

Development Permit & Development Variance Permit DP18-0042/DVP18-0043



This permit relates to land in the City of Kelowna municipally known as

1931 Union Road

and legally known as

Lot 9 Section 4 Township 23 Osoyoos Division Yale District Plan KAP52773

and permits the land to be used for the following development:

Multiple Dwelling Housing

With variances to the following section of Zoning Bylaw No. 8000

Section 13.8.6(b): RM2 – Low Density Row Housing Housing Development Regulations

To vary the required maximum site coverage of buildings, driveways and parking areas from 60 % permitted to 69 % proposed.

The present owner and any subsequent owner of the above described land must comply with any attached terms and conditions.

Date of Decision: June 12, 2018

Decision By: City Council

Issued Date: June 12, 2018

Development Permit Area: Comprehensive Development Permit Area

This permit will not be valid if development has not commenced by June 12, 2020.

Existing Zone: RM2 – Low Density Row Housing Future Land Use Designation: MRL – Multiple Unit Residential (Low Density)

This is NOT a Building Permit.

In addition to your Development Permit, a Building Permit may be required prior to any work commencing. For further information, contact the City of Kelowna, Development Services Branch.

NOTICE

This permit does not relieve the owner or the owner's authorized agent from full compliance with the requirements of any federal, provincial or other municipal legislation, or the terms and conditions of any easement, covenant, building scheme or agreement affecting the building or land.

Owner: Kirvi Construction Development Company Ltd., Inc.No. BCo640835

Applicant: Patrick McCusker Architecture Inc.

Ryan Smith
Community Planning Department Manager
Community Planning & Strategic Investments

Date

1. SCOPE OF APPROVAL

This Development Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.

This Development Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this permit, noted in the Terms and Conditions below.

The issuance of a permit limits the permit holder to be in strict compliance with regulations of the Zoning Bylaw and all other Bylaws unless specific variances have been authorized by the Development Permit. No implied variances from bylaw provisions shall be granted by virtue of drawing notations that are inconsistent with bylaw provisions and that may not have been identified as required Variances by the applicant or Municipal staff.

2. CONDITIONS OF APPROVAL

- a) The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A";
- b) The exterior design and finish of the building to be constructed on the land be in accordance with Schedule "B";
- c) Landscaping to be provided on the land be in accordance with Schedule "C"; and
- d) The applicant be required to post with the City a Landscape Performance Security deposit in the form of a "Letter of Credit" in the amount of 125% of the estimated value of the landscaping, as determined by a Registered Landscape Architect.

This Development Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

3. PERFORMANCE SECURITY

As a condition of the issuance of this Permit, Council is holding the security set out below to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Developer and be paid to the Developer or his or her designate if the security is returned. The condition of the posting of the security is that should the Developer fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the Municipality may use enter into an agreement with the property owner of the day to have the work carried out, and any surplus shall be paid over to the property own of the day. Should the Developer carry out the development permitted by this Permit within the time set out above, the security shall be returned to the Developer or his or her designate. There is filed accordingly:

- a) An Irrevocable Letter of Credit in the amount of \$TBD

Before any bond or security required under this Permit is reduced or released, the Developer will provide the City with a statutory declaration certifying that all labour, material, workers' compensation and other taxes and costs have been paid.

4. INDEMNIFICATION

Upon commencement of the works authorized by this Permit the Developer covenants and agrees to save harmless and effectually indemnify the Municipality against:

- a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality said Permit.

All costs, expenses, claims that may be incurred by the Municipality where the construction, engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

**The PERMIT HOLDER is the CURRENT LAND OWNER.
Security shall ONLY be returned to the signatory of the
Landscape Agreement or their designates.**

DEVELOPMENT PERMIT GUIDELINES

Comprehensive Development Permit Area

Consideration has been given to the following guidelines as identified in Section 14.A. of the City of Kelowna Official Community Plan relating to Comprehensive Development Permit Areas:

COMPREHENSIVE DEVELOPMENT PERMIT AREA	YES	NO	N/A
Authenticity and Regional Expression			
Do landscaping and building form convey a character that is distinct to Kelowna and the Central Okanagan?	✓		
Are materials in keeping with the character of the region?	✓		
Are colours used common in the region's natural landscape?		✓	
Does the design provide for a transition between the indoors and outdoors?	✓		
Context			
Does the proposal maintain the established or envisioned architectural character of the neighbourhood?	✓		
Does interim development consider neighbouring properties designated for more intensive development?			✓
Are façade treatments facing residential areas attractive and context sensitive?	✓		
Are architectural elements aligned from one building to the next?	✓		
For exterior changes, is the original character of the building respected and enhanced?			✓
Is the design unique without visually dominating neighbouring buildings?	✓		
For developments with multiple buildings, is there a sense of architectural unity and cohesiveness?	✓		
Relationship to the Street			
Do buildings create the desired streetscape rhythm?	✓		
Are parkade entrances located at grade?	✓		
For buildings with multiple street frontages, is equal emphasis given to each frontage?	✓		
Massing and Height			
Does the design mitigate the actual and perceived mass of buildings?	✓		
Does the height consider shading and view impacts for neighbouring properties and transition to less intensive areas?	✓		
Human Scale			
Are architectural elements scaled for pedestrians?	✓		
Are façades articulated with indentations and projections?	✓		

COMPREHENSIVE DEVELOPMENT PERMIT AREA	YES	NO	N/A
Are top, middle and bottom building elements distinguished?	✓		
Do proposed buildings have an identifiable base, middle and top?	✓		
Are building facades designed with a balance of vertical and horizontal proportions?	✓		
Are horizontal glazed areas divided into vertically proportioned windows separated by mullions or building structures?	✓		
Does the design incorporate roof overhangs and the use of awnings, louvers, canopies and other window screening techniques?	✓		
Is the visual impact of enclosed elevator shafts reduced through architectural treatments?			✓
Exterior Elevations and Materials			
Are buildings finished with materials that are natural, local, durable and appropriate to the character of the development?	✓		
Are entrances visually prominent, accessible and recognizable?	✓		
Are higher quality materials continued around building corners or edges that are visible to the public?	✓		
Are a variety of materials used to create contrast, enhance the pedestrian environment and reduce the apparent mass of a building?		✓	
Are elements other than colour used as the dominant feature of a building?	✓		
Public and Private Open Space			
Does public open space promote interaction and movement through the site?			✓
Are public and private open spaces oriented to take advantage of and protect from the elements?		✓	
Is there an appropriate transition between public and private open spaces?	✓		
Are amenities such as benches, garbage receptacles, bicycle stands and community notice boards included on site?	✓		
Site Access			
Is the safe and convenient movement of pedestrians prioritized?	✓		
Are alternative and active modes of transportation supported through the site design?	✓		
Are identifiable and well-lit pathways provided to front entrances?	✓		
Do paved surfaces provide visual interest?	✓		
Is parking located behind or inside buildings, or below grade?	✓		
Are large expanses of parking separated by landscaping or buildings?			✓
Are vehicle and service accesses from lower order roads or lanes?	✓		

COMPREHENSIVE DEVELOPMENT PERMIT AREA	YES	NO	N/A
Do vehicle and service accesses have minimal impact on the streetscape and public views?			✓
Is visible and secure bicycle parking provided in new parking structures and parking lots?			✓
Environmental Design and Green Building			
Does the proposal consider solar gain and exposure?			✓
Are green walls or shade trees incorporated in the design?			✓
Does the site layout minimize stormwater runoff?			✓
Are sustainable construction methods and materials used in the project?			✓
Are green building strategies incorporated into the design?			✓
Decks, Balconies, Rooftops and Common Outdoor Amenity Space			
Are decks, balconies or common outdoor amenity spaces provided?	✓		
Does hard and soft landscaping enhance the usability of decks, balconies and outdoor amenity spaces?	✓		
Are large flat expanses of roof enhanced with texture, colour or landscaping where they are visible from above or adjacent properties?			✓
Amenities, Ancillary Services and Utilities			
Are loading, garage, storage, utility and other ancillary services located away from public view?			✓
Are vents, mechanical rooms / equipment and elevator penthouses integrated with the roof or screened with finishes compatible with the building's design?			✓
Landscape Development and Irrigation Water Conservation			
Does landscaping:	-	-	-
• Compliment and soften the building's architectural features and mitigate undesirable elements?	✓		
• Maintain the dominant pattern of landscaping along the street and surrounding properties?	✓		
• Enhance the pedestrian environment and the sense of personal safety?	✓		
• Screen parking areas, mechanical functions, and garbage and recycling areas?	✓		
• Respect required sightlines from roadways and enhance public views?	✓		
• Retain existing healthy mature trees and vegetation?			✓
• Use native plants that are drought tolerant?	✓		
• Define distinct private outdoor space for all ground-level dwellings?	✓		
Do any fences and retaining walls create visual interest and enhance the pedestrian environment?	✓		

COMPREHENSIVE DEVELOPMENT PERMIT AREA	YES	NO	N/A
Do parking lots have one shade tree per four parking stalls?			✓
Does the Landscape Architect's Landscape Water Conservation Report:	-	-	-
<ul style="list-style-type: none"> Meet the requirements for Landscape Water Budget calculations for the landscaped area? 	✓		
<ul style="list-style-type: none"> Indicate how the development complies with or varies from the Landscape Water Conservation Guidelines? 	✓		
<i>Landscape Water Conservation Guidelines</i>			
Are plants grouped into "hydro-zones" of high, medium and low or unirrigated / unwatered areas?	✓		
Does at least 25% of the total landscaped area require no irrigation / watering?		✓	
Does at least 25% of the total landscaped area require low water use?	✓		
Does at most 50% of the total landscaped area require medium or high water use?	✓		
Is mulch cover provided for shrubs and groundcover to reduce soil evaporation?	✓		
Do water features such as pools and fountains use recirculated water systems?			✓
Do landscape installation standards meet the requirements of the BC Landscape Standard and / or the Master Municipal Construction Document?	✓		
Are the required written declarations signed by a qualified Landscape Architect?	✓		
<i>Irrigation System Guidelines</i>			
Is the Irrigation Plan prepared by a Qualified Professional?	✓		
Are irrigation circuits grouped into "hydro-zones" of high, medium and low or unirrigated / unwatered areas consistent with the landscaping plan?	✓		
Is drip or low volume irrigation used?	✓		
Are the required written declarations signed by a qualified Certified Irrigation Designer?	✓		
Crime prevention			
Are CPTED practices as related to landscaping, siting, form and exterior design included in the design?	✓		
Are building materials vandalism resistant?	✓		
Universal Accessible Design			
Is access for persons with disabilities integrated into the overall site plan and clearly visible from the principal entrance?			✓
Are the site layout, services and amenities easy to understand and navigate?			✓
Lakeside Development			
Are lakeside open spaces provided or enhanced?			✓

COMPREHENSIVE DEVELOPMENT PERMIT AREA	YES	NO	N/A
Are lake views protected?			✓
Does lakeside development act as a transition between the lake and inland development?			✓
Signs			
Do signs contribute to the overall quality and character of the development?			✓
Is signage design consistent with the appearance and scale of the building?			✓
Are signs located and scaled to be easily read by pedestrians?			✓
For culturally significant buildings, is the signage inspired by historical influences?			✓
Lighting			
Does lighting enhance public safety?	✓		
Is "light trespass" onto adjacent residential areas minimized?	✓		
Does lighting consider the effect on the façade, neighbouring buildings and open spaces?			✓
Is suitably scaled pedestrian lighting provided?			✓
Does exterior street lighting follow the International Dark Sky Model to limit light pollution?			✓

ILLUSTRATION:



Notes:

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All work shall be carried out in accordance with Canadian standards, specifications, B.C. or A.B. Building Codes (Current Edition) and local authority bylaws and regulations.

Tabulated scales refer to Arch D size drawing sheet.

This drawing must not be scaled.

Contractors shall verify all dimensions prior to commencement of work.

Any omissions or discrepancies shall be reported to the architect.

Seal

- A

2018.04.06

Revision: Site Plan (DP_A1.01) and Bldg 1 - 7-Plex Side Elevations (DP_A3.05). Addition of items as per request of City of Kelowna
- B

2018.05.07

Revision: Revision to DP submittal. Addition of Firewalls to Bldg's 1, 3 & 4 (7-Plex) Plans and Elevations.

UNION ROAD

PROJECT STATISTICS:

Civic Address: 1931 Union Road, Kelowna B.C.
Legal Description: Lot 9, Plan 52773, O.D.Y.D.
Permitted Zoning: RM2 - Low Density Row Housing Zone (City of Kelowna Zoning By Law No. 8000)
Permitted Use: Row Housing

Site Area:	6,046.70	sq. m.
	65,088.29	sq. ft.
	0.605	ha.

Minimum Allowed		Proposed	
Lot Area:	sq. m.	6046.70	sq. m.
Lot Width:	m.	36.50	m.
Lot Depth:	m.	108.69	m.

Allowed		Proposed	
Front Yard	1.5 m	3.0 m	
Interior Side Yard	4.0 m	4.0 m	
Flanking Side Yard	1.5 m	3.0 m	
Rear Yard	7.5 m	7.5 m	

Building Type	# of Bldgs	Area/Bldg (Coverage)	Total Cover/Bldgs	
Building 1 (7 Plex)	1	7,415	7,415	sq. ft.
Buildings 2 & 5 (4 Plex)	2	4,155	8,310	sq. ft.
Buildings 3 & 4 (7 Plex)	2	7,344	14,688	sq. ft.
TOTAL	5		30,413	sq. ft.

Building Type	# of Bldgs	Area/Bldg (for FAR)	Total FAR/Bldgs	
Building 1 (7 Plex)	1	11,025	11,025	sq. ft.
Buildings 2 & 5 (4 Plex)	2	6,162	12,324	sq. ft.
Buildings 3 & 4 (7 Plex)	2	10,907	21,814	sq. ft.
TOTAL	5		45,163.20	sq. ft.

Units	# of units	Area/Unit (for FAR)	FAR	
Unit A	6	1,535	9,210.00	sq. ft.
Unit B, B1 & B2 (sq. ft. average)	19	1,544	29,341.20	sq. ft.
Unit C	4	1,653	6,612.00	sq. ft.
TOTAL	29		45,163.20	sq. ft.

Site Coverage: Maximum 50% (Building Footprint)

Allowed	Proposed
3,023.35 sq. m.	2,825.37 sq. m.
32,544.15 sq. ft.	30,413.00 sq. ft.

Total Coverage: Maximum 60% (Buildings + Driveways + Parking)

Allowed	Proposed Variance
3,628.02 sq. m.	4,168.42 sq. m.
39,052.97 sq. ft.	44,870.00 sq. ft.

Floor Area Ratio: Maximum 0.70 FAR (Addition of 0.05 for Parking)

Allowed	Proposed
4,232.69 sq. m.	4,195.66 sq. m.
45,561.80 sq. ft.	45,163.20 sq. ft.

Max. Bldg Height: 2 1/2 storeys

Allowed	Proposed
9.50 m.	8.19 m.
31.17 ft.	26.86 ft.

Private open space: Min. 25 sq. m. / 3 Bdrm Unit (Community Pk Open Space Area of 45 sq. m has been included)

Required	Proposed
725 sq. m.	1,304 sq. m.

Parking: Units - 2 stalls / 3 Bdrm Unit
Visitor - 1 visitor stall / 7 Units
23 Medium car stalls
39 Full size car stalls

Required	Proposed
58	58
5	6
Total Req'd = 63	64

Bicycle: Class II - Provide 0.1 / Unit

Required	Proposed
3	4
Total Req'd = 3	4

SCHEDULE

A

This forms part of application
DP18-0042 DVP18-0043

Planner Initials KB



City of Kelowna
COMMUNITY PLANNING



CONSULTANTS:

ARCHITECTURAL:
PATRICK MCCUSKER ARCHITECTURE INC.
3430 BENVOLIN ROAD,
KELOWNA, B.C. V1W 4M5
CONTACT: PATRICK MCCUSKER AIBC, AAA, MRAIC
TEL: 778.484.0223 e-mail: pat@pmcarch.com

LANDSCAPE ARCHITECT:
OUTLAND DESIGN LANDSCAPE ARCHITECTURE
206-1889 SPALL ROAD
KELOWNA, B.C. V1Y 4R2
CONTACT: FIONA BARTON
TEL: 250.868.9270 e-mail: fiona@outlanddesign.ca

CIVIL ENGINEER:
APLIN MARTIN CONSULTANTS LTD.
454 LEON AVENUE
KELOWNA, B.C. V1Y 6J3
CONTACT: CORY BARKER P. Eng.
TEL: 250.448.0157 e-mail: kelowna@aplinmartin.com

DRAWING INDEX:

DWG. No.	ARCHITECTURAL: DRAWING NAME	
DP_A.0.00	COVER SHEET	DP_A3.00 BUILDING 1 (7-PLEX) FRONT ELEVATION DP_A3.01 BUILDING 1 (7-PLEX) REAR ELEVATION DP_A3.02 BUILDING 1 (7-PLEX) RIGHT & LEFT SIDE ELEVATIONS DP_A3.03 BUILDING 1 (7-PLEX) FRONT ELEVATION (COLOURED) DP_A3.04 BUILDING 1 (7-PLEX) REAR ELEVATION (COLOURED) DP_A3.05 BUILDING 1 (7-PLEX) RIGHT & LEFT SIDE ELEVATIONS (COLOURED)
DP_A1.00	TOPOGRAPHIC SURVEY SITE PLAN	
DP_A1.01	SITE PLAN	
DP_A2.00	BUILDING 1 (7-PLEX) PARTIAL MAIN FLOOR PLAN	DP_A3.06 BUILDINGS 2 & 5 (4-PLEX) FRONT & RIGHT SIDE ELEVATIONS DP_A3.07 BUILDINGS 2 & 5 (4-PLEX) REAR & LEFT SIDE ELEVATIONS DP_A3.08 BUILDINGS 2 & 5 (4-PLEX) FRONT & RIGHT SIDE ELEVATIONS (COLOURED) DP_A3.09 BUILDINGS 2 & 5 (4-PLEX) REAR & LEFT SIDE ELEVATIONS (COLOURED)
DP_A2.01	BUILDING 1 (7-PLEX) PARTIAL MAIN FLOOR PLAN	
DP_A2.02	BUILDING 1 (7-PLEX) PARTIAL UPPER FLOOR PLAN	
DP_A2.03	BUILDING 1 (7-PLEX) PARTIAL UPPER FLOOR PLAN	
DP_A2.04	BUILDING 1 (7-PLEX) PARTIAL ROOF PLAN	
DP_A2.05	BUILDING 1 (7-PLEX) PARTIAL ROOF PLAN	
DP_A2.06	BUILDINGS 2 & 5 1 (4-PLEX) MAIN FLOOR PLAN	DP_A3.10 BUILDINGS 3 & 4 (7-PLEX) FRONT ELEVATION DP_A3.11 BUILDINGS 3 & 4 (7-PLEX) REAR ELEVATION DP_A3.12 BUILDINGS 3 & 4 (7-PLEX) RIGHT & LEFT SIDE ELEVATIONS
DP_A2.07	BUILDINGS 2 & 5 1 (4-PLEX) UPPER FLOOR PLAN	
DP_A2.08	BUILDINGS 2 & 5 1 (4-PLEX) ROOF PLAN	
DP_A2.09	BUILDINGS 3 & 4 (7-PLEX) PARTIAL MAIN FLOOR PLAN	DP_A3.20 BUILDINGS 1,2 & 3 ELEVATIONS (STREETSCAPE)
DP_A2.10	BUILDINGS 3 & 4 (7-PLEX) PARTIAL MAIN FLOOR PLAN	
DP_A2.11	BUILDINGS 3 & 4 (7-PLEX) PARTIAL UPPER FLOOR PLAN	DP_A4.00 BUILDING SECTIONS (TYPICAL)
DP_A2.12	BUILDINGS 3 & 4 (7-PLEX) PARTIAL UPPER FLOOR PLAN	
DP_A2.13	BUILDINGS 3 & 4 (7-PLEX) PARTIAL ROOF PLAN	DP_A8.00 MISC. EXTERIOR DETAILS
DP_A2.14	BUILDINGS 3 & 4 (7-PLEX) PARTIAL ROOF PLAN	

1	2018.02.05	Issued for Development Permit
No.	Date	Description
Revisions		



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www.pmcarch.com

project title
UNION ROAD
~ TOWNHOMES ~
1931 UNION ROAD,
KELOWNA, B.C.

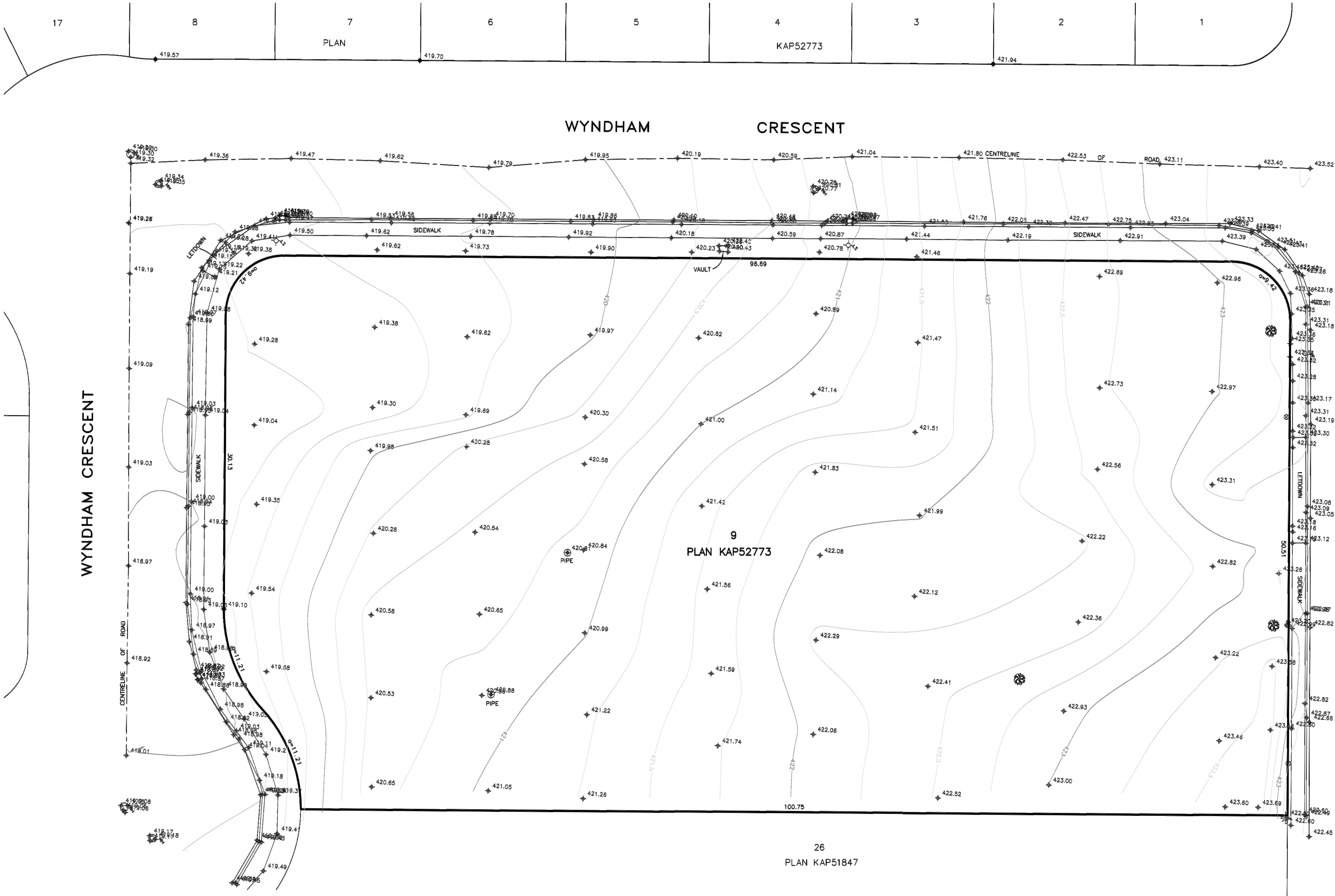
project no. 3378


drawing title
COVER SHEET

designed	PMC	scale	N/A
drawn			
checked	PMC		
drawing no.			

A0.00

plotted May 10, 2018 04:20 PM



 B.C. LAND SURVEYORS CANADA LANDS SURVEYORS Subdivision Design Legal, Topographic & GPS Surveys 404-1830 Pandey St., Kelowna, B.C. V1Y 1P7 Telephone (250)763-3115 Fax (250)763-0321	LEGAL DESCRIPTION	CLIENT	LEGEND			NOTES			JOB NO. 21315
	LOT 9 SECTION 4 TOWNSHIP 23 ODYD PLAN KAP52773	KIRVI CONSTRUCTION & DEVELOPMENT Co. Ltd.	☒ SPOT HEIGHT ☒ ^{AS} LAMP STANDARD ☐ ^{CB} STORM CATCH BASIN			*PROPERTY LINES ARE APPROXIMATE AND ARE SUBJECT TO A FULL LEGAL SURVEY*			
			● IRON PIN FOUND Ⓢ ^{GV} GAS VALVE Ⓞ ^{PP} POWER POLE						
	DRAWING TYPE	CIVIC ADDRESS	☒ TRAVERSE CONTROL HUB ☒ ^{WV} WATER VALVE STORM DRAIN CULVERT						
			☒ TREE ☒ ^{WSO} WATER SHUT OFF Ⓞ ^{SSC} SANITARY SEWER CLEANOUT						
	TOPOGRAPHIC SITE PLAN	1931 UNION ROAD, KELOWNA	⊕ SIGN ☒ ^{FH} FIRE HYDRANT Ⓞ ^{SH} SANITARY SEWER MANHOLE						
Ⓞ PIPE Ⓞ SM STORM MANHOLE ⓐ TM PAD MOUNTED TRANSFORMER									
			REVISION NO.	DESCRIPTION			BY	DATE REVISED	
			—	—————			—	—————	
			—	—————			—	—————	
			—	—————			—	—————	

DATE: NOVEMBER 8, 2017

SCALE: 1:200 METRES

ADDITIONAL NOTES: ELEVATIONS ARE GEODETIC AND ARE DERIVED FROM RTK GPS. CONTOURS ARE AT 0.25 METRE INTERVALS.

FIELD BOOK: _____ PAGE NO: _____

FIELD CREW: RC/NJ _____ DRAWN BY: CF _____

S:\Shared (Aug 10, 2008)\Job_Files\213XX\21315\21315-21315-TOPD.DWG

Notes:

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- A 2018.04.06 Revision: Site Plan (DP_A1.01) and Bldg 1-7-Plex Side Elevations (DP_A3.05). Addition of items as per request of City of Kelowna
- B 2018.05.07 Revision: Revision to DP submittal. Addition of Firewalls to Bldg's 1, 3 & 4 (7-Plex) Plans and Elevations.

SCHEDULE A

This forms part of application
DP18-0042 DVP18-0043

Planner
Initials KB



No.	Date	Description
1	2018.02.05	Issued for Development Permit
Revisions		



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project title
UNION ROAD
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KELOWNA, B.C.

project no. 3378

drawing title
TOPOGRAPHIC SURVEY

designed PMC scale 1:200

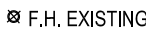
drawn

checked PMC

drawing no.

DP_A1.00

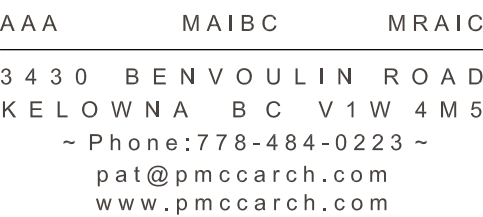
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Seal

No.	Date	Description
1	2018.02.05	Issued for Development Permit

Revisions



project no. 3378

drawing title
SITE PLAN

designed	PMC	scale	1 : 200
drawn			
checked	PMC		
drawing no.			

DP_A1.01

plotted May 8, 2018 10:50 AM

☒ F.H. EXISTING

WYNDHAM COURT

WYNDHAM COURT

UNION ROAD

ENTRY

LANE 1

LANE 2

NOTE:
39 FULL SIZE CAR STALLS
25 MEDIUM CAR STALLS
A, B, B1 & B2 UNITS WILL HAVE
1 FULL SIZE AND 1 MEDIUM
SIZED CAR STALL
C END-UNITS WILL HAVE
2 FULL SIZE CAR STALLS
(GARBAGE AND RECYCLE
BIN STORAGE)

NOTE:
THE PRIVATE OPEN SPACE FOR EACH UNIT
HAS BEEN CALCULATED USING THE
PROPOSED FENCED YARD AREAS INCLUDING
THE COVERED ENTRANCE DECKS.
A COMMUNITY PRIVATE OPEN SPACE AREA
HAS ALSO BEEN PROVIDED.

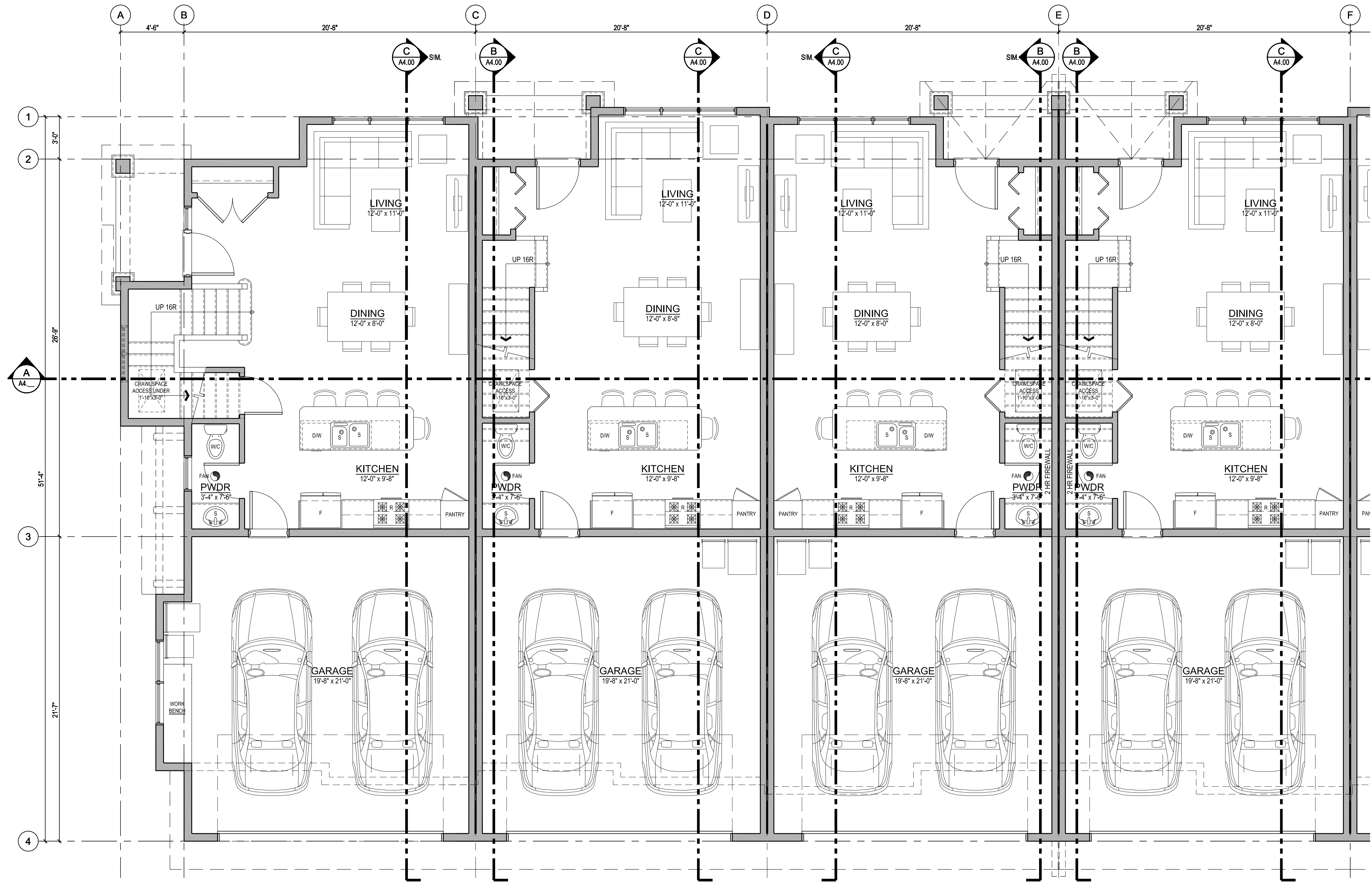
SCHEDULE

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DP18-0042 DVP18-0043

Planner Initials KB



City of Kelowna
COMMUNITY PLANNING



UNIT C (3 BDRM) : 1ST - MAIN FLOOR PLAN
SCALE: 1/4" = 1'-0"

1ST - MAIN FLOOR FINISHED AREA :	637 Sq. Ft.
2ND - UPPER FLOOR FINISHED AREA :	1016 Sq. Ft.
LIVING / FINISHED FLOOR AREA :	1653 Sq. Ft.
GARAGE AREA :	471 Sq. Ft.
TOTAL FLOOR AREA :	2124 Sq. Ft.

UNIT B2 (3 BDRM) : 1ST - MAIN FLOOR PLAN
SCALE: 1/4" = 1'-0"

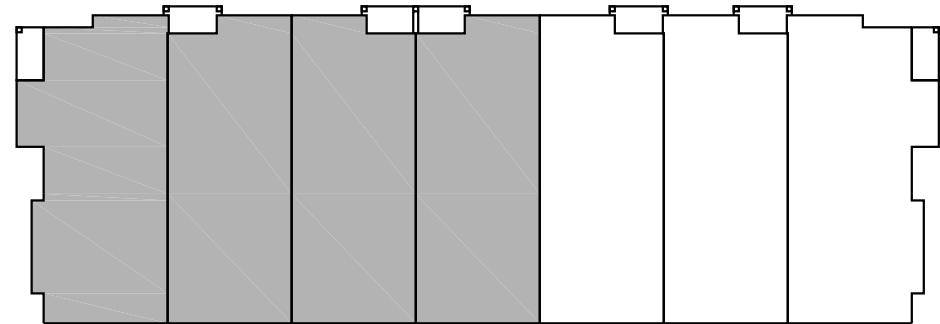
1ST - MAIN FLOOR FINISHED AREA :	599 Sq. Ft.
2ND - UPPER FLOOR FINISHED AREA :	952 Sq. Ft.
LIVING / FINISHED FLOOR AREA :	1551 Sq. Ft.
GARAGE AREA :	446 Sq. Ft.
TOTAL FLOOR AREA :	1997 Sq. Ft.

UNIT B1 (3 BDRM) : 1ST - MAIN FLOOR PLAN
SCALE: 1/4" = 1'-0"

1ST - MAIN FLOOR FINISHED AREA :	590 Sq. Ft.
2ND - UPPER FLOOR FINISHED AREA :	951 Sq. Ft.
LIVING / FINISHED FLOOR AREA :	1541 Sq. Ft.
GARAGE AREA :	446 Sq. Ft.
TOTAL FLOOR AREA :	1987 Sq. Ft.

UNIT B1 (3 BDRM) : 1ST - MAIN FLOOR PLAN
SCALE: 1/4" = 1'-0"

1ST - MAIN FLOOR FINISHED AREA :	590 Sq. Ft.
2ND - UPPER FLOOR FINISHED AREA :	951 Sq. Ft.
LIVING / FINISHED FLOOR AREA :	1541 Sq. Ft.
GARAGE AREA :	446 Sq. Ft.
TOTAL FLOOR AREA :	1987 Sq. Ft.



BUILDING 1 - 7-PLEX

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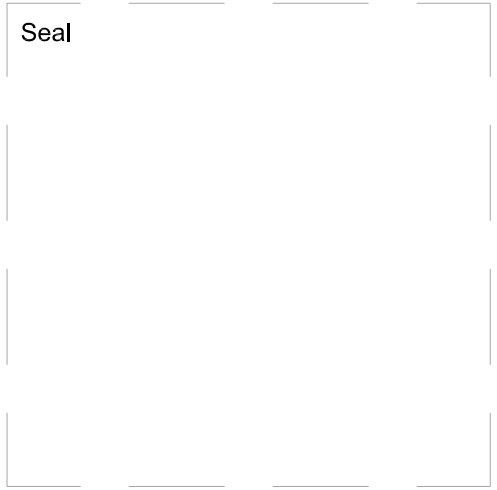
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- A 2018.04.06 Revision : Site Plan (DP_A1.01) and Bldg 1 - 7-Plex Side Elevations (DP_A3.05). Addition of items as per request of City of Kelowna
- B 2018.05.07 Revision : Revision to DP submittal. Addition of Firewalls to Bldg's 1, 3 & 4 (7-Plex) Plans and Elevations.

SCHEDULE B

This forms part of application
DP18-0042 DVP18-0043

Planner Initials **KB**

City of Kelowna
COMMUNITY PLANNING

No.	Date	Description
1	2018.02.05	Issued for Development Permit

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project title
**UNION ROAD
~ TOWNHOMES ~**
1931 UNION ROAD,
KELOWNA, B.C.

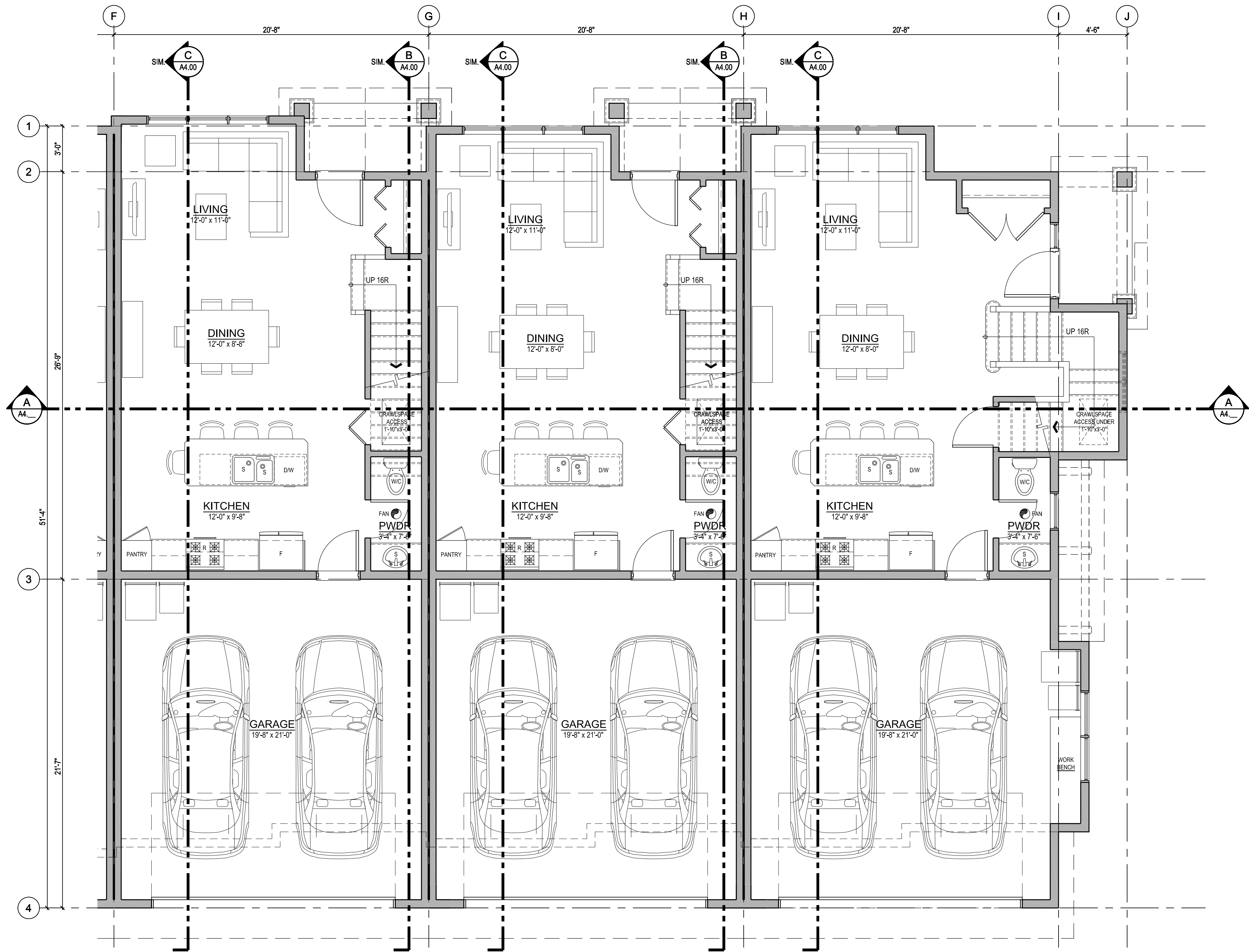
project no. 3378

drawing title
**BLDG 1 - 7-PLEX
PARTIAL MAIN FLOOR PLAN**

designed	PMC	scale	1/4" = 1'-0"
drawn			
checked	PMC		
drawing no.			

DP_A2.00

plotted May 7, 2018 09:50 AM



UNIT B2 (3 BDRM) : 1ST - MAIN FLOOR PLAN
SCALE: 1/4" = 1'-0"

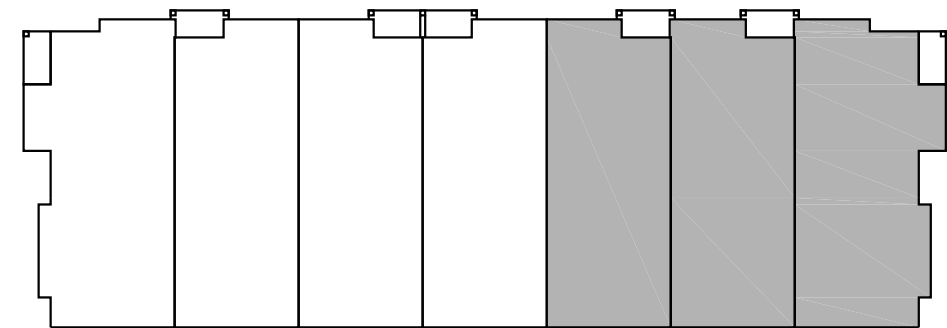
1ST - MAIN FLOOR FINISHED AREA :	599 Sq. Ft.
2ND - UPPER FLOOR FINISHED AREA :	962 Sq. Ft.
LIVING / FINISHED FLOOR AREA :	1551 Sq. Ft.
GARAGE AREA:	446 Sq. Ft.
TOTAL FLOOR AREA :	1997 Sq. Ft.

UNIT B (3 BDRM) : 1ST - MAIN FLOOR PLAN
SCALE: 1/4" = 1'-0"

1ST - MAIN FLOOR FINISHED AREA :	591 Sq. Ft.
2ND - UPPER FLOOR FINISHED AREA :	944 Sq. Ft.
LIVING / FINISHED FLOOR AREA :	1535 Sq. Ft.
GARAGE AREA:	446 Sq. Ft.
TOTAL FLOOR AREA :	1981 Sq. Ft.

UNIT C (3 BDRM) : 1ST - MAIN FLOOR PLAN
SCALE: 1/4" = 1'-0"

1ST - MAIN FLOOR FINISHED AREA :	637 Sq. Ft.
2ND - UPPER FLOOR FINISHED AREA :	1016 Sq. Ft.
LIVING / FINISHED FLOOR AREA :	1653 Sq. Ft.
GARAGE AREA:	471 Sq. Ft.
TOTAL FLOOR AREA :	2124 Sq. Ft.



BUILDING 1 - 7-PLEX

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SCHEDULE B

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Initials KB



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COMMUNITY PLANNING

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project title
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1931 UNION ROAD,
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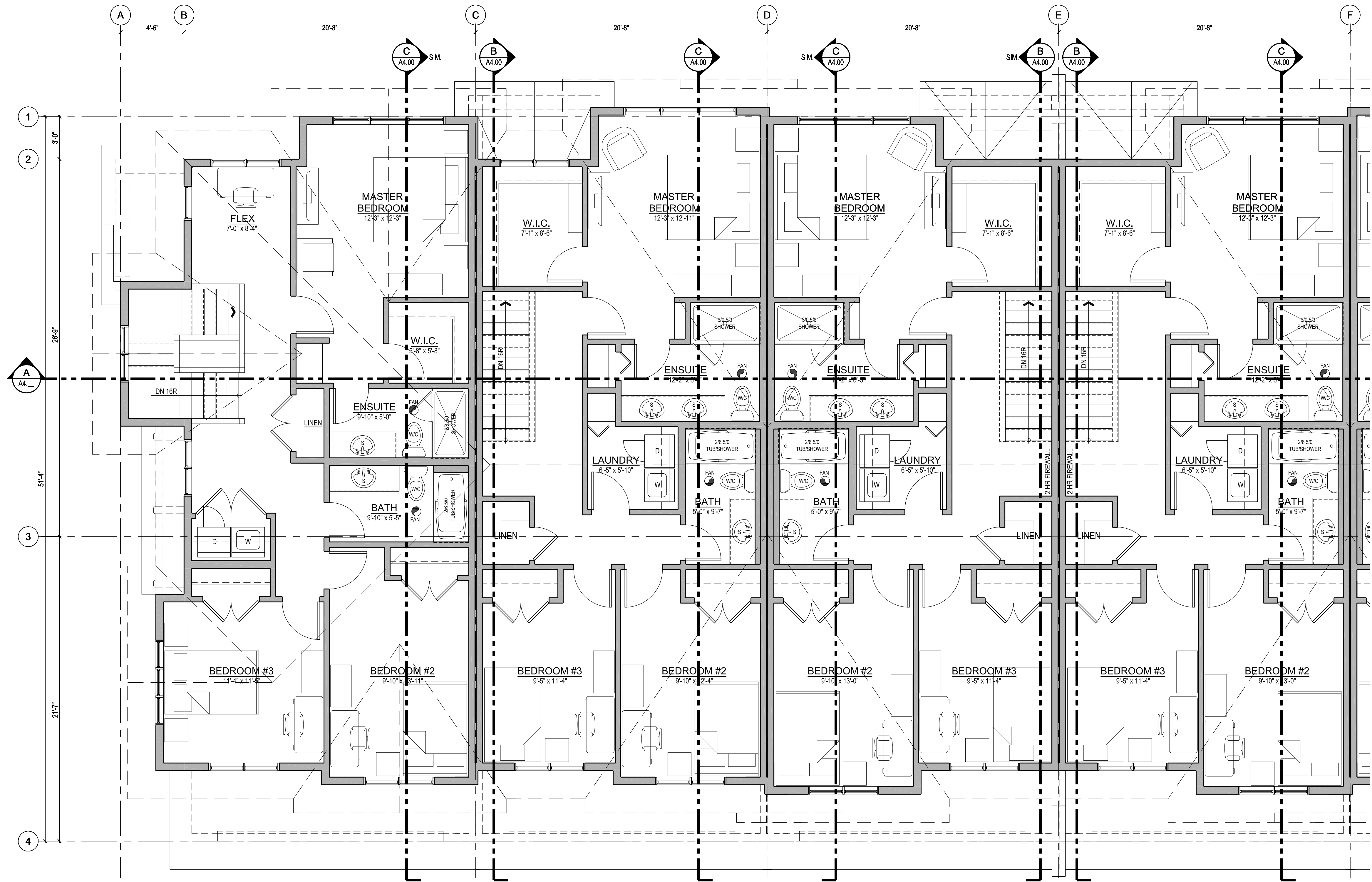
project no. 3378

drawing title
BLDG 1 - 7-PLEX
PARTIAL MAIN FLOOR PLAN

designed	PMC	scale	1/4" = 1'-0"
drawn			
checked	PMC		
drawing no.			

DP_A2.01

plotted May 7, 2018 09:52 AM

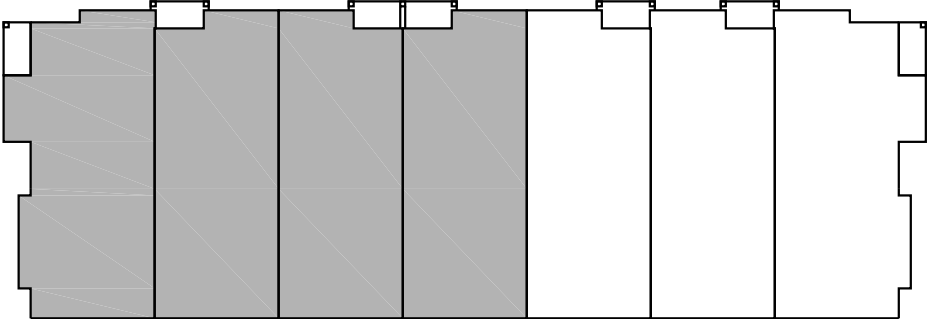


UNIT C (3 BDRM) : 2ND - UPPER FLOOR PLAN	
SCALE: 1/4" = 1'-0"	
1ST - MAIN FLOOR FINISHED AREA :	637 Sq. Ft.
2ND - UPPER FLOOR FINISHED AREA :	1016 Sq. Ft.
LIVING / FINISHED FLOOR AREA:	1653 Sq. Ft.
GARAGE AREA:	471 Sq. Ft.
TOTAL FLOOR AREA:	2124 Sq. Ft.

UNIT B2 (3 BDRM) : 2ND - UPPER FLOOR PLAN	
SCALE: 1/4" = 1'-0"	
1ST - MAIN FLOOR FINISHED AREA :	599 Sq. Ft.
2ND - UPPER FLOOR FINISHED AREA :	952 Sq. Ft.
LIVING / FINISHED FLOOR AREA:	1551 Sq. Ft.
GARAGE AREA:	446 Sq. Ft.
TOTAL FLOOR AREA:	1997 Sq. Ft.

UNIT B1 (3 BDRM) : 2ND - UPPER FLOOR PLAN	
SCALE: 1/4" = 1'-0"	
1ST - MAIN FLOOR FINISHED AREA :	590 Sq. Ft.
2ND - UPPER FLOOR FINISHED AREA :	951 Sq. Ft.
LIVING / FINISHED FLOOR AREA:	1541 Sq. Ft.
GARAGE AREA:	446 Sq. Ft.
TOTAL FLOOR AREA:	1987 Sq. Ft.

UNIT B1 (3 BDRM) : 2ND - UPPER FLOOR PLAN	
SCALE: 1/4" = 1'-0"	
1ST - MAIN FLOOR FINISHED AREA :	590 Sq. Ft.
2ND - UPPER FLOOR FINISHED AREA :	951 Sq. Ft.
LIVING / FINISHED FLOOR AREA:	1541 Sq. Ft.
GARAGE AREA:	446 Sq. Ft.
TOTAL FLOOR AREA:	1987 Sq. Ft.



BUILDING 1 - 7-PLEX

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SCHEDULE

B

This forms part of application
DP18-0042 DVP18-0043

Planner
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City of
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COMMUNITY PLANNING

1	2018.02.05	Issued for Development Permit
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~ TOWNHOMES ~
1931 UNION ROAD,
KELOWNA, B.C.

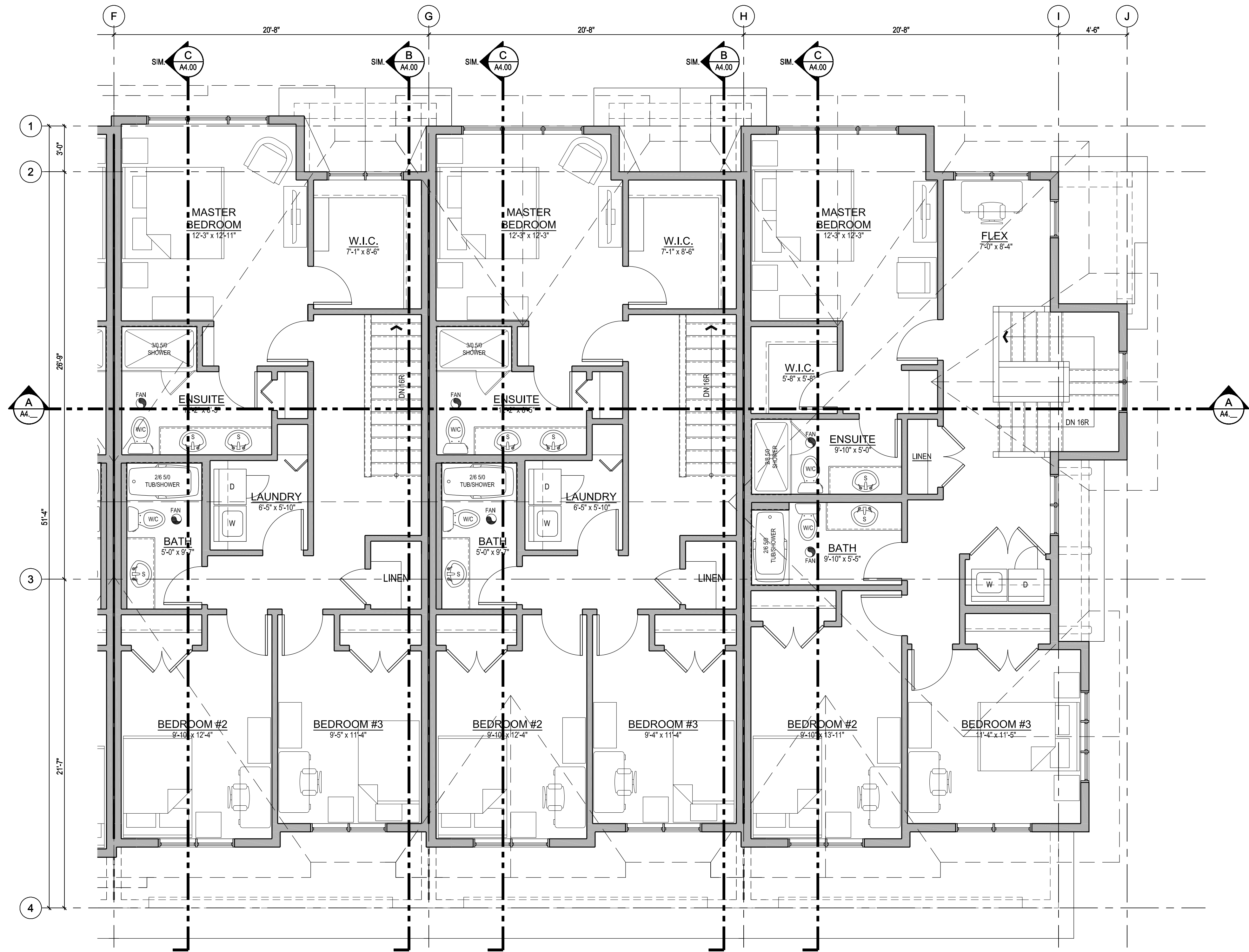
project no. 3378

drawing title
BLDG 1 - 7-PLEX
PARTIAL UPPER FLOOR PLAN

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drawn			
checked	PMC		
drawing no.			

DP_A2.02

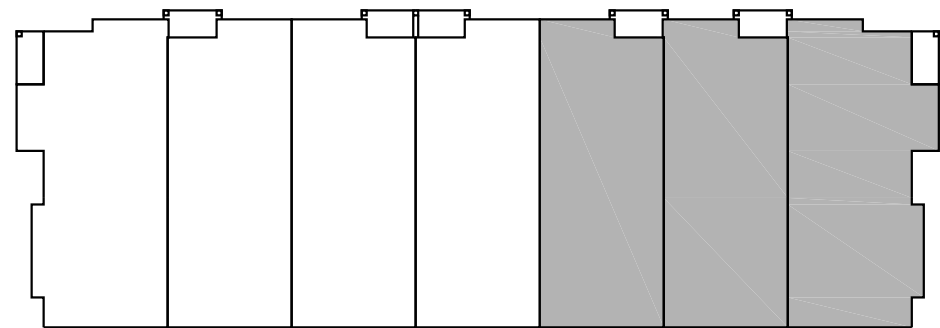
plotted May 7, 2018 09:43 AM



UNIT B2 (3 BDRM) :	
2ND - UPPER FLOOR PLAN	
SCALE: 1/4" = 1'-0"	
1ST - MAIN FLOOR FINISHED AREA :	599 Sq. Ft.
2ND - UPPER FLOOR FINISHED AREA :	962 Sq. Ft.
LIVING / FINISHED FLOOR AREA :	1551 Sq. Ft.
GARAGE AREA :	446 Sq. Ft.
TOTAL FLOOR AREA :	1997 Sq. Ft.

UNIT B (3 BDRM) :	
2ND - UPPER FLOOR PLAN	
SCALE: 1/4" = 1'-0"	
1ST - MAIN FLOOR FINISHED AREA :	591 Sq. Ft.
2ND - UPPER FLOOR FINISHED AREA :	944 Sq. Ft.
LIVING / FINISHED FLOOR AREA :	1535 Sq. Ft.
GARAGE AREA :	446 Sq. Ft.
TOTAL FLOOR AREA :	1981 Sq. Ft.

UNIT C (3 BDRM) :	
2ND - UPPER FLOOR PLAN	
SCALE: 1/4" = 1'-0"	
1ST - MAIN FLOOR FINISHED AREA :	637 Sq. Ft.
2ND - UPPER FLOOR FINISHED AREA :	1016 Sq. Ft.
LIVING / FINISHED FLOOR AREA :	1653 Sq. Ft.
GARAGE AREA :	471 Sq. Ft.
TOTAL FLOOR AREA :	2124 Sq. Ft.



BUILDING 1 - 7-PLEX

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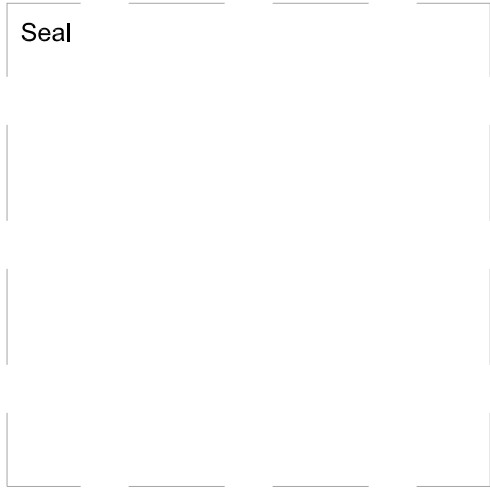
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- A

2018.04.06

Revision : Site Plan (DP_A1.01) and Bldg 1 - 7-Plex Side Elevations (DP_A3.05). Addition of items as per request of City of Kelowna
- B

2018.05.07

Revision : Revision to DP submittal. Addition of Firewalls to Bldg's 1, 3 & 4 (7-Plex) Plans and Elevations.

SCHEDULE

B

This forms part of application
DP18-0042 DVP18-0043

Planner Initials KB

City of Kelowna

COMMUNITY PLANNING

No.	Date	Description
1	2018.02.05	Issued for Development Permit

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project title
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~ TOWNHOMES ~
1931 UNION ROAD,
KELOWNA, B.C.

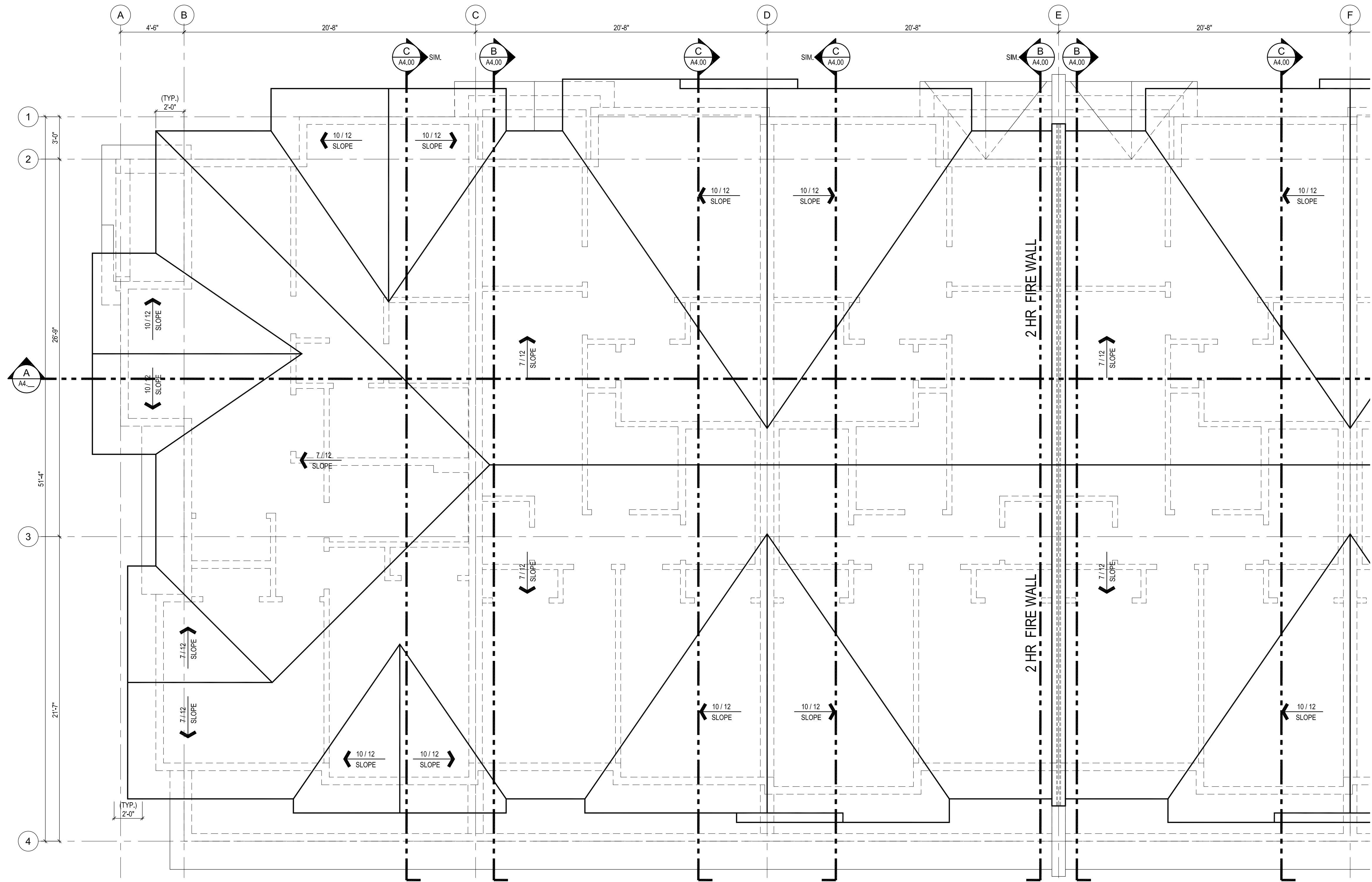
project no. 3378

drawing title
BLDG 1 - 7-PLEX
PARTIAL UPPER FLOOR PLAN

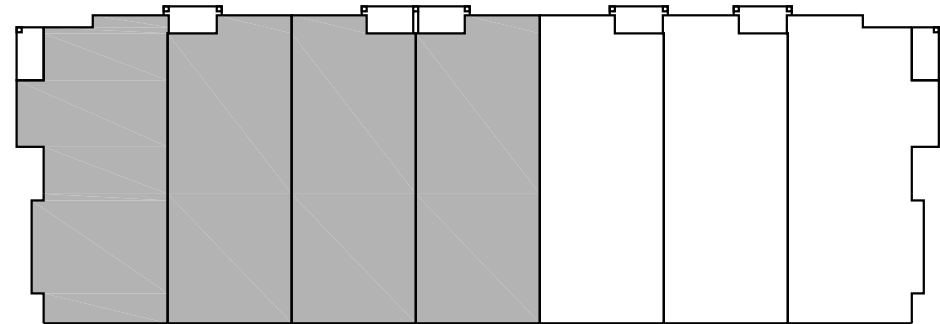
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drawn			
checked	PMC		
drawing no.			

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plotted May 7, 2018 09:44 AM

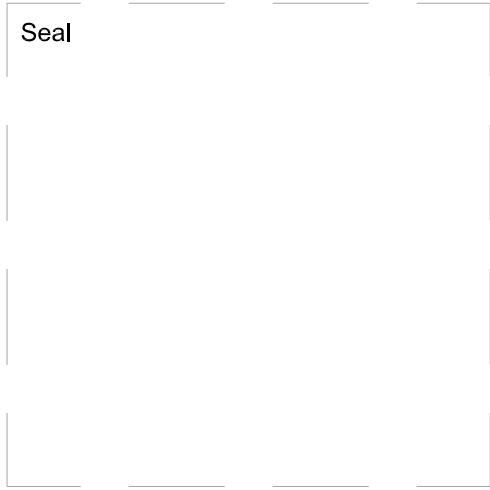


BUILDING 1 - 7-PLEX : PARTIAL ROOF PLAN
SCALE: 1/4" = 1'-0"



BUILDING 1 - 7-PLEX

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SCHEDULE B

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DP18-0042 DVP18-0043

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No.	Date	Description
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project title
**UNION ROAD
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1931 UNION ROAD,
KELOWNA, B.C.**

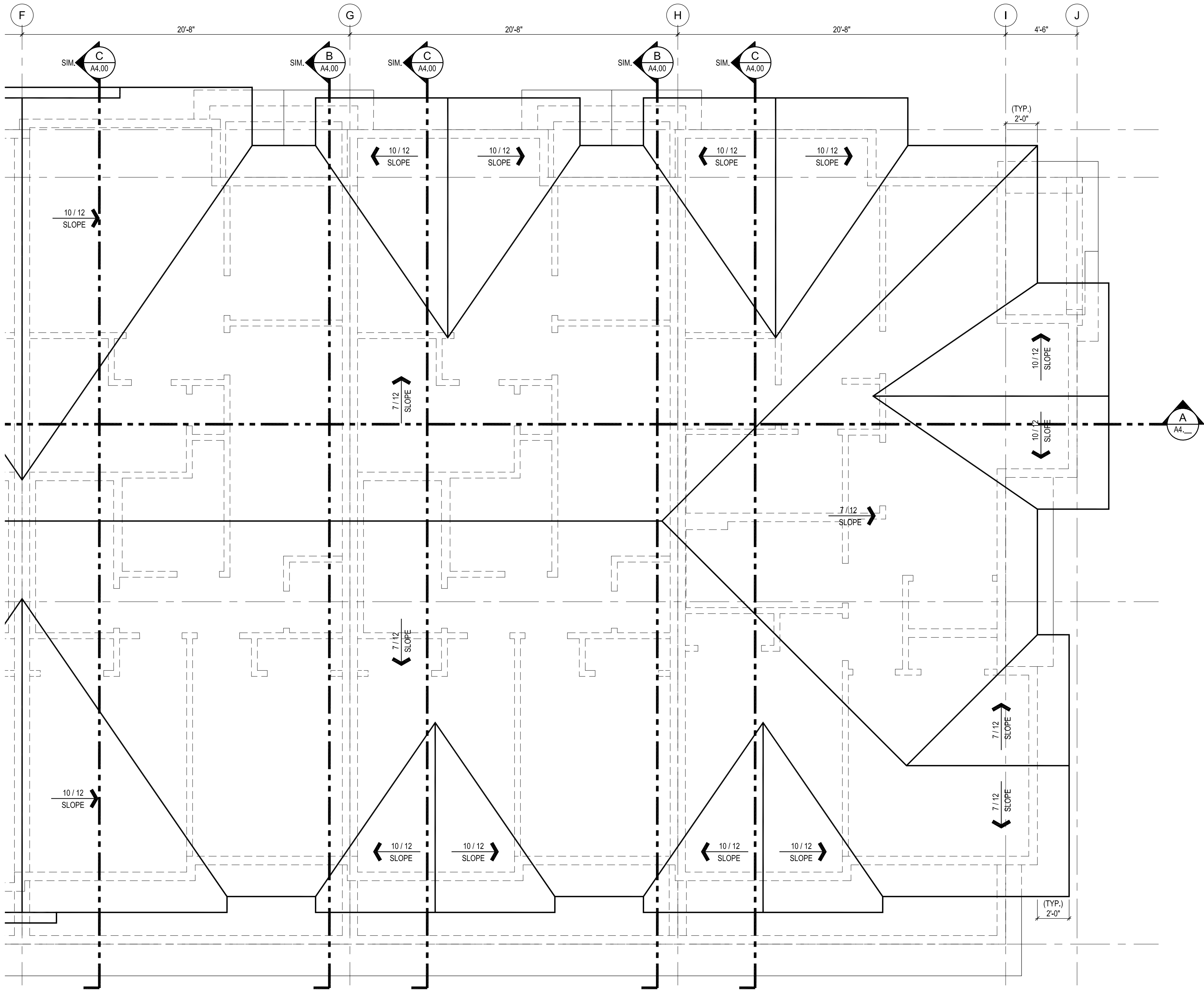
project no. 3378

drawing title
**BLDG 1 - 7-PLEX
PARTIAL ROOF PLAN**

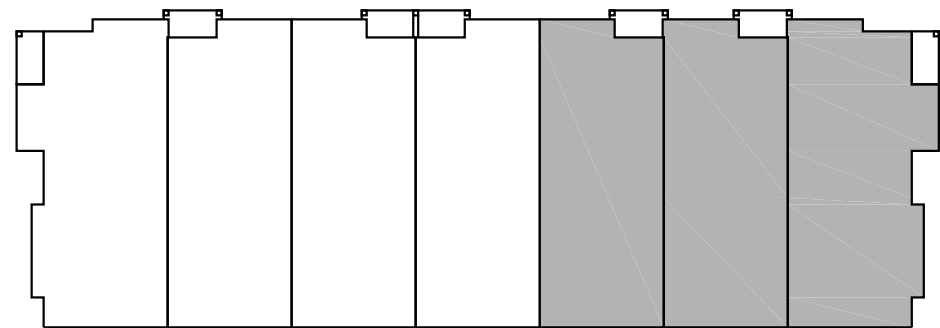
designed	PMC	scale	1/4" = 1'-0"
drawn			
checked	PMC		
drawing no.			

DP_A2.04

plotted May 7, 2018 10:55 AM



BUILDING 1 - 7-PLEX : PARTIAL ROOF PLAN
SCALE: 1/4" = 1'-0"



BUILDING 1 - 7-PLEX

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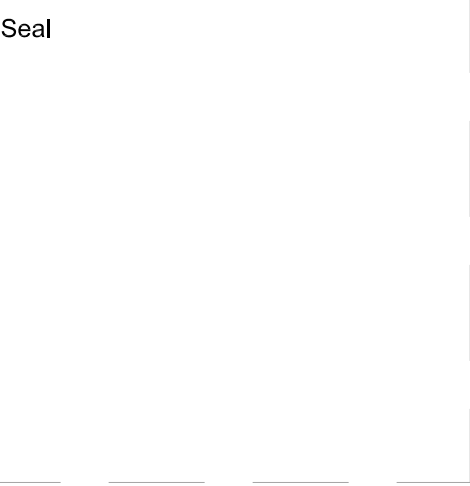
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SCHEDULE B

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DP18-0042 DVP18-0043

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Initials KB



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project title

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1931 UNION ROAD,
KELOWNA, B.C.

project no. 3378

drawing title

BLDG 1 - 7-PLEX
PARTIAL ROOF PLAN

designed	PMC	scale	1/4" = 1'-0"
drawn			
checked	PMC		
drawing no.			

DP_A2.05

plotted May 7, 2018 10:56 AM

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SCHEDULE B

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Initials KB



City of
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COMMUNITY PLANNING

1 2018.02.05 Issued for Development Permit
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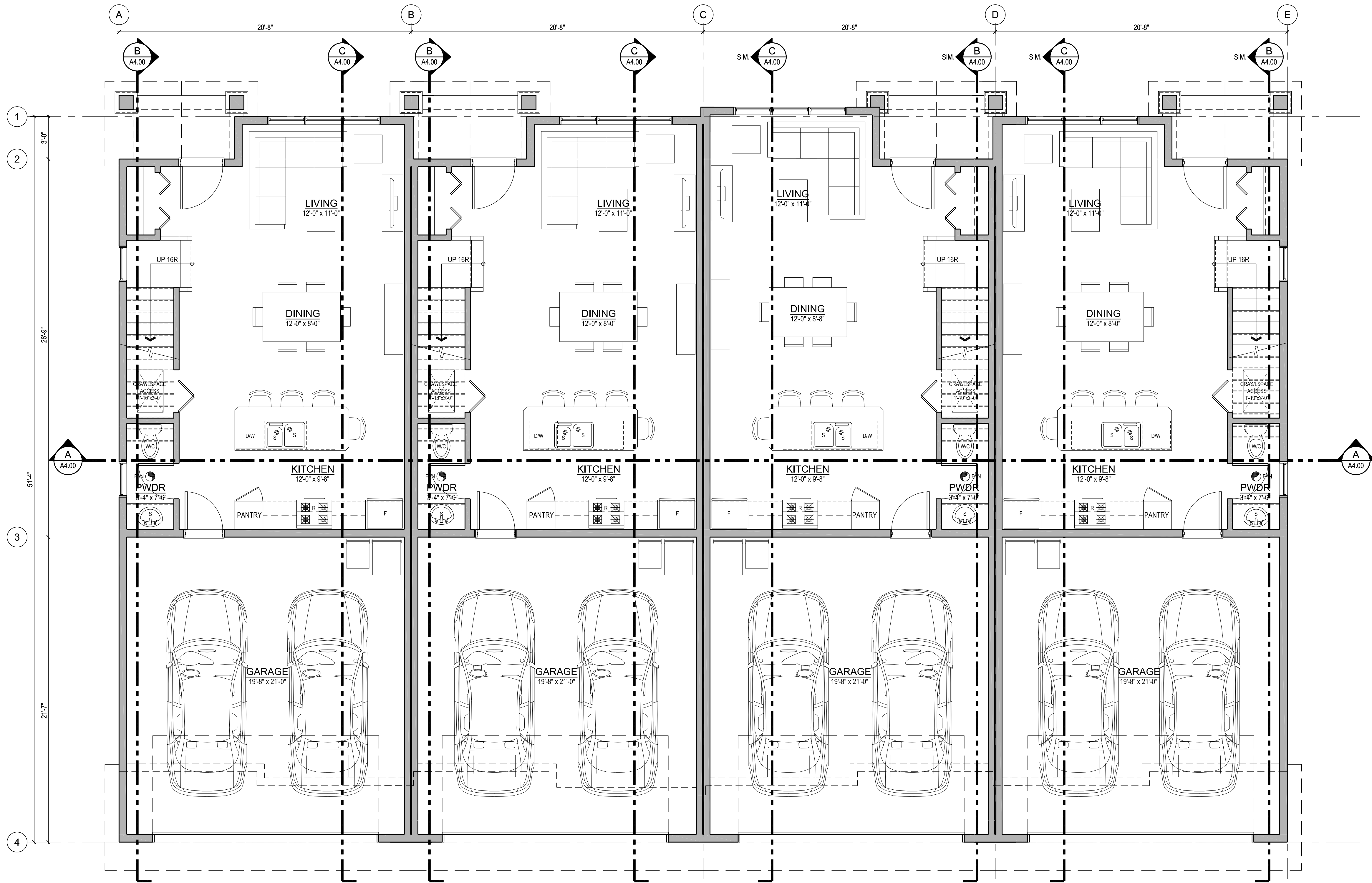
project no. 3378

drawing title
**BLDG'S 2 & 5 - 4-PLEX
MAIN FLOOR PLAN**

designed	PMC	scale	1/4" = 1'-0"
drawn			
checked	PMC		
drawing no.			

DP_A2.06

plotted May 7, 2018 09:55 AM



UNIT A (3 BDRM) : 1ST - MAIN FLOOR PLAN
SCALE: 1/4" = 1'-0"

1ST - MAIN FLOOR FINISHED AREA :	591 Sq. Ft.
2ND - UPPER FLOOR FINISHED AREA :	944 Sq. Ft.
LIVING / FINISHED FLOOR AREA:	1535 Sq. Ft.
GARAGE AREA:	446 Sq. Ft.
TOTAL FLOOR AREA:	1981 Sq. Ft.

UNIT B1 (3 BDRM) : 1ST - MAIN FLOOR PLAN
SCALE: 1/4" = 1'-0"

1ST - MAIN FLOOR FINISHED AREA :	590 Sq. Ft.
2ND - UPPER FLOOR FINISHED AREA :	951 Sq. Ft.
LIVING / FINISHED FLOOR AREA:	1541 Sq. Ft.
GARAGE AREA:	446 Sq. Ft.
TOTAL FLOOR AREA:	1987 Sq. Ft.

UNIT B2 (3 BDRM) : 1ST - MAIN FLOOR PLAN
SCALE: 1/4" = 1'-0"

1ST - MAIN FLOOR FINISHED AREA :	599 Sq. Ft.
2ND - UPPER FLOOR FINISHED AREA :	952 Sq. Ft.
LIVING / FINISHED FLOOR AREA:	1551 Sq. Ft.
GARAGE AREA:	446 Sq. Ft.
TOTAL FLOOR AREA:	1997 Sq. Ft.

UNIT A (3 BDRM) : 1ST - MAIN FLOOR PLAN
SCALE: 1/4" = 1'-0"

1ST - MAIN FLOOR FINISHED AREA :	591 Sq. Ft.
2ND - UPPER FLOOR FINISHED AREA :	944 Sq. Ft.
LIVING / FINISHED FLOOR AREA:	1535 Sq. Ft.
GARAGE AREA:	446 Sq. Ft.
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SCHEDULE

B

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DP18-0042 DVP18-0043

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City of
Kelowna

COMMUNITY PLANNING

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project no. 3378

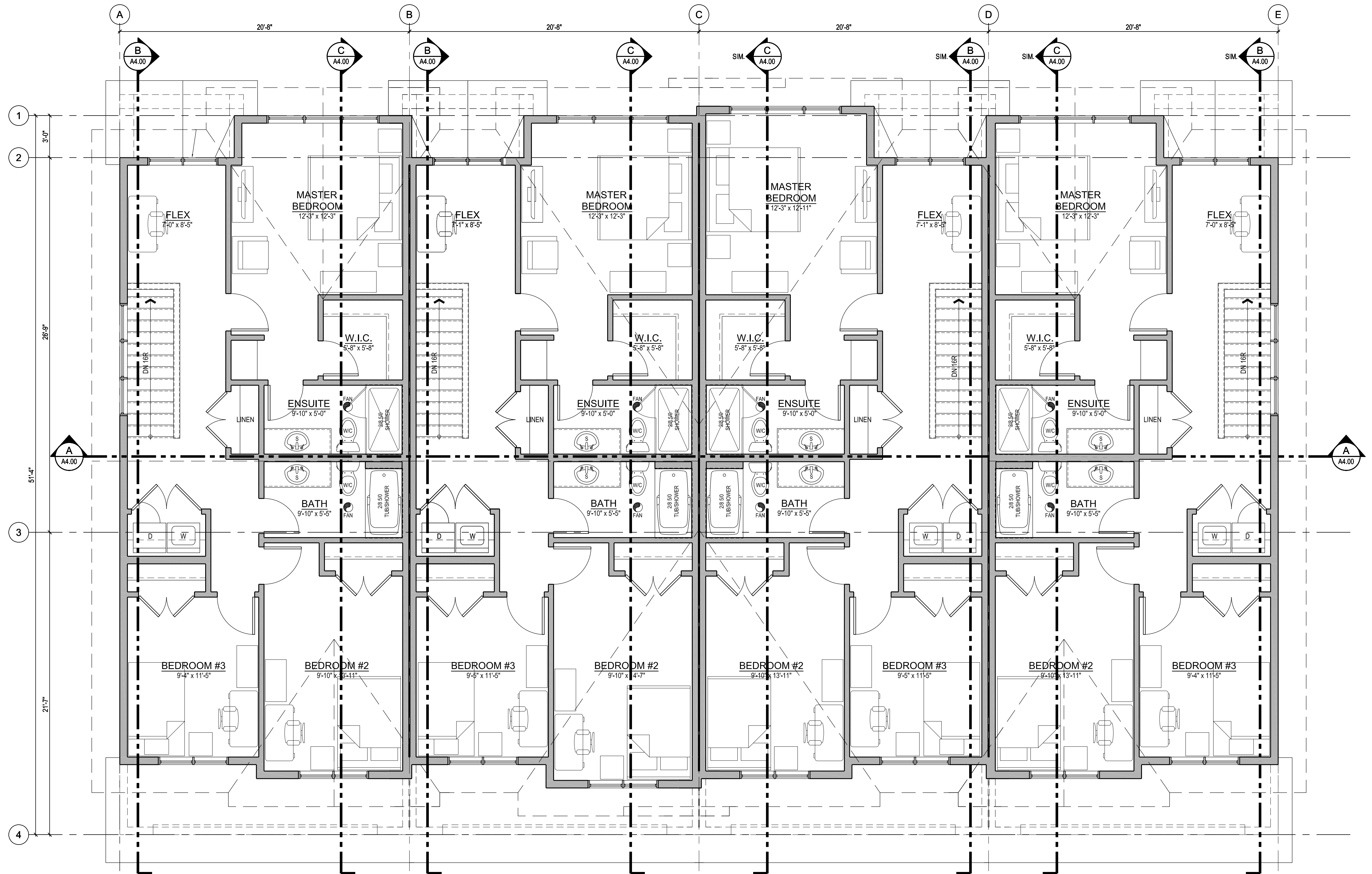
drawing title

BLDG'S 2 & 5 - 4-PLEX
UPPER FLOOR PLAN

designed	PMC	scale	1/4" = 1'-0"
drawn			
checked	PMC		
drawing no.			

DP_A2.07

plotted May 7, 2018 09:56 AM



UNIT A (3 BDRM) :
2ND - UPPER FLOOR PLAN

SCALE: 1/4" = 1'-0"

1ST - MAIN FLOOR FINISHED AREA :	591 Sq. Ft.
2ND - UPPER FLOOR FINISHED AREA :	944 Sq. Ft.
LIVING / FINISHED FLOOR AREA:	1535 Sq. Ft.
GARAGE AREA:	446 Sq. Ft.
TOTAL FLOOR AREA:	1981 Sq. Ft.

UNIT B1 (3 BDRM) :
2ND - UPPER FLOOR PLAN

SCALE: 1/4" = 1'-0"

1ST - MAIN FLOOR FINISHED AREA :	590 Sq. Ft.
2ND - UPPER FLOOR FINISHED AREA :	951 Sq. Ft.
LIVING / FINISHED FLOOR AREA:	1541 Sq. Ft.
GARAGE AREA:	446 Sq. Ft.
TOTAL FLOOR AREA:	1987 Sq. Ft.

UNIT B2 (3 BDRM) :
2ND - UPPER FLOOR PLAN

SCALE: 1/4" = 1'-0"

1ST - MAIN FLOOR FINISHED AREA :	599 Sq. Ft.
2ND - UPPER FLOOR FINISHED AREA :	952 Sq. Ft.
LIVING / FINISHED FLOOR AREA:	1551 Sq. Ft.
GARAGE AREA:	446 Sq. Ft.
TOTAL FLOOR AREA:	1997 Sq. Ft.

UNIT A (3 BDRM) :
2ND - UPPER FLOOR PLAN

SCALE: 1/4" = 1'-0"

1ST - MAIN FLOOR FINISHED AREA :	591 Sq. Ft.
2ND - UPPER FLOOR FINISHED AREA :	944 Sq. Ft.
LIVING / FINISHED FLOOR AREA:	1535 Sq. Ft.
GARAGE AREA:	446 Sq. Ft.
TOTAL FLOOR AREA:	1981 Sq. Ft.

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- B** 2018.05.07 Revision : Revision to DP submittal. Addition of Firewalls to Bldg's 1, 3 & 4 (7-Plex) Plans and Elevations.

SCHEDULE

B

This forms part of application
DP18-0042 DVP18-0043

Planner Initials KB

City of Kelowna

COMMUNITY PLANNING

No.	Date	Description
1	2018.02.05	Issued for Development Permit

PM

PATRICK McCUSKER
ARCHITECTURE INC.

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pat@pmccarch.com
www.pmccarch.com

project title
UNION ROAD
~ TOWNHOMES ~
1931 UNION ROAD,
KELOWNA, B.C.

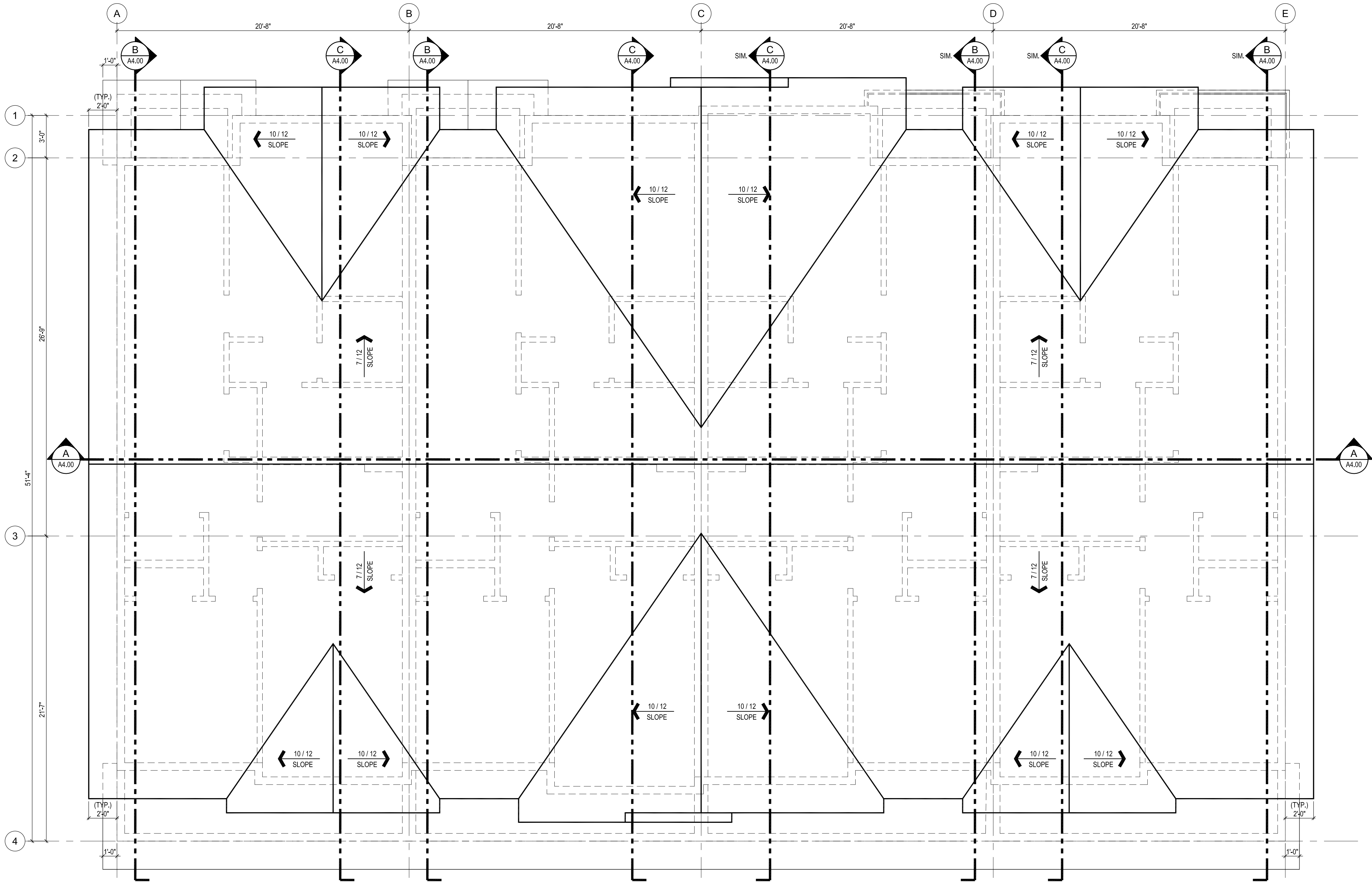
project no. 3378

drawing title
BLDG'S 2 & 5 - 4-PLEX
ROOF PLAN

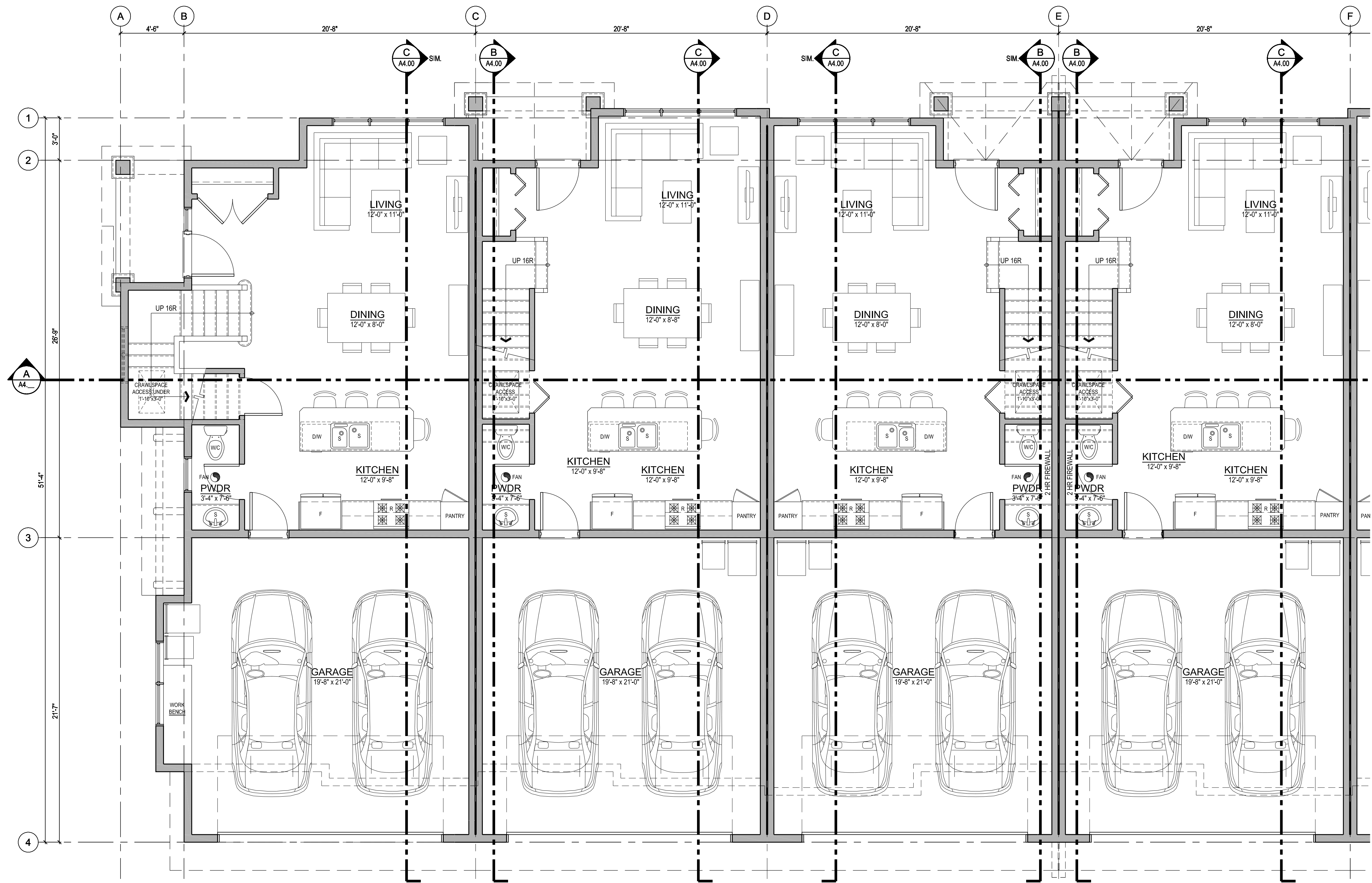
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drawn			
checked	PMC		
drawing no.			

DP_A2.08

plotted May 7, 2018 10:57 AM



BUILDINGS 2 & 5 - 4 PLEX : ROOF PLAN
SCALE: 1/4" = 1'-0"



UNIT C (3 BDRM) : 1ST - MAIN FLOOR PLAN
SCALE: 1/4" = 1'-0"

1ST - MAIN FLOOR FINISHED AREA :	637 Sq. Ft.
2ND - UPPER FLOOR FINISHED AREA :	1016 Sq. Ft.
LIVING / FINISHED FLOOR AREA :	1653 Sq. Ft.
GARAGE AREA :	471 Sq. Ft.
TOTAL FLOOR AREA :	2124 Sq. Ft.

UNIT B2 (3 BDRM) : 1ST - MAIN FLOOR PLAN
SCALE: 1/4" = 1'-0"

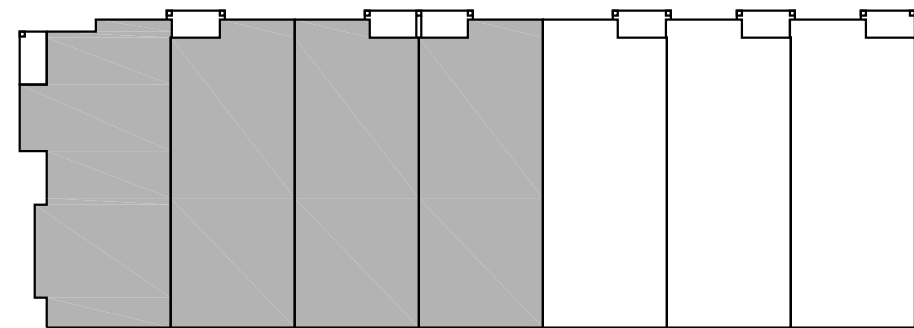
1ST - MAIN FLOOR FINISHED AREA :	599 Sq. Ft.
2ND - UPPER FLOOR FINISHED AREA :	952 Sq. Ft.
LIVING / FINISHED FLOOR AREA :	1551 Sq. Ft.
GARAGE AREA :	446 Sq. Ft.
TOTAL FLOOR AREA :	1997 Sq. Ft.

UNIT B1 (3 BDRM) : 1ST - MAIN FLOOR PLAN
SCALE: 1/4" = 1'-0"

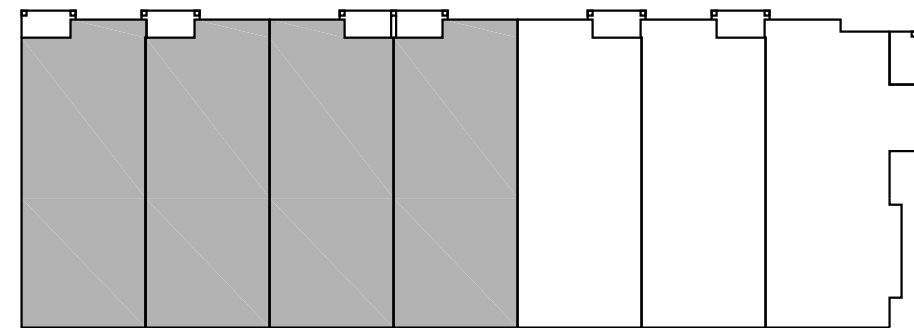
1ST - MAIN FLOOR FINISHED AREA :	590 Sq. Ft.
2ND - UPPER FLOOR FINISHED AREA :	951 Sq. Ft.
LIVING / FINISHED FLOOR AREA :	1541 Sq. Ft.
GARAGE AREA :	446 Sq. Ft.
TOTAL FLOOR AREA :	1987 Sq. Ft.

UNIT B1 (3 BDRM) : 1ST - MAIN FLOOR PLAN
SCALE: 1/4" = 1'-0"

1ST - MAIN FLOOR FINISHED AREA :	590 Sq. Ft.
2ND - UPPER FLOOR FINISHED AREA :	951 Sq. Ft.
LIVING / FINISHED FLOOR AREA :	1541 Sq. Ft.
GARAGE AREA :	446 Sq. Ft.
TOTAL FLOOR AREA :	1987 Sq. Ft.



BUILDING 3 - 7-PLEX



BUILDING 4 - 7-PLEX

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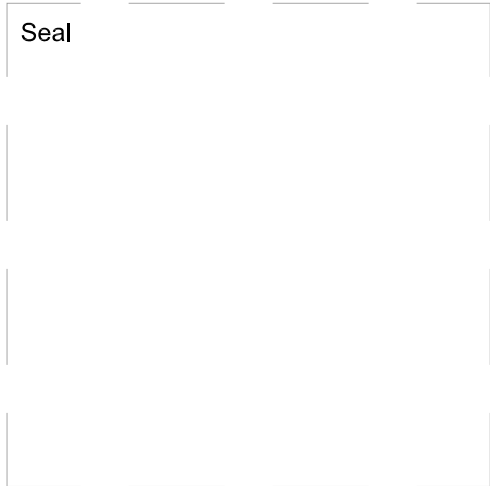
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- 2018.05.07 Revision : Revision to DP submittal. Addition of Firewalls to Bldg's 1, 3 & 4 (7-Plex) Plans and Elevations.

SCHEDULE B

This forms part of application
DP18-0042 DVP18-0043

Planner
Initials KB



City of
Kelowna
COMMUNITY PLANNING

No.	Date	Issued for Development Permit Description
1	2018.02.05	Issued for Development Permit



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project title
UNION ROAD
~ TOWNHOMES ~
1931 UNION ROAD,
KELOWNA, B.C.

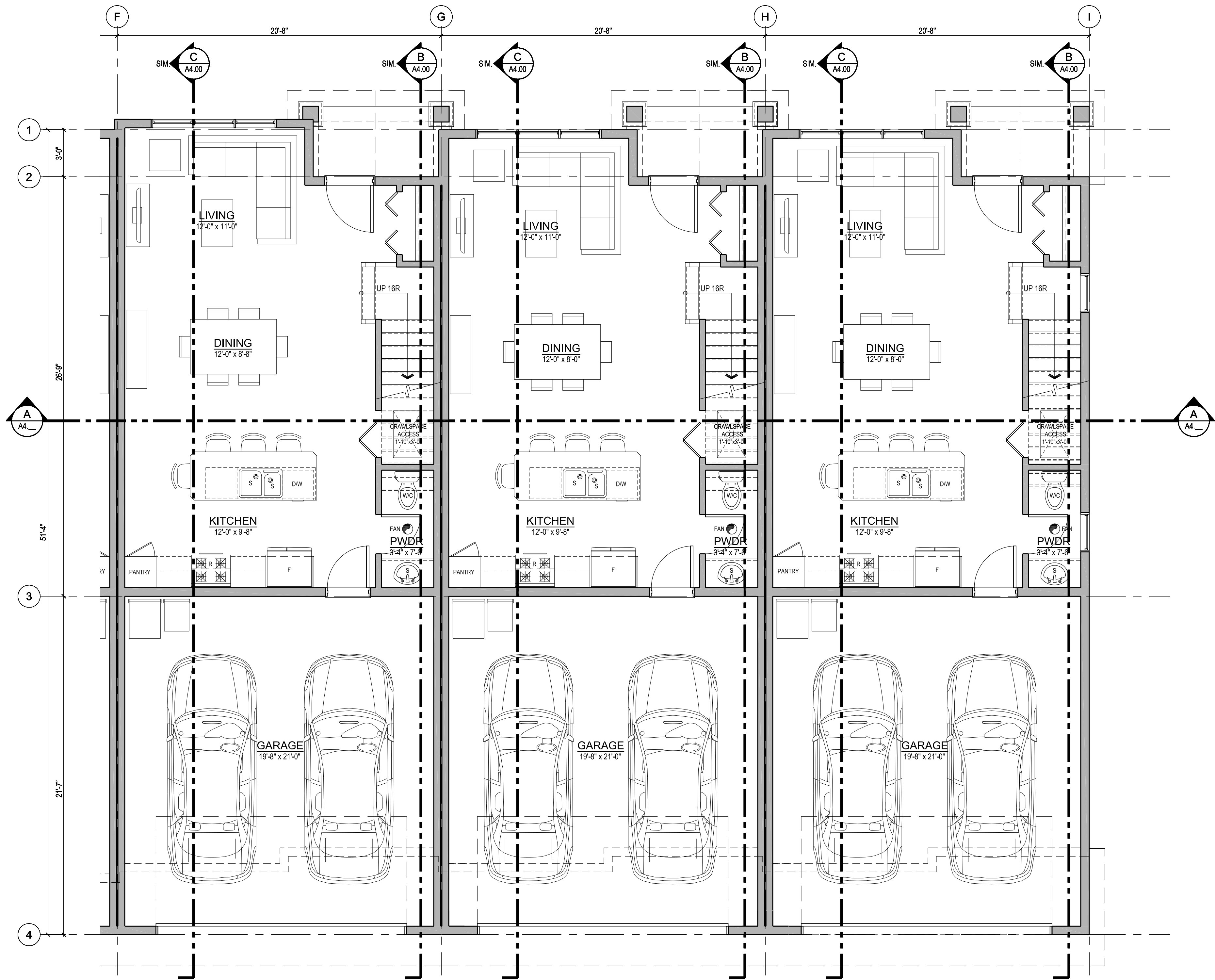
project no. 3378

drawing title
BLDG'S 3 & 4 - 7-PLEX
PARTIAL MAIN FLOOR PLAN

designed	PMC	scale	1/4" = 1'-0"
drawn			
checked	PMC		
drawing no.			

DP_A2.09

plotted May 7, 2018 10:44 AM



UNIT B2 (3 BDRM) : 1ST - MAIN FLOOR PLAN
SCALE: 1/4" = 1'-0"

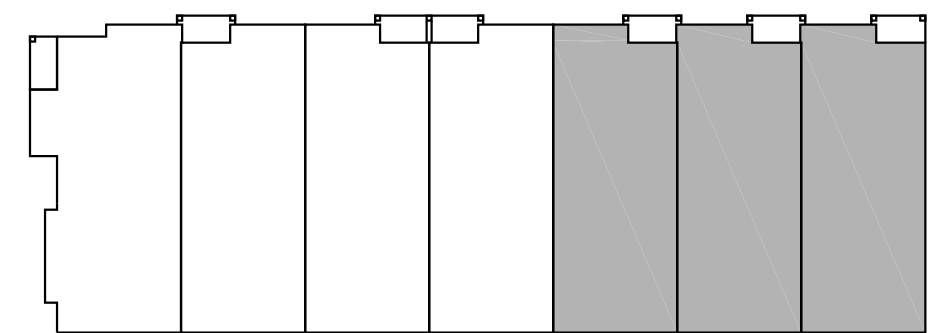
1ST - MAIN FLOOR FINISHED AREA :	599 Sq. Ft.
2ND - UPPER FLOOR FINISHED AREA :	952 Sq. Ft.
LIVING / FINISHED FLOOR AREA:	1551 Sq. Ft.
GARAGE AREA:	446 Sq. Ft.
TOTAL FLOOR AREA :	1997 Sq. Ft.

UNIT B (3 BDRM) : 1ST - MAIN FLOOR PLAN
SCALE: 1/4" = 1'-0"

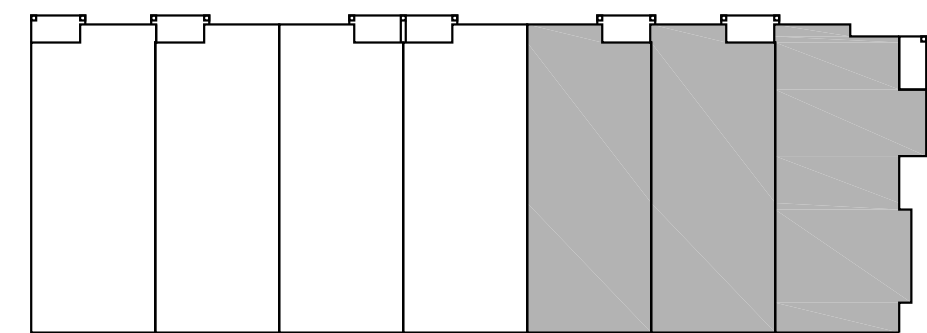
1ST - MAIN FLOOR FINISHED AREA :	591 Sq. Ft.
2ND - UPPER FLOOR FINISHED AREA :	944 Sq. Ft.
LIVING / FINISHED FLOOR AREA:	1535 Sq. Ft.
GARAGE AREA:	446 Sq. Ft.
TOTAL FLOOR AREA :	1981 Sq. Ft.

UNIT A (3 BDRM) : 1ST - MAIN FLOOR PLAN
SCALE: 1/4" = 1'-0"

1ST - MAIN FLOOR FINISHED AREA :	591 Sq. Ft.
2ND - UPPER FLOOR FINISHED AREA :	944 Sq. Ft.
LIVING / FINISHED FLOOR AREA:	1535 Sq. Ft.
GARAGE AREA:	446 Sq. Ft.
TOTAL FLOOR AREA :	1981 Sq. Ft.



BUILDING 3 - 7-PLEX



BUILDING 4 - 7-PLEX

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SCHEDULE

B

This forms part of application
DP18-0042 DVP18-0043

Planner Initials

KB

City of Kelowna

COMMUNITY PLANNING

No.	Date	Description
1	2018.02.05	Issued for Development Permit

PM

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project title
UNION ROAD
~ TOWNHOMES ~
1931 UNION ROAD,
KELOWNA, B.C.

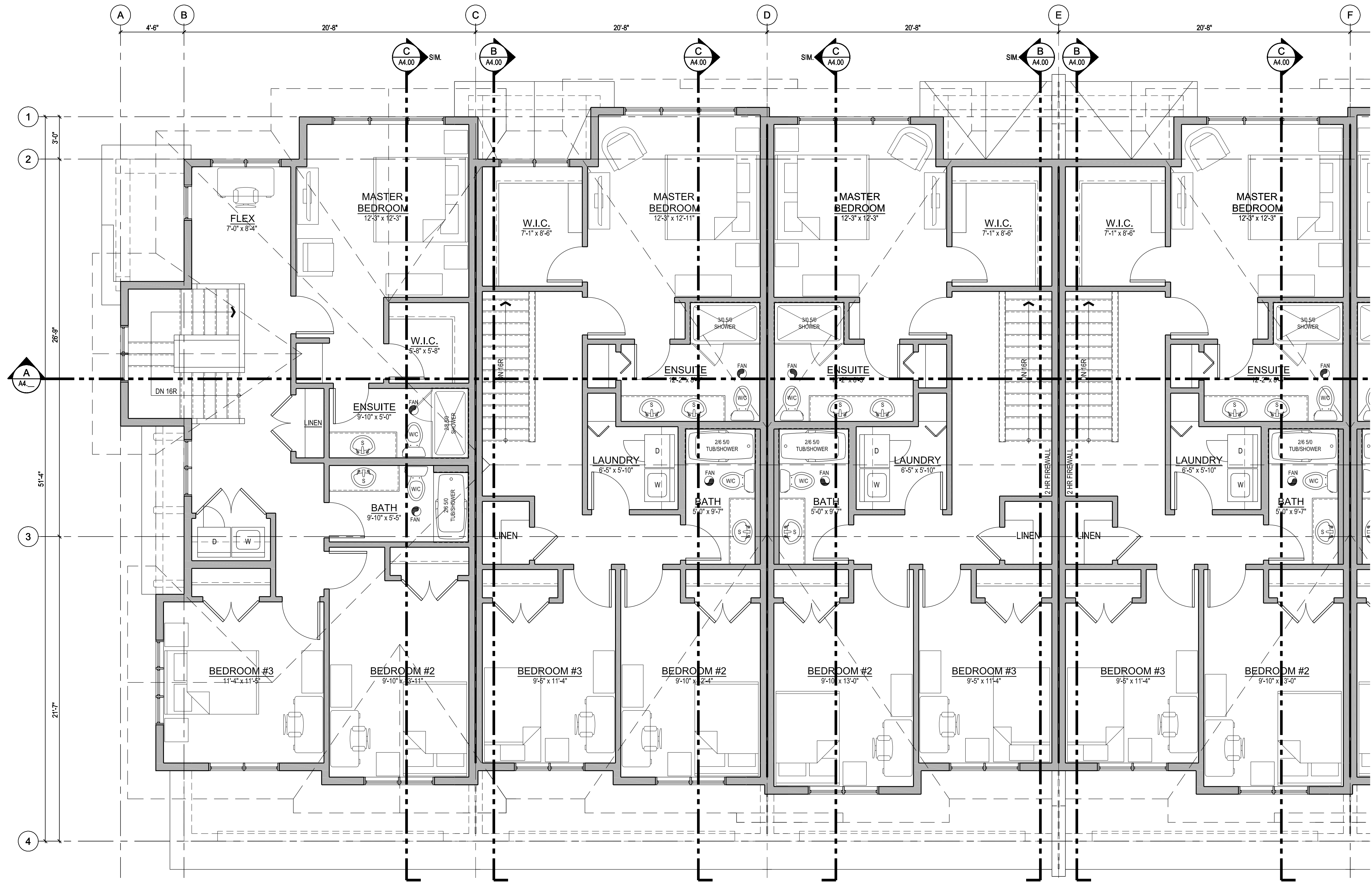
project no. 3378

drawing title
BLDG'S 3 & 4 - 7-PLEX
PARTIAL MAIN FLOOR PLAN

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drawn			
checked	PMC		
drawing no.			

DP_A2.10

plotted May 7, 2018 10:44 AM

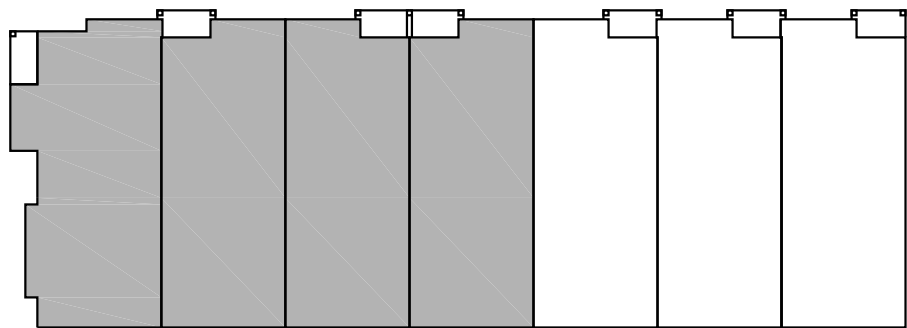


UNIT C (3 BDRM) : 2ND - UPPER FLOOR PLAN	
SCALE: 1/4" = 1'-0"	
1ST - MAIN FLOOR FINISHED AREA :	637 Sq. Ft.
2ND - UPPER FLOOR FINISHED AREA :	1016 Sq. Ft.
LIVING / FINISHED FLOOR AREA :	1653 Sq. Ft.
GARAGE AREA :	471 Sq. Ft.
TOTAL FLOOR AREA :	2124 Sq. Ft.

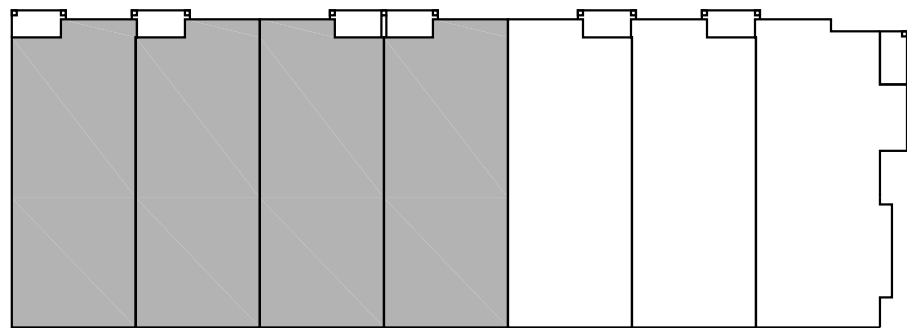
UNIT B2 (3 BDRM) : 2ND - UPPER FLOOR PLAN	
SCALE: 1/4" = 1'-0"	
1ST - MAIN FLOOR FINISHED AREA :	599 Sq. Ft.
2ND - UPPER FLOOR FINISHED AREA :	952 Sq. Ft.
LIVING / FINISHED FLOOR AREA :	1551 Sq. Ft.
GARAGE AREA :	446 Sq. Ft.
TOTAL FLOOR AREA :	1997 Sq. Ft.

UNIT B1 (3 BDRM) : 2ND - UPPER FLOOR PLAN	
SCALE: 1/4" = 1'-0"	
1ST - MAIN FLOOR FINISHED AREA :	590 Sq. Ft.
2ND - UPPER FLOOR FINISHED AREA :	951 Sq. Ft.
LIVING / FINISHED FLOOR AREA :	1541 Sq. Ft.
GARAGE AREA :	446 Sq. Ft.
TOTAL FLOOR AREA :	1987 Sq. Ft.

UNIT B1 (3 BDRM) : 2ND - UPPER FLOOR PLAN	
SCALE: 1/4" = 1'-0"	
1ST - MAIN FLOOR FINISHED AREA :	590 Sq. Ft.
2ND - UPPER FLOOR FINISHED AREA :	951 Sq. Ft.
LIVING / FINISHED FLOOR AREA :	1541 Sq. Ft.
GARAGE AREA :	446 Sq. Ft.
TOTAL FLOOR AREA :	1987 Sq. Ft.



BUILDING 3 - 7-PLEX



BUILDING 4 - 7-PLEX

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SCHEDULE B

This forms part of application
DP18-0042 DVP18-0043

Planner
Initials KB



No.	Date	Description
1	2018.02.05	Issued for Development Permit
Revisions		



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project title
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1931 UNION ROAD,
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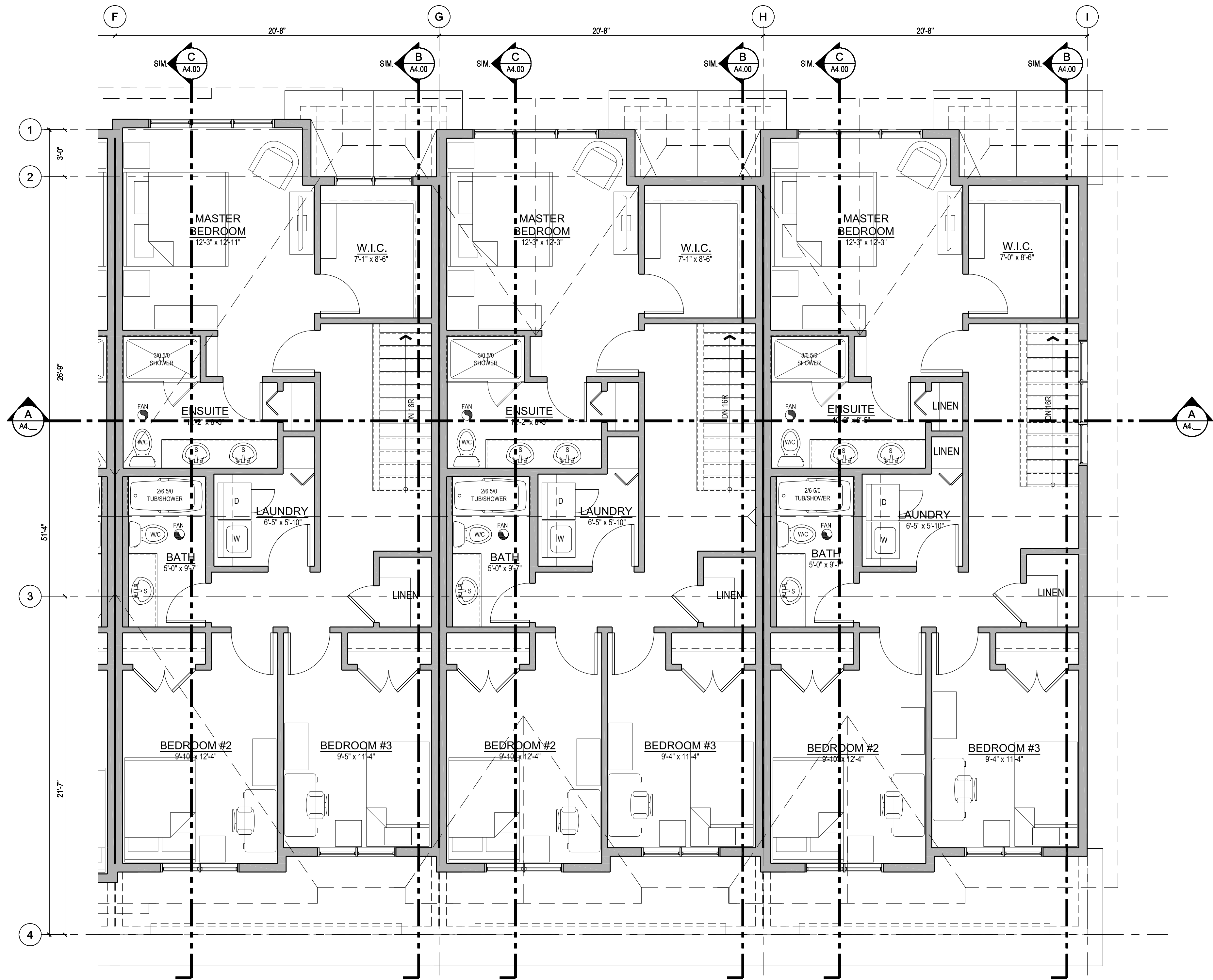
project no. 3378

drawing title
BLDG'S 3 & 4 - 7-PLEX
PARTIAL UPPER FLOOR PLAN

designed	PMC	scale	1/4" = 1'-0"
drawn			
checked	PMC		
drawing no.			

DP_A2.11

plotted May 7, 2018 10:45 AM



UNIT B2 (3 BDRM) :
2ND - UPPER FLOOR PLAN
SCALE: 1/4" = 1'-0"

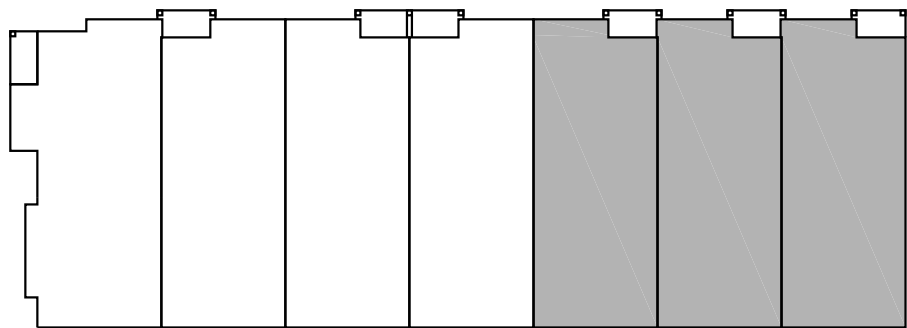
1ST - MAIN FLOOR FINISHED AREA :	599 Sq. Ft.
2ND - UPPER FLOOR FINISHED AREA :	962 Sq. Ft.
LIVING / FINISHED FLOOR AREA :	1551 Sq. Ft.
GARAGE AREA :	446 Sq. Ft.
TOTAL FLOOR AREA :	1997 Sq. Ft.

UNIT B (3 BDRM) :
2ND - UPPER FLOOR PLAN
SCALE: 1/4" = 1'-0"

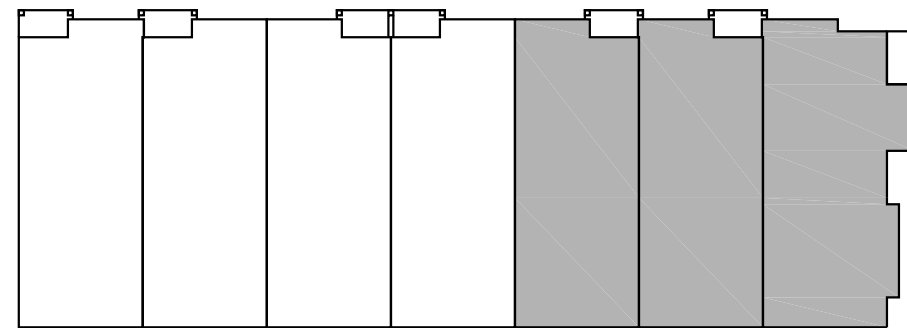
1ST - MAIN FLOOR FINISHED AREA :	591 Sq. Ft.
2ND - UPPER FLOOR FINISHED AREA :	944 Sq. Ft.
LIVING / FINISHED FLOOR AREA :	1535 Sq. Ft.
GARAGE AREA :	446 Sq. Ft.
TOTAL FLOOR AREA :	1981 Sq. Ft.

UNIT A (3 BDRM) :
2ND - UPPER FLOOR PLAN
SCALE: 1/4" = 1'-0"

1ST - MAIN FLOOR FINISHED AREA :	591 Sq. Ft.
2ND - UPPER FLOOR FINISHED AREA :	944 Sq. Ft.
LIVING / FINISHED FLOOR AREA :	1535 Sq. Ft.
GARAGE AREA :	446 Sq. Ft.
TOTAL FLOOR AREA :	1981 Sq. Ft.



BUILDING 3 - 7-PLEX



BUILDING 4 - 7-PLEX

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SCHEDULE B

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DP18-0042 DVP18-0043

Planner
Initials

KB



City of
Kelowna
COMMUNITY PLANNING

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Revisions



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project title

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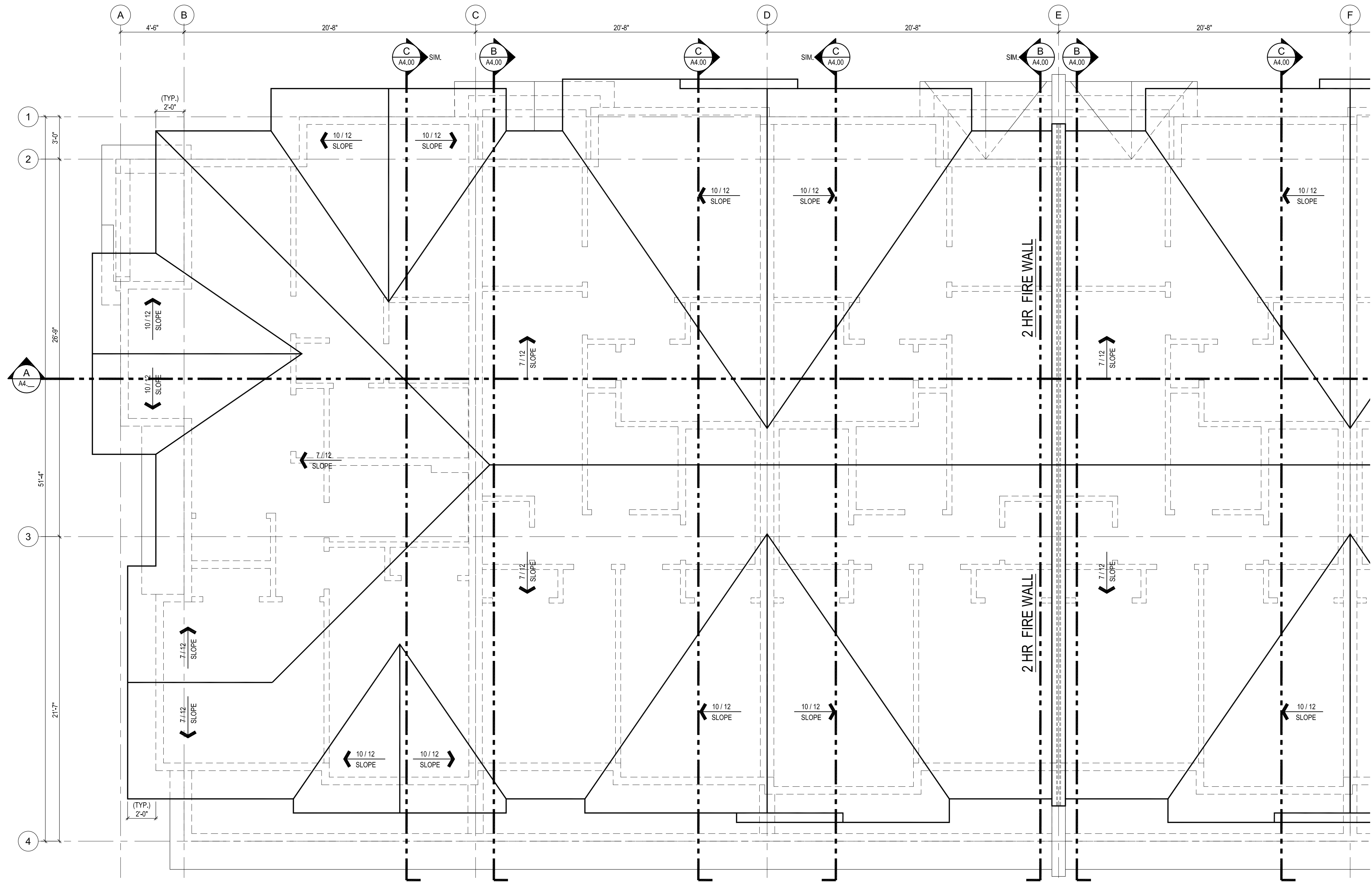
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BLDG'S 3 & 4 - 7-PLEX
PARTIAL UPPER FLOOR PLAN

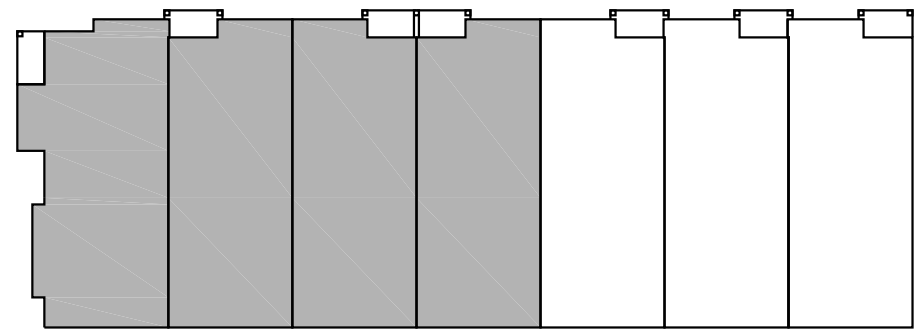
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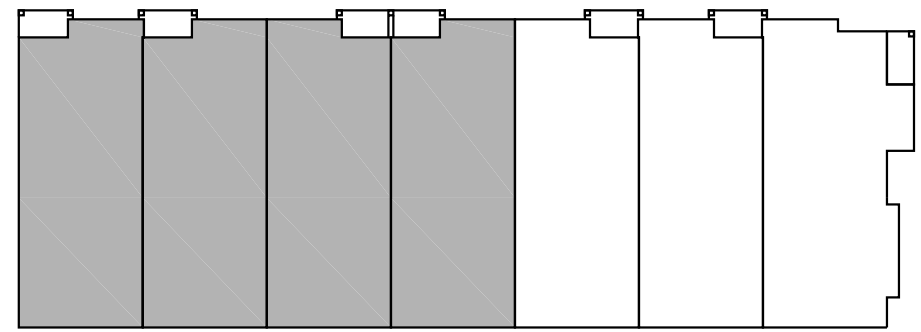
plotted May 7, 2018 10:46 AM



BUILDING 3 - 7-PLEX : PARTIAL ROOF PLAN
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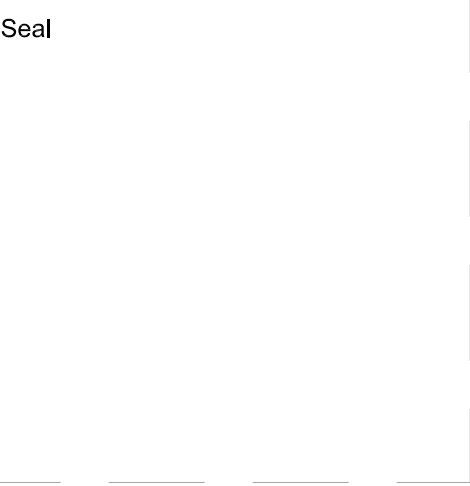


BUILDING 3 - 7-PLEX



BUILDING 4 - 7-PLEX

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SCHEDULE

B

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DP18-0042 DVP18-0043

Planner
Initials

KB



1 2018.02.05 Issued for Development Permit
No. Date Description
Revisions



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project title
**UNION ROAD
~ TOWNHOMES ~
1931 UNION ROAD,
KELOWNA, B.C.**

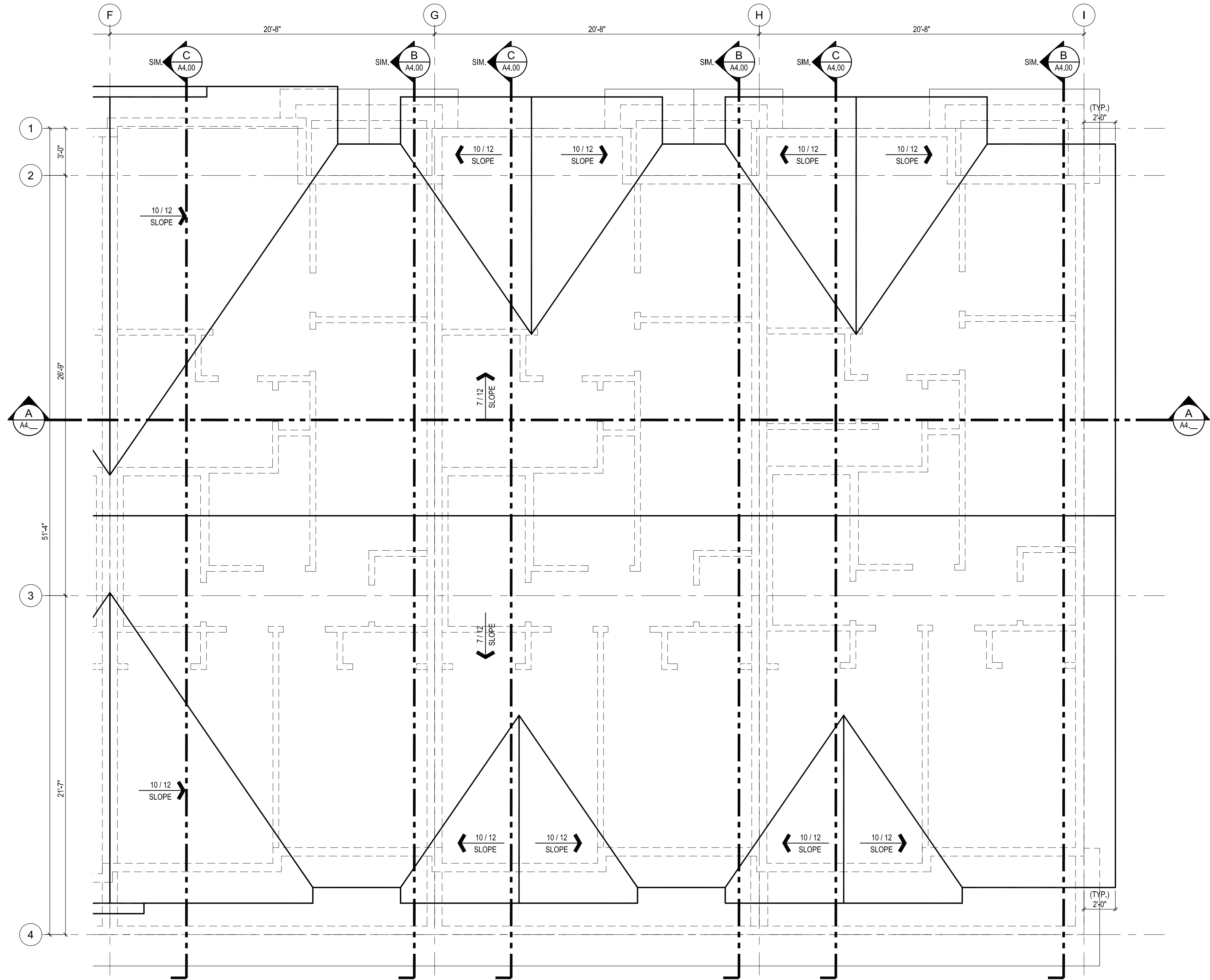
project no. 3378

drawing title
**BLDG'S 3 & 4 - 7-PLEX
PARTIAL ROOF PLAN**

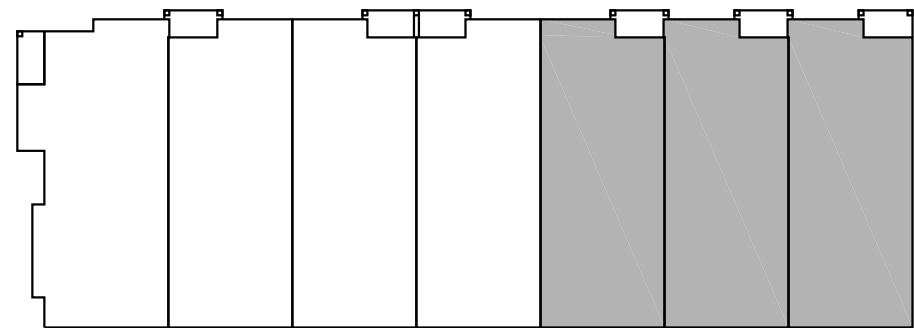
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drawn			
checked	PMC		
drawing no.			

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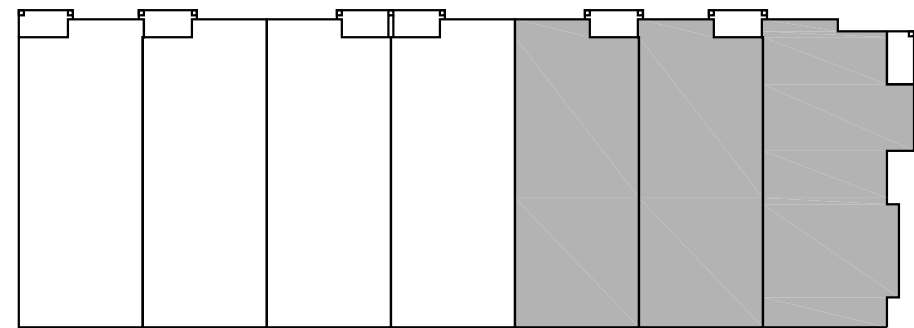
plotted May 7, 2018 10:58 AM



BUILDING 3 - 7-PLEX : PARTIAL ROOF PLAN
SCALE: 1/4" = 1'-0"



BUILDING 3 - 7-PLEX



BUILDING 4 - 7-PLEX

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Initials

KB



City of
Kelowna
COMMUNITY PLANNING

No.	Date	Description
1	2018.02.05	Issued for Development Permit

Revisions



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www.pmcarch.com

project title

UNION ROAD
~ TOWNHOMES ~
1931 UNION ROAD,
KELOWNA, B.C.

project no. 3378

drawing title

BLDG'S 3 & 4 - 7-PLEX
PARTIAL ROOF PLAN

designed	PMC	scale	1/4" = 1'-0"
drawn			
checked	PMC		
drawing no.			

DP_A2.14

plotted May 7, 2018 10:58 AM



1 FRONT ELEVATION (7-PLEX - BLDG 1)
SCALE: 1/4" = 1'-0"



MATERIALS LEGEND:

- | | | | | | |
|--|---------------------------------------------------------------|--|-------------------------------------------------------|--|----------------------------------------------------------------------------------------|
| | FIBREGLASS LAMINATED ROOF SHINGLES (30 YEAR) | | ① - VINYL WINDOWS DOUBLE PANE, LOW-E GLAZING | | ⑦ - 5" FASCIA GUTTER |
| | SMOOTH PANEL W/ BATTENS (Hardipanel® Vertical Siding) | | ② - FIBERGLASS ENTRY DOOR WITH UPPER LITE OR SIDELITE | | ⑧ - 1x4, 1x6 DOOR AND WINDOW TRIM (Hardtrim® Planks) |
| | CEDAR SHAKES W/ STAGGERED EDGE (Hardishingle® Siding) | | ③ - FIBERGLASS INSULATED OVERHEAD DOOR | | ⑨ - ALUMINUM EXT. DECK RAILING W/ TEMPERED GLASS INSERTS AND ALUMINUM SIDE MOUNT POSTS |
| | HORIZONTAL LAP SIDING W/ 6" EXPOSURE (Hardiplank® Lap Siding) | | ④ - VINYL SLIDING PATIO GLAZED DOORS | | ⑩ - CUSTOM GABLE ATTIC VENT W/ DENTIL DETAILING |
| | | | ⑤ - 1x10 BAND BOARD (Hardtrim® Planks) | | ⑪ - CUSTOM DECORATIVE COLUMNS WRAPPED WITH SMOOTH PANEL (Hardipanel® Vertical Siding) |
| | | | ⑥ - 1x8 FASCIA (Hardtrim® Planks) | | |



SCHEDULE B

This forms part of application

DP18-0042 DVP18-0043

Planner Initials KB



City of
Kelowna
COMMUNITY PLANNING

1 2018.02.05 Issued for Development Permit
No. Date Description
Revisions



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project title
**UNION ROAD
~ TOWNHOMES ~
1931 UNION ROAD,
KELOWNA, B.C.**

project no. 3378

drawing title
**BLDG 1 - 7-PLEX
FRONT ELEVATION**

designed PMC scale 1/4" = 1'-0"

drawn

checked PMC

drawing no.

DP_A3.00

plotted May 7, 2018 11:19 AM

Notes:
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Seal

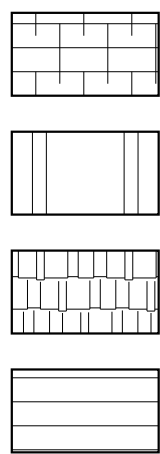
- A 2018.04.06 Revision: Site Plan (DP_A1.01) and Bldg1 1-7-Plex Side Elevations (DP_A3.05). Addition of items as per request of City of Kelowna
- B 2018.05.07 Revision: Revision to DP submittal. Addition of Firewalls to Bldg's 1, 3 & 4 (7-Plex) Plans and Elevations.



1 REAR ELEVATION (7-PLEX - BLDG 1)
SCALE: 1/4" = 1'-0"



MATERIALS LEGEND:



FIBREGLASS LAMINATED
ROOF SHINGLES
(30 YEAR)

SMOOTH PANEL W/
BATTENS
(Hardipanel® Vertical Siding)

CEDAR SHAKES W/
STAGGERED EDGE
(Hardishingle® Siding)

HORIZONTAL LAP SIDING
W/ 6" EXPOSURE
(Hardiplank® Lap Siding)

⑦ - VINYL WINDOWS
DOUBLE PANE, LOW-E GLAZING

⑧ - FIBREGLASS ENTRY DOOR
WITH UPPER LITE OR SIDELITE

⑨ - FIBREGLASS INSULATED
OVERHEAD DOOR

⑩ - VINYL SLIDING PATIO
GLAZED DOORS

⑪ - 1x10 BAND BOARD
(Hardtrim® Planks)

⑫ - 1x8 FASCIA
(Hardtrim® Planks)

⑬ - 5" FASCIA GUTTER

⑭ - 1x4, 1x6 DOOR AND WINDOW TRIM
(Hardtrim® Planks)

⑮ - ALUMINUM EXT. DECK RAILING W/
TEMPERED GLASS INSERTS AND
ALUMINUM SIDE MOUNT POSTS

⑯ - CUSTOM GABLE ATTIC VENT
W/ DENTIL DETAILING

⑰ - CUSTOM DECORATIVE COLUMNS
WRAPPED WITH SMOOTH PANEL
(Hardipanel® Vertical Siding)



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- B 2018.05.07 Revision: Revision to DP submittal. Addition of Firewalls to Bldg's 1, 3 & 4 (7-Plex) Plans and Elevations.

SCHEDULE

B

This forms part of application
DP18-0042 DVP18-0043

Planner
Initials KB



1 2018.02.05 Issued for Development Permit
No. Date Description
Revisions



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project title
UNION ROAD
~ TOWNHOMES ~
1931 UNION ROAD,
KELOWNA, B.C.

project no. 3378

drawing title
BLDG 1 - 7-PLEX
REAR ELEVATION

designed PMC scale 1/4" = 1'-0"
drawn
checked PMC
drawing no.

DP_A3.01

plotted May 7, 2018 11:20 AM

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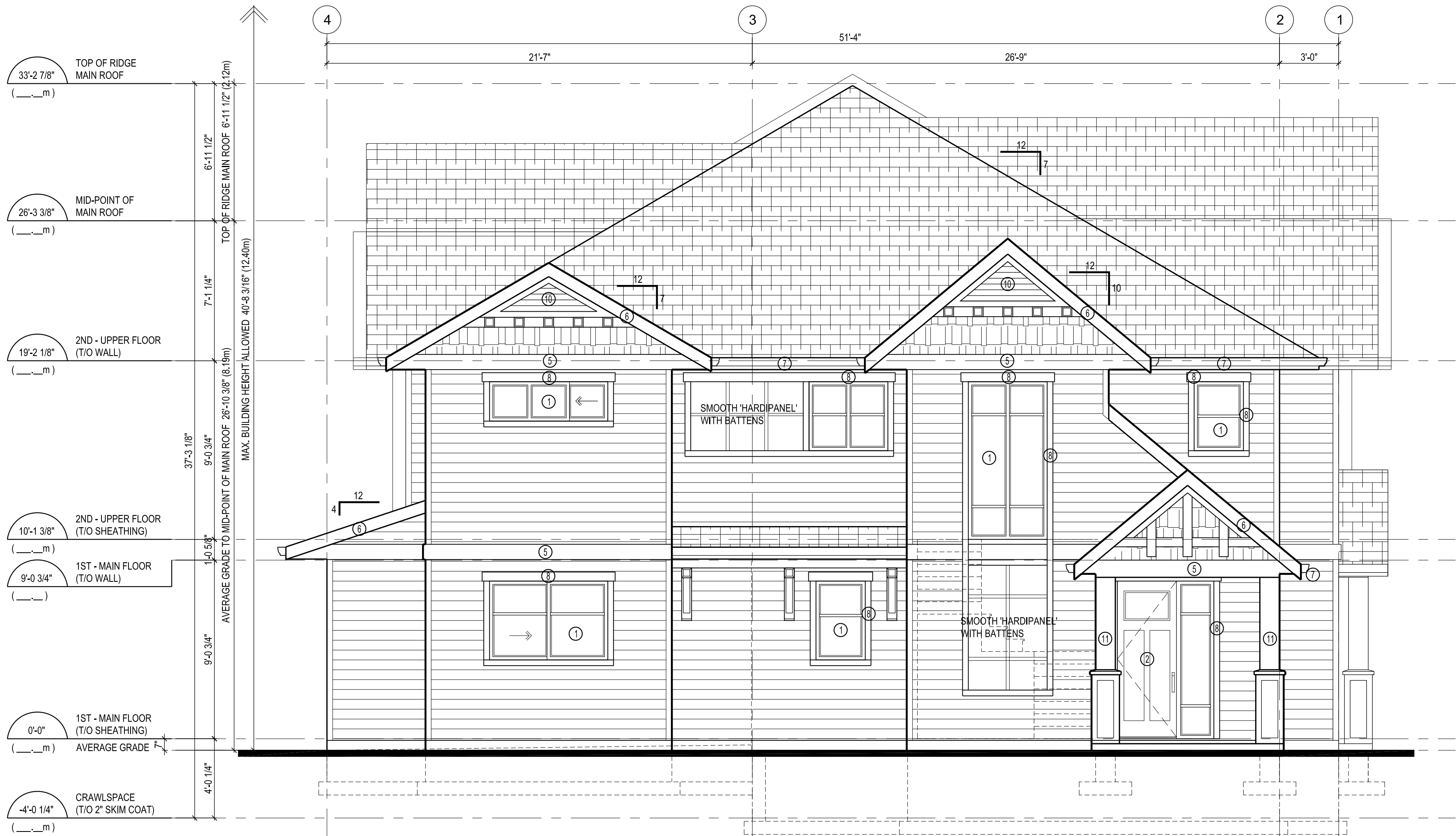
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Seal

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- B 2018.05.07 Revision: Revision to DP submittal. Addition of Firewalls to Bldg's 1, 3 & 4 (7-Plex) Plans and Elevations.



1 RIGHT SIDE ELEVATION (7-PLEX - BLDG 1)
SCALE: 1/4" = 1'-0"



2 LEFT SIDE ELEVATION (7-PLEX - BLDG 1)
SCALE: 1/4" = 1'-0"

MATERIALS LEGEND:

- 1 - VINYL WINDOWS DOUBLE PANE, LOW-E GLAZING
- 2 - FIBERGLASS ENTRY DOOR WITH UPPER LITE OR SIDELITE
- 3 - FIBERGLASS INSULATED OVERHEAD DOOR
- 4 - VINYL SLIDING PATIO GLAZED DOORS
- 5 - 1x10 BAND BOARD (Hardtrim® Planks)
- 6 - 1x8 FASCIA (Hardtrim® Planks)
- 7 - 5" FASCIA GUTTER
- 8 - 1x4, 1x6 DOOR AND WINDOW TRIM (Hardtrim® Planks)
- 9 - ALUMINUM EXT. DECK RAILING W/ TEMPERED GLASS INSERTS AND ALUMINUM SIDE MOUNT POSTS
- 10 - CUSTOM GABLE ATTIC VENT W/ DENTIL DETAILING
- 11 - CUSTOM DECORATIVE COLUMNS WRAPPED WITH SMOOTH PANEL (Hardpanel® Vertical Siding)

SCHEDULE B

This forms part of application
DP18-0042 DVP18-0043

Planner Initials KB

City of Kelowna
COMMUNITY PLANNING

No.	Date	Description
1	2018.02.05	Issued for Development Permit
Revisions		

PM

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project title
UNION ROAD
~ TOWNHOMES ~
1931 UNION ROAD,
KELOWNA, B.C.

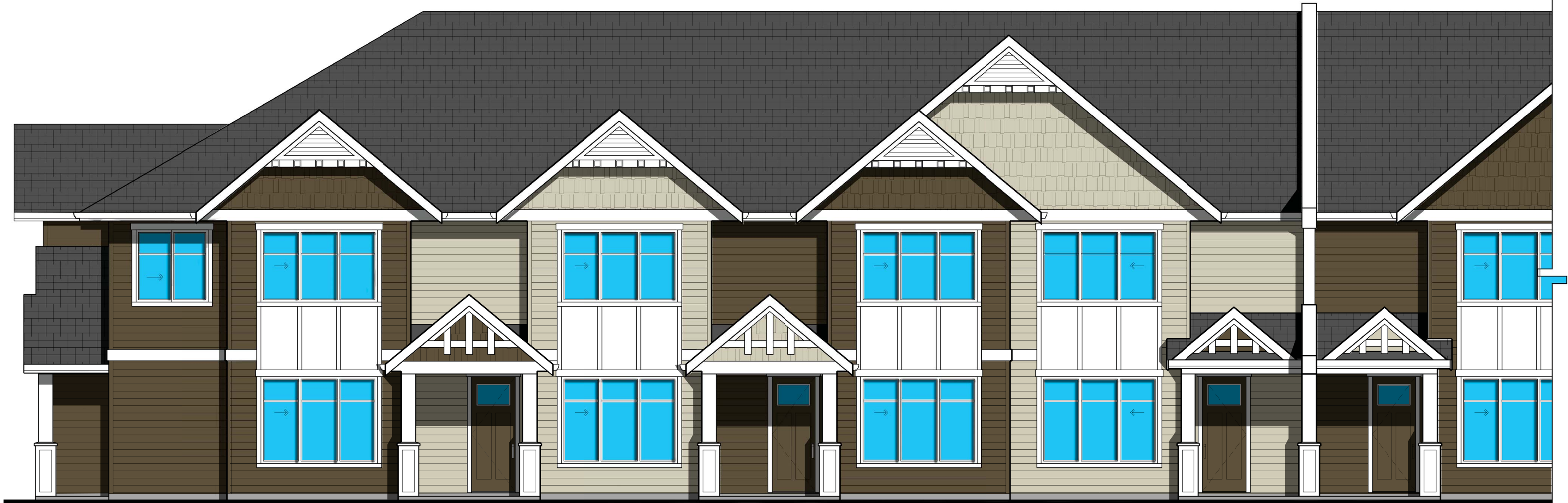
project no. 3378

drawing title
BLDG 1 - 7-PLEX
RIGHT & LEFT SIDE
ELEVATIONS

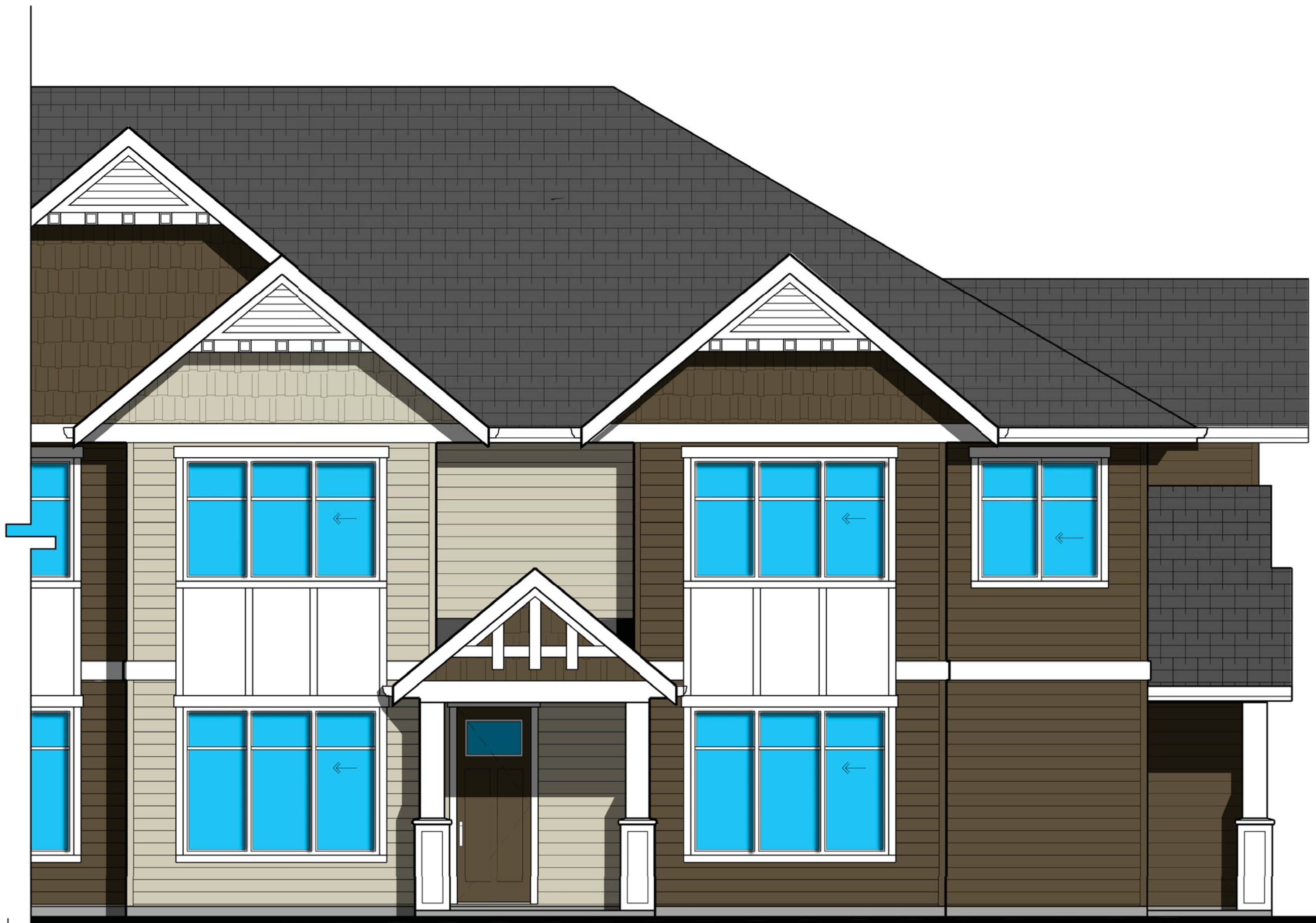
designed	PMC	scale	1/4" = 1'-0"
drawn			
checked	PMC		
drawing no.			

DP_A3.02

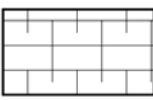
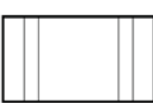

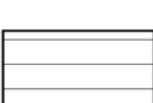




plotted May 7, 2018 11:21 AM



1
DP A3.00
FRONT ELEVATION (7-PLEX - BLDG 1)
SCALE: 1/4" = 1'-0"



MATERIALS LEGEND:

	FIBREGLASS LAMINATED ROOF SHINGLES (30 YEAR)	⑦ - VINYL WINDOWS DOUBLE PANE, LOW-E GLAZING	⑦ - 5" FASCIA GUTTER
	SMOOTH PANEL W/ BATTENS (Hardiplank® Vertical Siding)	⑧ - FIBERGLASS ENTRY DOOR WITH UPPER LITE OR SIDELITE	⑧ - 1x4, 1x6 DOOR AND WINDOW TRIM (Harditrim® Planks)
	CEDAR SHAKES W/ STAGGERED EDGE (Hardishingle® Siding)	⑨ - FIBERGLASS INSULATED OVERHEAD DOOR	⑨ - ALUMINUM EXT. DECK RAILING W/ TEMPERED GLASS INSERTS AND ALUMINUM SIDE MOUNT POSTS
	HORIZONTAL LAP SIDING W/ 6" EXPOSURE (Hardiplank® Lap Siding)	⑩ - VINYL SLIDING PATIO GLAZED DOORS	⑩ - CUSTOM GABLE ATTIC VENT W/ DENTIL DETAILING
	TIMBER BARK (James Hardie®)	⑪ - x10 BAND BOARD (Harditrim® Planks)	⑪ - CUSTOM DECORATIVE COLUMNS WRAPPED WITH SMOOTH PANEL (Hardiplank® Vertical Siding)
	COBBLE STONE (James Hardie®)	⑫ - x8 FASCIA (Harditrim® Planks)	
	ARCTIC WHITE (James Hardie®)		
	LAMINATED FIBREGLASS ROOF SHINGLES		



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- 2018.05.06 Revision : Revision to DP submittal. Addition of Firewalls to Bldg's 1, 3 & 4 (7-Plex) Plans and Elevations.

SCHEDULE B

This forms part of application

DP18-0042 DVP18-0043

Planner Initials KB



City of Kelowna
COMMUNITY PLANNING

1 - 2018.02.05 Issued for Development Permit
No. Date Description
Revisions

PM A

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project title
UNION ROAD
~ TOWNHOMES ~
1931 UNION ROAD,
KELOWNA, B.C.

project no. 3378

drawing title
BLDG 1 - 7-PLEX
FRONT ELEVATION
(COLOURED)

designed PMC scale 1/4" = 1'-0"
drawn
checked PMC
drawing no.

DP_A3.03

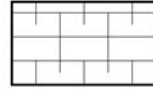


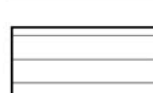


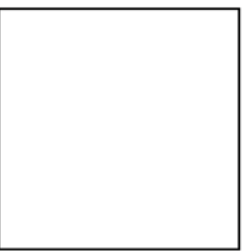
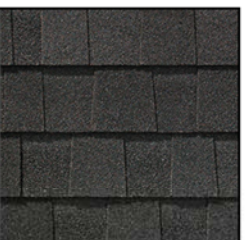
plotted May 3, 2018 11:02 AM



1 REAR ELEVATION (7-PLEX - BLDG 1)
DP A3.04 SCALE: 1/4" = 1'-0"



MATERIALS LEGEND:

- | | | |
|---------------------------------------------------------------------------------------|---------------------------------------------------------------|----------------------------------------------------------------------------------------|
|  | FIBERGLASS LAMINATED ROOF SHINGLES (30 YEAR) | ⑦ - 5" FASCIA GUTTER |
|  | SMOOTH PANEL W/ BATTENS (Hardipanel® Vertical Siding) | ⑧ - 1x4, 1x6 DOOR AND WINDOW TRIM (Harditrim® Planks) |
|  | CEDAR SHAKES W/ STAGGERED EDGE (Hardishingle® Siding) | ⑨ - ALUMINUM EXT. DECK RAILING W/ TEMPERED GLASS INSERTS AND ALUMINUM SIDE MOUNT POSTS |
|  | HORIZONTAL LAP SIDING W/ 6" EXPOSURE (Hardiplank® Lap Siding) | ⑩ - CUSTOM GABLE ATTIC VENT W/ DENTIL DETAILING |
|  | TIMBER BARK (James Hardie®) | ⑪ - CUSTOM DECORATIVE COLUMNS WRAPPED WITH SMOOTH PANEL (Hardipanel® Vertical Siding) |
|  | COBBLE STONE (James Hardie®) | |
|  | ARCTIC WHITE (James Hardie®) | |
|  | LAMINATED FIBERGLASS ROOF SHINGLES | |



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Seal

- A 2018.04.06 Revision: Site Plan (DP, A1.01) and Bldg 1 - 7-Plex Side Elevations (DP, A3.05). Addition of items as per request of City of Kelowna
- B 2018.05.07 Revision: Revision to DP submittal. Addition of Firewalls to Bldg's 1, 3 & 4 (7-Plex) Plans and Elevations.

SCHEDULE B

This forms part of application
DP18-0042 DVP18-0043

Planner Initials KB

City of Kelowna
COMMUNITY PLANNING

No.	Date	Description
1	2018.02.05	Issued for Development Permit

Revisions

PM 

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project title
UNION ROAD
~ TOWNHOMES ~
1931 UNION ROAD,
KELOWNA, B.C.

project no. 3378

drawing title
BLDG 1 - 7-PLEX
REAR ELEVATION
(COLOURED)

designed PMC scale 1/4" = 1'-0"

drawn

checked PMC

drawing no.

DP_A3.04

plotted May 10, 2018 11:02 AM

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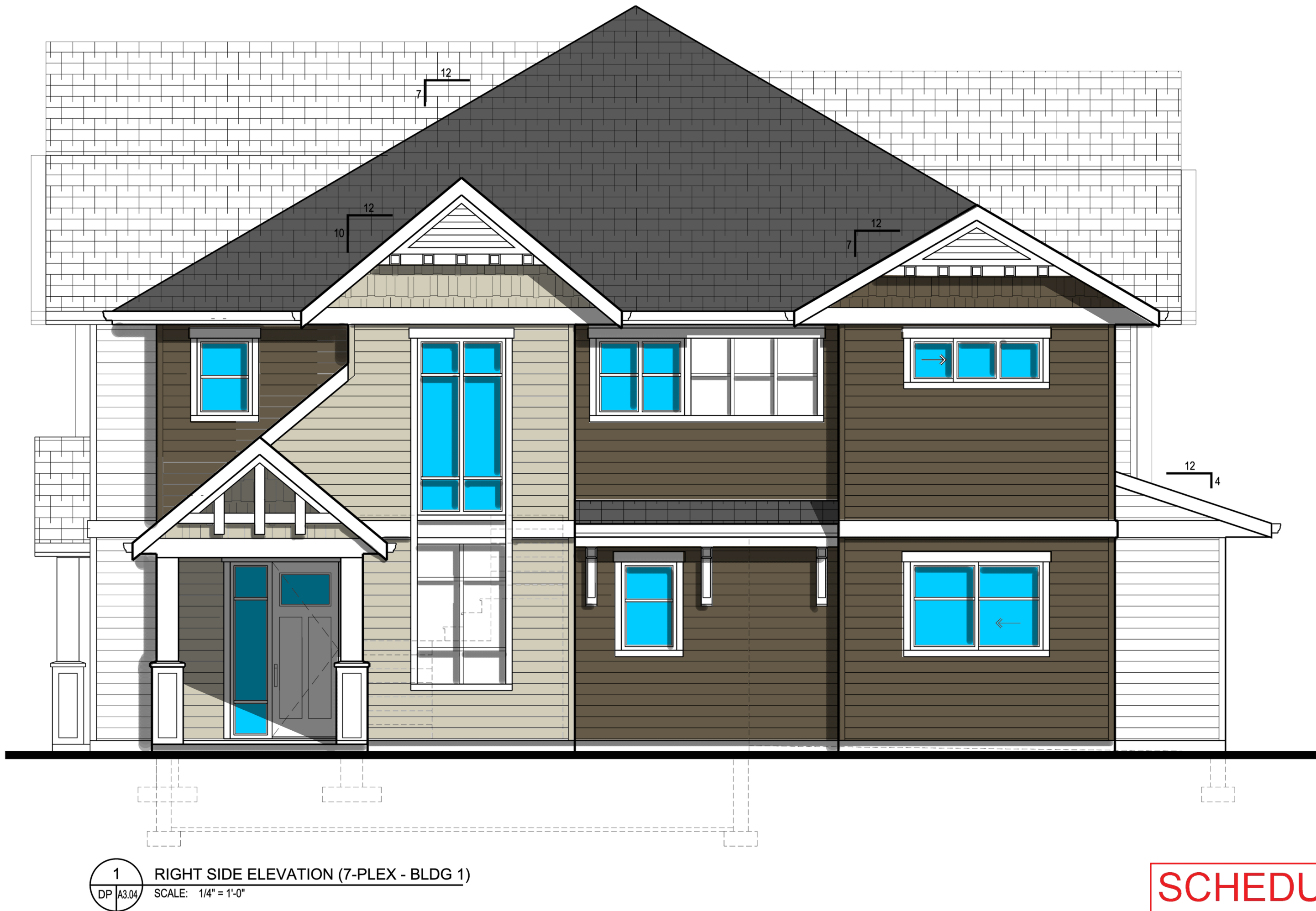
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- B** 2018.05.07 Revision : Revision to DP submittal. Addition of Firewalls to Bldg's 1, 3 & 4 (7-Plex) Plans and Elevations.



1 RIGHT SIDE ELEVATION (7-PLEX - BLDG 1)
SCALE: 1/4" = 1'-0"

SCHEDULE

B

This forms part of application
DP18-0042 DVP18-0043

Planner
Initials KB



2 LEFT SIDE ELEVATION (7-PLEX - BLDG 1)
SCALE: 1/4" = 1'-0"

MATERIALS LEGEND:

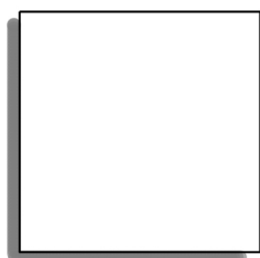
- | | | |
|--|---------------------------------------------------------------|----------------------------------------------------------------------------------------|
| | FIBREGLASS LAMINATED ROOF SHINGLES (30 YEAR) | ⑦ - 5" FASCIA GUTTER |
| | SMOOTH PANEL W/ BATTENS (Hardipanel® Vertical Siding) | ⑧ - 1x4, 1x6 DOOR AND WINDOW TRIM (Hardtrim® Planks) |
| | CEDAR SHAKES W/ STAGGERED EDGE (Hardishingle® Siding) | ⑨ - ALUMINUM EXT. DECK RAILING W/ TEMPERED GLASS INSERTS AND ALUMINUM SIDE MOUNT POSTS |
| | HORIZONTAL LAP SIDING W/ 6" EXPOSURE (Hardiplank® Lap Siding) | ⑩ - CUSTOM GABLE ATTIC VENT W/ DENTIL DETAILING |
| | | ⑪ - CUSTOM DECORATIVE COLUMNS WRAPPED WITH SMOOTH PANEL (Hardipanel® Vertical Siding) |
| | | ① - VINYL WINDOWS DOUBLE PANE, LOW-E GLAZING |
| | | ② - FIBERGLASS ENTRY DOOR WITH UPPER LITE OR SIDELITE |
| | | ③ - FIBERGLASS INSULATED OVERHEAD DOOR |
| | | ④ - VINYL SLIDING PATIO GLAZED DOORS |
| | | ⑤ - 1x10 BAND BOARD (Hardtrim® Planks) |
| | | ⑥ - 1x8 FASCIA (Hardtrim® Planks) |



TIMBER BARK
(James Hardie®)



COBBLE STONE
(James Hardie®)



ARCTIC WHITE
(James Hardie®)



LAMINATED FIBREGLASS ROOF SHINGLES

1 2018.02.05 Issued for Development Permit
No. Date Description

Revisions



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project title
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1931 UNION ROAD,
KELOWNA, B.C.

project no. 3378

drawing title
BLDG 1 - 7-PLEX
RIGHT & LEFT SIDE
ELEVATIONS (COLOURED)

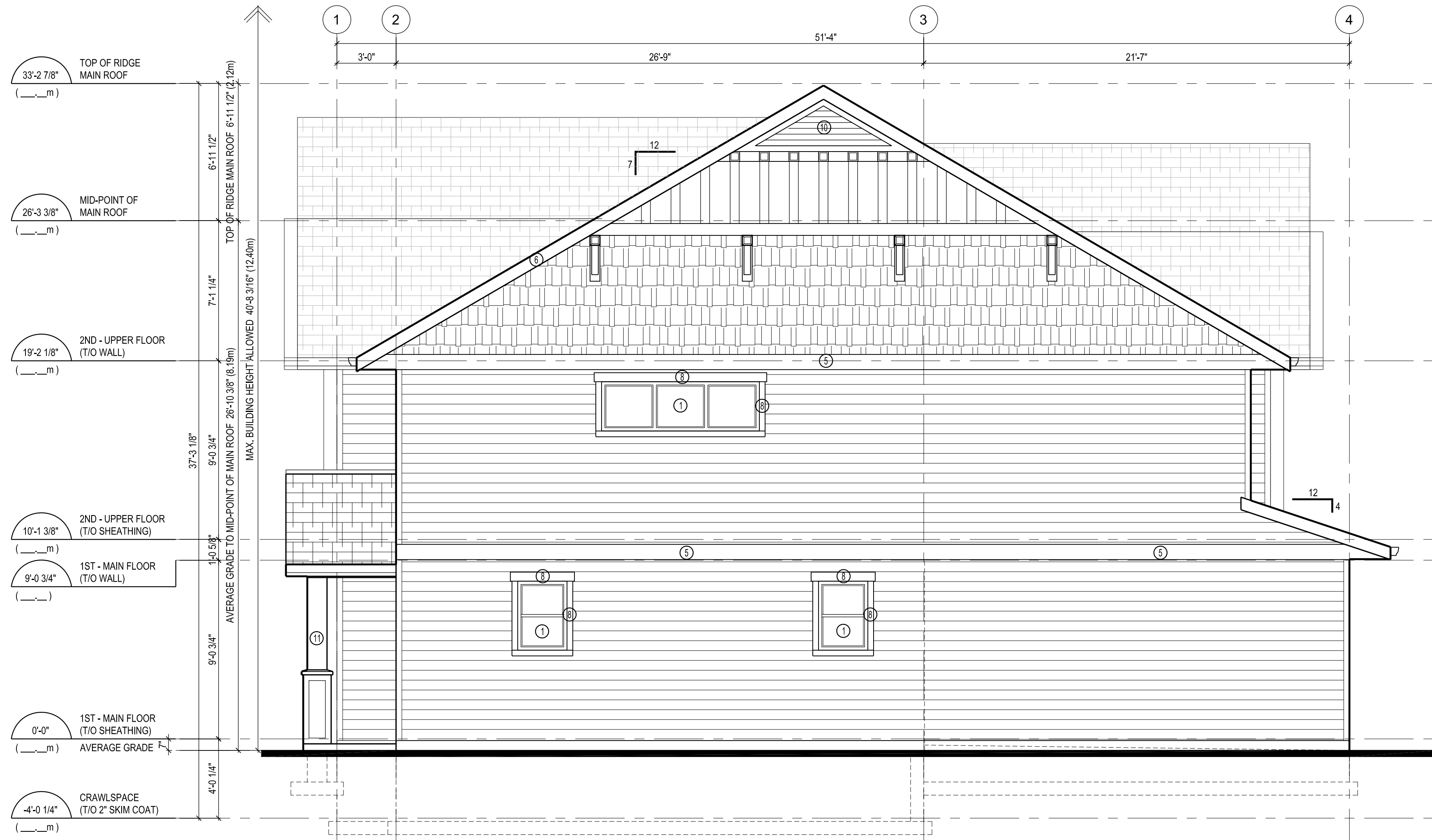
designed	PMC	scale	1/4" = 1'-0"
drawn			
checked	PMC		
drawing no.			

DP_A3.05

plotted April 6, 2018 10:38 AM



1 FRONT ELEVATION (4-PLEX - BLDG'S 2 & 5)
SCALE: 1/4" = 1'-0"



2 RIGHT SIDE ELEVATION (4-PLEX - BLDGS 2 & 5)
SCALE: 1/4" = 1'-0"

MATERIALS LEGEND:

- | | | | |
|--|---------------------------------------------------------------|-------------------------------------------------------|----------------------------------------------------------------------------------------|
| | FIBREGLASS LAMINATED ROOF SHINGLES (30 YEAR) | ① - VINYL WINDOWS DOUBLE PANE, LOW-E GLAZING | ⑦ - 5" FASCIA GUTTER |
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| | CEDAR SHAKES W/ STAGGERED EDGE (Hardishingle® Siding) | ③ - FIBERGLASS INSULATED OVERHEAD DOOR | ⑨ - ALUMINUM EXT. DECK RAILING W/ TEMPERED GLASS INSERTS AND ALUMINUM SIDE MOUNT POSTS |
| | HORIZONTAL LAP SIDING W/ 6" EXPOSURE (Hardiplank® Lap Siding) | ④ - VINYL SLIDING PATIO GLAZED DOORS | ⑩ - CUSTOM GABLE ATTIC VENT W/ DENTIL DETAILING |
| | | ⑤ - 1x10 BAND BOARD (Harditrim® Planks) | ⑪ - CUSTOM DECORATIVE COLUMNS WRAPPED WITH SMOOTH PANEL (Hardiplank® Vertical Siding) |
| | | ⑥ - 1x8 FASCIA (Harditrim® Planks) | |

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SCHEDULE

B

This forms part of application
DP18-0042 DVP18-0043

Planner
Initials

KB



No.	Date	Issued for Development Permit	Description
1	2018.02.05		
Revisions			



PATRICK McCUSKER
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project title
UNION ROAD
~ TOWNHOMES ~
1931 UNION ROAD,
KELOWNA, B.C.

project no. 3378

drawing title
BLDG'S 2 & 5 - 4-PLEX
FRONT & RIGHT SIDE
ELEVATIONS

designed	PMC	scale	1/4" = 1'-0"
drawn			
checked	PMC		
drawing no.			

DP_A3.06

plotted May 7, 2018 11:39 AM



MATERIALS LEGEND:

- FIBREGLASS LAMINATED ROOF SHINGLES (30 YEAR)
- SMOOTH PANEL W/ BATTENS (Hardipanel® Vertical Siding)
- CEDAR SHAKES W/ STAGGERED EDGE (Hardishingle® Siding)
- HORIZONTAL LAP SIDING W/ 6" EXPOSURE (Hardiplank® Lap Siding)

- VINYL WINDOWS DOUBLE PANE, LOW-E GLAZING
- FIBERGLASS ENTRY DOOR WITH UPPER LITE OR SIDELITE
- FIBERGLASS INSULATED OVERHEAD DOOR
- VINYL SLIDING PATIO GLAZED DOORS
- 1x10 BAND BOARD (Harditrim® Planks)
- 1x8 FASCIA (Harditrim® Planks)

- 5" FASCIA GUTTER
- 1x4, 1x6 DOOR AND WINDOW TRIM (Harditrim® Planks)
- ALUMINUM EXT. DECK RAILING W/ TEMPERED GLASS INSERTS AND ALUMINUM SIDE MOUNT POSTS
- CUSTOM GABLE ATTIC VENT W/ DENTIL DETAILING
- CUSTOM DECORATIVE COLUMNS WRAPPED WITH SMOOTH PANEL (Hardipanel® Vertical Siding)

SCHEDULE

B

This forms part of application
DP18-0042 DVP18-0043

Planner
Initials KB



No.	Date	Description
1	2018.02.05	Issued for Development Permit



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project title
UNION ROAD
~ TOWNHOMES ~
1931 UNION ROAD,
KELOWNA, B.C.

project no. 3378

drawing title
BLDG'S 2 & 5 - 4-PLEX
REAR & LEFT SIDE
ELEVATIONS

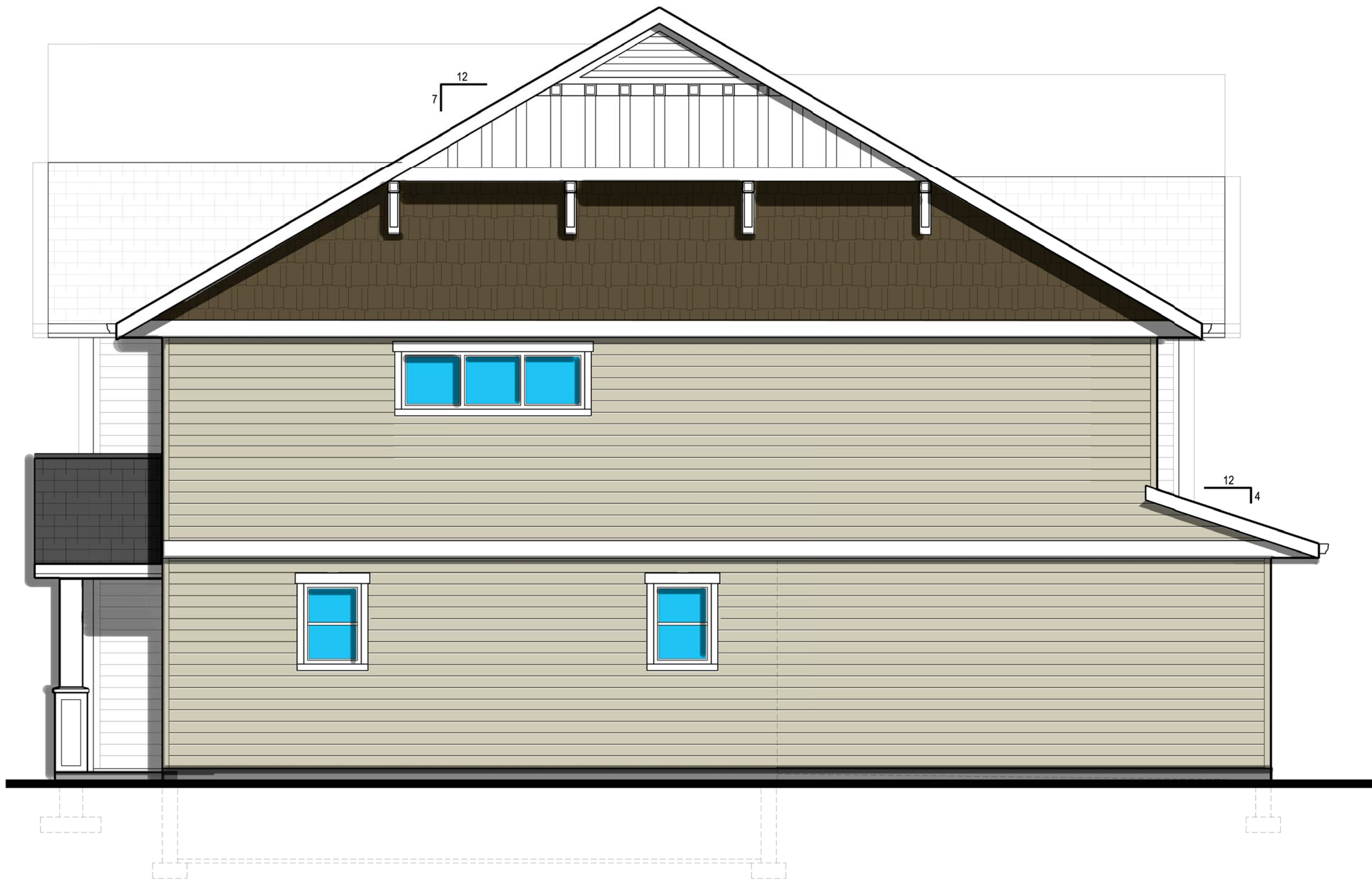
designed	PMC	scale	1/4" = 1'-0"
drawn			
checked	PMC		
drawing no.			

DP_A3.07

plotted May 7, 2018 12:22 PM



1 FRONT ELEVATION (4-PLEX)
SCALE: 1/4" = 1'-0"



2 RIGHT SIDE ELEVATION (4-PLEX)
SCALE: 1/4" = 1'-0"

MATERIALS LEGEND:

	FIBREGLASS LAMINATED ROOF SHINGLES (30 YEAR)	① - VINYL WINDOWS DOUBLE PANE, LOW-E GLAZING	⑦ - 5" FASCIA GUTTER
	SMOOTH PANEL W/ BATTENS (Hardipanel® Vertical Siding)	② - FIBERGLASS ENTRY DOOR WITH UPPER LITE OR SIDELITE	⑧ - 1x4, 1x6 DOOR AND WINDOW TRIM (Harditrim® Planks)
	CEDAR SHAKES W/ STAGGERED EDGE (Hardishingle® Siding)	③ - FIBERGLASS INSULATED OVERHEAD DOOR	⑨ - ALUMINUM EXT. DECK RAILING W/ TEMPERED GLASS INSERTS AND ALUMINUM SIDE MOUNT POSTS
	HORIZONTAL LAP SIDING W/ 6" EXPOSURE (Hardiplank® Lap Siding)	④ - VINYL SLIDING PATIO GLAZED DOORS	⑩ - CUSTOM GABLE ATTIC VENT W/ DENTIL DETAILING
		⑤ - 1x10 BAND BOARD (Harditrim® Planks)	⑪ - CUSTOM DECORATIVE COLUMNS WRAPPED WITH SMOOTH PANEL (Hardipanel® Vertical Siding)
		⑥ - 1x8 FASCIA (Harditrim® Planks)	
	TIMBER BARK (James Hardie®)		
	COBBLE STONE (James Hardie®)		
	ARCTIC WHITE (James Hardie®)		
	LAMINATED FIBREGLASS ROOF SHINGLES		

Notes:

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Seal

- △ 2018.04.06 Revision : Site Plan (DP_A1.01) and Bldg1 - 7-Plex Side Elevations (DP_A3.05). Addition of items as per request of City of Kelowna
- △ 2018.05.07 Revision : Revision to DP submittal. Addition of Firewalls to Bldg's 1, 3 & 4 (7-Plex) Plans and Elevations.

SCHEDULE B

This forms part of application
DP18-0042 DVP18-0043

Planner Initials KB



City of
Kelowna
COMMUNITY PLANNING

1	2018.02.05	Issued for Development Permit
No.	Date	Description

Revisions



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project title
UNION ROAD
~ TOWNHOMES ~
1931 UNION ROAD,
KELOWNA, B.C.

project no. 3378

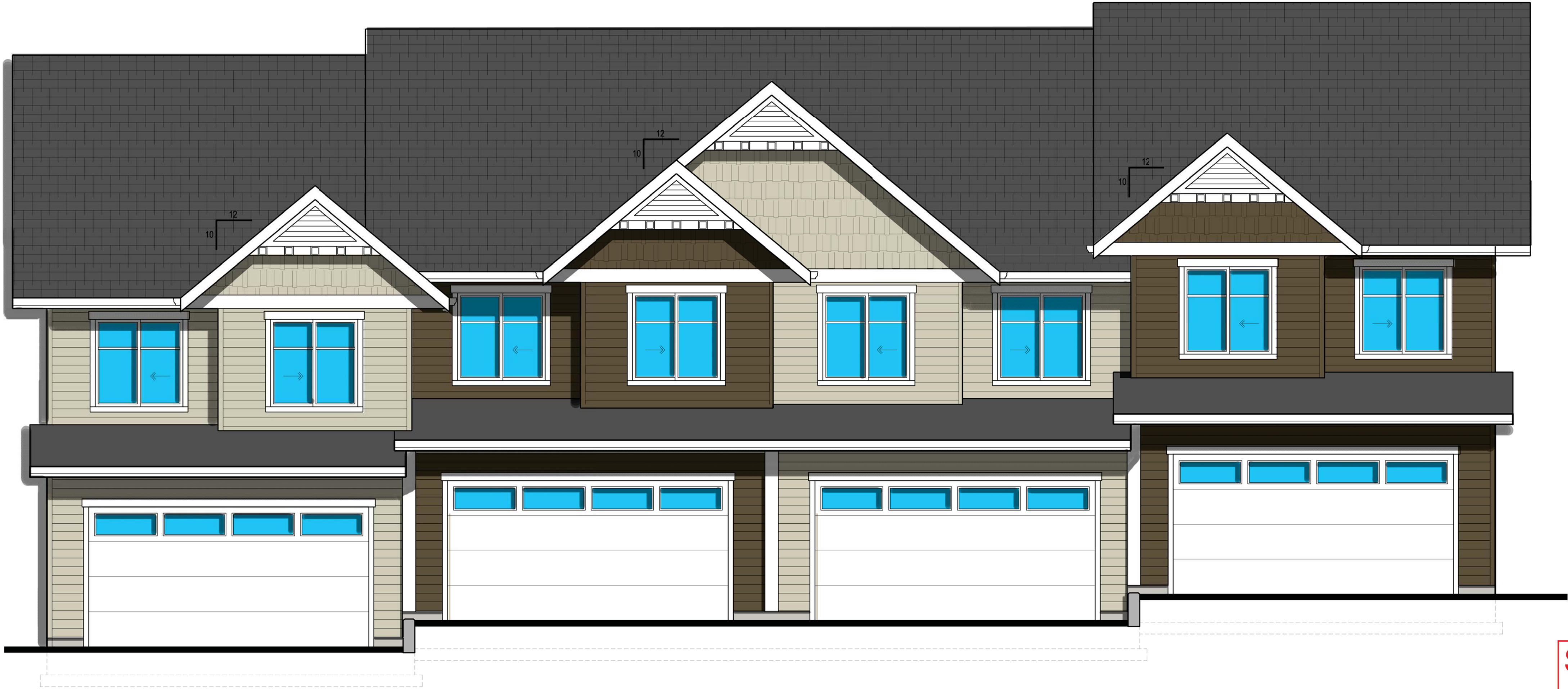
drawing title
BLDG'S 2 & 5 - 4-PLEX
FRONT & RIGHT SIDE
ELEVATIONS (COLOURED)

designed	PMC	scale	1/4" = 1'-0"
drawn			
checked	PMC		

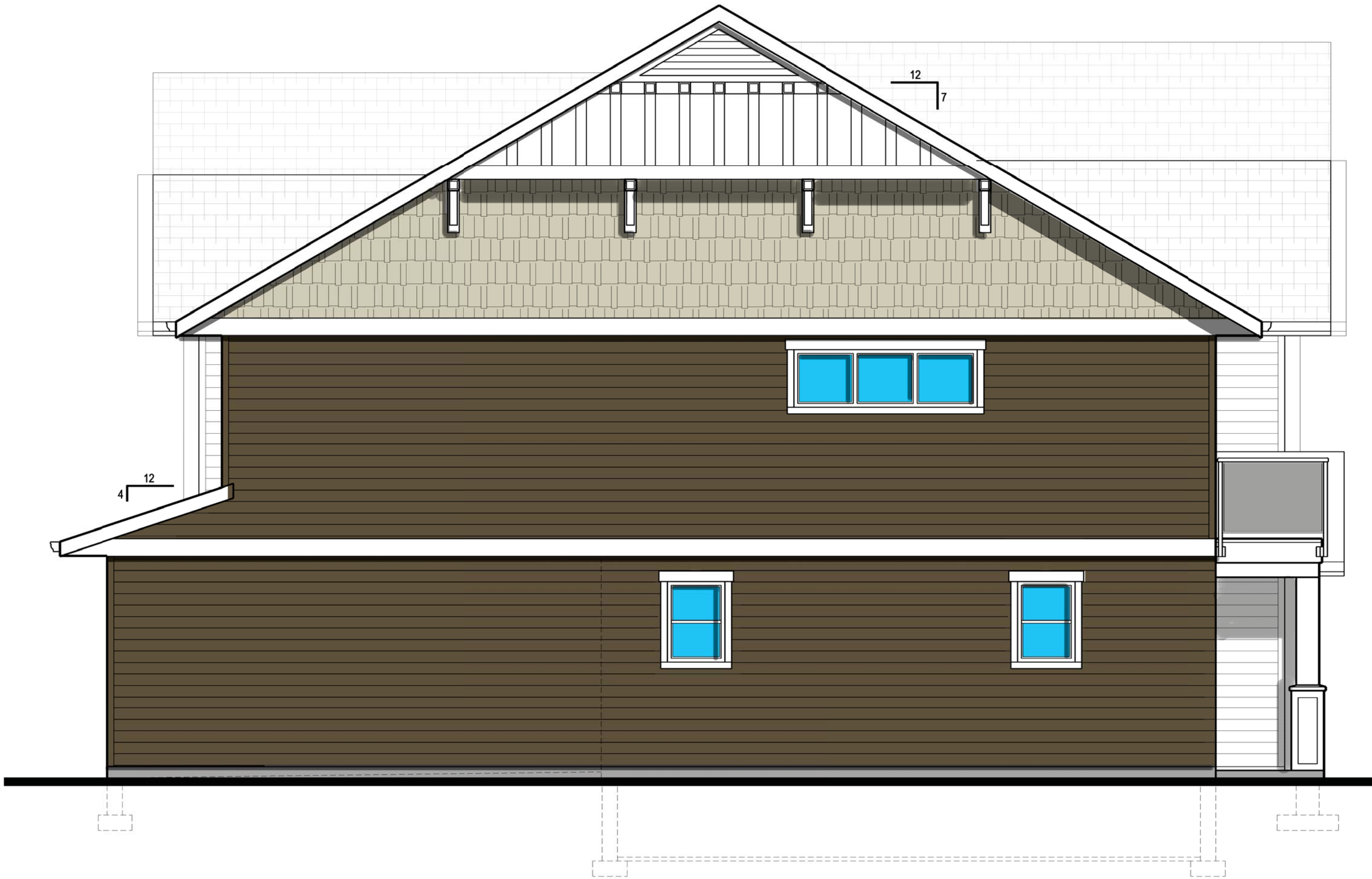
drawing no.

DP_A3.08

plotted February 1, 2018 11:40 AM

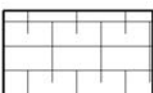


1 REAR ELEVATION (4-PLEX)
DP A3.01 SCALE: 1/4" = 1'-0"




2 LEFT SIDE ELEVATION (4-PLEX)
DP A3.01 SCALE: 1/4" = 1'-0"


MATERIALS LEGEND:



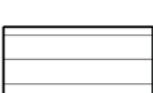
FIBREGLASS LAMINATED
ROOF SHINGLES
(30 YEAR)



SMOOTH PANEL W/
BATTENS
(Hardpanel® Vertical Siding)



CEDAR SHAKES W/
STAGGERED EDGE
(Hardishingle® Siding)



HORIZONTAL LAP SIDING
W/ 6" EXPOSURE
(Hardplank® Lap Siding)

1 - VINYL WINDOWS
DOUBLE PANE, LOW-E GLAZING

2 - FIBERGLASS ENTRY DOOR
WITH UPPER LITE OR SIDELITE

3 - FIBERGLASS INSULATED
OVERHEAD DOOR

4 - VINYL SLIDING PATIO
GLAZED DOORS

5 - 1x10 BAND BOARD
(Hardtrim® Planks)

6 - 1x8 FASCIA
(Hardtrim® Planks)


7 - 5" FASCIA GUTTER

8 - 1x4, 1x6 DOOR AND WINDOW TRIM
(Hardtrim® Planks)


9 - ALUMINUM EXT. DECK RAILING W/
TEMPERED GLASS INSERTS AND
ALUMINUM SIDE MOUNT POSTS

10 - CUSTOM GABLE ATTIC VENT
W/ DENTIL DETAILING


11 - CUSTOM DECORATIVE COLUMNS
WRAPPED WITH SMOOTH PANEL
(Hardpanel® Vertical Siding)




TIMBER BARK
(James Hardie®)



COBBLE STONE
(James Hardie®)



ARCTIC WHITE
(James Hardie®)



LAMINATED FIBREGLASS
ROOF SHINGLES

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Seal

- A

2018.04.06

Revision : Site Plan (DP_A1.01) and Bldg1 - 7-Plex Side Elevations (DP_A3.05). Addition of items as per request of City of Kelowna
- B

2018.05.07

Revision : Revision to DP submittal. Addition of Firewalls to Bldg's 1, 3 & 4 (7-Plex) Plans and Elevations.

SCHEDULE

B

This forms part of application
DP18-0042 DVP18-0043

Planner
Initials

KB



1	2018.02.05	Issued for Development Permit
No.	Date	Description

Revisions



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project title

UNION ROAD
~ TOWNHOMES ~
1931 UNION ROAD,
KELOWNA, B.C.

project no. 3378

drawing title

BLDG'S 2 & 5 - 4-PLEX
REAR & LEFT SIDE
ELEVATIONS (COLOURED)

designed	PMC	scale	1/4" = 1'-0"
drawn			
checked	PMC		
drawing no.			

DP_A3.09

plotted February 5, 2018 02:26 PM



MATERIALS LEGEND:

- | | | | | | |
|--|---------------------------------------------------------------|--|-------------------------------------------------------|--|----------------------------------------------------------------------------------------|
| | FIBREGLASS LAMINATED ROOF SHINGLES (30 YEAR) | | 1 - VINYL WINDOWS DOUBLE PANE, LOW-E GLAZING | | 7 - 5" FASCIA GUTTER |
| | SMOOTH PANEL W/ BATTENS (Hardipanel® Vertical Siding) | | 2 - FIBERGLASS ENTRY DOOR WITH UPPER LITE OR SIDELITE | | 8 - 1x4, 1x6 DOOR AND WINDOW TRIM (Hardtrim® Planks) |
| | CEDAR SHAKES W/ STAGGERED EDGE (Hardshingle® Siding) | | 3 - FIBERGLASS INSULATED OVERHEAD DOOR | | 9 - ALUMINUM EXT. DECK RAILING W/ TEMPERED GLASS INSERTS AND ALUMINUM SIDE MOUNT POSTS |
| | HORIZONTAL LAP SIDING W/ 6" EXPOSURE (Hardiplank® Lap Siding) | | 4 - VINYL SLIDING PATIO GLAZED DOORS | | 10 - CUSTOM GABLE ATTIC VENT W/ DENTIL DETAILING |
| | | | 5 - 1x10 BAND BOARD (Hardtrim® Planks) | | 11 - CUSTOM DECORATIVE COLUMNS WRAPPED WITH SMOOTH PANEL (Hardipanel® Vertical Siding) |
| | | | 6 - 1x8 FASCIA (Hardtrim® Planks) | | |



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- A 2018.04.06 Revision: Site Plan (DP_A1.01) and Bldg 1-7-Plex Side Elevations (DP_A3.05). Addition of items as per request of City of Kelowna
- B 2018.05.07 Revision: Revision to DP submittal. Addition of Firewalls to Bldg's 1, 3 & 4 (7-Plex) Plans and Elevations.

SCHEDULE B

This forms part of application
DP18-0042 DVP18-0043

Planner Initials KB



City of
Kelowna
COMMUNITY PLANNING

1 2018.02.05 Issued for Development Permit
No. Date Description
Revisions



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project title
UNION ROAD
~ TOWNHOMES ~
1931 UNION ROAD,
KELOWNA, B.C.

project no. 3378

drawing title
BLDG'S 3 & 4 - 7-PLEX
FRONT ELEVATION

designed PMC scale 1/4" = 1'-0"
drawn
checked PMC
drawing no.

DP_A3.10

plotted May 7, 2018 03:08 PM



1
DP A3
REAR ELEVATION (7-PLEX - BLDG'S 3 & 4)
SCALE: 1/4" = 1'-0"

NOTE:
BLDG'S 3 & 4 ARE SIMILAR
BUT MIRRORED ON SITE



MATERIALS LEGEND:

- FIBREGLASS LAMINATED ROOF SHINGLES (30 YEAR)
- SMOOTH PANEL W/ BATTENS (Hardipanel® Vertical Siding)
- CEDAR SHAKES W/ STAGGERED EDGE (Hardishingle® Siding)
- HORIZONTAL LAP SIDING W/ 6" EXPOSURE (Hardiplank® Lap Siding)

- 1 - VINYL WINDOWS DOUBLE PANE, LOW-E GLAZING
- 2 - FIBERGLASS ENTRY DOOR WITH UPPER LITE OR SIDELITE
- 3 - FIBERGLASS INSULATED OVERHEAD DOOR
- 4 - VINYL SLIDING PATIO GLAZED DOORS
- 5 - 1x10 BAND BOARD (Hardtrim® Planks)
- 6 - 1x8 FASCIA (Hardtrim® Planks)

- 7 - 5" FASCIA GUTTER
- 8 - 1x4, 1x6 DOOR AND WINDOW TRIM (Hardtrim® Planks)
- 9 - ALUMINUM EXT. DECK RAILING W/ TEMPERED GLASS INSERTS AND ALUMINUM SIDE MOUNT POSTS
- 10 - CUSTOM GABLE ATTIC VENT W/ DENTIL DETAILING
- 11 - CUSTOM DECORATIVE COLUMNS WRAPPED WITH SMOOTH PANEL (Hardipanel® Vertical Siding)



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Seal

- A 2018.04.06 Revision: Site Plan (DP_A1.01) and Bldg 1 - 7-Plex Side Elevations (DP_A3.05). Addition of items as per request of City of Kelowna
- B 2018.05.07 Revision: Revision to DP submittal. Addition of Firewalls to Bldg's 1, 3 & 4 (7-Plex) Plans and Elevations.

SCHEDULE

B

This forms part of application
DP18-0042 DVP18-0043

Planner
Initials KB



City of
Kelowna
COMMUNITY PLANNING

1 2018.02.05 Issued for Development Permit
No. Date Description
Revisions



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project title
UNION ROAD
~ TOWNHOMES ~
1931 UNION ROAD,
KELOWNA, B.C.

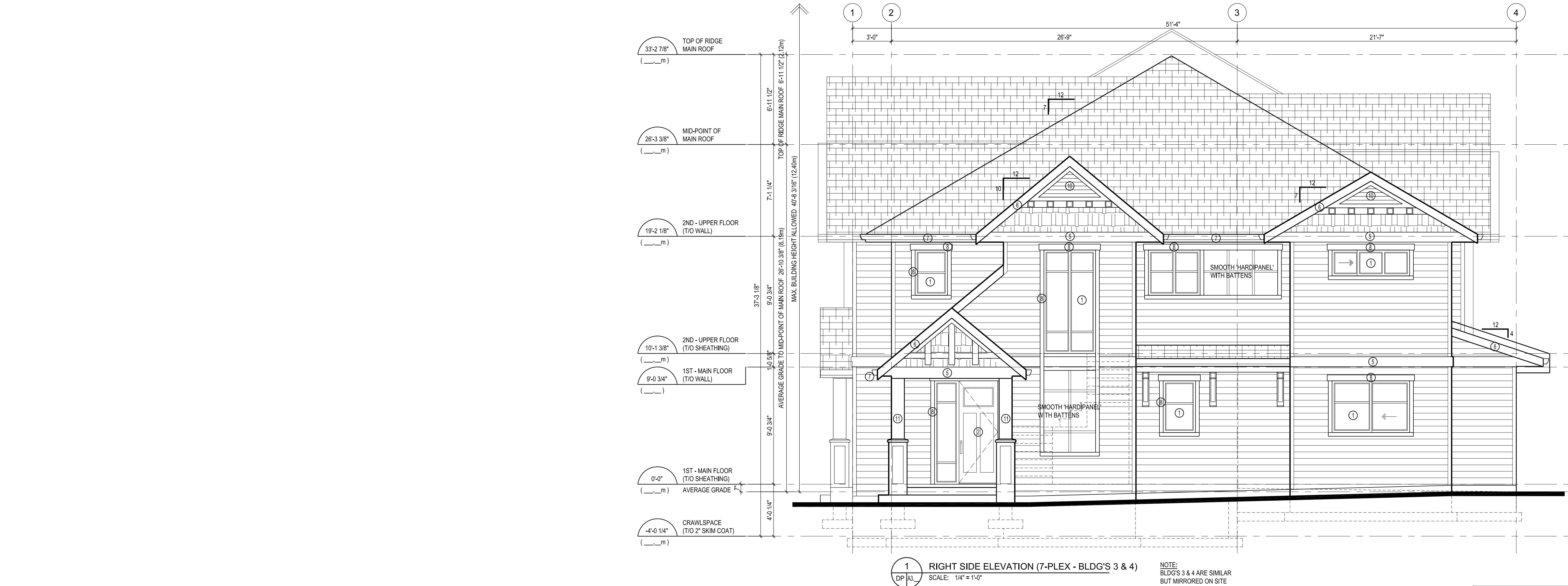
project no. 3378

drawing title
BLDG'S 3 & 4 - 7-PLEX
REAR ELEVATION

designed PMC scale 1/4" = 1'-0"
drawn
checked PMC
drawing no.

DP_A3.11

plotted May 7, 2018 03:12 PM



MATERIALS LEGEND:

- | | | | | | |
|---------------------------------------------------------------------------------------|---------------------------------------------------------------|---------------------------------------------------------------------------------------|-------------------------------------------------------|---------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------|
|  | FIBREGLASS LAMINATED ROOF SHINGLES (30 YEAR) |  | ① - VINYL WINDOWS DOUBLE PANE, LOW-E GLAZING |  | ⑦ - 5" FASCIA GUTTER |
|  | SMOOTH PANEL W/ BATTENS (Hardipanel® Vertical Siding) |  | ② - FIBERGLASS ENTRY DOOR WITH UPPER LITE OR SIDELITE |  | ⑧ - 1x4, 1x6 DOOR AND WINDOW TRIM (Harditrim® Planks) |
|  | CEDAR SHAKES W/ STAGGERED EDGE (Hardshingle® Siding) |  | ③ - FIBERGLASS INSULATED OVERHEAD DOOR |  | ⑨ - ALUMINUM EXT. DECK RAILING W/ TEMPERED GLASS INSERTS AND ALUMINUM SIDE MOUNT POSTS |
|  | HORIZONTAL LAP SIDING W/ 6" EXPOSURE (Hardiplank® Lap Siding) |  | ④ - VINYL SLIDING PATIO GLAZED DOORS |  | ⑩ - CUSTOM GABLE ATTIC VENT W/ DENTIL DETAILING |
| | |  | ⑤ - 1x10 BAND BOARD (Harditrim® Planks) |  | ⑪ - CUSTOM DECORATIVE COLUMNS WRAPPED WITH SMOOTH PANEL (Hardipanel® Vertical Siding) |
| | |  | ⑥ - 1x8 FASCIA (Harditrim® Planks) | | |

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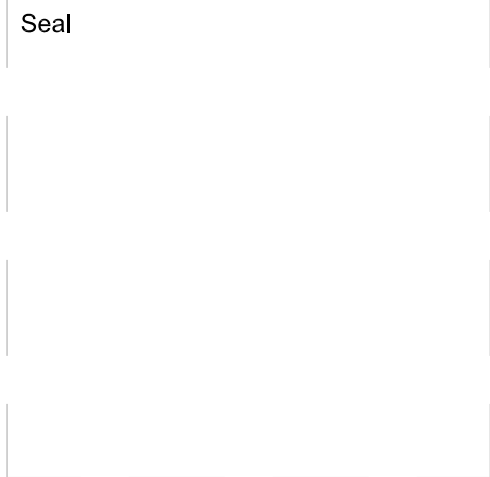
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- A 2018.04.06 Revision: Site Plan (DP_A1.01) and Bldg 1 - 7-Plex Side Elevations (DP_A3.05). Addition of items as per request of City of Kelowna
- B 2018.05.07 Revision: Revision to DP submittal. Addition of Firewalls to Bldg's 1, 3 & 4 (7-Plex) Plans and Elevations.

SCHEDULE

B

This forms part of application
DP18-0042 DVP18-0043

Planner Initials KB



1 2018.02.05 Issued for Development Permit
No. Date Description
Revisions



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project title
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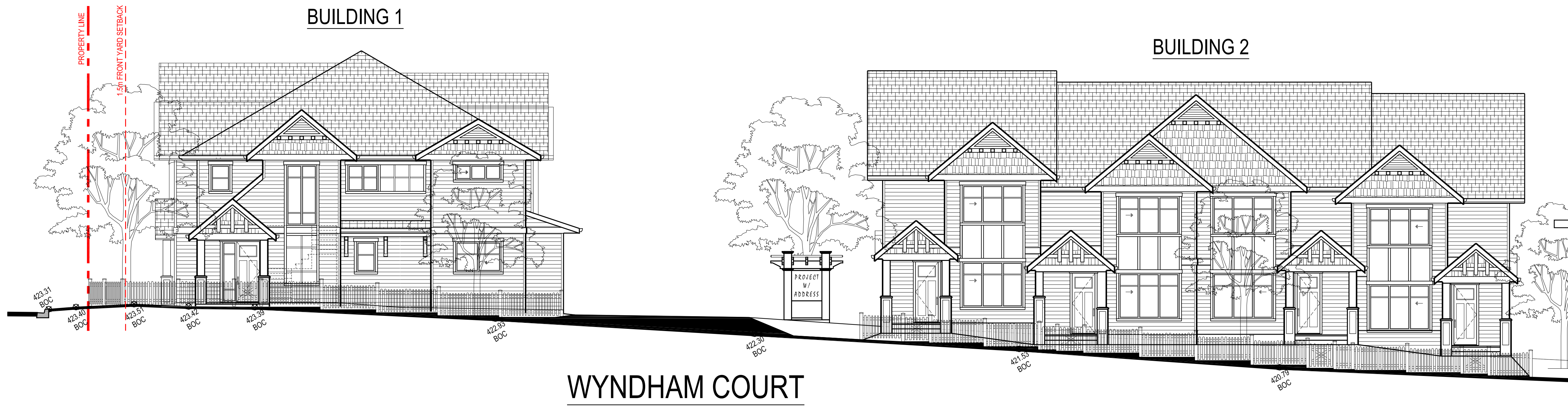
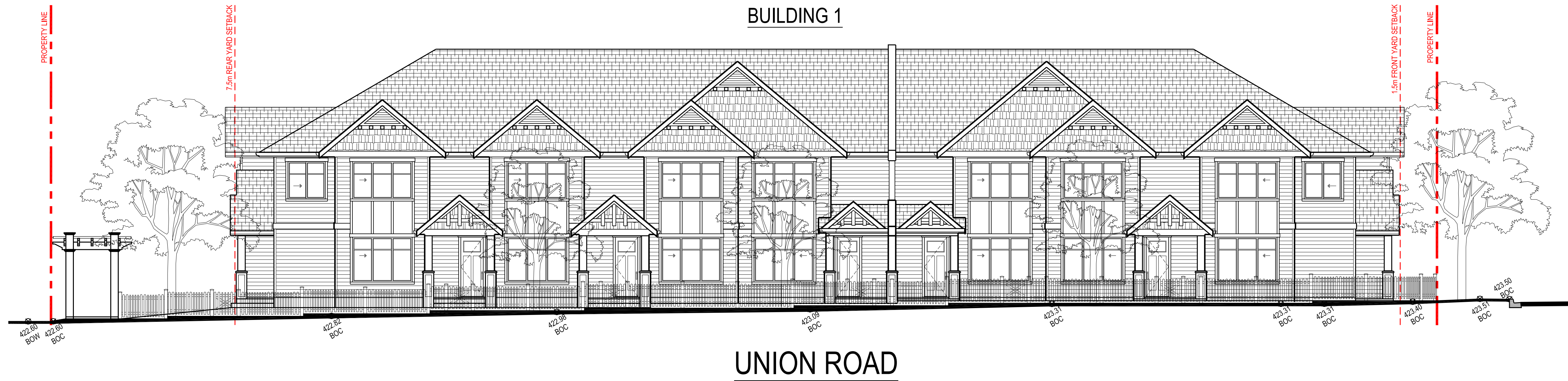
project no. 3378

drawing title
BLDG'S 3 & 4 - 7-PLEX
RIGHT & LEFT SIDE
ELEVATIONS

designed PMC scale 1/4" = 1'-0"
drawn
checked PMC
drawing no.

DP_A3.12

plotted May 7, 2018 03:07 PM



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Seal

- A 2018.04.06 Revision: Site Plan (DP_A1.01) and Bldg 1-7-Plex Side Elevations (DP_A3.05). Addition of items as per request of City of Kelowna
- B 2018.05.07 Revision: Revision to DP submittal. Addition of Firewalls to Bldg's 1, 3 & 4 (7-Plex) Plans and Elevations.

SCHEDULE B

This forms part of application
DP18-0042 DVP18-0043

Planner Initials KB

City of Kelowna
COMMUNITY PLANNING

No.	Date	Description
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Revisions



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~ TOWNHOMES ~
1931 UNION ROAD,
KELOWNA, B.C.

project no. 3378

drawing title
BLDG'S 1,2 & 3
FRONT ELEVATION
STREETSCAPE

designed	PMC	scale	N.T.S.
drawn			
checked	PMC		
drawing no.			

DP_A3.20

plotted May 7, 2018 03:14 PM

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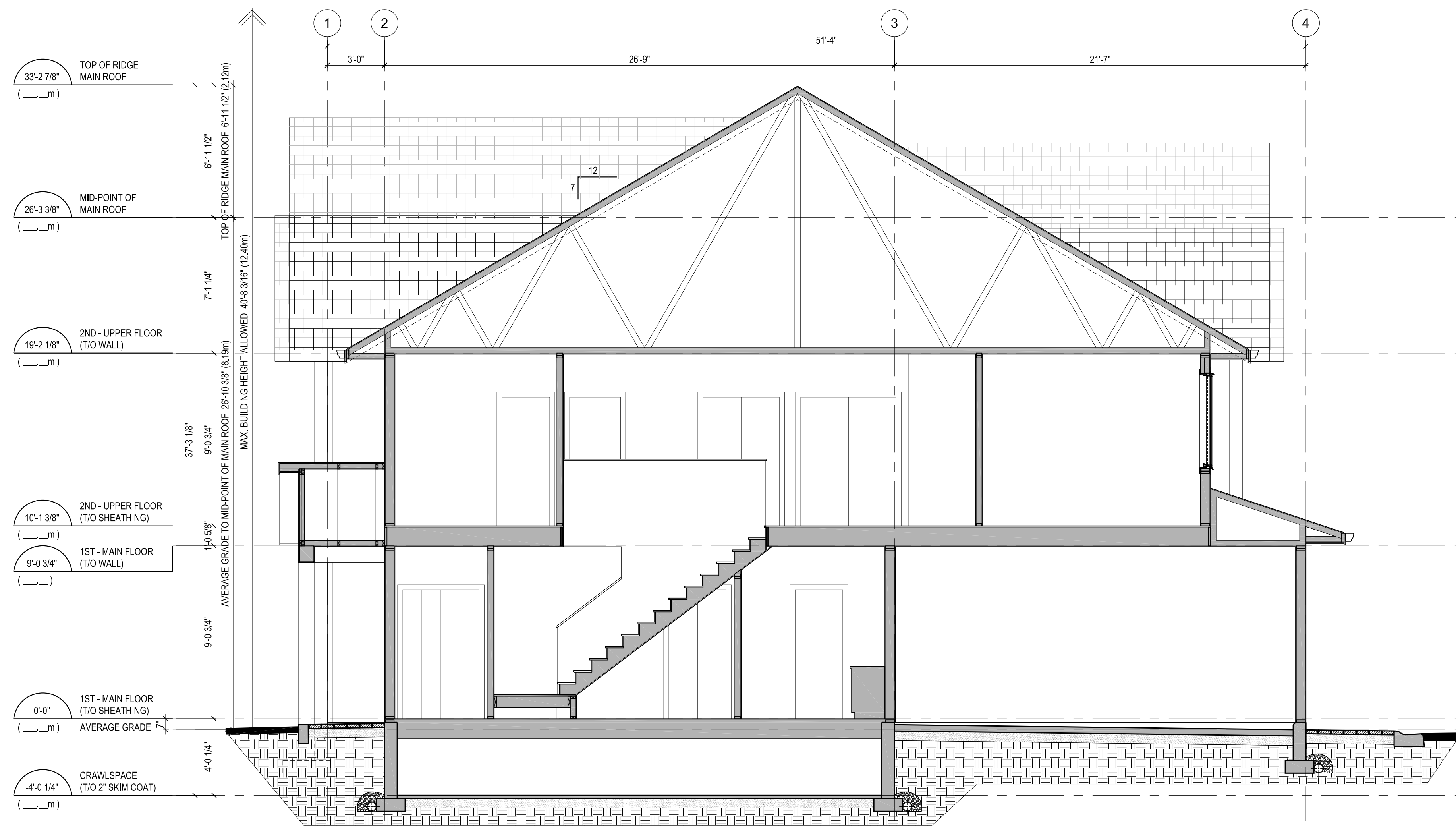
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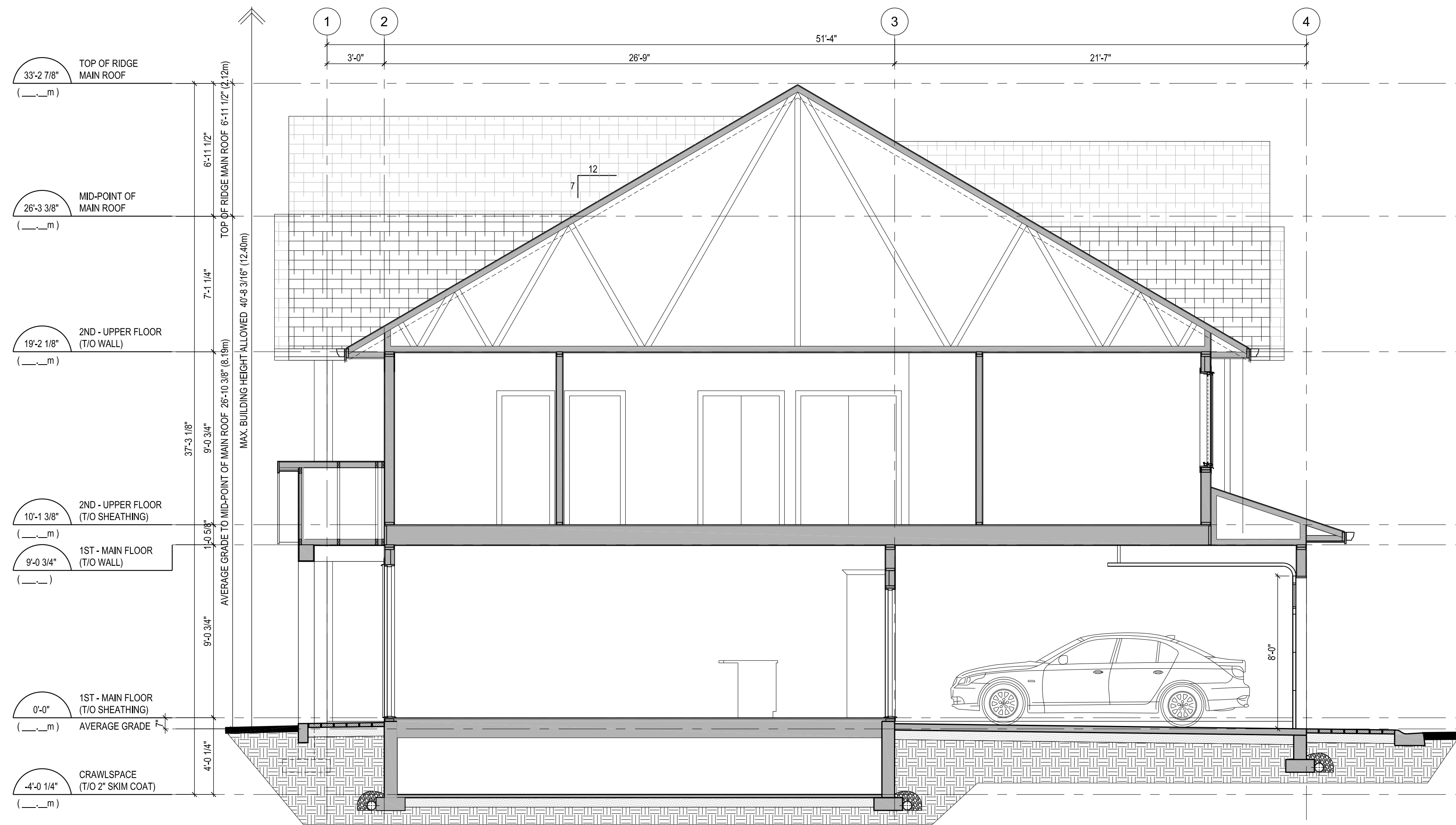
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Seal

- A 2018.04.06 Revision : Site Plan (DP_A1.01) and Bldg 1 - 7-Plex Side Elevations (DP_A3.05). Addition of items as per request of City of Kelowna
- B 2018.05.07 Revision : Revision to DP submittal. Addition of Firewalls to Bldg's 1, 3 & 4 (7-Plex) Plans and Elevations.



BUILDING SECTION - B (TYPICAL)
SCALE: 1/4" = 1'-0"



BUILDING SECTION - C (TYPICAL)
SCALE: 1/4" = 1'-0"

SCHEDULE B

This forms part of application
DP18-0042 DVP18-0043

Planner Initials KB

City of Kelowna
COMMUNITY PLANNING

No.	Date	Description
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PM

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www.pmccarch.com

project title
UNION ROAD
~ TOWNHOMES ~
1931 UNION ROAD,
KELOWNA, B.C.

project no. 3378

drawing title
BUILDING SECTIONS
(TYPICAL)

designed	PMC	scale	1/4" = 1'-0"
drawn			
checked	PMC		
drawing no.			

DP_A4.00

plotted May 7, 2018 04:08 PM

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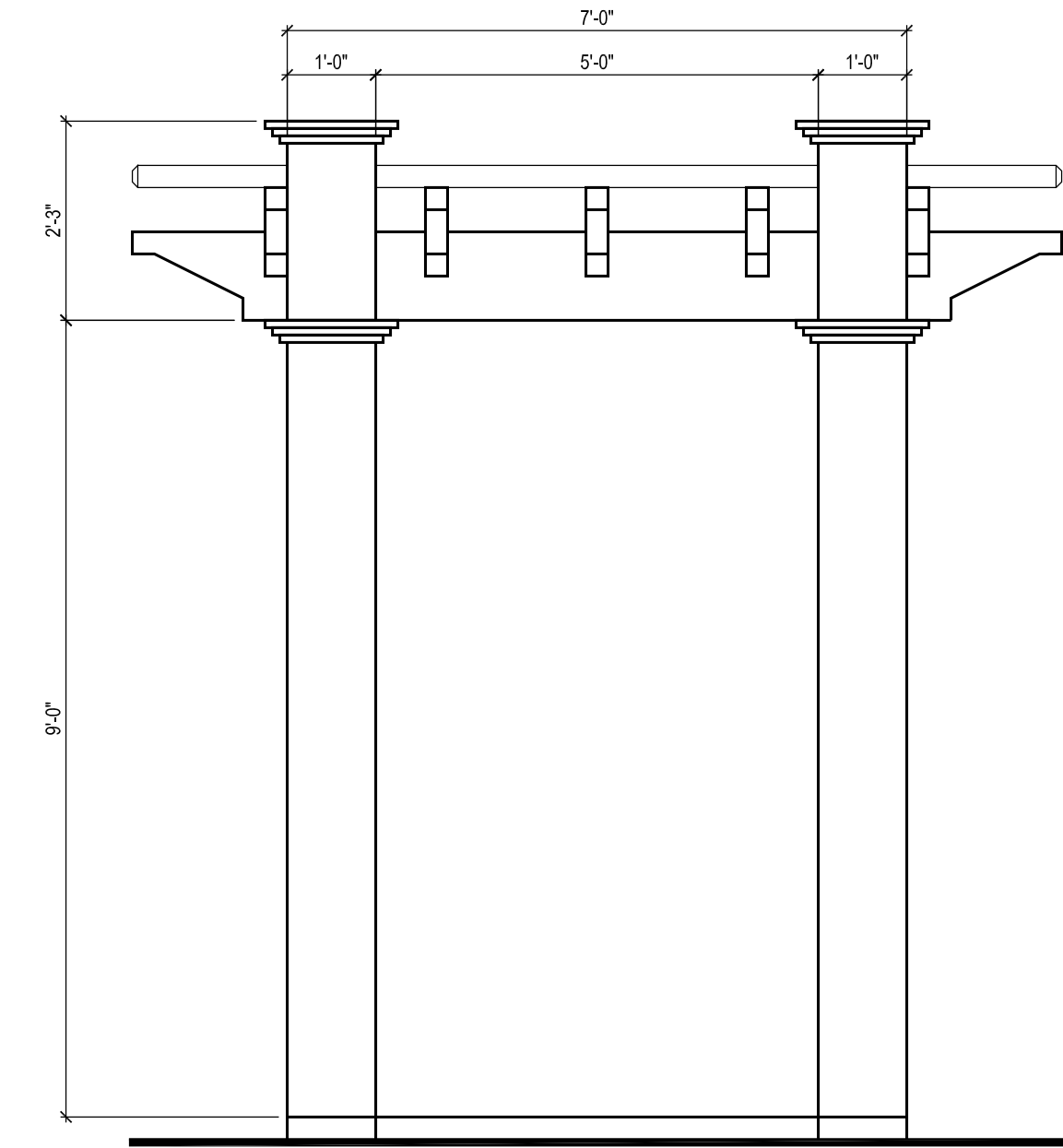
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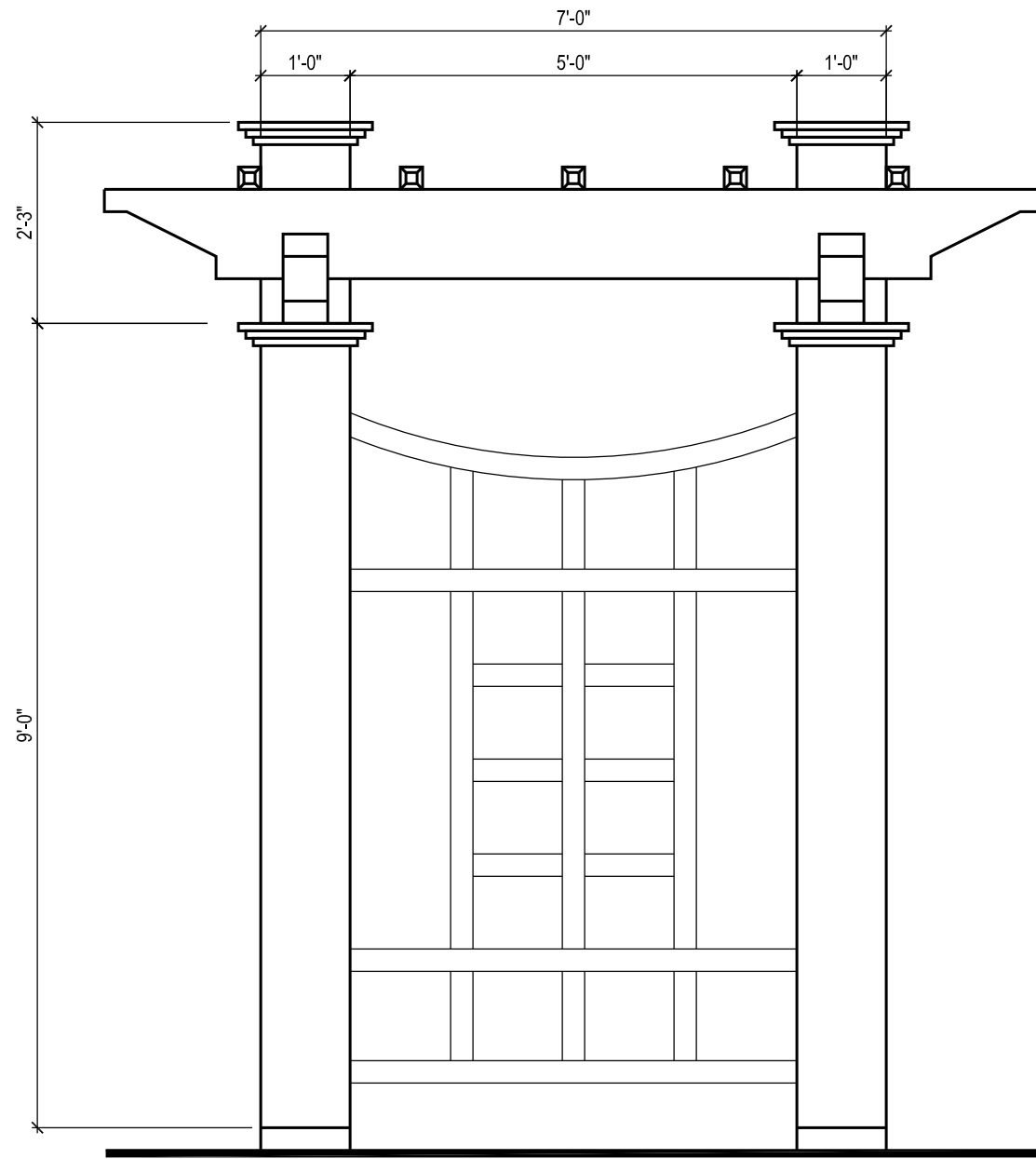
Any omissions or discrepancies shall be reported to the architect.

Seal

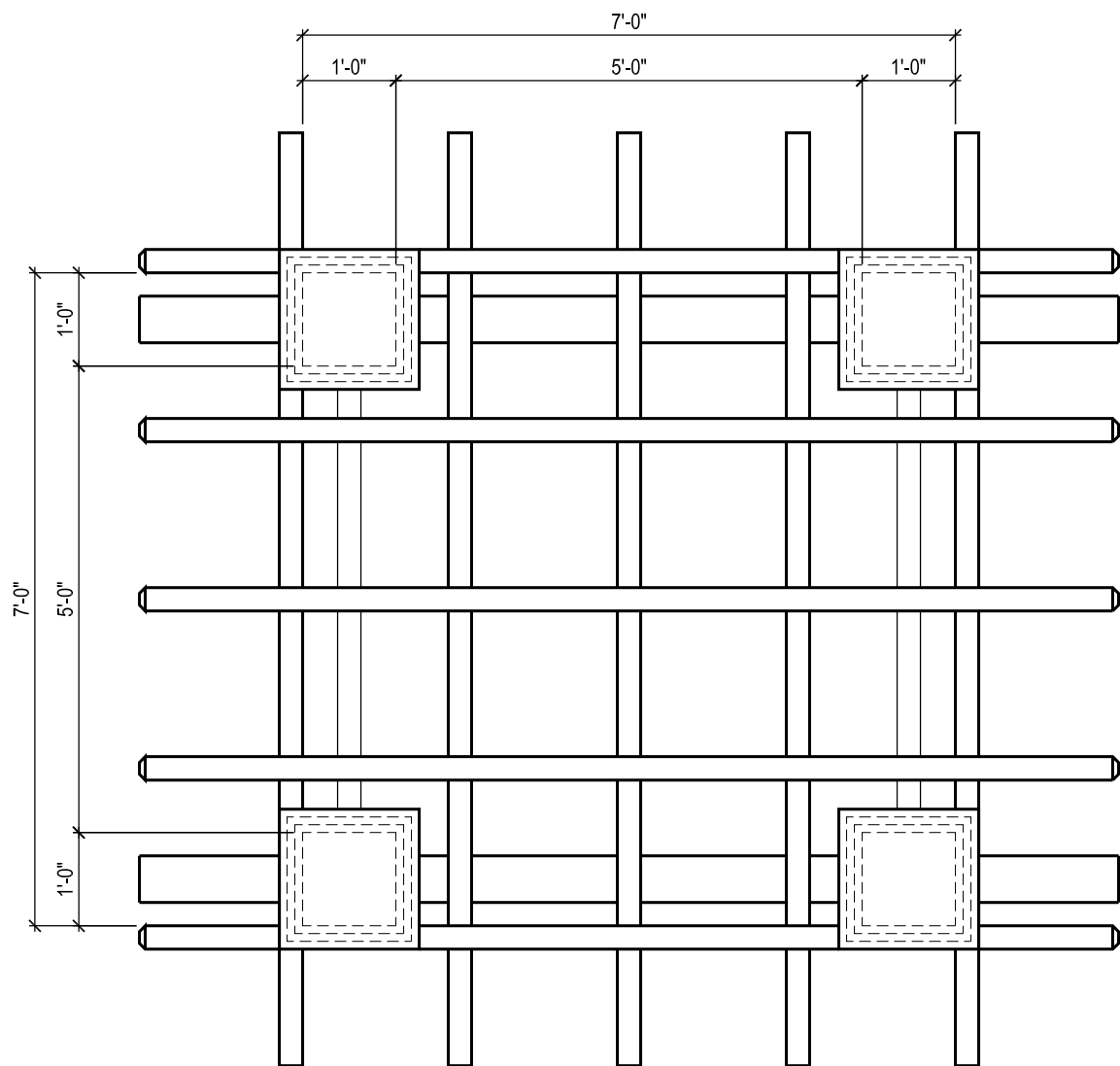
- A** 2018.04.06 Revision : Site Plan (DP_A1.01) and Bldg1 - 7-Plex Side Elevations (DP_A3.05). Addition of items as per request of City of Kelowna
- B** 2018.05.07 Revision : Revision to DP submittal. Addition of Firewalls to Bldg's 1, 3 & 4 (7-Plex) Plans and Elevations.



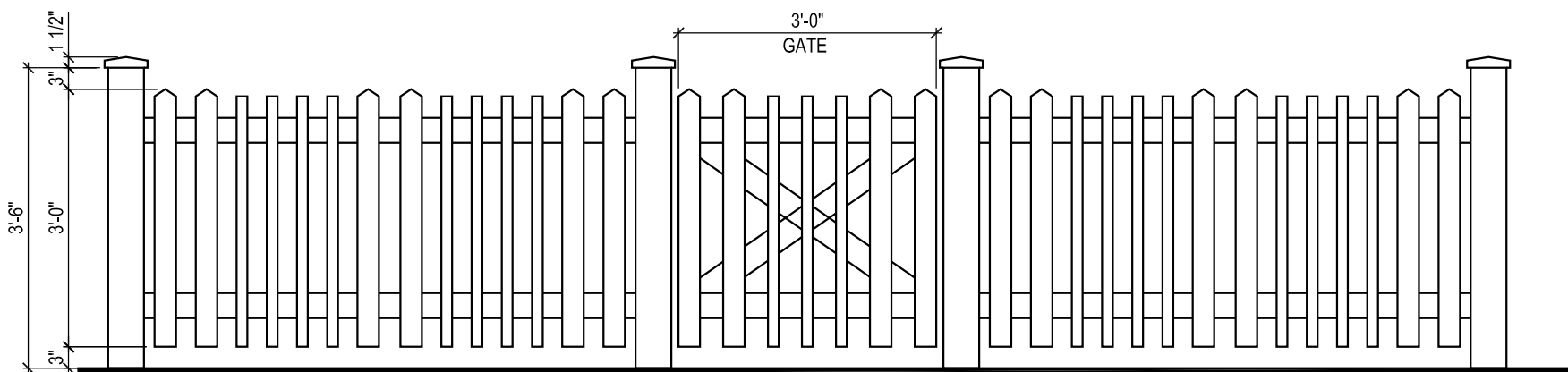
1 ENTRY TRELLIS
- FRONT & REAR ELEVATIONS
SCALE: 1/2" = 1'-0"



2 ENTRY TRELLIS
- SIDE ELEVATIONS
SCALE: 1/2" = 1'-0"



3 ENTRY TRELLIS
- PLAN VIEW
SCALE: 1/2" = 1'-0"



4 PICKET FENCE
- ELEVATION
SCALE: 1/2" = 1'-0"

SCHEDULE

B

This forms part of application

DP18-0042 DVP18-0043

Planner
Initials

KB



City of
Kelowna
COMMUNITY PLANNING

1 2018.02.05 Issued for Development Permit
No. Date Description

Revisions



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project title

UNION ROAD
~ TOWNHOMES ~
1931 UNION ROAD,
KELOWNA, B.C.

project no. 3378

drawing title

MISC. EXTERIOR DETAILS

designed	PMC	scale	AS NOTED
drawn			
checked	PMC		
drawing no.			

DP_A8.00

plotted May 7, 2018 04:10 PM



SCHEDULE C

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DP18-0042 DVP18-0043

Planner
Initials KB



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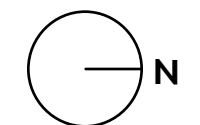


NOTES

1. PLANT MATERIAL AND CONSTRUCTION METHODS SHALL MEET OR EXCEED C.N.L.A. STANDARDS.
2. ALL SOFT LANDSCAPE AREAS SHALL BE WATERED BY A FULLY AUTOMATIC TIMED UNDERGROUND IRRIGATION SYSTEM.
3. TREE AND SHRUB BEDS TO BE DRESSED IN A MINIMUM 50mm DOUGLAS RED FIR MULCH OR ROCK MULCH, AS SHOWN IN PLANS. DO NOT PLACE WEED MAT UNDERNEATH TREE AND SHRUB BEDS.
4. TREE AND SHRUB BEDS TO RECEIVE A MINIMUM 300mm DEPTH TOPSOIL PLACEMENT.
5. TURF AREAS FROM SOD SHALL BE NO. 1 GRADE GROWN FROM CERTIFIED SEED OF IMPROVED CULTIVARS REGISTERED FOR SALE IN B.C. AND SHALL BE TOLERANT OF DROUGHT CONDITIONS. A MINIMUM OF 100mm DEPTH OF GROWING MEDIUM IS REQUIRED BENEATH TURF AREAS. TURF AREAS SHALL MEET EXISTING GRADES AND HARD SURFACES FLUSH.

PLANT LIST

BOTANICAL NAME	COMMON NAME	QTY	SIZE/SPACING & REMARKS
TREES			
AMELANCHIER ALNIFOLIA 'OBEISK'	OBEISK SASKATOON	18	4cm CAL.
GLEDITSIA TRIACANTHOS 'SKYLINE'	SKYLINE HONEYLOCUST	18	6cm CAL.
LIRIODENDRON TULIPIFERA	TULIP TREE	4	6cm CAL.
SHRUBS			
CORNUS STOLONIFERA 'FARROW'	ARCTIC FIRE DOGWOOD	73	#01 CONT. /1.0M O.C. SPACING
EUONYMUS ALATUS 'COMPACTA'	DWARF WINGED BURNING BUSH	23	#01 CONT. /1.75M O.C. SPACING
HYDRANGEA PANICULATA 'JAN'	LITTLE LIME HYDRANGEA	32	#01 CONT. /1.5M O.C. SPACING
PICEA PUNGENS 'GLOBOSA'	DWARF GLOBE BLUE SPRUCE	18	#01 CONT. /2.0M O.C. SPACING
ROSA 'MODERN FIREGLOW'	MODERN FIREGLOW ROSE	73	#01 CONT. /1.0M O.C. SPACING
SYRINGA MEYERI 'PALIBIN'	DWARF KOREA LILAC	32	#01 CONT. /1.5M O.C. SPACING
PERENNIALS & GRASSES			
ACHILLEA 'PAPRIKA'	PAPRIKA YARROW	58	#01 CONT. /0.6M O.C. SPACING
CALAMAGROSTIS ACUTIFLORA 'KARL FOERSTER'	KARL FOERSTER FEATHER REED GRASS	38	#01 CONT. /0.75M O.C. SPACING
ECHINACEA PURPUREA 'MAGNUS'	PURPLE CONEFLOWER	78	#01 CONT. /0.6M O.C. SPACING
GALLARDIA GRADIFLORA 'BURGUNDY'	BURGUNDY BLANKET FLOWER	84	#01 CONT. /0.5M O.C. SPACING
HEMEROCALLIS 'RUBY STELLA'	RUBY STELLA DAYLILY	58	#01 CONT. /0.6M O.C. SPACING
HOSTA 'NORTHERN EXPOSURE'	NORTHERN EXPOSURE HOSTA	15	#01 CONT. /1.2M O.C. SPACING
IRIS GERMANICA 'BREAKERS'	BLUE BEARDED IRIS	58	#01 CONT. /0.6M O.C. SPACING
LAVANDULA ANGUSTIFOLIA 'HIDCOTE'	HIDCOTE ENGLISH LAVENDER	58	#01 CONT. /0.6M O.C. SPACING
PENNISETUM ALOPECUROIDES	FOUNTAIN GRASS	21	#01 CONT. /1.0M O.C. SPACING



PROJECT TITLE

1931 UNION ROAD

Kelowna, BC

DRAWING TITLE

CONCEPTUAL
LANDSCAPE PLAN

ISSUED FOR / REVISION

1	18.05.15	Review
2		
3		
4		
5		

PROJECT NO. 17-147

DESIGN BY FB

DRAWN BY NG

CHECKED BY FB

DATE MAY 15, 2018

SCALE 1:200

SEAL



DRAWING NUMBER

L1/3

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SCHEDULE C

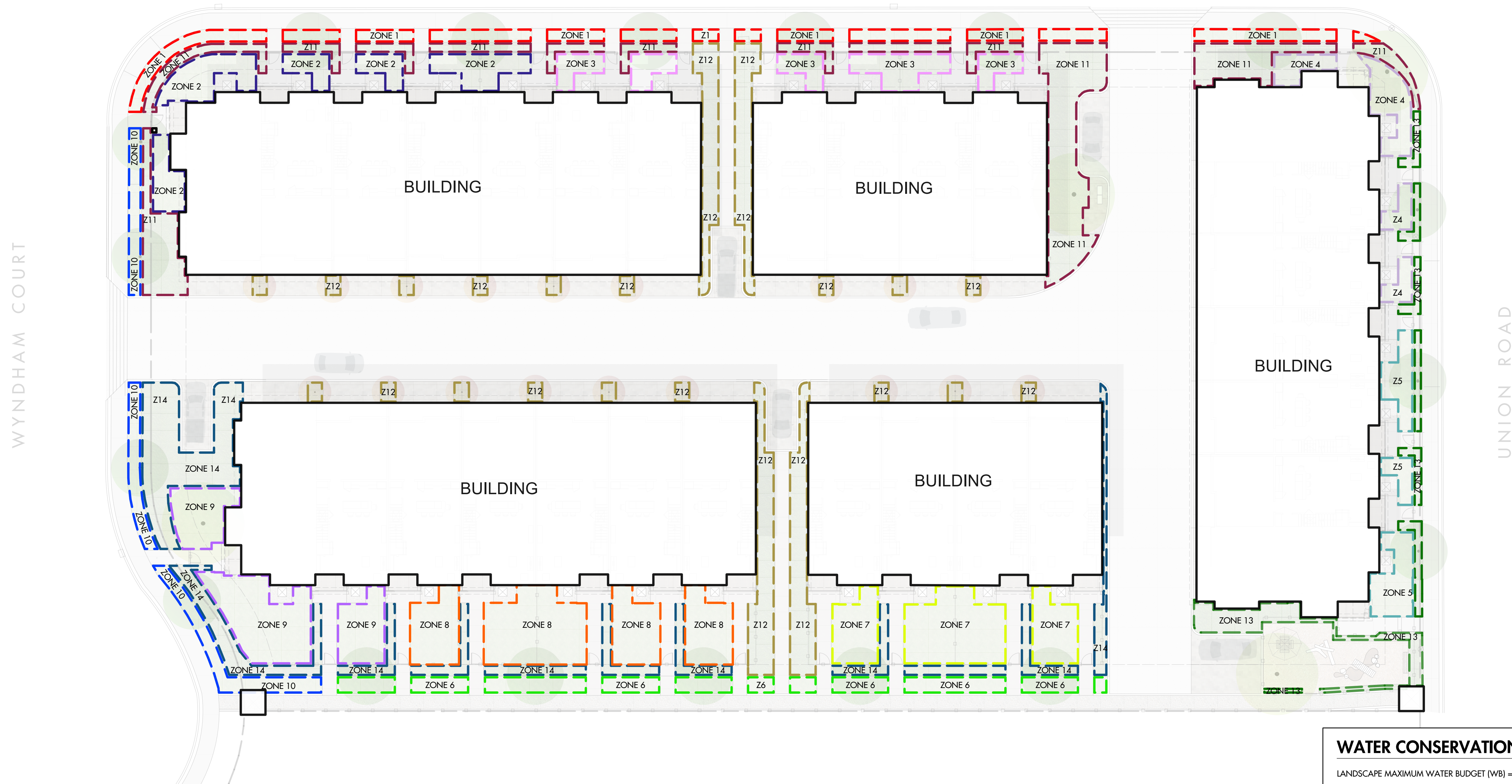
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WATER CONSERVATION CALCULATIONS

LANDSCAPE MAXIMUM WATER BUDGET (WB) = 1714 cu.m. / year
ESTIMATED LANDSCAPE WATER USE (WU) = 1606 cu.m. / year
WATER BALANCE = 108 cu.m. / year
*REFER ATTACHED IRRIGATION APPLICATION FOR DETAILED CALCULATIONS

IRRIGATION LEGEND

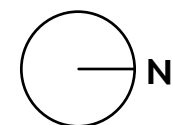
- ZONE #1:** LOW VOLUME POP-UP SPRAYHEADS FOR TURF AREAS
TOTAL AREA: 105 sq.m.
MICROCLIMATE: WEST EXPOSURE, PARTIALLY SHADED BY TREES & BUILDING
ESTIMATED ANNUAL WATER USE: 150 cu.m.
- ZONE #2:** LOW VOLUME POP-UP SPRAYHEADS FOR TURF AREAS
TOTAL AREA: 83 sq.m.
MICROCLIMATE: WEST EXPOSURE, PARTIALLY SHADED BY TREES & BUILDING
ESTIMATED ANNUAL WATER USE: 119 cu.m.
- ZONE #3:** LOW VOLUME POP-UP SPRAY HEADS FOR TURF AREAS
TOTAL AREA: 62 sq.m.
MICROCLIMATE: WEST EXPOSURE, PARTIALLY SHADED BY TREES & BUILDING
ESTIMATED ANNUAL WATER USE: 89 cu.m.
- ZONE #4:** LOW VOLUME POP-UP SPRAY HEADS FOR TURF AREAS
TOTAL AREA: 51 sq.m.
MICROCLIMATE: NORTH WEST EXPOSURE, PARTIALLY SHADED BY TREES & BUILDING
ESTIMATED ANNUAL WATER USE: 73 cu.m.
- ZONE #5:** LOW VOLUME POP-UP SPRAYHEADS FOR TURF AREAS
TOTAL AREA: 81 sq.m.
MICROCLIMATE: NORTH EAST EXPOSURE, PARTIALLY SHADED BY TREES & BUILDING
ESTIMATED ANNUAL WATER USE: 116 cu.m.

- ZONE #6:** LOW VOLUME POP-UP SPRAY HEADS FOR TURF AREAS
TOTAL AREA: 99 sq.m.
MICROCLIMATE: EAST EXPOSURE, PARTIALLY SHADED BY TREES & BUILDING
ESTIMATED ANNUAL WATER USE: 141 cu.m.
- ZONE #7:** LOW VOLUME POP-UP SPRAY HEADS FOR TURF AREAS
TOTAL AREA: 100 sq.m.
MICROCLIMATE: EAST EXPOSURE, PARTIALLY SHADED BY TREES & BUILDING
ESTIMATED ANNUAL WATER USE: 143 cu.m.
- ZONE #8:** LOW VOLUME POP-UP SPRAYHEADS FOR TURF AREAS
TOTAL AREA: 125 sq.m.
MICROCLIMATE: EAST EXPOSURE, PARTIALLY SHADED BY TREES & BUILDING
ESTIMATED ANNUAL WATER USE: 179 cu.m.
- ZONE #9:** LOW VOLUME POP-UP SPRAY HEADS FOR TURF AREAS
TOTAL AREA: 104 sq.m.
MICROCLIMATE: SOUTH EAST EXPOSURE, PARTIALLY SHADED BY TREES & BUILDING
ESTIMATED ANNUAL WATER USE: 149 cu.m.
- ZONE #10:** LOW VOLUME POP-UP SPRAY HEADS FOR TURF AREAS
TOTAL AREA: 62 sq.m.
MICROCLIMATE: SOUTH EXPOSURE, PARTIALLY SHADED BY TREES
ESTIMATED ANNUAL WATER USE: 89 cu.m.

- ZONE #11:** HIGH EFFICIENCY SUBSURFACE DRIP IRRIGATION FOR FOR MODERATE WATER USE PLANTING AREAS
TOTAL AREA: 206 sq.m.
MICROCLIMATE: WEST EXPOSURE, PARTIALLY SHADED BY TREES & BUILDING
ESTIMATED ANNUAL WATER USE: 114 cu.m.
- ZONE #12:** HIGH EFFICIENCY SUBSURFACE DRIP IRRIGATION FOR FOR MODERATE WATER USE PLANTING AREAS
TOTAL AREA: 196 sq.m.
MICROCLIMATE: SOUTH EXPOSURE, PARTIALLY SHADED BY TREES & BUILDING
ESTIMATED ANNUAL WATER USE: 109 cu.m.
- ZONE #13:** HIGH EFFICIENCY SUBSURFACE DRIP IRRIGATION FOR FOR MODERATE WATER USE PLANTING AREAS
TOTAL AREA: 81 sq.m.
MICROCLIMATE: NORTH EXPOSURE, PARTIALLY SHADED BY TREES
ESTIMATED ANNUAL WATER USE: 45 cu.m.
- ZONE #14:** HIGH EFFICIENCY SUBSURFACE DRIP IRRIGATION FOR FOR MODERATE WATER USE PLANTING AREAS
TOTAL AREA: 192 sq.m.
MICROCLIMATE: SOUTH EAST EXPOSURE, PARTIALLY SHADED BY TREES & BUILDING
ESTIMATED ANNUAL WATER USE: 107 cu.m.

IRRIGATION NOTES

- IRRIGATION PRODUCTS AND INSTALLATION METHODS SHALL MEET OR EXCEED THE REQUIREMENTS OF THE WATER USE REGULATION BYLAW NO. 10480 AND THE SUPPLEMENTARY SPECIFICATIONS IN THE CITY OF KELOWNA BYLAW 7900 (PART 6, SCHEDULE 5).
- THE IRRIGATION SYSTEM SHALL MEET THE REQUIREMENTS, REGULATIONS, AND BYLAWS OF THE WATER PURVEYOR.
- THE IRRIGATION SYSTEM SHALL BE EQUIPPED WITH AN APPROVED BACKFLOW PREVENTION DEVICE, WATER METER, AND SHUT OFF VALVE LOCATED OUTSIDE THE BUILDING ACCESSIBLE TO THE CITY.
- AN APPROVED SMART CONTROLLER SHALL BE INSTALLED. THE IRRIGATION SCHEDULING TIMES SHALL UTILIZE A MAXIMUM ET VALUE OF 7" / MONTH (KELOWNA JULY ET), TAKING INTO CONSIDERATION SOIL TYPE, SLOPE, AND MICROCLIMATE.
- DRIP LINE AND EMITTERS SHALL INCORPORATE TECHNOLOGY TO LIMIT ROOT INTRUSION.
- IRRIGATION SLEEVES SHALL BE INSTALLED TO ROUTE IRRIGATION LINES UNDER HARD SURFACES AND FEATURES.
- IRRIGATION PIPE SHALL BE SIZED TO ALLOW FOR A MAXIMUM FLOW OF 1.5m /SEC.
- A FLOW SENSOR AND MASTER VALVE SHALL BE CONNECTED TO THE CONTROLLER AND PROGRAMMED TO STOP FLOW TO THE SYSTEM IN CASE OF AN IRRIGATION WATER LEAK.



PROJECT TITLE

1931 UNION ROAD

Kelowna, BC

DRAWING TITLE

WATER CONSERVATION
PLAN

ISSUED FOR / REVISION

1	18.05.15	Review
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PROJECT NO 17-147

DESIGN BY FB

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CHECKED BY FB

DATE MAY 15, 2018

SCALE 1:200

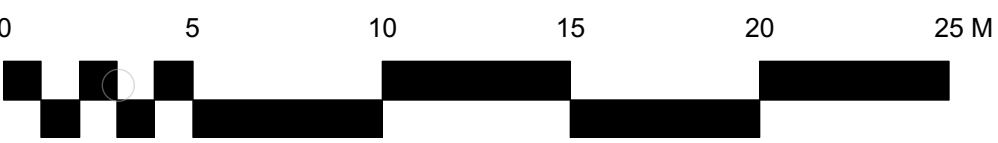
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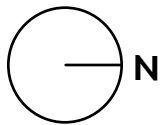
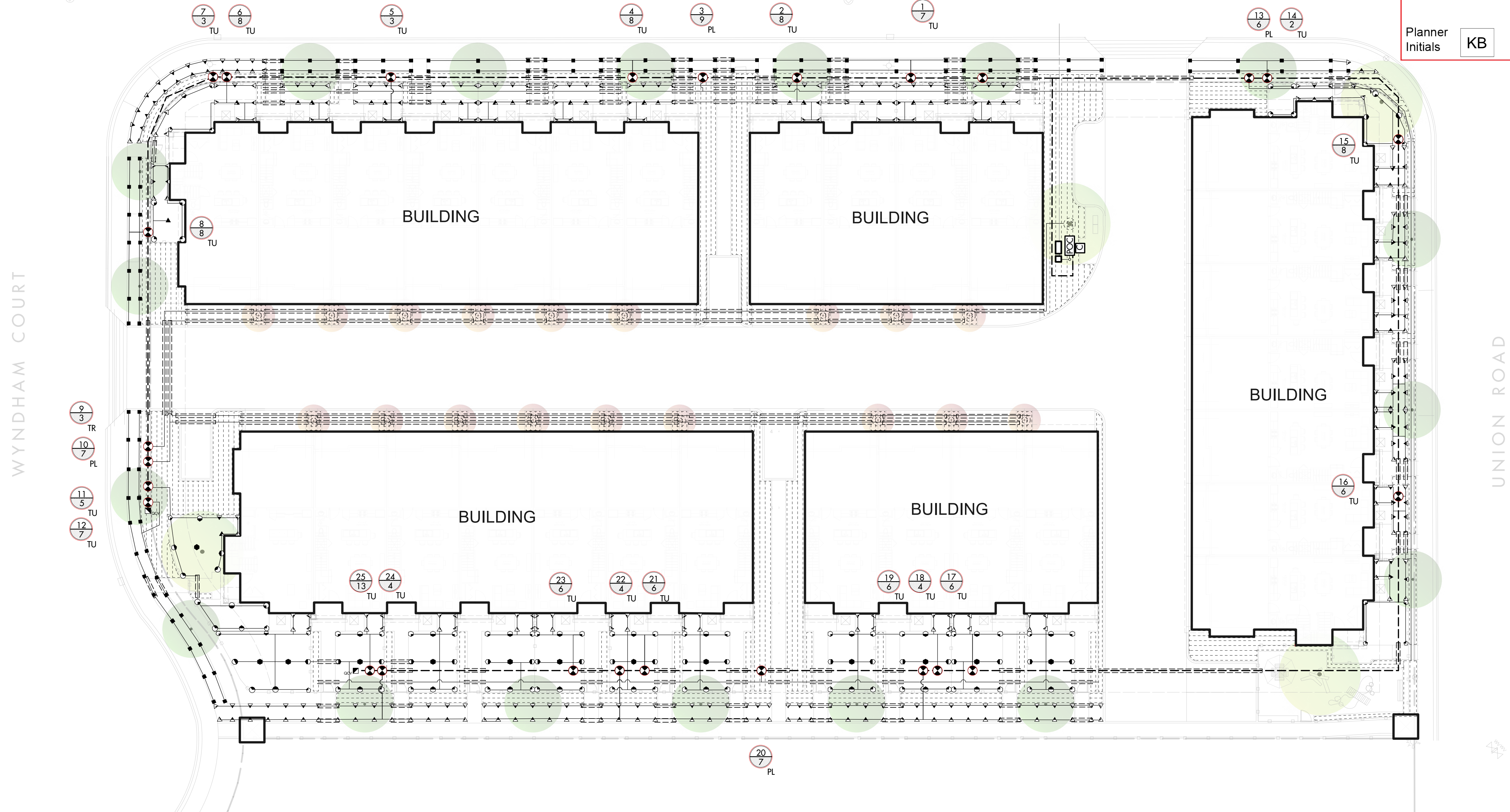
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PROJECT TITLE

1931 UNION ROAD

Kelowna, BC

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IRRIGATION PLAN

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1	18.05.15	Review
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