
CITY OF KELOWNA
MEMORANDUM

ATTACHMENT A	
This forms part of application # DVP18-0013	
Planner Initials	LK
 City of Kelowna COMMUNITY PLANNING	

Date: January 17, 2018
File No.: DVP18-0013
To: Community Planning (LK)
From: Development Engineering Manager (JK)
Subject: 1385 McInnes Ave

Development Engineering comments and requirements regarding this development permit application are as follows:

This development variance permit application to vary the minimum parcel width from 18.0m required to 15.67m proposed and to the site coverage of buildings, driveways and parking from 50% maximum to 58.24% proposed to facilitate the development of two dwelling housing on the subject property does not compromise any municipal services.



James Kay, P. Eng.
Development Engineering Manager
JA

Development Variance Permit DVP18-0013

ATTACHMENT B

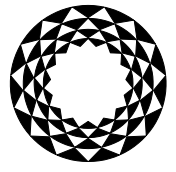
This forms part of application

DVP18-0013

Planner
Initials

LK

City of
Kelowna
COMMUNITY PLANNING



City of
Kelowna

This permit relates to land in the City of Kelowna municipally known as

1385 McInnes Avenue

and legally known as

Lot 7 District Lot 137 ODYD Plan 3317

and permits the land to be used for the following development:

Two Dwelling Housing

The present owner and any subsequent owner of the above described land must comply with any attached terms and conditions.

Date of Decision: June 12, 2018

Decision By: CITY COUNCIL

Development Permit Area: Revitalization

This permit will not be valid if development has not commenced by June 12, 2020.

Existing Zone: RU6 Future Land Use Designation: S2RES

This is NOT a Building Permit.

In addition to your Development Permit, a Building Permit may be required prior to any work commencing. For further information, contact the City of Kelowna, Development Services Branch.

NOTICE

This permit does not relieve the owner or the owner's authorized agent from full compliance with the requirements of any federal, provincial or other municipal legislation, or the terms and conditions of any easement, covenant, building scheme or agreement affecting the building or land.

Owner:

Applicant:

Ryan Smith
Community Planning Department Manager
Community Planning & Strategic Investments

Date

1. SCOPE OF APPROVAL

This Development Variance Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.

This Development Variance Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this permit, noted in the Terms and Conditions below.

The issuance of a permit limits the permit holder to be in strict compliance with regulations of the Zoning Bylaw and all other Bylaws unless specific variances have been authorized by the Development Permit. No implied variances from bylaw provisions shall be granted by virtue of drawing notations that are inconsistent with bylaw provisions and that may not have been identified as required Variances by the applicant or Municipal staff.

2. CONDITIONS OF APPROVAL

Variances to the following sections of Zoning Bylaw No. 8000 be granted, as shown on Schedule "A":

Section 13.6.5(b)]: RU6 – Two Dwelling Housing Subdivision Regulations

To vary the required minimum parcel width from 18.0 m permitted to 15.61 m proposed;

Section 13.6.6(a)]: RU6 – Two Dwelling Housing Development Regulations

To vary the maximum site coverage from 50% permitted to 58.24% proposed.

This Development Permit is valid for two (2) years from the date of May 1, 2020 approval, with no opportunity to extend.

3. PERFORMANCE SECURITY

N/A

4. INDEMNIFICATION

Upon commencement of the works authorized by this Permit the Developer covenants and agrees to save harmless and effectually indemnify the Municipality against:

- a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality said Permit.

All costs, expenses, claims that may be incurred by the Municipality where the construction, engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

**The PERMIT HOLDER is the CURRENT LAND OWNER.
Security shall ONLY be returned to the signatory of the
Landscape Agreement or their designates.**

SCHEDULE

A

This forms part of application
DVP18-0013

Planner
Initials LK



NUMBER	DATE	REVISION	BY	DESCRIPTION
P-01	2018-04-01	01	P	PRELIMINARY
P-02	2018-04-01	02	P	PRELIMINARY
P-03	2018-04-01	03	P	PRELIMINARY
P-04	2018-04-01	04	P	PRELIMINARY
P-05	2018-04-01	05	P	PRELIMINARY

PROPOSED
SITE PLAN

1385 McInnes Ave. LOT # 7
KID: 163182 - PLAN: 3317
RN: 27400 PID: 010-921-443
ZONING CODE: RU6

OKANAGAN PLANNING
SOLUTIONS INC.
info@okanagansolutions.com

DATE:

2018-04-15

SCALE:

1/16"=1'

SHEET:

A-5

Celia Liang - October 12, 2017.

Notes:

Civic Address: 1385 McInnes Avenue

- Elevations are based on City of Kelowna Records

- All distances are horizontal ground level, and
are expressed in metres and and decimals thereof.

- denotes spot elevation (typical)

- denotes manhole

- denotes utility pole

- denotes overhead utility lines

- denotes chainlink fence

- denotes wooden fence

0.50%
Elm - denotes tree with type and diameter

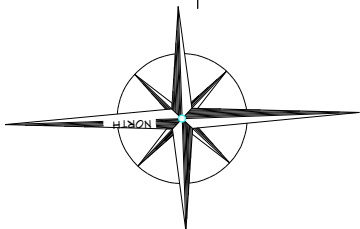
This Plan lies within the Central Okanagan Regional District

LOT COVERAGE
BUILDING AREA: (CANTILEVERS
NOT INCLUDED)
MAIN FLOOR: 3,097 SQ.FT. (287.72 SQ.M.)
BUILDING COVERAGE: 39.38 %
TOTAL AREA: 3,887 SQ.FT. (361.1 SQ.M.)
LOT FOOTPRINT: 7,863.39 SQ.FT. (730.53 SQ.M.)
COVERAGE 49.24 %

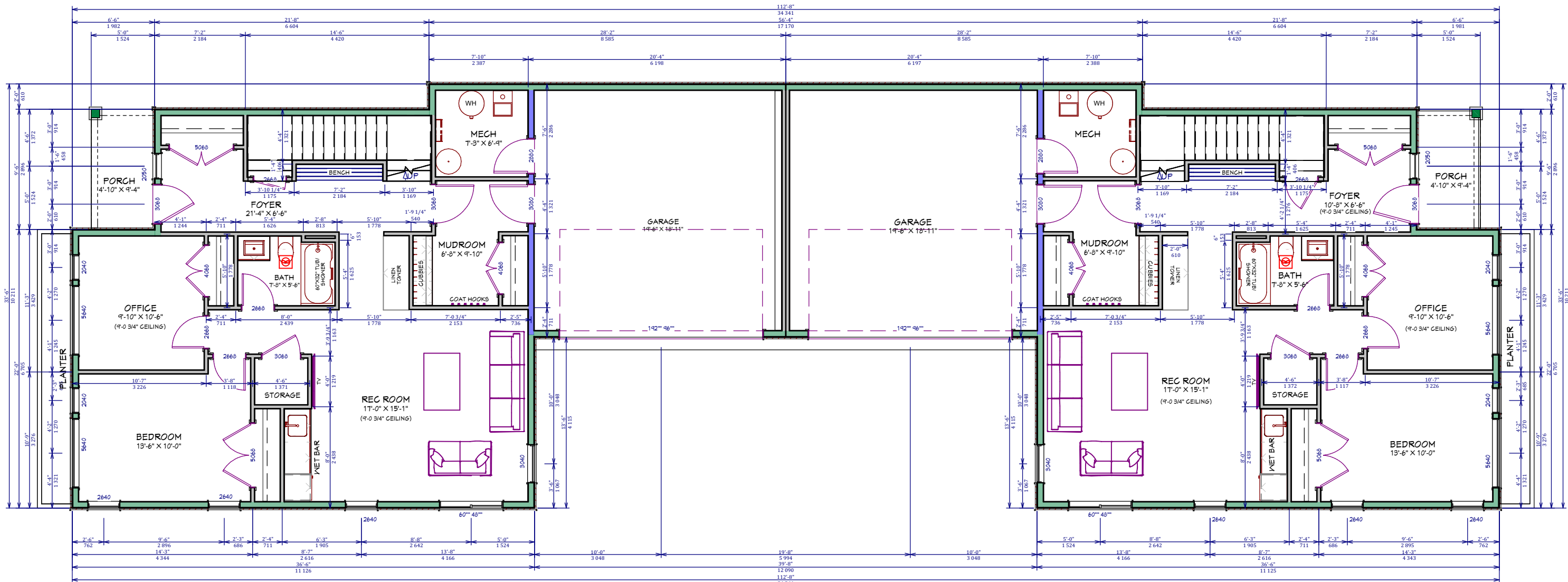
Strata Plan KAS3596

House #1375

House #1345



* FOR PRELIMINARY USE ONLY - NOT FOR CONSTRUCTION*



MAIN FLOOR
LIVING AREA: 1041 SQ. FT.

MAIN FLOOR
LIVING AREA: 1041 SQ. FT.

- BLACK VINYL WINDOWS
- LEGACY STEEM GARAGE DOOR
- FRONT DOOR: MASONITE VISTAGRANDE VFT
- APPLIED 4 LITE 3 - 1/2" BARS 926-504VX
- HARDIE REVEAL (COLOUR: ARCTIC WHITE)
- HARDIEPLANK (COLOUR: AGED PENTER)
- HARDIEPLANK (COLOUR: ARCTIC WHITE)
- SMART BOARD TRIM (COLOUR: MATCH SIDING)
- ASPHALT SHINGLES (CERTAIN TEED, LANDMARK - CHARCOAL BLACK)

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COMMUNITY PLANNING



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info@okanagansolutions.com

NUMBER	DATE	REVISION	DESCRIPTION
P-01	2018-04-09	05-F	PRELIMINARY
P-02	2018-04-09	05-F	PRELIMINARY
P-03	2018-04-09	05-F	PRELIMINARY
P-04	2018-04-09	05-F	PRELIMINARY
P-05	2018-04-09	05-F	PRELIMINARY

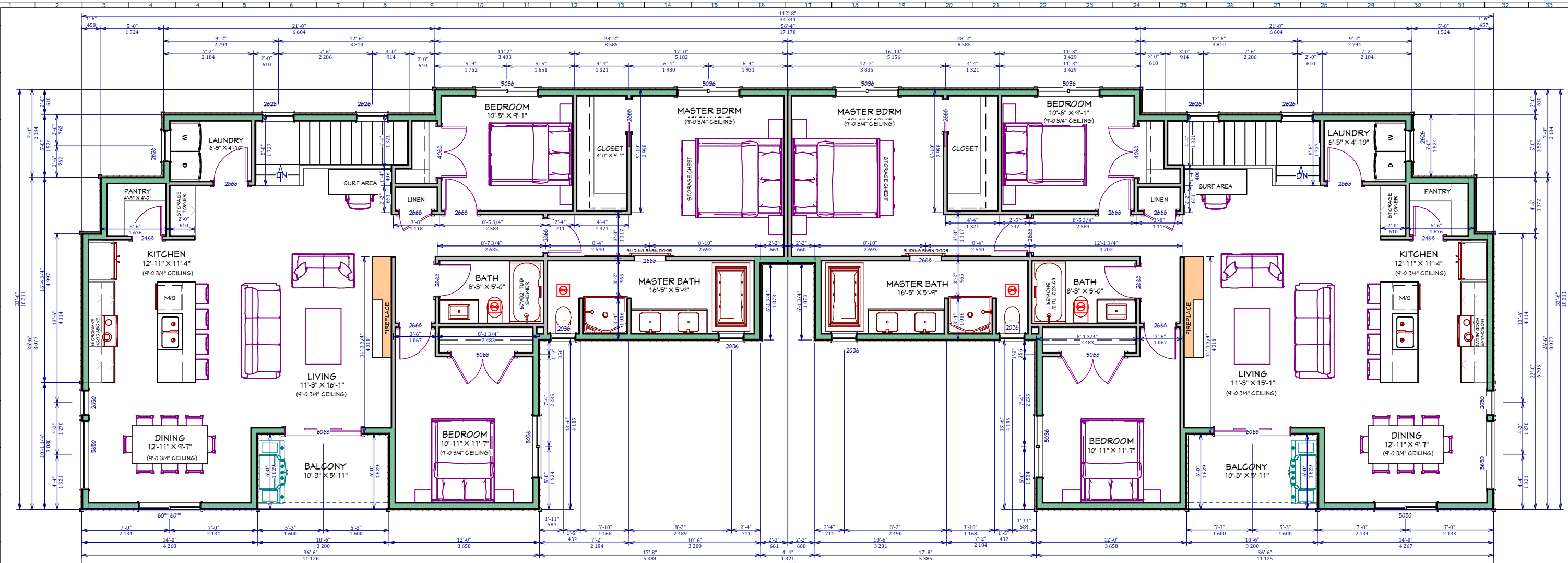
MAIN FLOOR

1385 McInnes Ave. LOT # 1
KID: 163182 - PLAN: 3317
RN: 27400 PID: 010-921-443
ZONING CODE: RU6

DATE:
2018-04-15

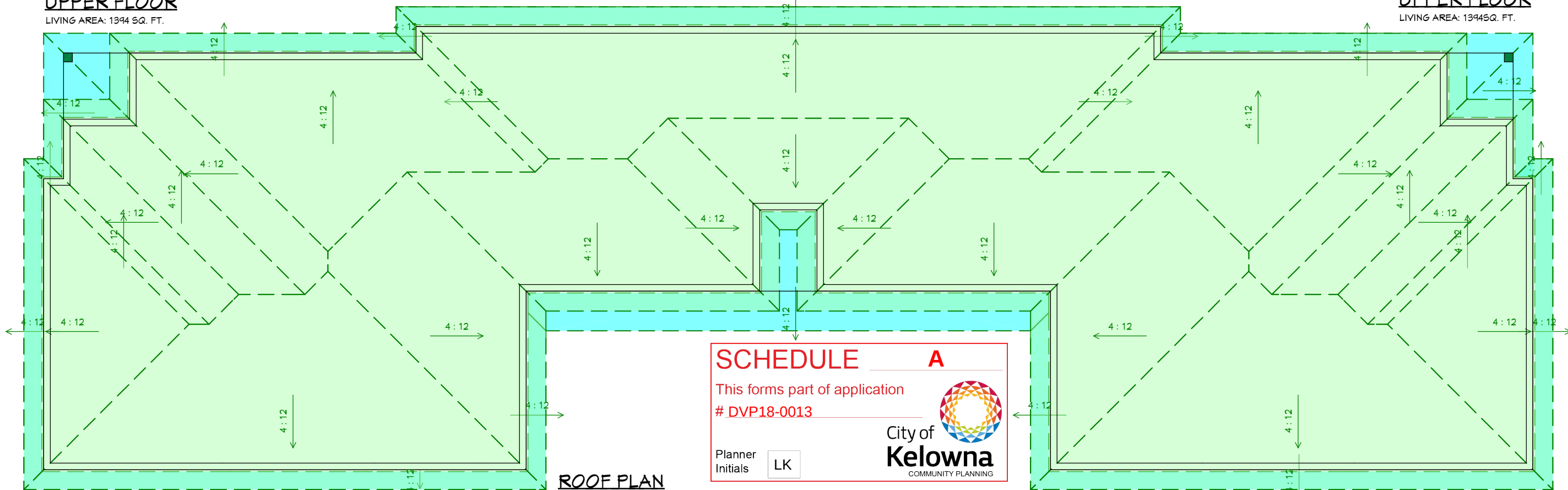
SCALE:
1/8"=1'

SHEET:
A-1



UPPER FLOOR
LIVING AREA: 1394 SQ. FT.

UPPER FLOOR
LIVING AREA: 1394 SQ. FT.



ROOF PLAN

* FOR PRELIMINARY USE ONLY - NOT FOR CONSTRUCTION *

SCHEDULE

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City of

Kelowna

COMMUNITY PLANNING



NUMBER	DATE	REVISION BY	DESCRIPTION
P-06	2018-04-09	OS-F	PRELIMINARY
P-02	2017-11-26	OS-F	PRELIMINARY
P-03	2018-01-24	OS-F	PRELIMINARY
P-04	2018-02-21	OS-F	PRELIMINARY
P-05	2018-03-09	OS-F	PRELIMINARY

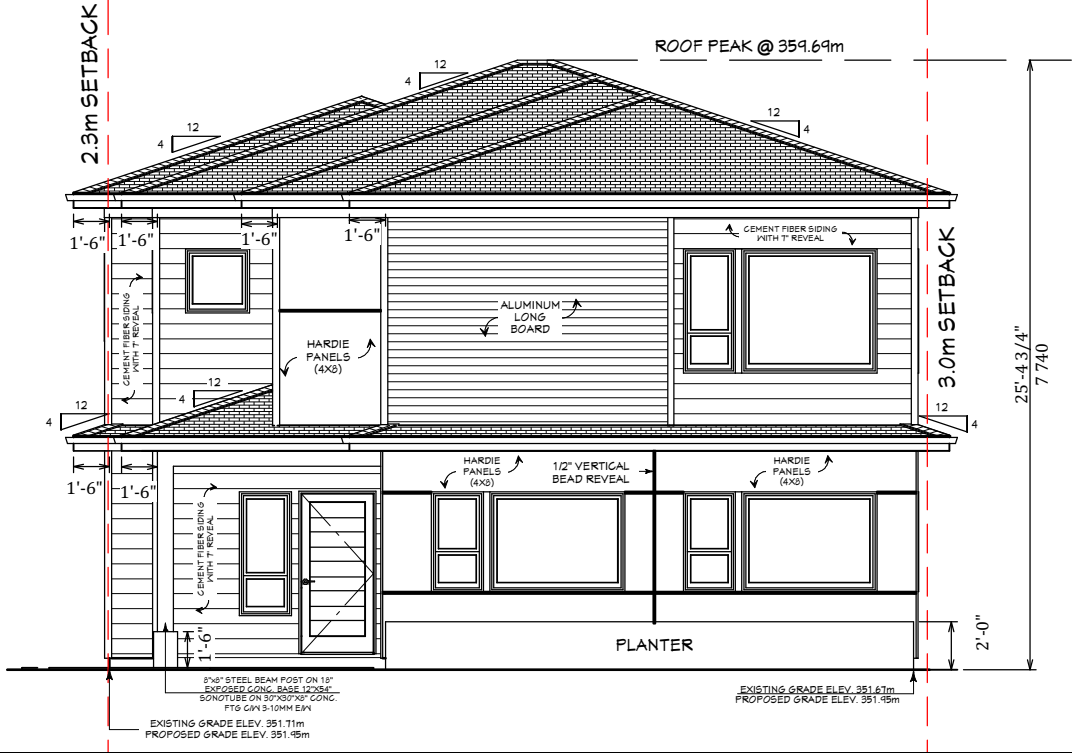
UPPER FLOOR
& ROOF PLAN

1385 McInnes Ave. LOT # 7
KID: 163182 - PLAN: 3317
RN: 27400 PID: 010-921-443
ZONING CODE: RU6

OKANAGAN PLANNING
SOLUTIONS INC.
info@okanagansolutions.com

DATE:
2018-04-15
SCALE:
1/8"=1'
SHEET:
A-2

PROPERTY LINE



FRONT ELEVATION

GENERAL NOTES:

WRITTEN DIMENSIONS AND SPECIFIC NOTES SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND GENERAL NOTES. THE ENGINEER AND/OR DESIGNER SHALL BE CONSULTED FOR CLARIFICATION IF SITE CONDITIONS ARE ENCOUNTERED THAT ARE DIFFERENT THAN SHOWN, IF DISCREPANCIES ARE FOUND IN THE PLANS OR NOTES, OR IF A QUESTION ARISES OVER THE INTENT OF THE PLANS OR NOTES. CONTRACTOR SHALL VERIFY AND IS RESPONSIBLE FOR ALL DIMENSIONS (INCLUDING ROUGH OPENINGS).

THE BUILDER SHALL VERIFY THAT SITE CONDITIONS ARE CONSISTENT WITH THESE PLANS BEFORE STARTING WORK. WORK NOT SPECIFICALLY DETAILED SHALL BE CONSTRUCTED TO THE SAME QUALITY AS SIMILAR WORK THAT IS DETAILED. ALL WORK SHALL BE DONE IN ACCORDANCE WITH NATIONAL BUILDING CODE OF CANADA, B.C. BUILDING CODE AND LOCAL LAWS AND BYLAWS.

WINDOWS SPECIFICATIONS TO BE CONFIRMED BY OWNER/BUILDER PRIOR ORDERING TO ENSURE PROPER VENTING AND EGRESS.

PLEASE SEE ADDITIONAL NOTES CALLED OUT ON OTHER SHEETS.

BUILDING PERFORMANCE:

HEAT LOSS CALCULATIONS SHALL COMPLY WITH THE REQUIREMENTS OF REGIONAL AND LOCAL CODES. SEE CALCULATIONS. PORCHES, DECKS, FOUNDATION, FIREPLACE ENCLOSURES, AND GARAGE AREAS NOT INCLUDED IN LIVING AREA. ALL EXHAUST FANS TO BE VENTED DIRECTLY TO THE EXTERIOR. ALL PENETRATIONS OF THE BUILDING ENVELOPE SHALL BE SEALED WITH CAULK OR FOAM.

FINISH NOTES:

RENDERINGS ARE NOT TO SCALE; ALL RENDERINGS ARE FOR ARTISTIC DEPICTION ONLY. PLAN UPDATES MAY NOT BE REFLECTED IN RENDERINGS. RENDERINGS SHALL NOT BE USED FOR CONSTRUCTION.

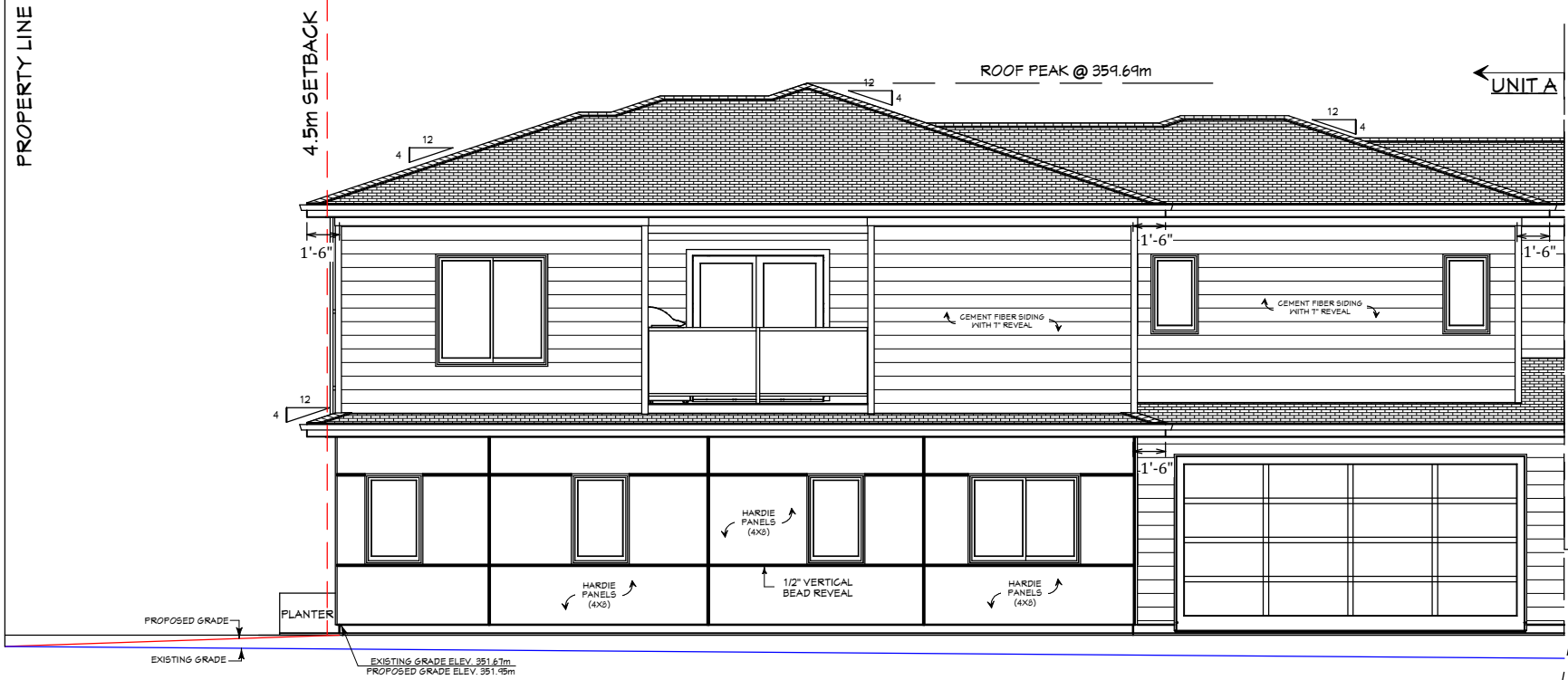
BASE BOARDS SHALL BE 6" IN ALL ROOMS, UNO.

FINAL FINISHES SHALL BE CONFIRMED WITH THE HOME OWNER PRIOR TO APPLICATION.



* FOR PRELIMINARY USE ONLY - NOT FOR CONSTRUCTION*

PROPERTY LINE



RIGHT ELEVATION - UNIT A

GLAZED OPENINGS AREA:

WALL SURFACE AREA:	616 sq. ft. (57.22 sq.mt.)
GLASS AREA:	75 sq.ft.(6.96 sq.m.)
DISTANCE FROM PROPERTY LINE:	3.15m
MAXIMUM AGGREGATE AREA OF GLAZED OPENINGS:	19%
TOTAL GLASS COVERAGE:	12.11%

SCHEDULE

B

This forms part of application

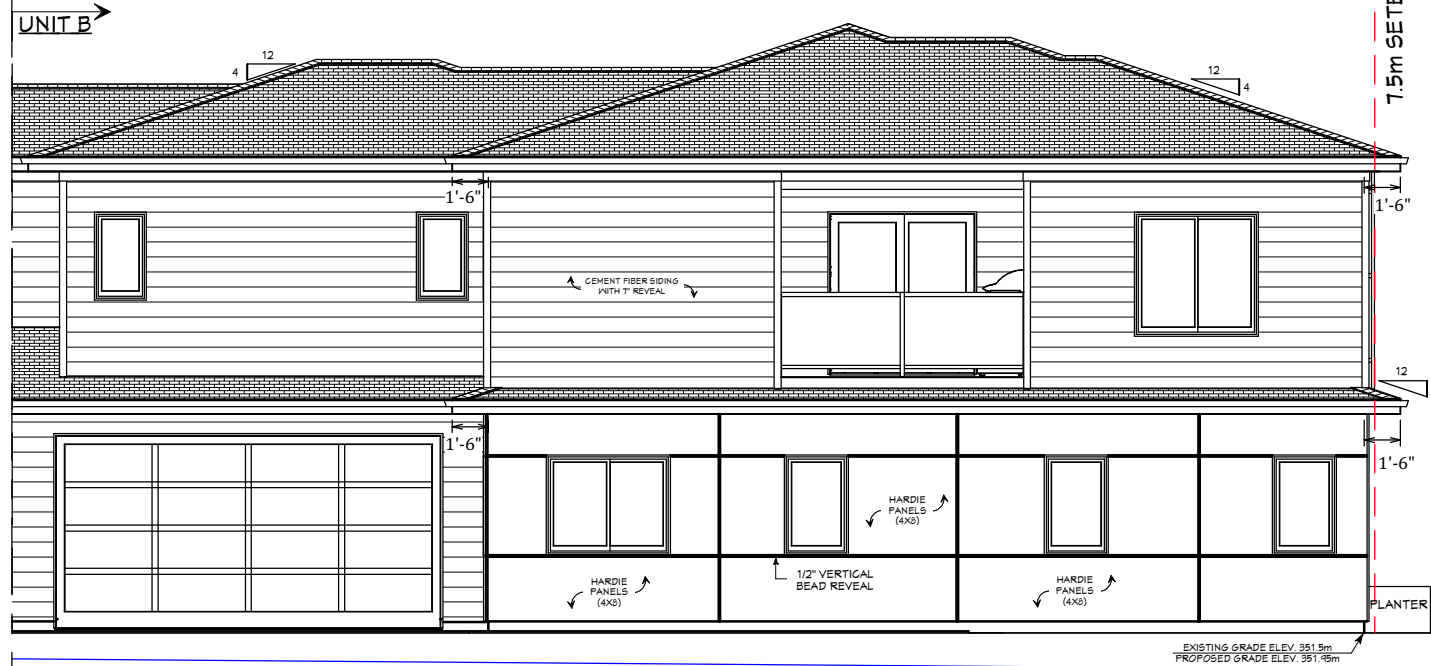
DVP18-0013

Planner
Initials

LK



UNIT B



RIGHT ELEVATION - UNIT B

GLAZED OPENINGS AREA:

WALL SURFACE AREA:	616 sq. ft. (57.22 sq.mt.)
GLASS AREA:	75 sq.ft.(6.96 sq.m.)
DISTANCE FROM PROPERTY LINE:	3.15m
MAXIMUM AGGREGATE AREA OF GLAZED OPENINGS:	19%
TOTAL GLASS COVERAGE:	12.11%



NUMBER	DATE	REVISION	DESCRIPTION
P-06	2018-04-01	05-F	PRELIMINARY
P-02	2017-11-26	05-F	PRELIMINARY
P-03	2018-01-04	05-F	PRELIMINARY
P-04	2018-02-21	05-F	PRELIMINARY
P-05	2018-03-01	05-F	PRELIMINARY

FRONT & RIGHT
ELEVATIONS

1385 McInnes Ave. LOT # 1
KID: 163182 - PLAN: 3317
RN: 27400 PID: 010-921-443
ZONING CODE: RU6

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SOLUTIONS INC.
info@okanagansolutions.com

DATE:

2018-04-15

SCALE:

1/8"=1'

SHEET:

A-3

PROPERTY LINE

7.5m SETBACK



LEFT ELEVATION - UNIT B

GLAZED OPENINGS AREA:

WALL SURFACE AREA: 417 sq. ft. (38.74 sq.m.)
GLASS AREA: 12.5 sq.ft. (6.50 sq.m.)
DISTANCE FROM PROPERTY LINE: 2.9m
MAXIMUM AGGREGATE AREA OF GLAZED OPENINGS: 20%
TOTAL GLASS COVERAGE: 2.99%

GLAZED OPENINGS AREA:

WALL SURFACE AREA: 1052 sq. ft. (97.13 sq.m.)
GLASS AREA: 70 sq.ft. (6.50 sq.m.)
DISTANCE FROM PROPERTY LINE: 2.28m
MAXIMUM AGGREGATE AREA OF GLAZED OPENINGS: 11.8%
TOTAL GLASS COVERAGE: 6.65%



SCHEDULE

B

This forms part of application
DVP18-0013

Planner
Initials

LK



PROPERTY LINE

UNIT A

ROOF PEAK @ 359.69m

4.5m SETBACK



LEFT ELEVATION - UNIT A

GLAZED OPENINGS AREA:

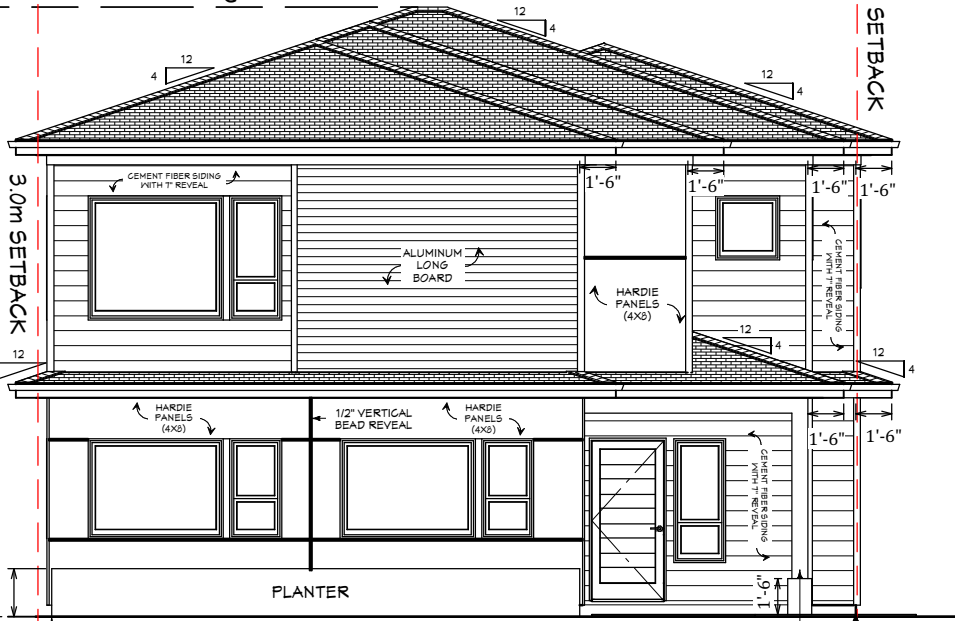
WALL SURFACE AREA: 417 sq. ft. (38.74 sq.m.)
GLASS AREA: 12.5 sq.ft. (6.50 sq.m.)
DISTANCE FROM PROPERTY LINE: 2.9m
MAXIMUM AGGREGATE AREA OF GLAZED OPENINGS: 20%
TOTAL GLASS COVERAGE: 2.99%

PROPERTY LINE

PROPERTY LINE

ROOF PEAK @ 359.69m

3m SETBACK



REAR ELEVATION



NUMBER	DATE	REVISION BY	DESCRIPTION
P-06	2018-04-01	OS-F	PRELIMINARY
P-02	2017-11-26	OS-F	PRELIMINARY
P-03	2018-01-04	OS-F	PRELIMINARY
P-04	2018-02-21	OS-F	PRELIMINARY
P-05	2018-03-01	OS-F	PRELIMINARY

LEFT & REAR
ELEVATIONS

1385 McInnes Ave. LOT # 7
KID: 163182 - PLAN: 3317
RN: 27400 PID: 010-921-443
ZONING CODE: RU6

OKANAGAN PLANNING
SOLUTIONS INC.
info@okanagansolutions.com

DATE:

2018-04-15

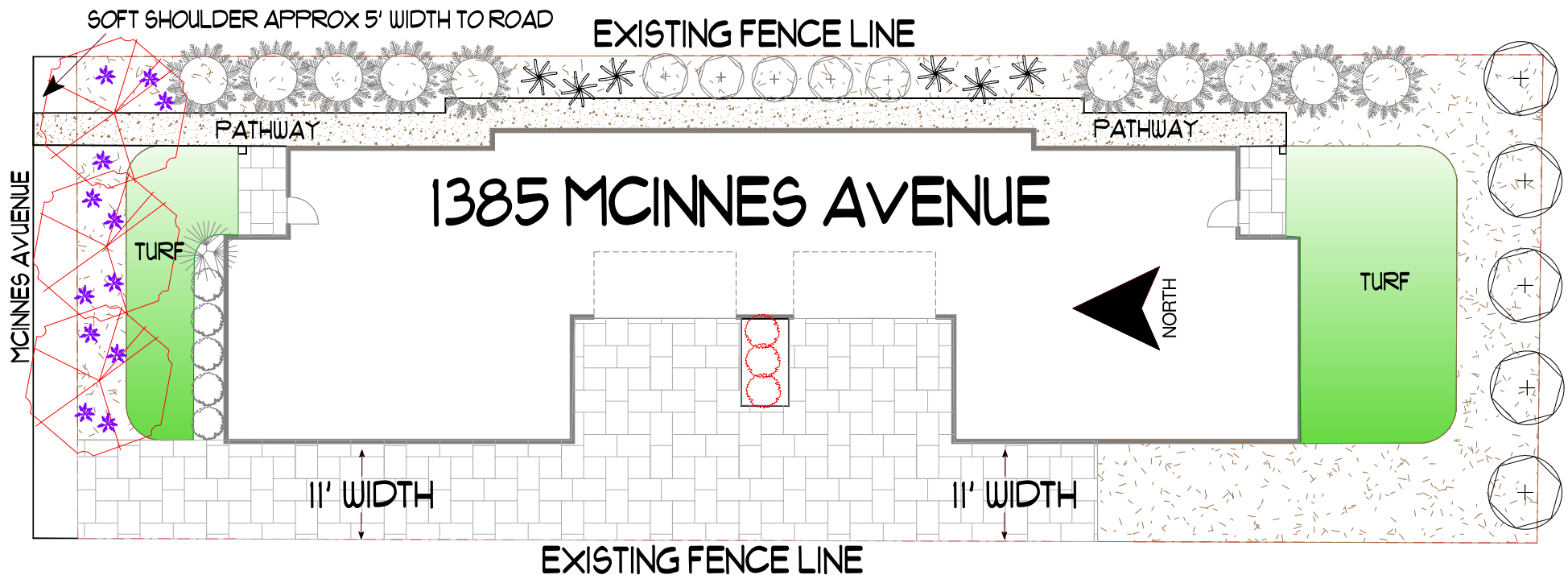
SCALE:

1/8"=1'

SHEET:

A-4

* FOR PRELIMINARY USE ONLY - NOT FOR CONSTRUCTION*



SPECIFICATIONS:

1. ALL PLANT TO BE DROUGHT TOLERANT AND DEER RESISTANT.
2. ALL PLANTINGS TO BE WATERED BY A FULLY AUTOMATED DRIP SYSTEM.
3. ALL TURF TO BE WATERED BY A FULLY AUTOMATED IRRIGATION SYSTEM AS PER CITY OF KELOWNA GUIDELINES.
4. ALL PLANT MATERIAL AND PLANTING PROCEDURES TO MEET BCLNA STANDARDS AND SPECIFICATIONS.
5. LANDSCAPE FABRIC AND DECORATIVE CRUSH/RIVER ROCK TO BE APPLIED TO FRONT OF PROPERTY.
6. TURF TO DROUGHT TOLERANT.
7. EXISTING FENCE ON PROPERTY - ANY FENCE REPLACEMENT TO BE BLACK CHAIN LINK NOT TO EXCEED 5' IN HEIGHT.
8. NO SITE ELEVATIONS WERE PROVIDED ON SITE SURVEY.
9. HARD SURFACE TO BE PAVERS. COLOR TO BE DETERMINED. WIDTH TO EXISTING FENCE IS 11'.
10. PLANT MATERIAL IN BACK OF PROPERTY TO BE RIPARIAN.
11. PATHWAY TO BE ROCK CRUSH. WIDTH TO BE 3' 5" WIDTH. COLOUR TO BE DETERMINED.
12. LANDSCAPE FABRIC AND CRUSH ROCK TO BE APPLIED TO ALL GARDEN BEDS.
13. SOFT SHOULDER IS APPROX 5' WIDTH TO ROAD.
14. SCALE DRAWING IS 1:200. DRAWING TO BE ADAPTED TO A 8.5" X 11" HARD COPY.

LEGEND

COMMON NAME	QTY	BOTANICAL NAME	SIZE	WIDTH
FLOWER, GRASS				
* FESCUE, BLUE OAT	6	POA COLENSOI	1 GAL.	2'
FLOWER, PERENNIAL				
* LAVENDER, MUNSTEAD	12	LAVENDER ANGUSTIFOLIA 'MUNSTEAD'	EACH	2' (60 CM)
SHRUB, DECIDUOUS				
○ BARBERRY, CHERRY BOMB	3	BERBERIS THUNBERGII 'CHERRY BOMB'	2 GAL.	4'
○ DOGWOOD, RED OSIER	5	CORNUS ALBA 'RED OSIER'	2 GAL.	10'
○ DWARF ARCTIC WILLOW	5	SALIX PURPUREA NANA	5 GAL.	5'
○ NINEBARK, TINY WINE	5	PHYSOCARPUS OPULIFOLIUS 'TINY WINE'	3 GAL.	4' (1.2 M)
SHRUB, EVERGREEN CONIFER				
* YEW, HICKSII	1	TAXUS 'HICKSII'	5 GAL.	2' (60 CM)
TREE, DECIDUOUS				
○ RUGGED CHARM MAPLE	3	ACER TATARICUM 'RUGGED CHARM MAPLE'	10 GAL.	15'
TREE, EVERGREEN				
○ WICHITA BLUE JUNIPER	10	JUNIPERUS SCOPULORUM 'WICHITA BLUE JUNIPER'	5 GAL.	5'

SCHEDULE C

This forms part of application
DVP18-0013



City of
Kelowna
COMMUNITY PLANNING

**urban
accent**

Revision #: 02

Date: 2018-04-19

Scale:

1:200

Landscape Plan:

1385 McInnes Avenue

Planner
Initials

LK

Design by: Carol Rutherford

UrbanAccent