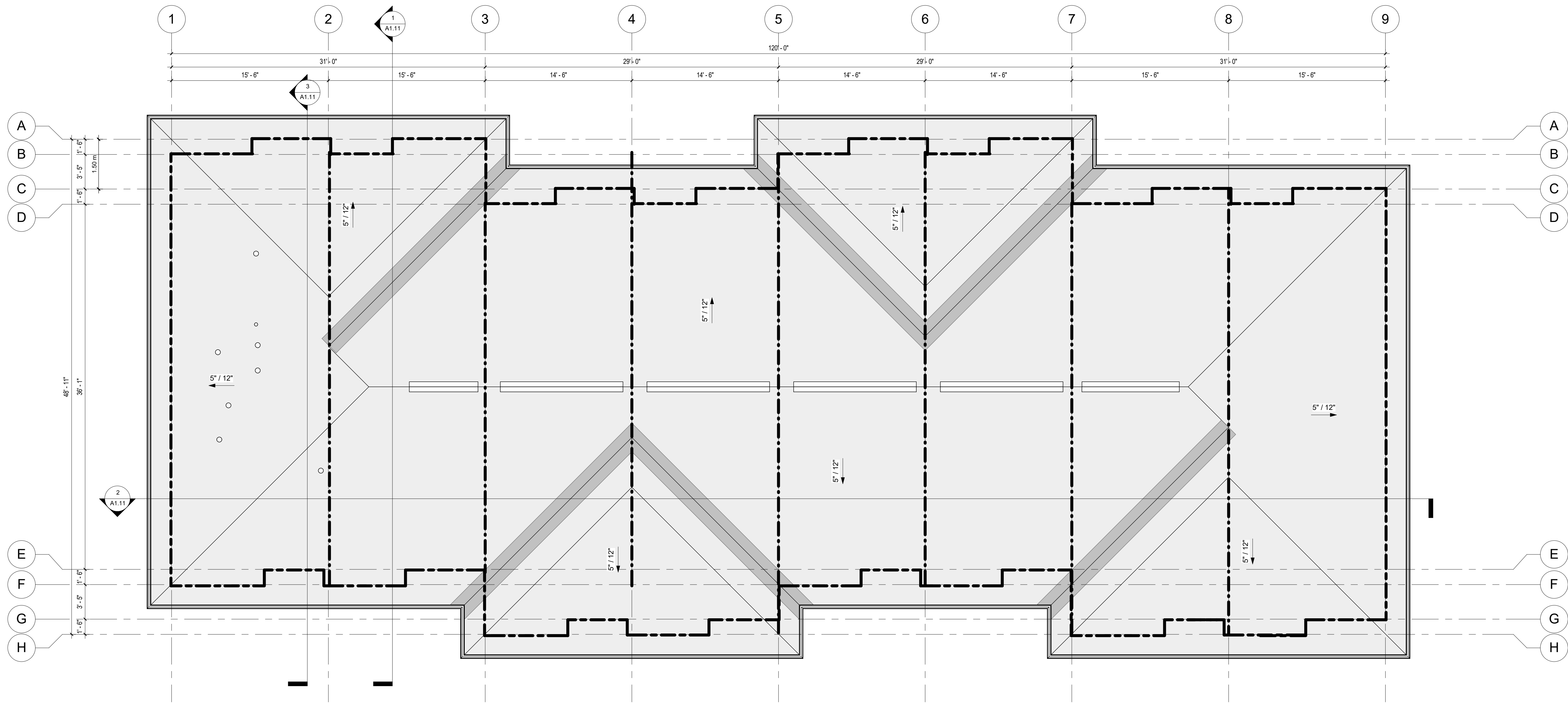
ALL CONTRACTORS ARE REQUIRED TO PERFORM THEIR WORK AND SUPPLY THEIR PRODUCTS IN COMPLIANCE WITH ALL BUILDING CODES AND LAWS OF THE PROVINCE OF BRITISH COLUMBIA

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SEAL

Revision		
No	Date	Description
1	AUG 30, 2017	REISSUED FOR BP

1 ROOF PLAN - 8 UNIT BUILDING  
A1.11 3/16" = 1'-0"

NOT FOR CONSTRUCTION



project title  
**LEATHEAD TH**

project address  
**LEATHEAD ROAD  
KELOWNA, B.C.**

project no. 4007

file no.

drawing title  
**8 UNIT - ROOF PLAN**

designed \_\_\_\_\_ scale 3/16" = 1'-0"

drawn J.F.

checked R.Y.

drawing no. **A1.9**

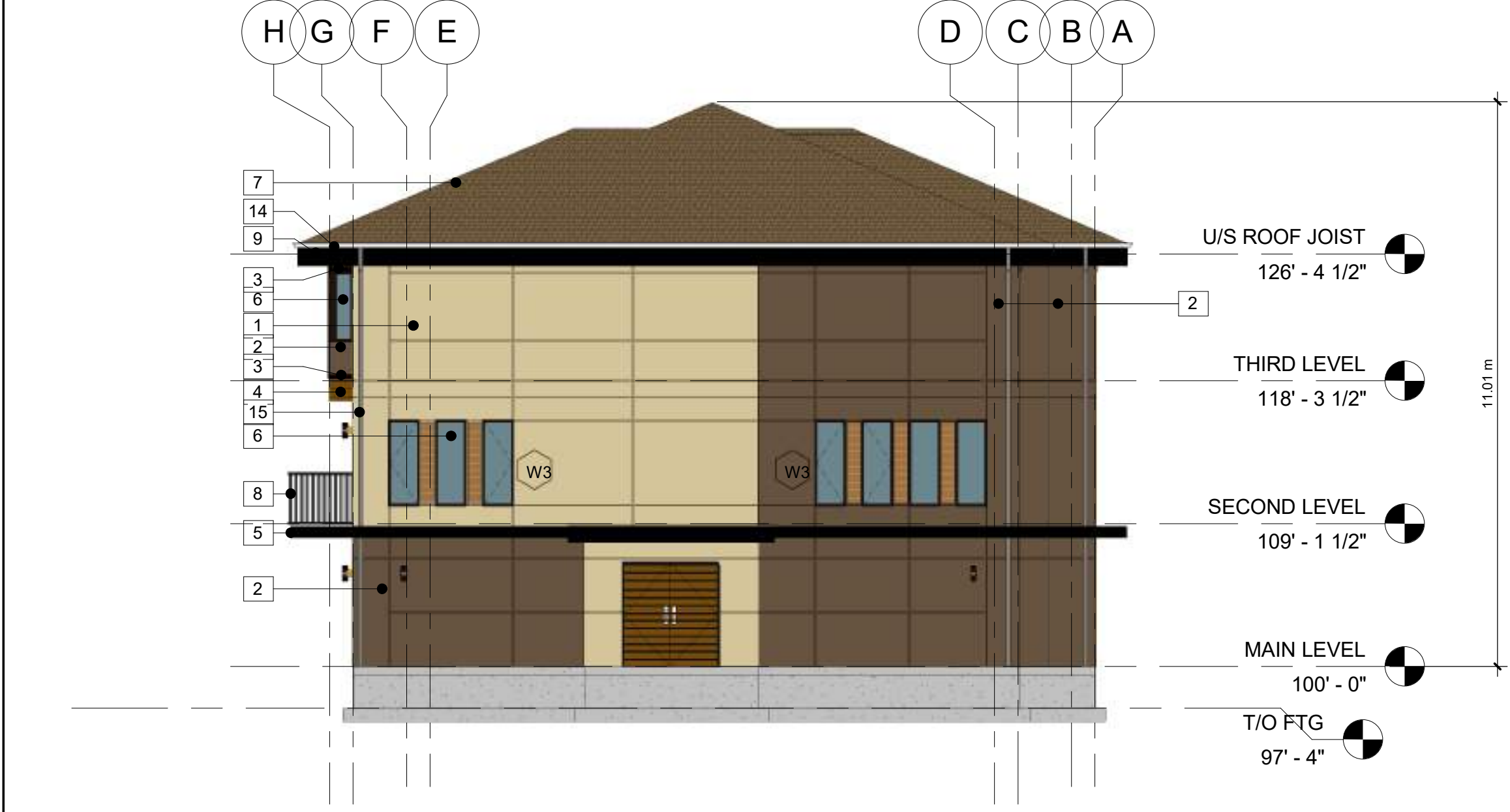
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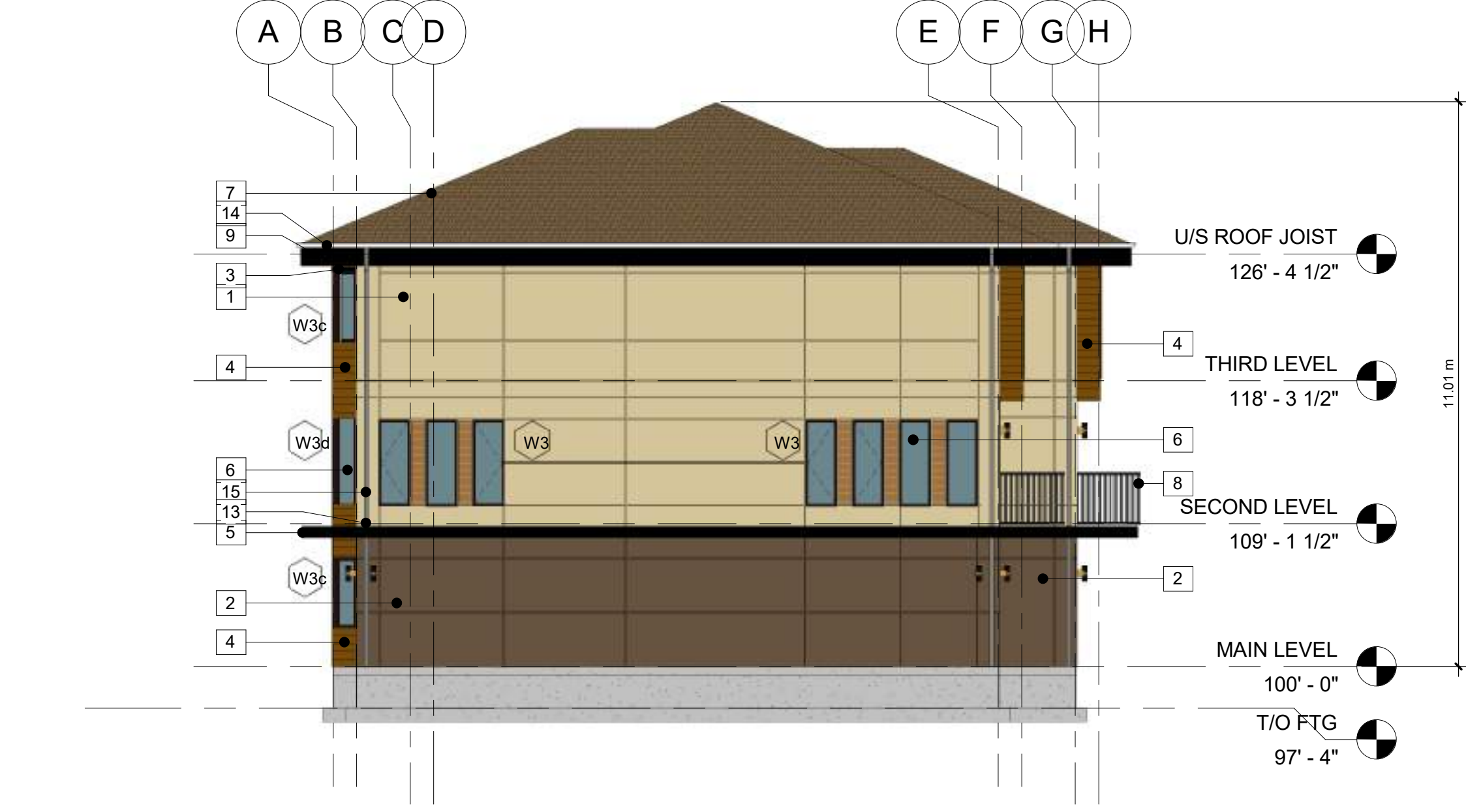
1 BACK ELEVATION DP  
1/8" = 1'-0"



2 FRONT ELEVATION DP  
1/8" = 1'-0"



4 RIGHT ELEVATION DP  
1/8" = 1'-0"



3 LEFT ELEVATION DP  
1/8" = 1'-0"

### EXTERIOR MATERIAL LEGEND

	HARDIE PANELS - BEIGE COLOUR: NAVAJO BEIGE
	HARDIE PANELS - BROWN/GREY COLOUR: TIMBERBARK HARDIE TRIM - BROWN/GREY COLOUR: TIMBERBARK
	LUX ALUMINUM SIDING - WOOD GRAIN COLOUR: CEDAR
	PREFINISHED METAL FLASHING - COLOUR: BLACK TO MATCH WINDOWS/DOORS, EXTERIOR RAILINGS & GUTTER/DOWNSPOUT

### MATERIAL KEYNOTE LEGEND

- HARDIE PANELS - BEIGE
- HARDIE PANELS - BROWN/GREY
- HARDIE TRIM - COLOUR - BLACK
- LUX ALUMINUM SIDING - WOOD GRAIN C/W ALL REQUIRED TRIM
- HARDIE PANELS - COLOUR - BLACK
- VINYL WINDOWS ( NAILING FLANGE) - COLOUR BLACK
- ASPHALT SHINGLE ROOF - BROWN
- ALUMINUM GUARDRAIL - BLACK
- HARDIE (FASCIA) TRIM BOARD - COLOUR BLACK
- SOLID PAINTED DOOR - COLOR MATCH HARDIE PANELS GREY/BROWN
- OVERHEAD DOOR - COLOR MATH HARDIE PANELS BEIGE
- GLAZED SLIDING DOOR
- PROVIDE SLEEVE C/W FLASHING SEAL TO ALLOW FOR DOWNSPOUT TO PASS THROUGH. CLOUR - BLACK
- PREFIN SEAMLESS ALUM. GUTTER C/W ALL REQUIRED HARDWARE & LEAF PROTECTION. COLOUR - BLACK
- PREFIN ALUMN. 3 X 4 DOWNSPOUT C/W BRACKETS, DRAIN EXTENSION CONNECT TO STORM. COLOUR BLACK (REFER TO MECH. / CIVIL DWGS)
- PREFINISHED REVEALS, TRIMS, INSIDE/OUTSIDE CORNERS, TRANSITIONS, WINDOWS/DOORS & SOFFIT TO SUIT HARDIE PANELS. COLOUR - BLACK

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SEAL

Revision

No	Date	Description
1	AUG 30, 2017	REISSUED FOR BP



project title  
**LEATHEAD TH**

project address  
**LEATHEAD ROAD  
KELOWNA, B.C.**

project no. 4007

file no.

drawing title  
**8 UNIT BUILDING  
ELEVATIONS**

designed scale As indicated

drawn J.F.

checked R.Y.

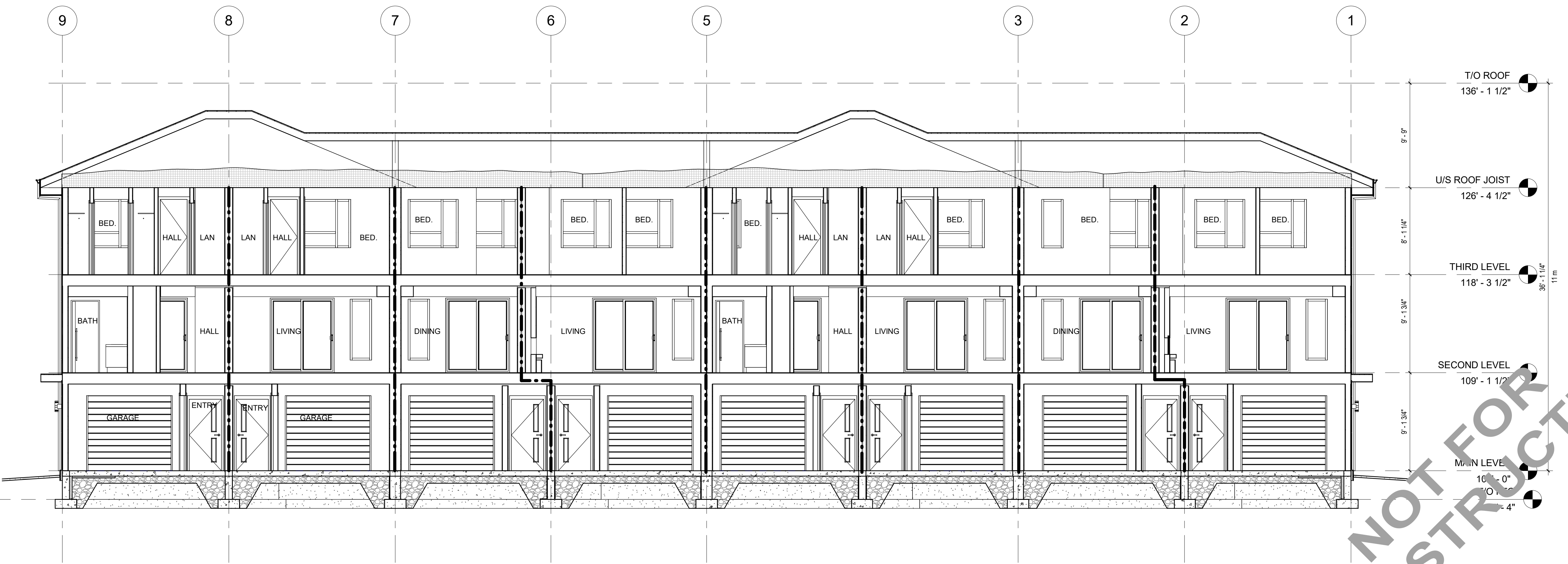
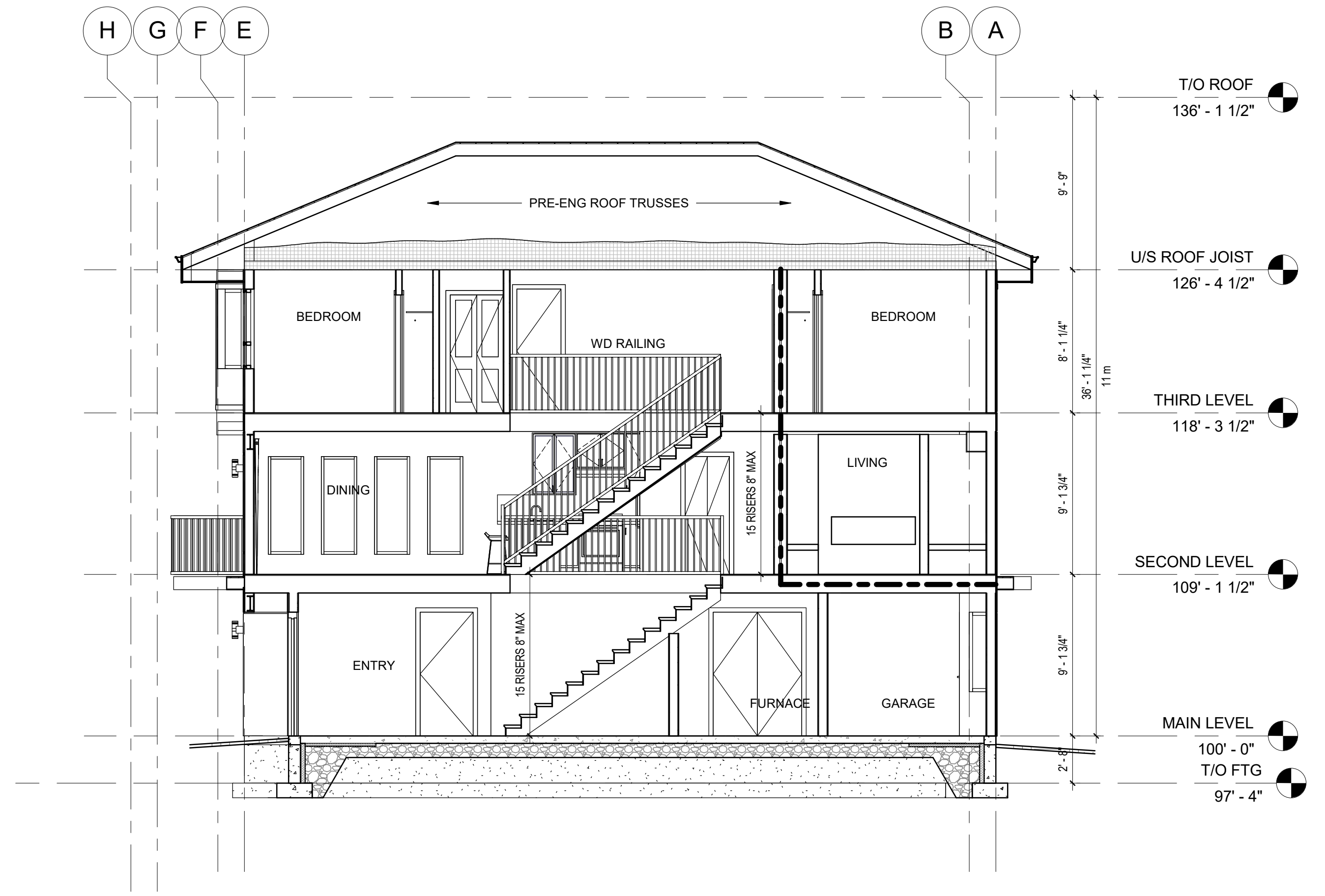
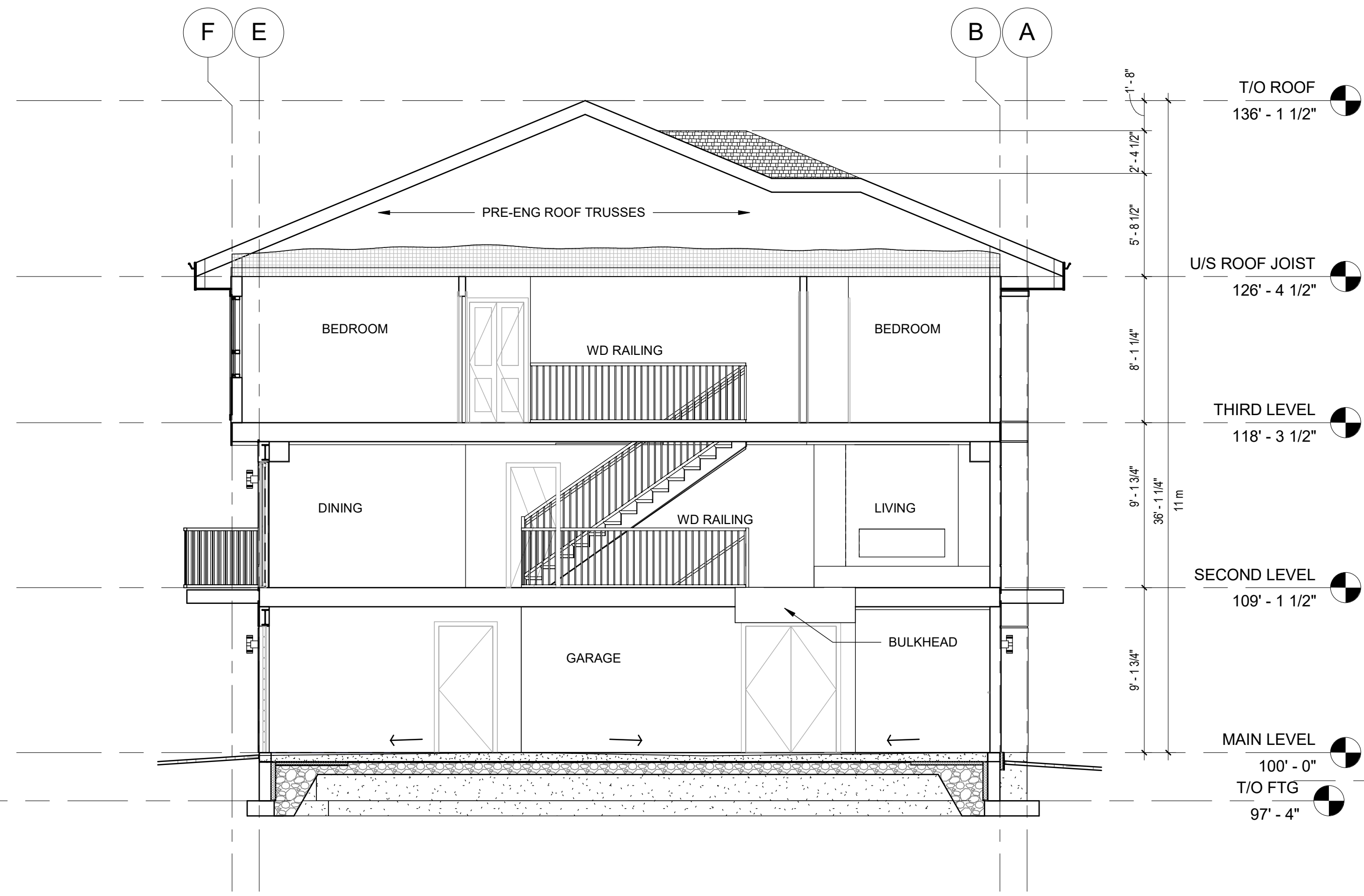
drawing no.

NOT FOR CONSTRUCTION

**A1.10**

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NOT FOR CONSTRUCTION

Revision		
No	Date	Description
1	AUG 30, 2017	REISSUED FOR BP



project title  
**LEATHEAD TH**

project address  
**LEATHEAD ROAD  
 KELOWNA, B.C.**

project no. 4007

file no.

drawing title  
**8 UNIT - BUILDING SECTIONS**

designed scale 3/16" = 1'-0"  
 drawn J.F.  
 checked R.Y.  
 drawing no. **A1.11**

plotted DEC 12, 2016 9/4/2017 1:51:08 PM

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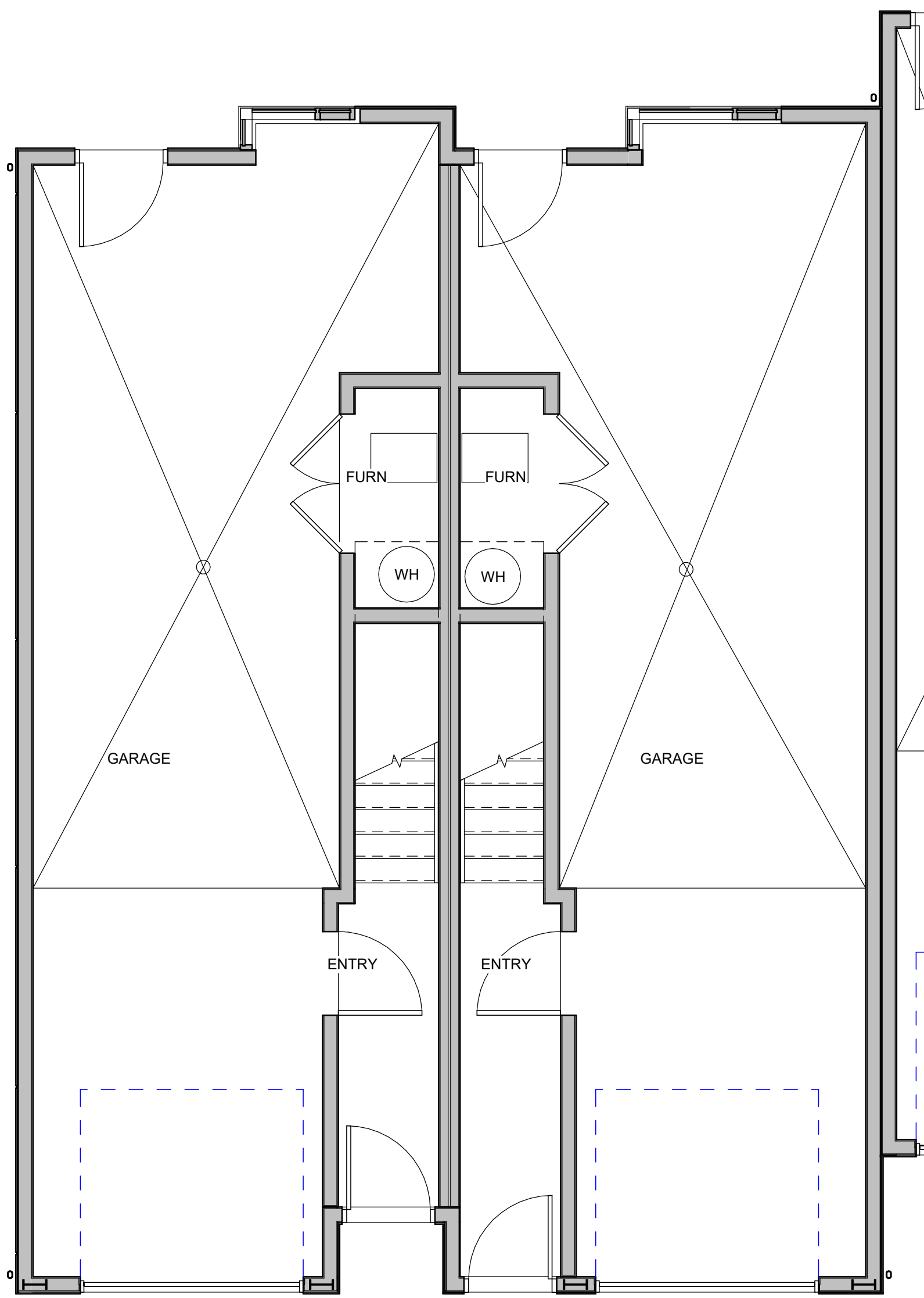
This drawing must not be scaled

Verify all dimensions and datums prior to commencement of work.

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SUITE A

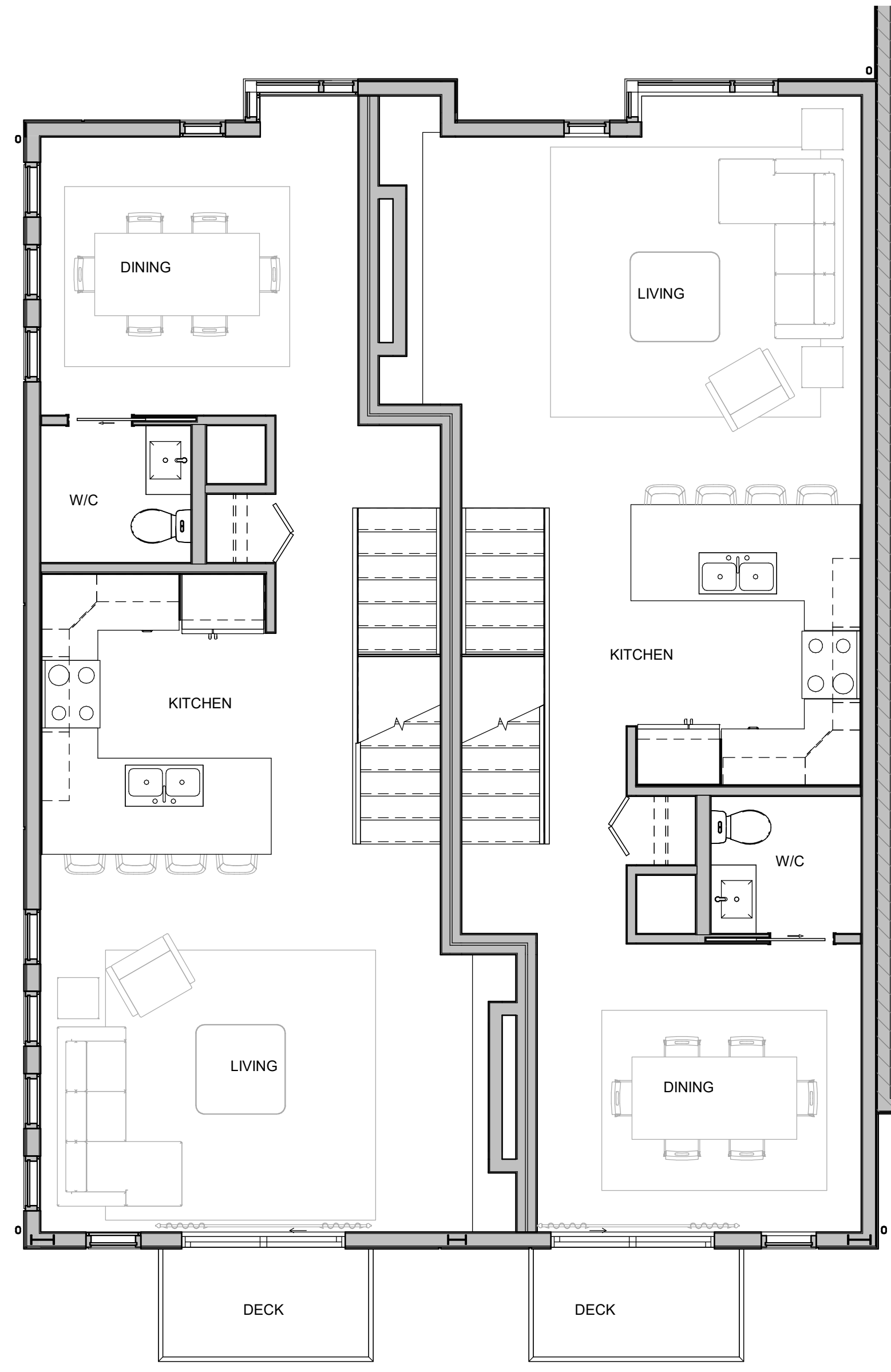
SUITE B



1 MAIN LEVEL - SUITE A & B DP  
A3.01 1/4" = 1'-0"

SUITE A

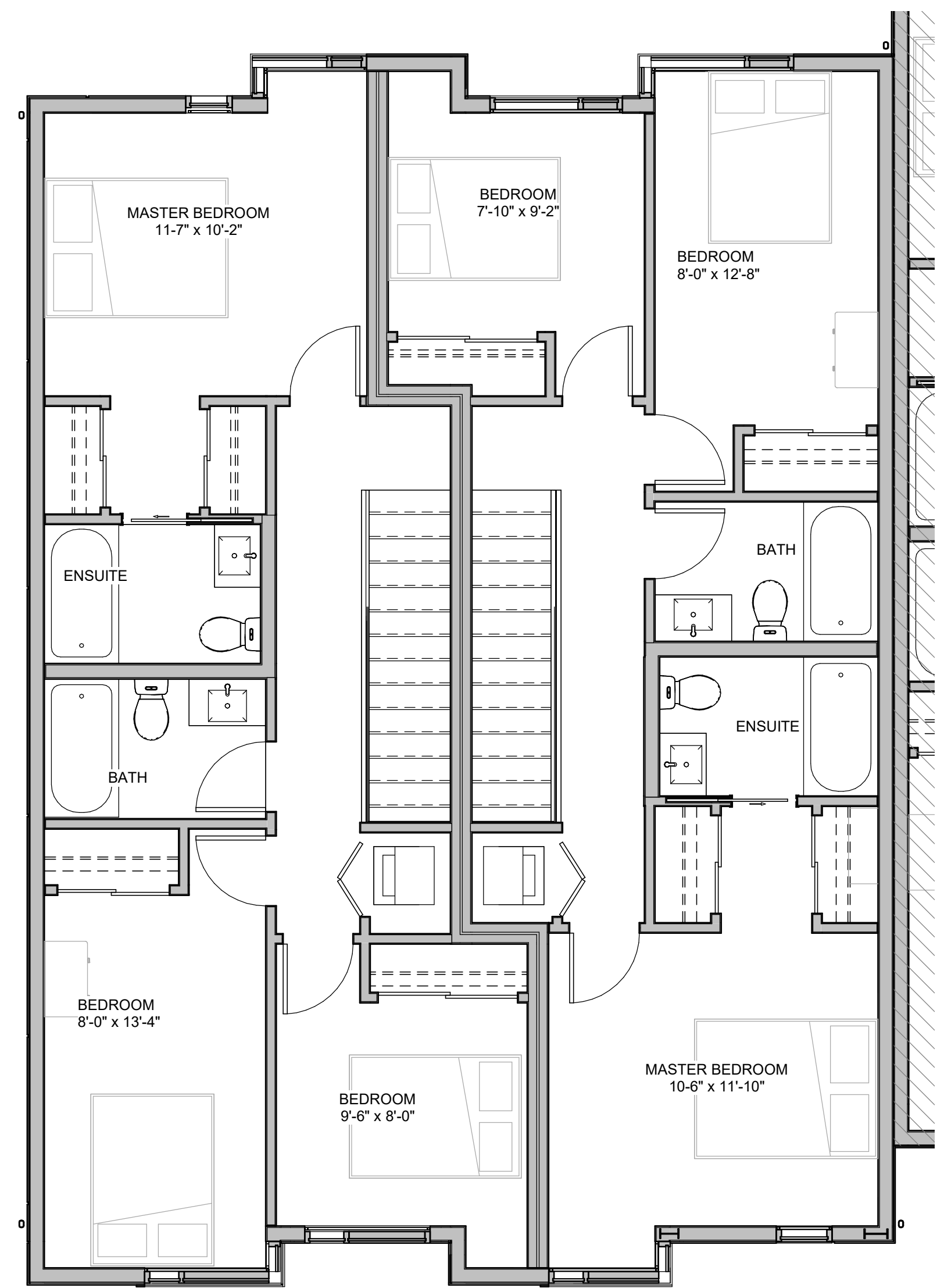
SUITE B



2 SECOND LEVEL - SUITE A & B DP  
A3.02 1/4" = 1'-0"

SUITE A

SUITE B



3 THIRD LEVEL - SUITE A & B DP  
A3.03 1/4" = 1'-0"

SEAL

Revision		
No	Date	Description
1	AUG 30, 2017	REISSUED FOR DP



project title  
**LEATHEAD TH**

project address  
**LEATHEAD ROAD  
KELOWNA, B.C.**

project no. 4007

file no.

drawing title  
**ENLARGED END  
UNIT PLANS**

designed \_\_\_\_\_ scale 1/4" = 1'-0"

drawn \_\_\_\_\_ J.K.

checked \_\_\_\_\_ R.Y.

drawing no. **A-2.0**

plotted 9/5/2017 10:51:20 AM

**NOT FOR  
CONSTRUCTION**

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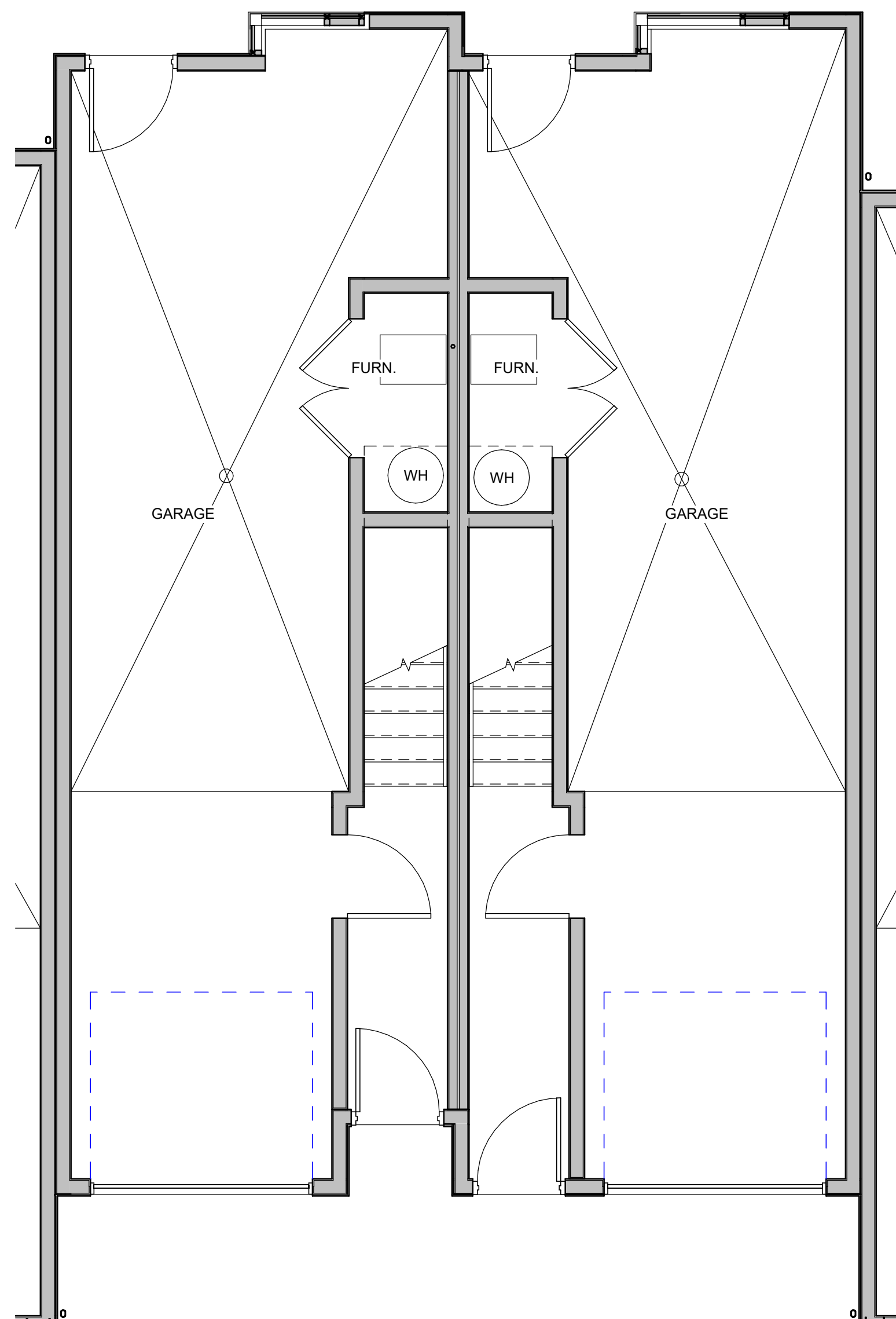
This drawing must not be scaled

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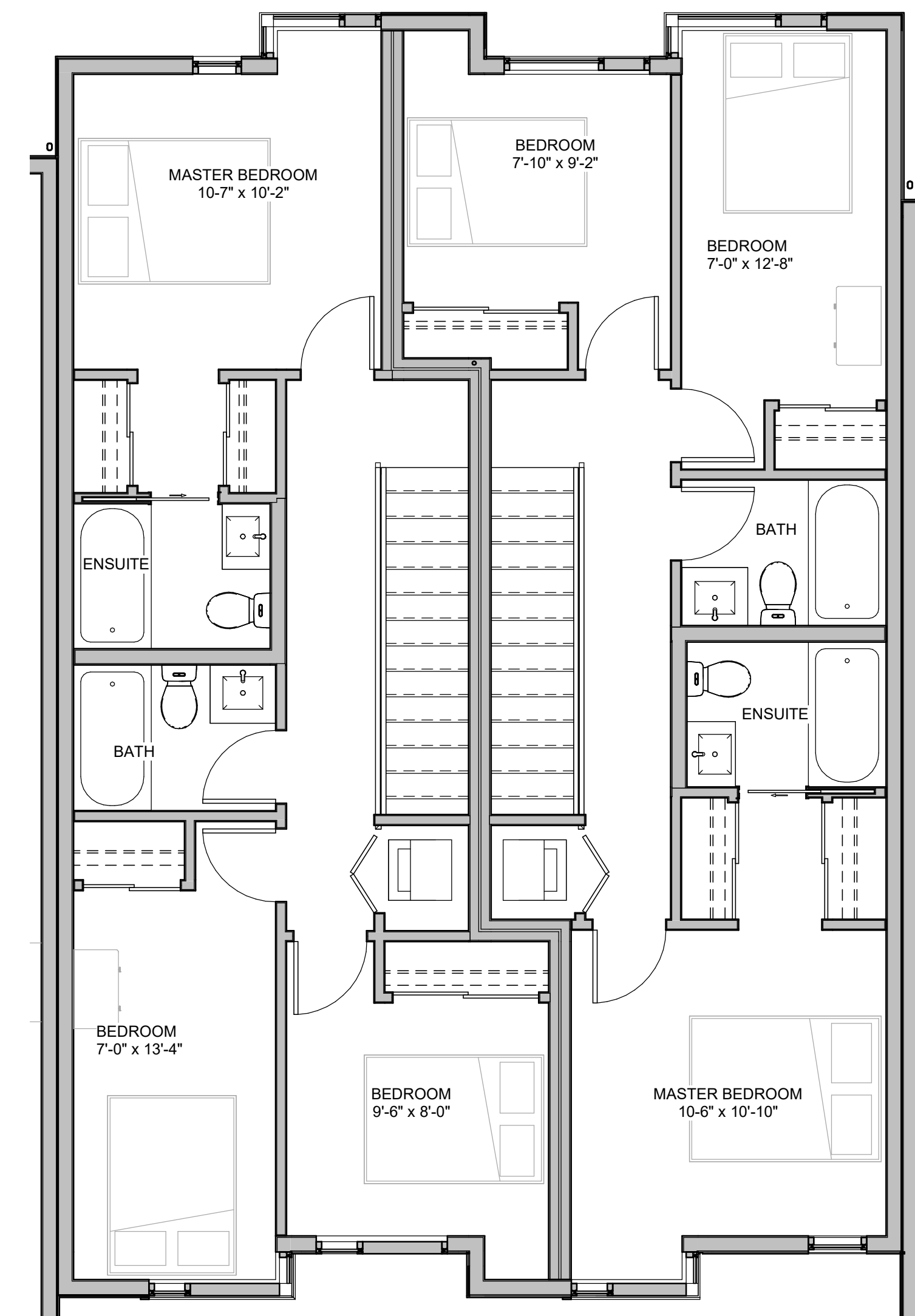
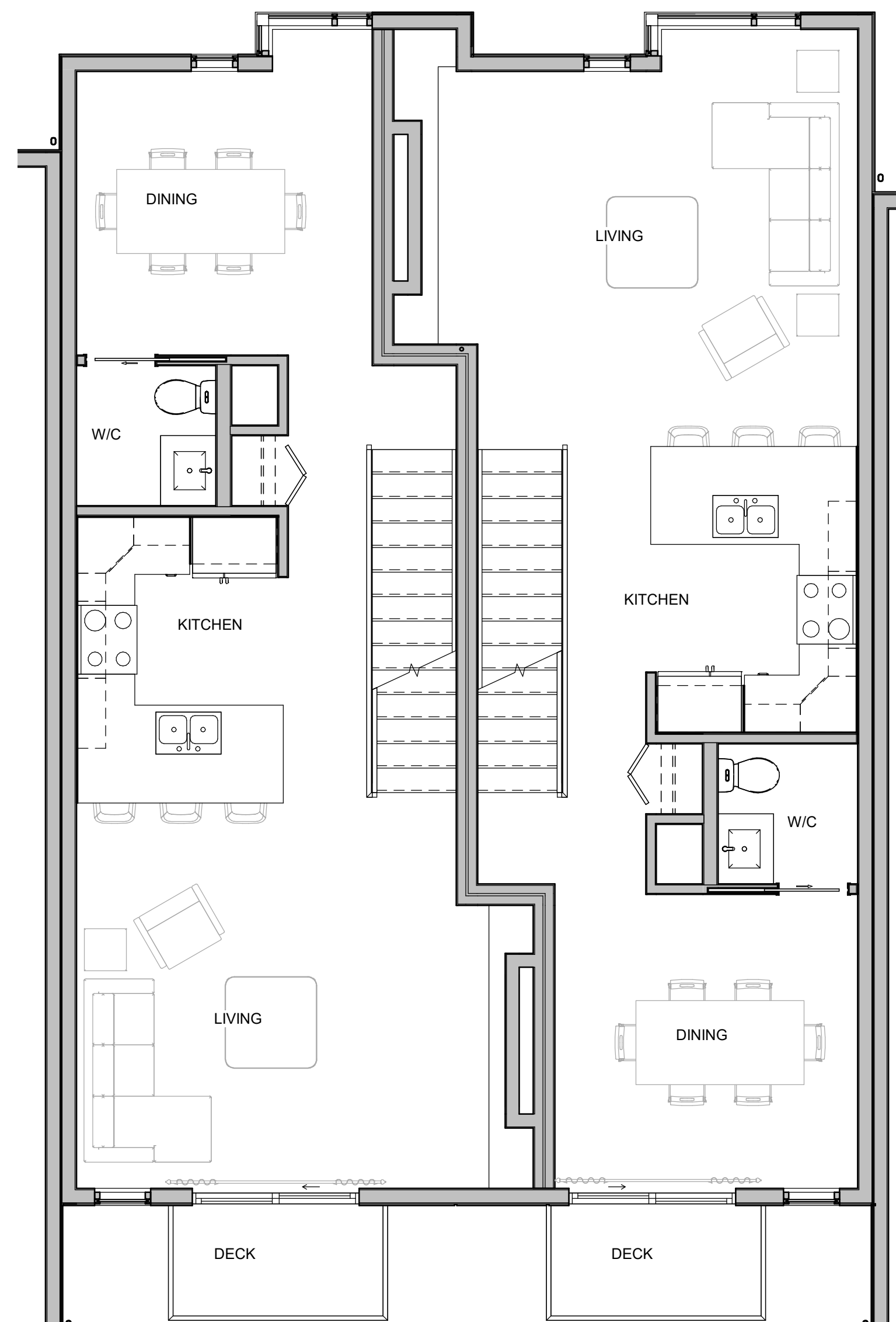
SUITE C

SUITE D



SUITE C

SUITE D



1 MAIN LEVEL - SUITE C & D DP  
A3.01 1/4" = 1'-0"

3 SECOND LEVEL - SUITE C & D DP  
A3.02 1/4" = 1'-0"

2 THIRD LEVEL - SUITE C & D CD  
A3.03 1/4" = 1'-0"

SEAL

Revision		
No	Date	Description
1	AUG 30, 2017	REISSUED FOR DP



project title  
**LEATHEAD TH**

project address  
**LEATHEAD ROAD  
KELOWNA, B.C.**

project no. 4007

file no.

drawing title  
**ENLARGED  
TYPICAL UNIT  
PLANS**

designed scale 1/4" = 1'-0"

drawn J.K.

checked R.Y.

drawing no.

**A-2.1**

plotted 9/5/2017 10:51:23 AM

**NOT FOR  
CONSTRUCTION**