



Revised October 30, 2017
Proposal for Rezoning & Development Permit
Existing Zone: RU6
Proposed Zone: RM5
Legal Description: Lots 34 & 35 D.L.
139 ODYD Plan 2085
1304 & 1308 Richter Street
Kelowna, BC

Introduction

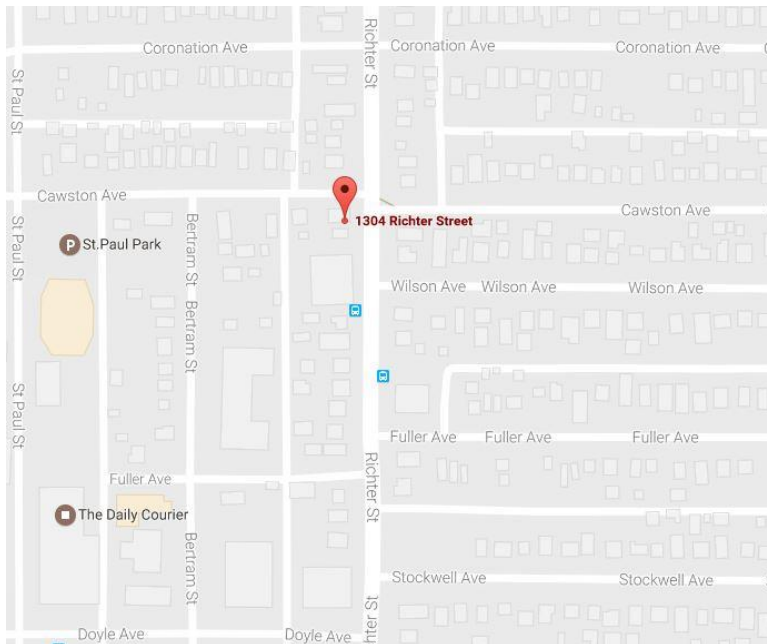
This is an application for both a rezoning and a development permit to accommodate a 12 unit multi-unit building located at 1304 & 1308 Richter Street. The proposed building consists of 12 ground orientated townhouse units. These applications are being submitted concurrently, with the intent that they will be processed together.

Site Context

The subject site consists of 2 lots that total approximately 1200.59 SM and is prominently located at the SW corner of the intersection of Richter Street and Cawston Ave.

The proposed revised zoning classification is RM5 with minor variances proposed in support of this unique project.

The property is currently zoned RU6, Two Dwelling Housing.





Overview

This proposed infill development is located on an underutilized property bordered on 1 side by an existing multifamily building which also falls under RM5 zoning guidelines. Two single family homes are currently situated on the property. The two lots are “orphaned” by the adjacent multifamily higher density development.

The site is well positioned near the rapid transit bus route system. It is also located on the Cawston community system bike path which is part of the overall Active Transportation Corridor. The increasing number of jobs and overall activity in Downtown Kelowna has inspired us to look at a higher density project to meet the growing demand for well conceived downtown housing. In support of this higher density project, rezoning will be required together with minor variances. A development permit will also be required. We have contemplated RM5 Guidelines with specific variance approvals in support of our rezoning application.

Cawston Avenue is a prominent downtown street with the improved bike lane. Our primary design objective has been to create curb appeal, street presence, and separate street and ground oriented townhouse entrances for all units.

In support of this application, both properties fall within the Multiple Unit Residential (Medium Density) land use designation as prescribed by the City of Kelowna’s Official Community Plan. We are proposing that the site be rezoned to RM5 to accommodate 12 ground oriented townhouse units. Variances that are required to facilitate this design are detailed in an attached schedule.

The parking structure roof slab is used as a base for the townhouse “mews” style units as well as an elevated pedestrian park environment providing direct access to the main living floor of each unit. In addition each unit has direct access to grade on each of the side yards which are also richly landscaped. All units are two bedroom with upper level dens (potential 3rd bedroom) and private rooftop patios. Each unit is provided with two indoor parking stalls with immediate and direct access for residents to their own unit.

It is important to know that the builder has to contend with a high water table. The high water table prohibits development of a sub-grade parking structure. Accordingly, the parking structure is proposed to be developed at grade. In order to facilitate street oriented unit design, variances are proposed to some bylaw site setback requirements. These are detailed in the attached schedules. It is important to note that the need for variance approvals is almost wholly driven by the high water table and the resultant need to locate the parking structure at grade.

Variances Requested

The site layout substantially fits within the prescribed guidelines of the RM5 zone and the proposed rezoning is consistent with the Future Land Use prescribed in the Official Community Plan.

Bylaw Summary: RM5 Guidelines (Revised Oct 30/17)

Criteria Item	Regulation	Proposed	Variance
Min Site Area	1400 SM	1200.59 SM	Required
Min Lot Width	30 M	26.29 M	Required
Min Lot Depth	35 M	45.70 M	N/A
Maximum FAR (not including covered parking) 1,680.83 SM (Max)	1.4 F.A.R. (1.2 + 0.2)	1644.81 SM 1.37 F.A.R.	N/A
Max Site Coverage: 840.4 SM (Building, Parking & Paving)	70% (50% + 20%)	70% 840 SM	N/A
Maximum Height	4.5 Storeys 18 M	4 Storeys/12.548	N/A
Net Unit Area	(1.4 x 1200.59 SM) 1680.83 SM	1644.81 SM	N/A
Front Yard (at Richter St.) under 2 ½ storeys @ Ground Floor & 2 nd Floor	1.5 M	1.5 M	N/A
Front Yard (at Richter St.) over 2 ½ storeys @ 3 rd Floor @ 4 th Floor	6.0 M 6.0 M	4.181 M 9 M	1.819 M N/A
North Side Yard (at Cawston) under 2 ½ storeys @ Ground Floor @ 2 nd Floor	1.5 M 1.5 M	0.928 M 0.470 M	0.572 M 1.03 M
North Side Yard (at Cawston) over 2 ½ storeys @ 3 rd Floor @ 4 th Floor	6.0 M 6.0 M	0.470 M 3.170 M	5.53 M 2.83 M
South Side Yard (joint P.L.) under 2 ½ storeys @ Ground Floor	4.5 M	2.760 M	1.749 M
South Side Yard (joint P.L.) over 2 ½ storeys @ 3 rd Floor @ 4 th Floor	7.0 M 7.0 M	2.7 M 4.056 M	4.3 M 2.944 M
Rear Yard (at lane) @ Car Port Structure at grade @ 2 nd , 3 rd and 4 th Floors (See shared 2 nd floor shared garden areas and shared green roof areas on plans)	1.5 M 6.0 M See Bylaw #13.11.6.h	1.190 M 6.0 M	0.310 M N/A See Bylaw #13.11.6.h

Please see attached Setback Plans attached in this package for your reference.

Criteria Item	Regulation	Proposed	Variance
Parking Stalls	18 (150%)	24 (200%)	N/A
Bicycle Parking	6 Class 1 & 3 Class 2	Class 1 = 24 (2 per unit) Class 2 = 10	N/A
Private Amenity Space (25 SM x 12)	300 SM	Balconies, Patios & Decks - 359.96 SM Passive Private Space – 74.72 SM Extensive Green Roof - 137.89 SM Total Amenity Space – 572.57 SM	N/A

RESIDENTIAL AREA SUMMARY BY UNIT (NOT INCLUDING PARKING)

UNIT TYPE	TOTAL UNIT AREA	# OF UNITS	TOTAL NEW UNIT AREAS
UNIT A	147.78 SM	X 1	147.78 SM
UNIT B	148.18 SM	X 3	444.54 SM
UNIT C	148.35 SM	X 1	145.35 SM
UNIT D	145.17 SM	X 1	145.17 SM
UNIT E	144.96 SM	X 3	434.88 SM
UNIT F	145.12 SM	X 1	145.12 SM
UNIT G	136.27 SM	X 2	272.54 SM
TOTAL NET RESIDENTAL UNIT AREA		12 UNITS	RESIDENTIAL AREA 1,738.38 SM

RESIDENTIAL AREA SUMMARY BY FLOOR (NOT INCLUDING PARKING)

GROUND FLOOR	195.19 SM
SECOND FLOOR	636.26 SM
THIRD FLOOR	586.83 SM
FOURTH FLOOR	320.10 SM
TOTAL RESIDENTIAL FLOOR AREA	1,738.38 SM

F.A.R. CALCULATION

SITE AREA	1200.59 SM
REGULATION F.A.R.	1.4 OF SITE AREA
REGULATION MAX UNIT AREA	(1.4 X 1200.59 SM) = 1,680.82 SM
ACTUAL RESIDENTIAL AREA (FROM ABOVE)	1,738.38 SM
DEDUCT 50% OF EACH INTERIOR STAIR AREA IN EACH UNIT ON EACH FLOOR OF EACH UNIT	= 92.52 SM NET DEDUCTIBLE
NET RESIDENTIAL AREA (1,738.38 SM LESS 92.52 SM)	= 1,645.86 NET
F.A.R. PROPOSED 1,645.86 SM / 1,200.59 SM	1.370 F.A.R.
CONCLUSION F.A.R. PROVIDED AND NO VARIANCE REQ'D	0.03 LESS THAN MAX ALLOWABLE



As previously stated, the exceptionally high water table on this site has prevented construction of a sub-grade parking structure leaving the builder no choice but to develop the parking structure at grade. In developing the parking structure at grade and clear of the water table, the above variances are required for a functional and working project. Having said that, it should be noted that the above grade density (F.A.R.) and site coverage proposed are both bylaw compliant with no variance required to render this project functional.

We have also had productive consultation with our neighbors to the South living in "The Cambridge." Their basic concerns of life safety (fire spread) have been addressed two fold. Once by decreasing the proposed setback variances on our joint property line and again by proposing that the construction of our South exterior wall be constructed as wall assembly with a 2 hour fire resistance rating compliant with the current BC Building Code. The combination of these two measures provide the added assurance and exceed the applicable Building Code requirements by a considerable margin.

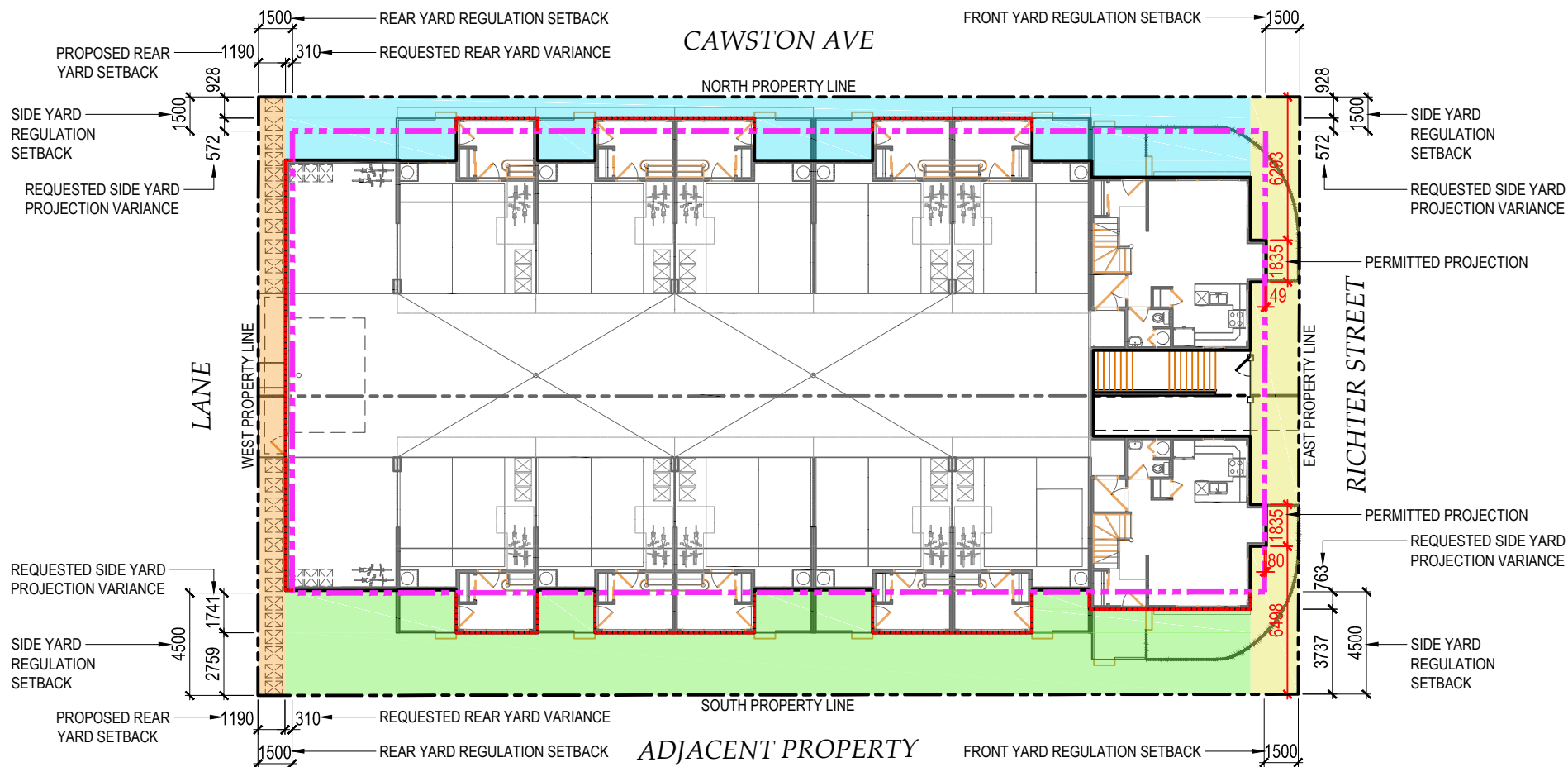
Conclusion

Maximizing the efficiency of infill development has been identified by the City of Kelowna as a priority to help avoid urban sprawl. This project strives to help fulfill that goal while promoting an active lifestyle for residents. A priority is also given by the architect to ground and street orientation and pedestrian relevant design in this project on multiple levels. The applicant seeks support from staff and council for this rezoning and development permit application complete with all required variances.

Best Regards,
DW Architecture

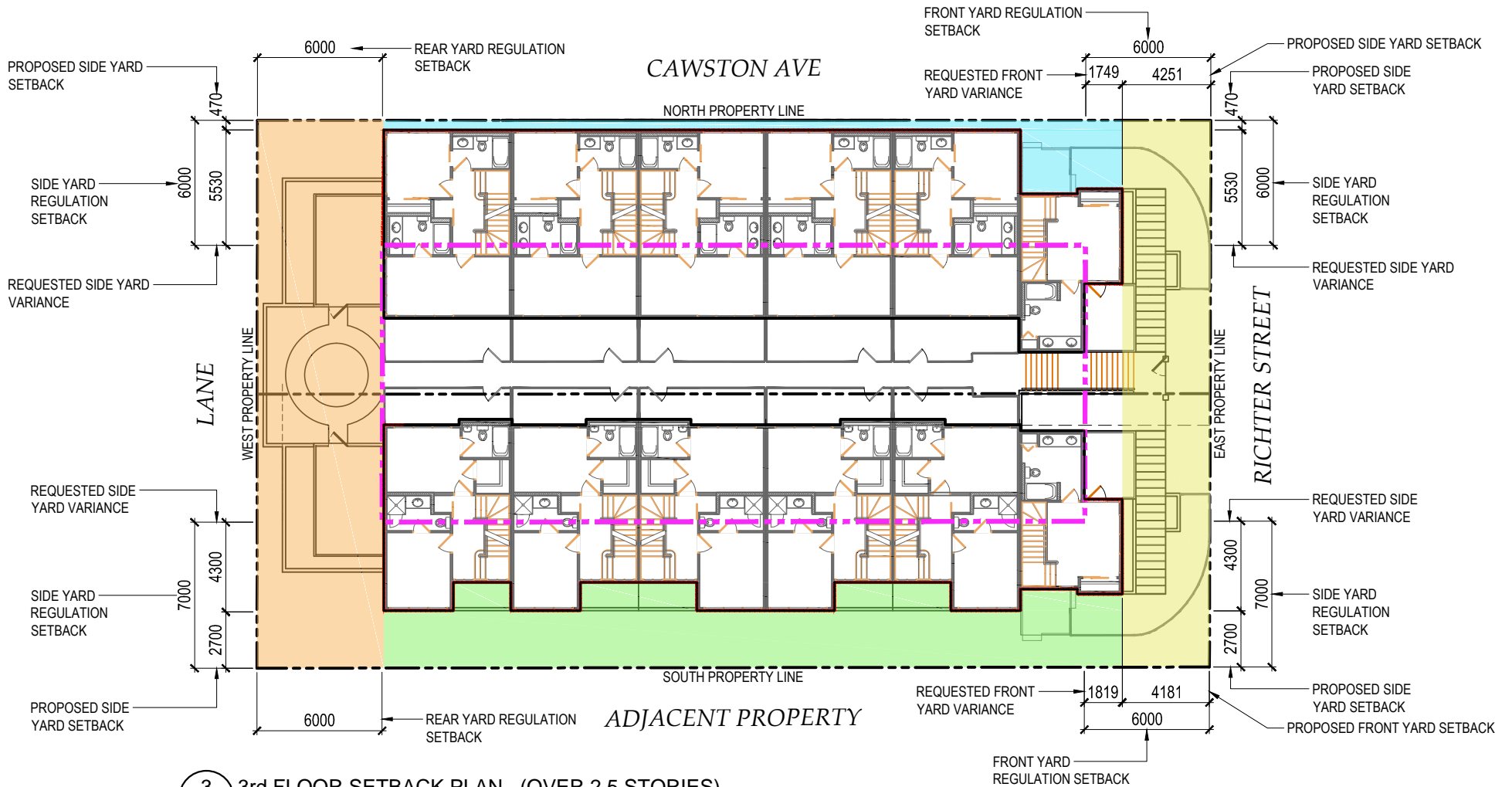
A handwritten signature in black ink, appearing to read 'DW', with a long horizontal flourish extending to the right.

David Watkin
DW/ta



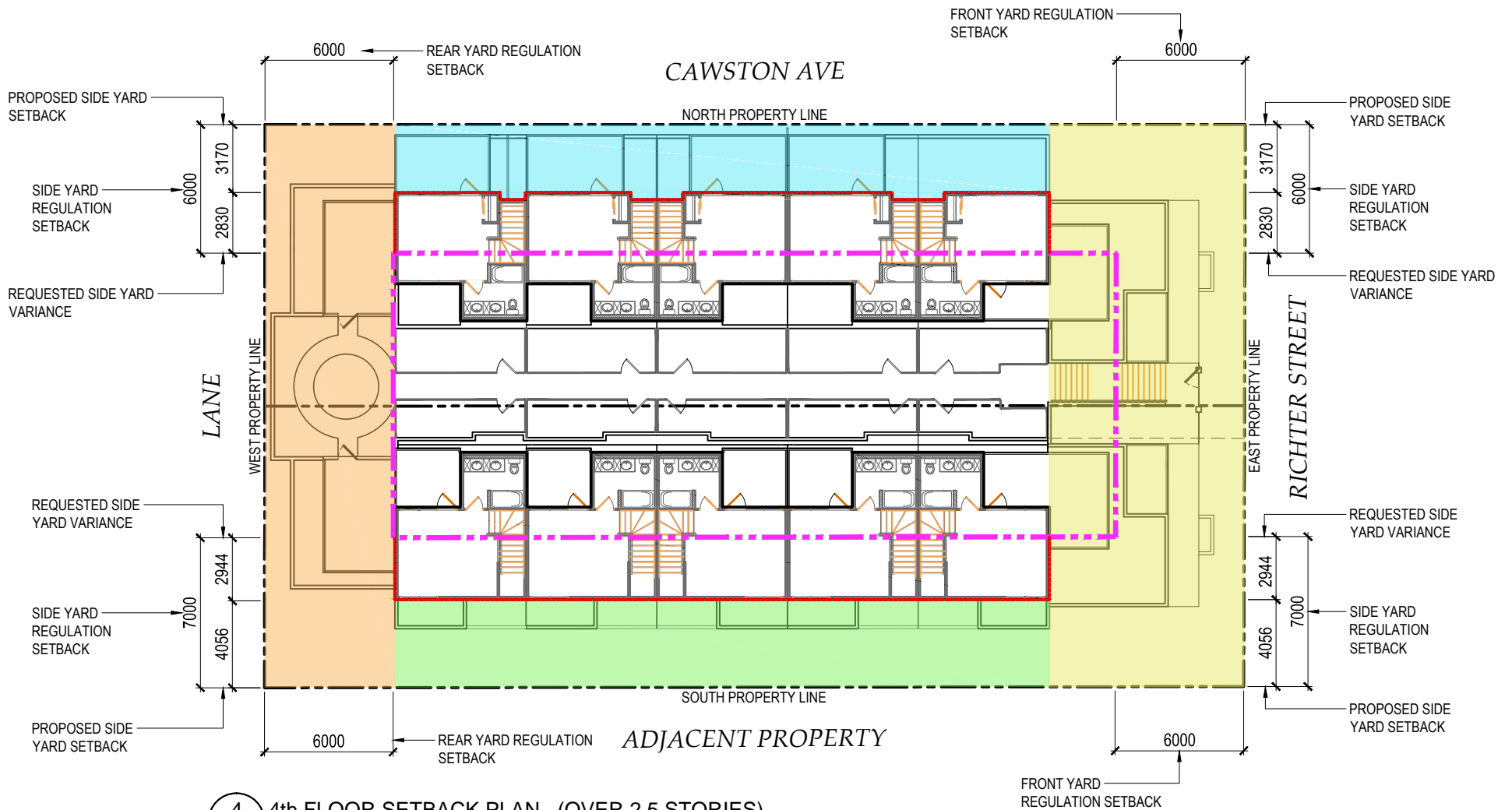
1 1st FLOOR SETBACK PLAN (UNDER 2.5 STORIES)
 A2.5 nts

- PROPOSED NORTH FRONT YARD
- PROPOSED EAST FRONT YARD
- PROPOSED SOUTH SIDE YARD
- PROPOSED WEST REAR YARD
- ENCROACHMENT
- PROPERTY LINE
- REGULATION SETBACK LINE



3 3rd FLOOR SETBACK PLAN (OVER 2.5 STORIES)
nts

- PROPOSED NORTH FRONT YARD
- PROPOSED EAST FRONT YARD
- PROPOSED SOUTH SIDE YARD
- PROPOSED WEST REAR YARD
- ENCROACHMENT
- PROPERTY LINE
- REGULATION SETBACK LINE



4 4th FLOOR SETBACK PLAN (OVER 2.5 STORIES)
A2.5 nts

- PROPOSED NORTH FRONT YARD
- PROPOSED EAST FRONT YARD
- PROPOSED SOUTH SIDE YARD
- PROPOSED WEST REAR YARD
- ENCROACHMENT
- PROPERTY LINE
- REGULATION SETBACK LINE

Development & Development Variance Permit DP17-0249 & DVP17-0250



This permit relates to land in the City of Kelowna municipally known as

1304 & 1308 Richter Street

and legally known as

Lot A District Lot 139 ODYD Plan EPP81393

The development has been approved subject to any attached terms and conditions, and to full compliance with the approved plans bearing the stamp of approval and the above described development permit number.

The present owner and any subsequent owner of the above described land must comply with any attached terms and conditions.

Date of Decision: June 12, 2018

Decision By: CITY COUNCIL

Issued Date: TBD

Development Permit Area: Comprehensive Development Permit Area

File Manager: Alec Warrender

This permit will not be valid if development has not commenced by June 12, 2020.

Existing Zone: RM5 – Medium Density Multiple Housing Future Land Use Designation: Multiple Unit Residential (Medium Density)

This is NOT a Building Permit.

In addition to your Development & Development Variance Permit, a Building Permit may be required prior to any work commencing. For further information, contact the City of Kelowna, Development Services Branch.

NOTICE

This permit does not relieve the owner or the owner's authorized agent from full compliance with the requirements of any federal, provincial or other municipal legislation, or the terms and conditions of any easement, covenant, building scheme or agreement affecting the building or land.

Owner: 1139096 BC Ltd
Address: 1593 Klein Road
City: West Kelowna, BC

Ryan Smith, Community Planning Department Manager
Community Planning & Strategic Investments

Date

1. SCOPE OF APPROVAL

This Development Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.

This Development Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this permit, noted in the Terms and Conditions below.

The issuance of a permit limits the permit holder to be in strict compliance with regulations of the Zoning Bylaw and all other Bylaws unless specific variances have been authorized by the Development Permit. No implied variances from bylaw provisions shall be granted by virtue of drawing notations that are inconsistent with bylaw provisions and that may not have been identified as required Variances by the applicant or Municipal staff.

2. CONDITIONS OF APPROVAL

- a) The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A";
- b) The exterior design and finish of the building to be constructed on the land be in accordance with Schedule "B";
- c) Landscaping to be provided on the land be in accordance with Schedule "C"; and
- d) The applicant be required to post with the City a Landscape Performance Security deposit in the form of a "Letter of Credit" in the amount of 125% of the estimated value of the landscaping, as determined by a Registered Landscape Architect.
- e) Council approved variances:

Section 13.11.6 (d) Development Regulations – Front Yard Setback

To vary the front yard setback for a portion of the building above 2 ½ storeys (3rd storey) from 6.0m required to 4.18m proposed.

Section 13.11.6 (e) Development Regulations – Side Yard Setback (South)

To vary the side yard setback for portions of the building below 2 ½ storeys from 4.5 m required to 2.76 m proposed.

To vary the side yard setback for portions of the building above 2 ½ storeys from 7.0 m required to 2.7 m for the 3rd storey and 4.05 m for the 4th storey.

Section 13.11.6 (e) Development Regulations – Side Yard Setback (North)

To vary the side yard setback for portions of the building below 2 ½ storeys from 1.5 m required to 0.47 m proposed.

To vary the side yard setback for portions of the building above 2 ½ storeys from 6.0 m required to 0.47 m for the 3rd and 4th storeys.

Section 13.11.6 (f) Development Regulations – Rear Yard Setback

To vary the rear yard setback from 7.0m required to 1.19m proposed.

This Development Permit and Development Variance Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

3. PERFORMANCE SECURITY

As a condition of the issuance of this Permit, Council is holding the security set out below to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Developer and be paid to the Developer or his or her designate if the security is returned. The condition of the posting of the security is that should the Developer fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the Municipality may use enter into an agreement with the property owner of the day to have the work carried out, and any surplus shall be paid over to the property own of the day. Should the Developer carry out the development permitted by this Permit within the time set out above, the security shall be returned to the Developer or his or her designate. There is filed accordingly:

- a) A Certified Cheque in the amount of TBD.

Before any bond or security required under this Permit is reduced or released, the Developer will provide the City with a statutory declaration certifying that all labour, material, workers' compensation and other taxes and costs have been paid.

4. Indemnification

Upon commencement of the works authorized by this Permit the Developer covenants and agrees to save harmless and effectually indemnify the Municipality against:

- a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality said Permit.

All costs, expenses, claims that may be incurred by the Municipality where the construction, engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

**The PERMIT HOLDER is the CURRENT LAND OWNER.
Security shall ONLY be returned to the signatory of the
Landscape Agreement or their designates.**

DRAFT

DESCRIPTION	DATE
PROJECT START	09/29/2017
DP SUBMISSION	10/27/2017

CONSULTANTS



1304 & 1308 Richter Street

DRAWING LIST

ARCHITECTURAL:

- A0 - COVER SHEET & INFO
- A1 - SITE PLAN
- A2 - PARKING/MAIN FLOOR PLAN
- A2.1 - SECOND FLOOR PLAN
- A2.2 - THIRD FLOOR PLAN
- A2.3 - FOURTH FLOOR PLAN
- A2.4 - ROOF PLAN
- A2.5 - SETBACK PLAN
- A3 - UNIT TYPE A FLOOR PLANS
- A3.1 - UNIT TYPE B FLOOR PLANS
- A3.2 - UNIT TYPE C FLOOR PLANS
- A3.3 - UNIT TYPE D FLOOR PLANS
- A3.4 - UNIT TYPE E FLOOR PLANS
- A3.5 - UNIT TYPE F FLOOR PLANS
- A3.6 - UNIT TYPE G FLOOR PLANS
- A4 - ELEVATIONS
- A4.1 - ELEVATIONS
- A4.2 - SECTIONS
- A4.3 - RENDERINGS

LANDSCAPE:

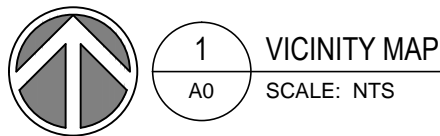
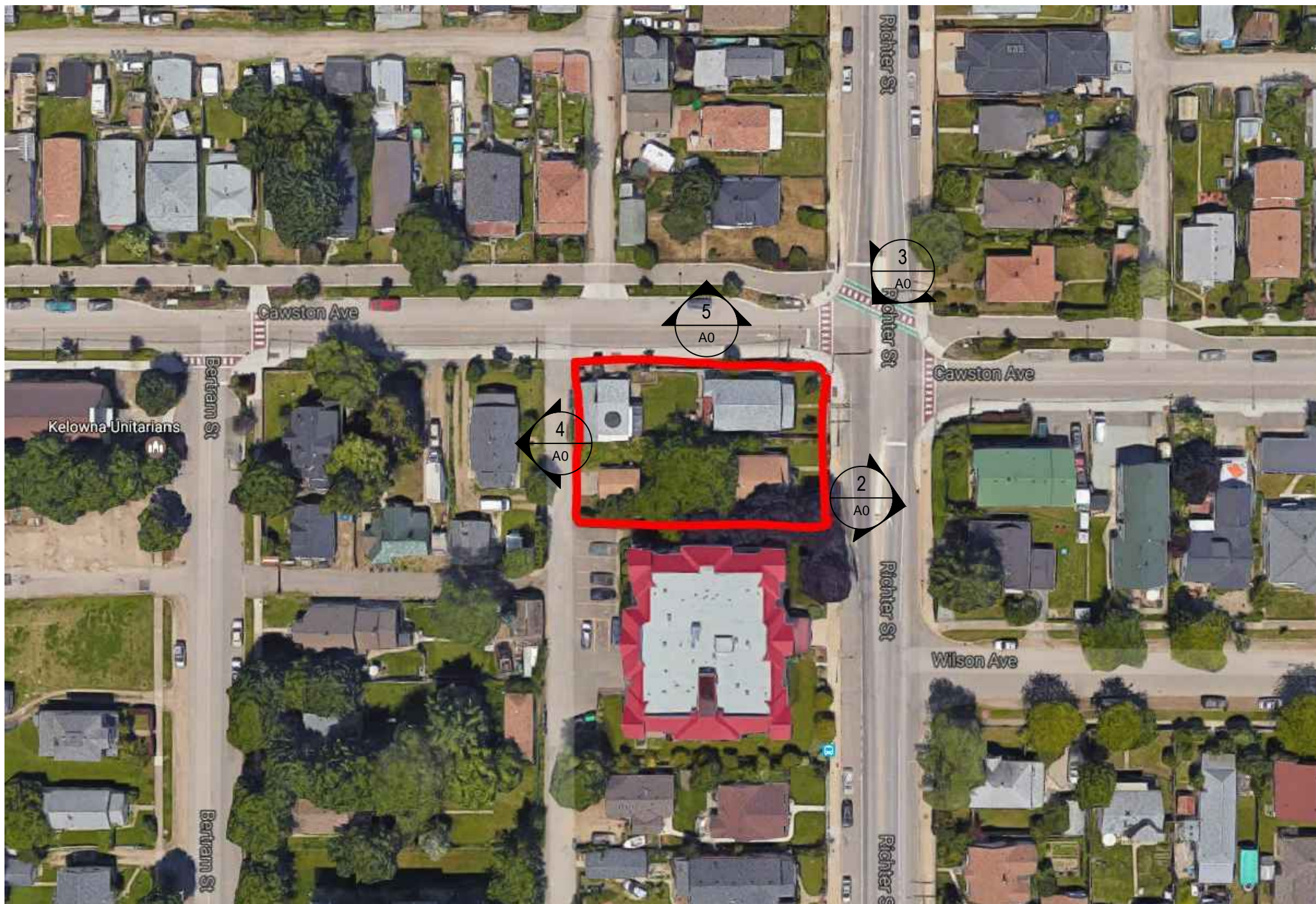
- L1 / 2 - CONCEPTUAL LANDSCAPE PLAN
- L2 / 2 - WATER CONSERVATION & IRRIGATION PLAN

F.A.R. CALCULATION	
REGULATION MAXIMUM	1.4
NET FLOOR AREA	1,738.38 m ²
ALLOWABLE DEDUCTABLE (50% Stair Area)	92.52 m ²
NET FLOOR AREA	1,645.86 m ²
SITE AREA	1,200.59 m ²
PROPOSED F.A.R.	1.37

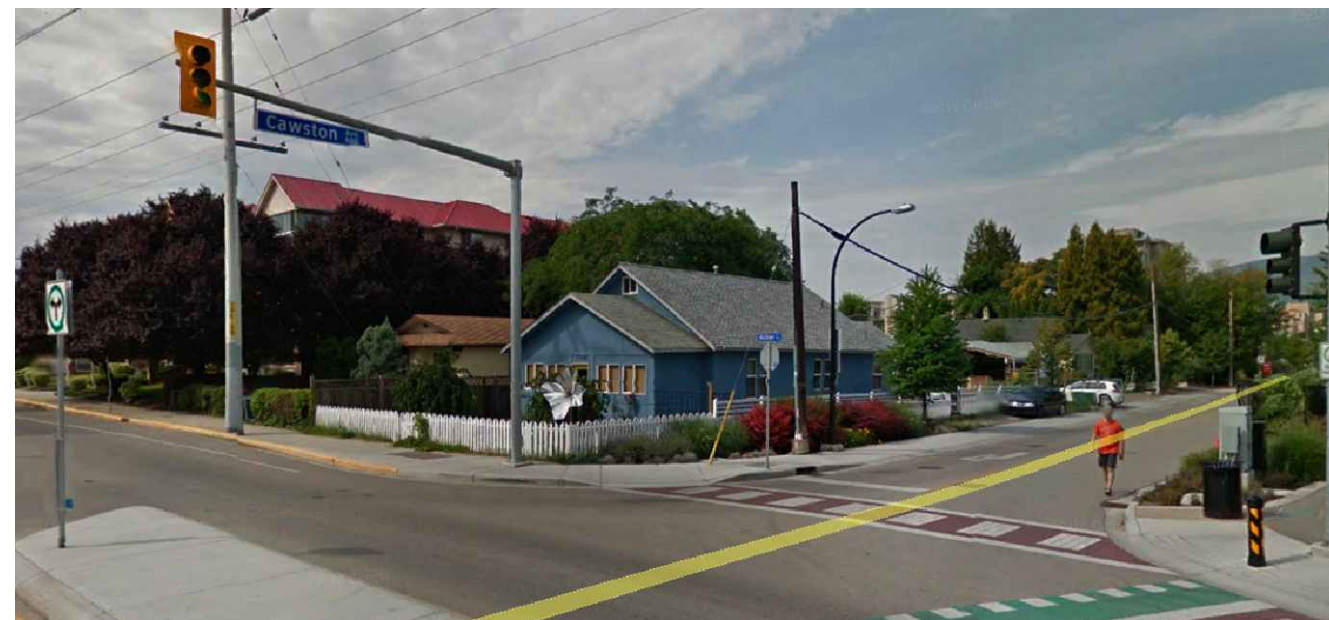
BYLAW SUMMARY: RM5 GUIDELINES			
CRITERIA	REGULATION	PROPOSED	VARIANCE
SITE AREA:	1,400 m ²	1,200.59 m ²	Required
LOT WIDTH:	30 m	26.29 m	Required
LOT DEPTH:	35 m	45.70 m	N/A
MAXIMUM FAR: (not including covered parking)	1.4	1.37	N/A
MAXIMUM SITE COVERAGE: (Building, Parking & Paving)	70%	70%	N/A
MAXIMUM HEIGHT:	4.5 Storeys/18 m	4 Storeys/12.5 m	N/A
FRONT YARD: (Richter St.)	1.5 m & 6 m	1.5 m & 4.1 m	Required
SIDE YARD: (South) Shared property line	4.5 m & 7 m	2.7 m & 2.7 m	Required
SIDE YARD: (Cawston Ave.)	1.5 m & 6 m	1.5 m - Varies 0.47 m - 3.17 m	Required
REAR YARD: (West) Laneway	1.5 m & 6 m	1.19 m at grade 6 m (Above Parkade)	Required
PARKING STALLS:	18 (150%)	24 (200%)	N/A
BICYCLE PARKING:	6 Class 1 & 3 Class 2	24 Class 1(2 per unit) & 10 Class 2	N/A
PRIVATE AMENITY SPACE: (25 sq.m x 12)	300 m ²	359.96 m ² Balconies, Patios & Decks 74.72 m ² Passive Private Space 137.89 m ² Extensive Green Roof 572.57 m ² Total Private Space	N/A

UNIT & AREA SCHEDULE			
UNIT TYPE	TOTAL UNIT AREA	# OF UNITS	TOTAL NET UNIT AREAS
UNIT A	147.78 m ²	x 1	147.78 m ²
UNIT B	148.18 m ²	x 3	444.54 m ²
UNIT C	148.35 m ²	x 1	148.35 m ²
UNIT D	145.17 m ²	x 1	145.17 m ²
UNIT E	144.96 m ²	x 3	434.88 m ²
UNIT F	145.12 m ²	x 1	145.12 m ²
UNIT G	136.27 m ²	x 2	272.54 m ²
TOTAL NET UNIT AREA		12 Units	1,738.38 m ²

NET AREA SUMMARY	
GROUND FLOOR - Residential Net Area	195.19 m ²
SECOND FLOOR - Residential Net Area	636.26 m ²
THIRD FLOOR - Residential Net Area	586.83 m ²
FOURTH FLOOR - Residential Net Area	320.10 m ²
NET FLOOR AREA	1,738.38 m ²



2 EAST ADJACENT PROPERTY
SCALE: NTS



3 SOUTH ADJACENT PROPERTY
SCALE: NTS



4 WEST ADJACENT PROPERTY
SCALE: NTS



5 NORTH ADJACENT PROPERTY
SCALE: NTS

SCHEDULE A

This forms part of application

DP17-0249 & DP17-0250

Planner
Initials

AW



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CLIENT

D.McLean Construction Ltd
1102 - 1633 West 10th Avenue
Vancouver, B.C.
V6J 0B1

PROJECT

PROJECT NAME
1304 & 1308 Richter Street
Kelowna, B.C.

DRAWING

Cover Sheet

BUILDING PERMIT

BP2017-XX

DEVELOPMENT PERMIT

DP2017-XX

FILE

2017-12-RK

DATE

2017/10/27

DRAWING NUMBER

AS INDICATED

DRAWN BY

HA

SCALE

AS INDICATED

A0

DESCRIPTION	DATE
PROJECT START	09/29/2017
DP SUBMISSION	10/27/2017

CONSULTANTS



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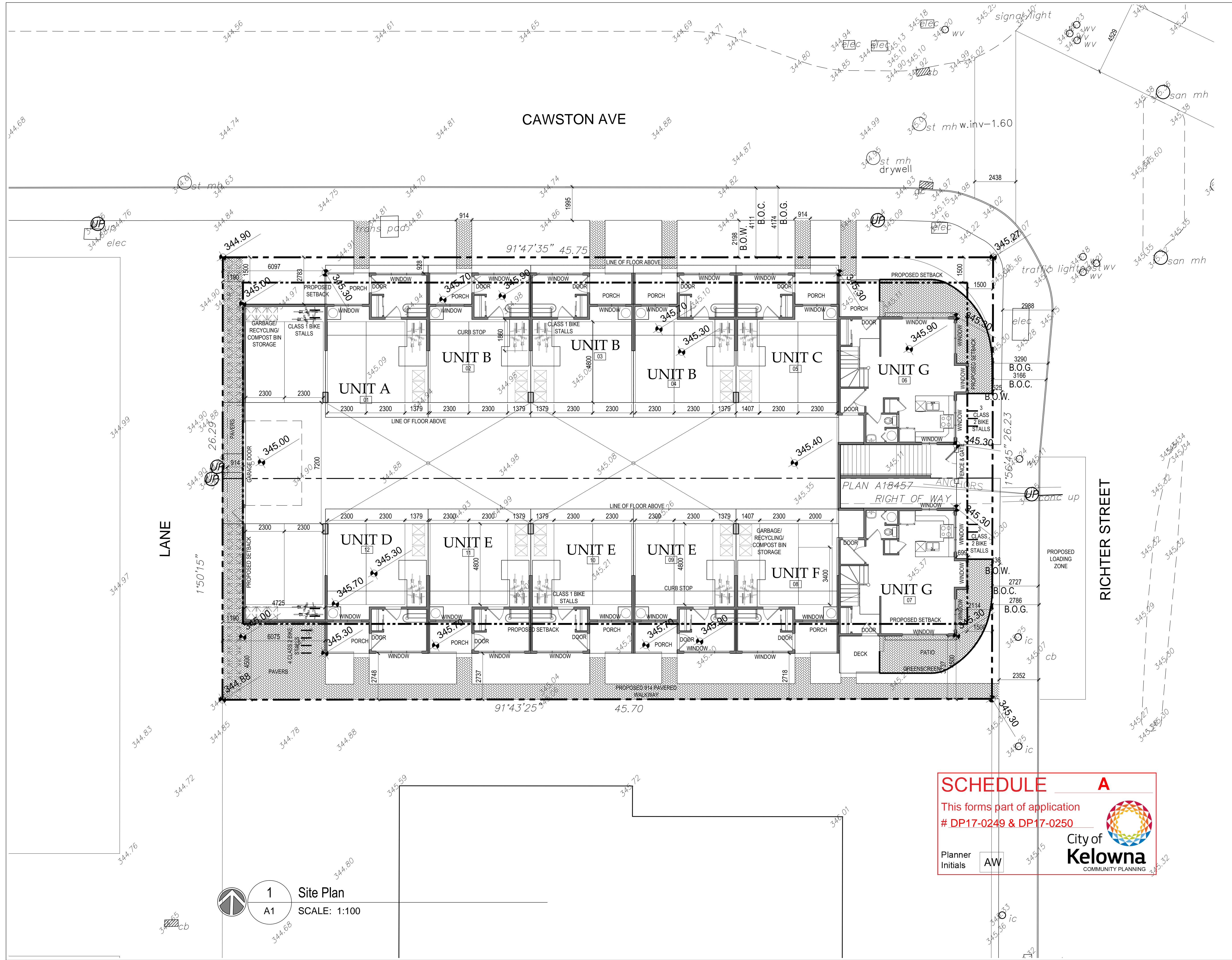
CLIENT
D.McLean Construction Ltd
1102 - 1633 West 10th Avenue
Vancouver, B.C.
V6J 0B1

PROJECT
PROJECT NAME
1304 & 1308 Richter Street
Kelowna, B.C.

DRAWING
Site Plan

BUILDING PERMIT
BP2017-XX
DEVELOPMENT PERMIT
DP2017-XX
FILE
2017-12-RK
DATE
2017/10/27
DRAWING NUMBER
AS INDICATED

A1



SCHEDULE

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DP17-0249 & DP17-0250

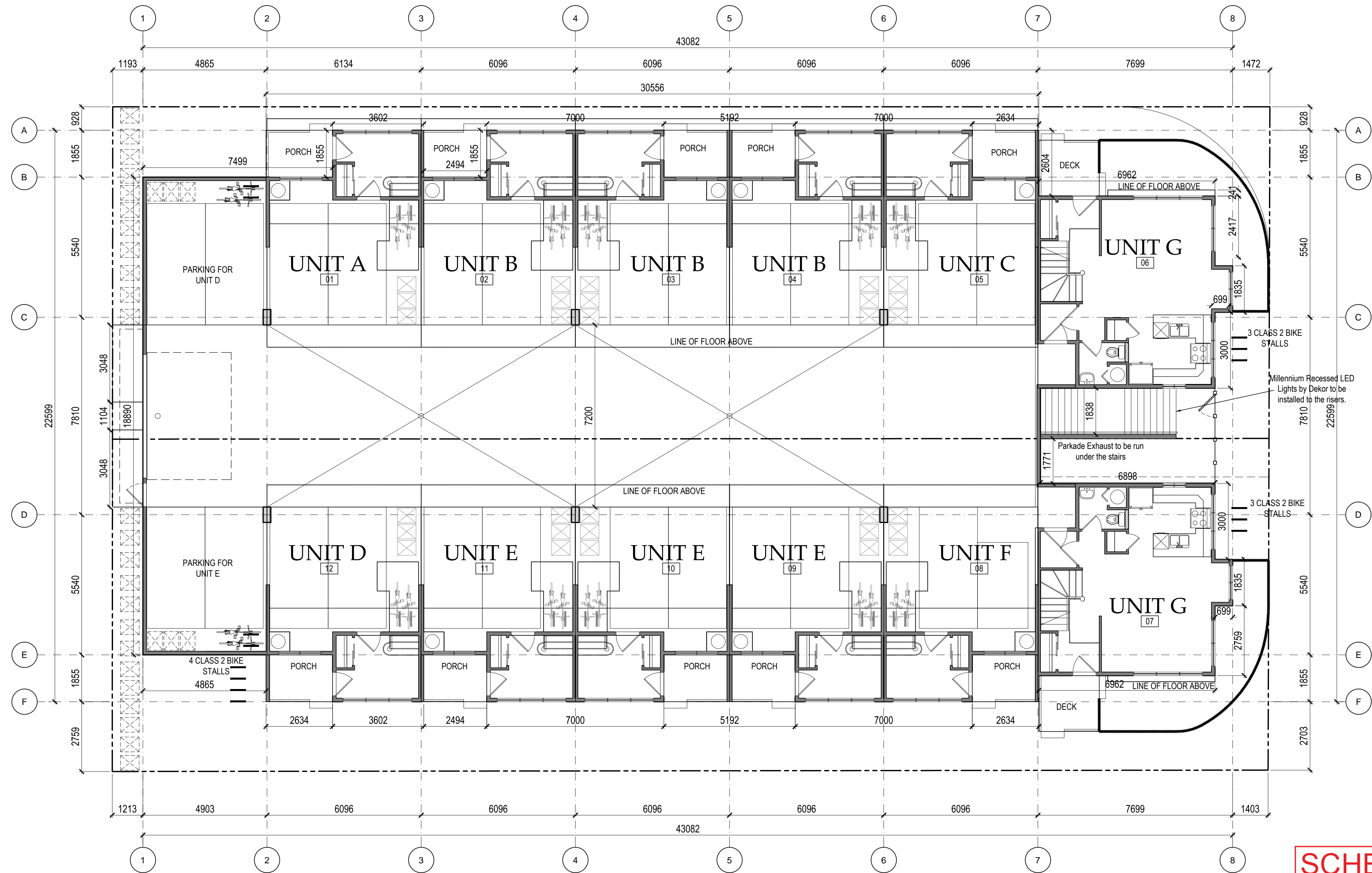
City of
Kelowna
COMMUNITY PLANNING

Planner Initials **AW**

1
A1 **Site Plan**
SCALE: 1:100

DESCRIPTION	DATE
PROJECT START	09/29/2017
DP SUBMISSION	10/27/2017

CONSULTANTS



1 Parking/Main Floor Plan
A2 SCALE: 1:100

FAR CALCULATION
SITE AREA: 1,200.59 m²
Main Floor Area: 195.19 m²
2nd Floor Area: 636.26 m²
3rd Floor Area: 586.83 m²
4th Floor Area: 320.10 m²
Total Net Floor Area: 1738.38 m²
Allowable Deductible (50% of stairs): 92.52 m²
Total Net Floor Area - Deductible = 1645.86

1645.86/1200.59 = 1.37 F.A.R.

SITE COVERAGE CALCULATION
SITE AREA: 1,200.59 m²
Main Floor Area: 842.73 m²
842.73 / 1200.59 = 0.70 x 100 = 70%

SCHEDULE A

This forms part of application
DP17-0249 & DP17-0250

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City of Kelowna
COMMUNITY PLANNING



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CLIENT
D.McLean Construction Ltd
1102 - 1633 West 10th Avenue
Vancouver, B.C.
V6J 0B1

PROJECT
PROJECT NAME
1304 & 1308 Richter Street
Kelowna, B.C.

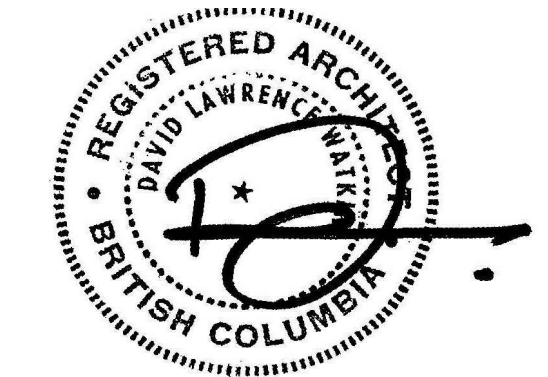
DRAWING
Parking/Main Floor Plan

BUILDING PERMIT
BP2017-XX
DEVELOPMENT PERMIT
DP2017-XX
FILE
2017-12-RK
DATE
2017/10/27
DRAWING NUMBER
HA
SCALE
AS INDICATED

A2

DESCRIPTION	DATE
PROJECT START	09/29/2017
DP SUBMISSION	10/27/2017

CONSULTANTS



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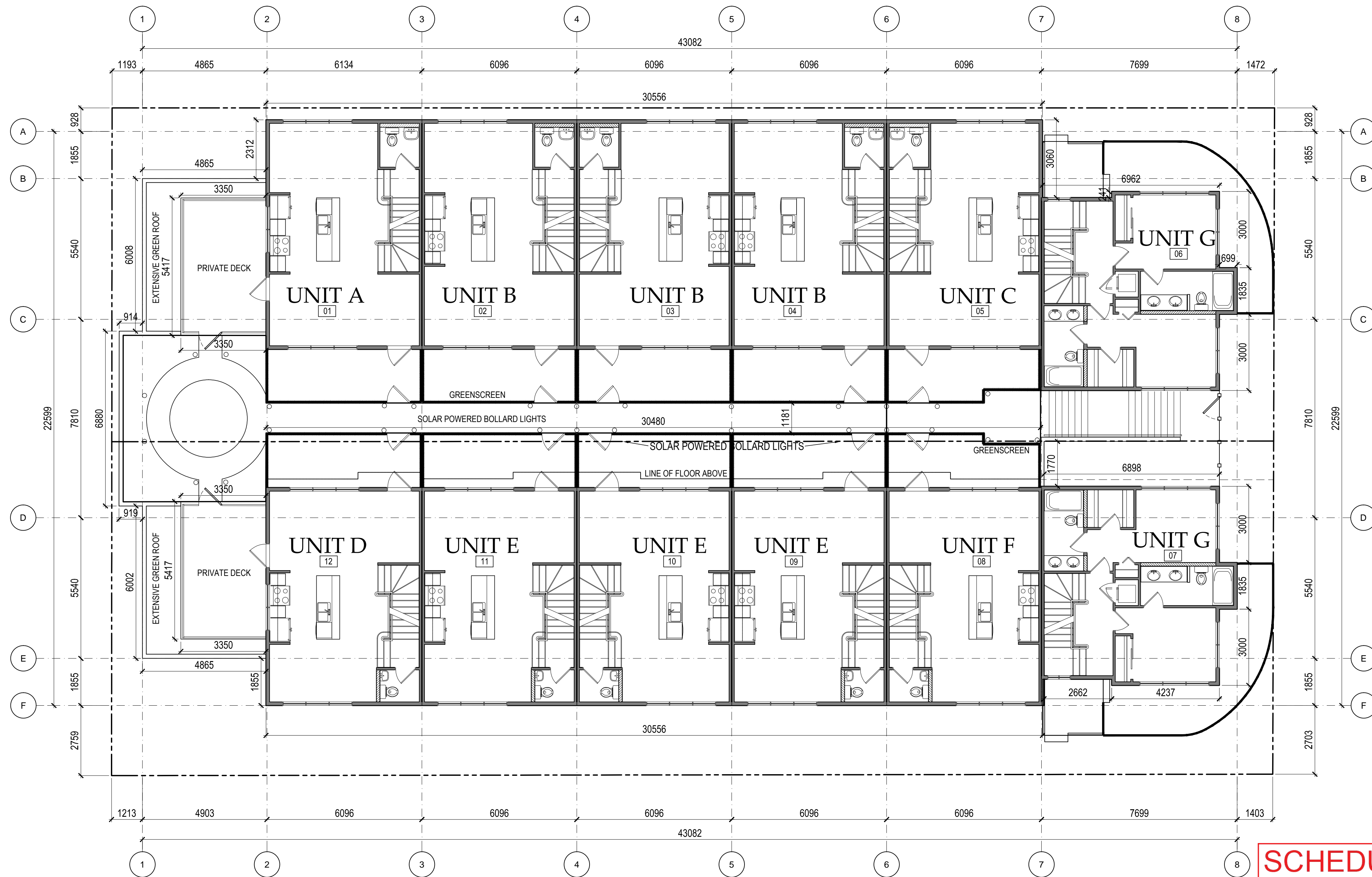
CLIENT
D.McLean Construction Ltd
1102 - 1633 West 10th Avenue
Vancouver, B.C.
V6J 0B1

PROJECT
PROJECT NAME
1304 & 1308 Richter Street
Kelowna, B.C.

DRAWING
Second Floor Plan

BUILDING PERMIT
BP2017-XX
DEVELOPMENT PERMIT
DP2017-XX
FILE
2017-12-RK
DATE
2017/10/27
DRAWING NUMBER
DRAFTSMAN
HA
SCALE
AS INDICATED

A2.1



1 Second Floor Plan
A2.1 SCALE: 1:100

FAR CALCULATION
SITE AREA: 1,200.59 m²
Main Floor Area: 195.19 m²
2nd Floor Area: 636.26 m²
3rd Floor Area: 586.83 m²
4th Floor Area: 320.10 m²
Total Net Floor Area: 1738.38 m²
Allowable Deductible (50% of stairs): 92.52 m²
Total Net Floor Area - Deductible = 1645.86

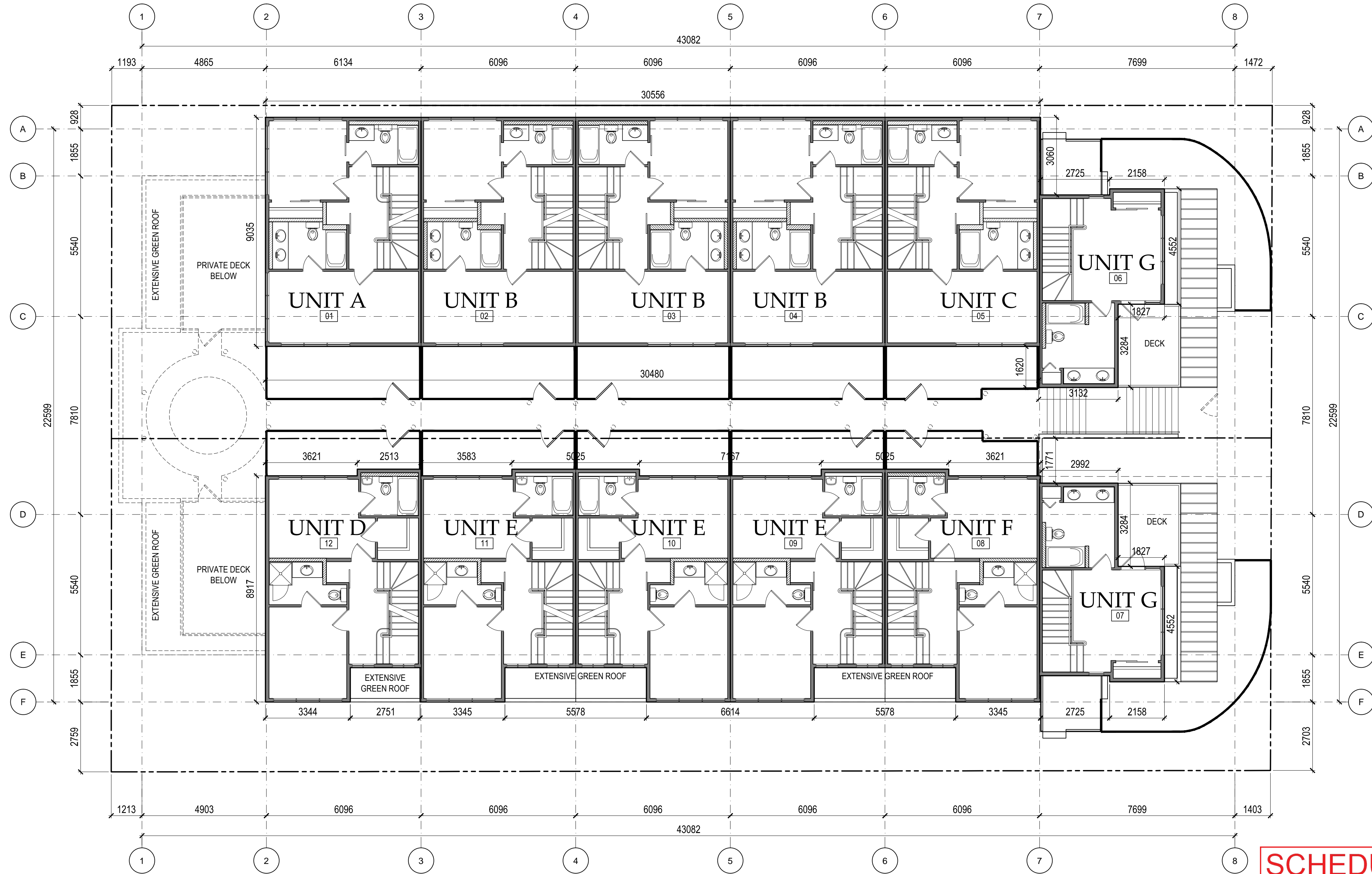
1645.86/1200.59 = 1.37 F.A.R.

SCHEDULE A
This forms part of application
DP17-0249 & DP17-0250
Planner Initials **AW**
City of Kelowna
COMMUNITY PLANNING

SITE COVERAGE CALCULATION
SITE AREA: 1,200.59 m²
Main Floor Area: 842.73 m²
842.73 / 1200.59 = 0.70 x 100 = 70%

DESCRIPTION	DATE
PROJECT START	09/29/2017
DP SUBMISSION	10/27/2017

CONSULTANTS



1 Third Floor Plan
A2.2 SCALE: 1:100

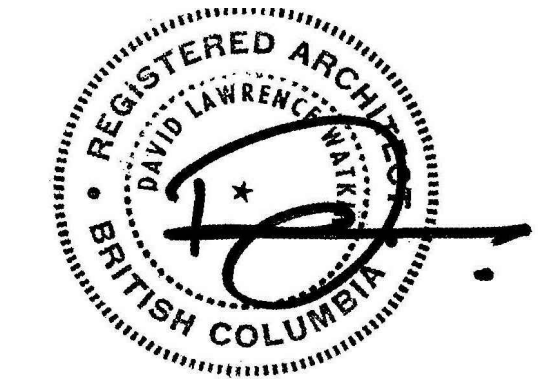
FAR CALCULATION
SITE AREA: 1,200.59 m²
Main Floor Area: 195.19 m²
2nd Floor Area: 636.26 m²
3rd Floor Area: 586.83 m²
4th Floor Area: 320.10 m²
Total Net Floor Area: 1738.38 m²
Allowable Deductible (50% of stairs): 92.52 m²
Total Net Floor Area - Deductible = 1645.86

$1645.86/1200.59 = 1.37 \text{ F.A.R.}$

SCHEDULE A
This forms part of application
DP17-0249 & DP17-0250
Planner Initials **AW**

City of Kelowna
COMMUNITY PLANNING

SITE COVERAGE CALCULATION
SITE AREA: 1,200.59 m²
Main Floor Area: 842.73 m²
 $842.73 / 1200.59 = 0.70 \times 100 = 70\%$



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CLIENT
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1102 - 1633 West 10th Avenue
Vancouver, B.C.
V6J 0B1

PROJECT
PROJECT NAME
1304 & 1308 Richter Street
Kelowna, B.C.

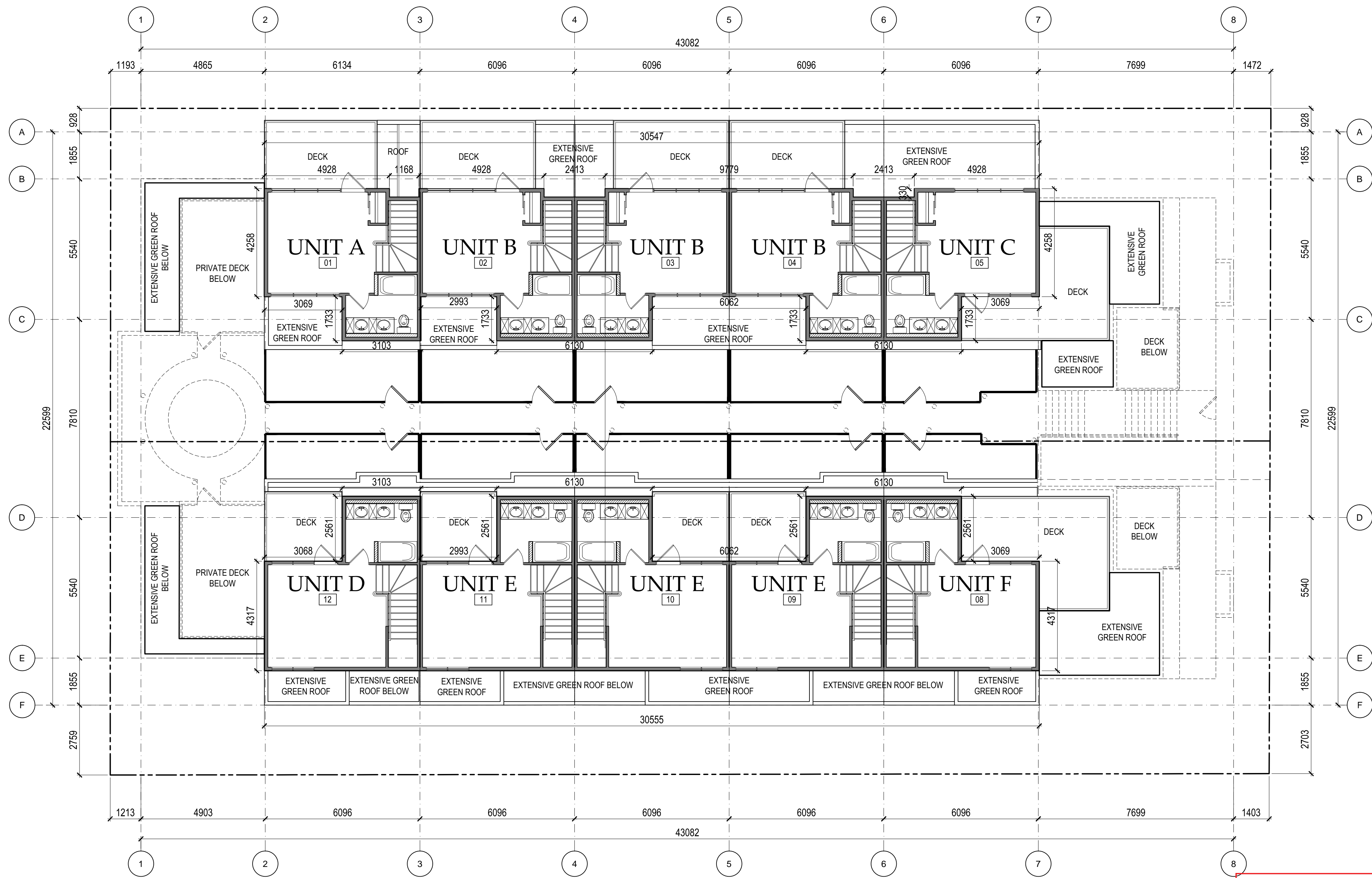
DRAWING
Third Floor Plan

BUILDING PERMIT
BP2017-XX
DEVELOPMENT PERMIT
DP2017-XX
FILE
2017-12-RK
DATE
2017/10/27
DRAWING NUMBER
DRAWN BY
HA
SCALE
AS INDICATED

A2.2

DESCRIPTION	DATE
PROJECT START	09/29/2017
DP SUBMISSION	10/27/2017

CONSULTANTS



1 Fourth Floor Plan
A2.3 SCALE: 1:100

FAR CALCULATION
SITE AREA: 1,200.59 m²
Main Floor Area: 195.19 m²
2nd Floor Area: 636.26 m²
3rd Floor Area: 586.83 m²
4th Floor Area: 320.10 m²
Total Net Floor Area: 1738.38 m²
Allowable Deductible (50% of stairs): 92.52 m²
Total Net Floor Area - Deductible = 1645.86

$1645.86 / 1200.59 = 1.37 \text{ F.A.R.}$

SCHEDULE**A**

This forms part of application
DP17-0249 & DP17-0250

Planner Initials **AW**

City of Kelowna
COMMUNITY PLANNING

SITE COVERAGE CALCULATION
SITE AREA: 1,200.59 m²
Main Floor Area: 842.73 m²
 $842.73 / 1200.59 = 0.70 \times 100 = 70\%$



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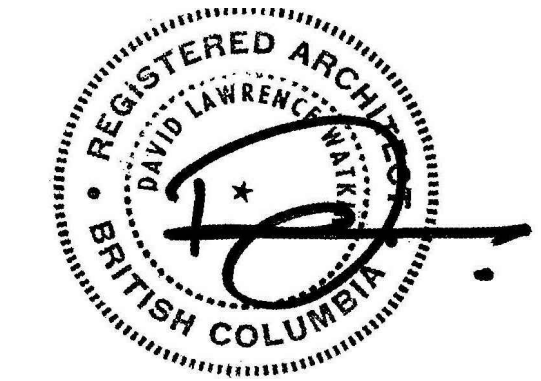
PROJECT
PROJECT NAME
1304 & 1308 Richter Street
Kelowna, B.C.

DRAWING
Fourth Floor Plan

BUILDING PERMIT
BP2017-XX
DEVELOPMENT PERMIT
DP2017-XX
FILE
2017-12-RK
DATE
2017/10/27
DRAWING NUMBER
A2.3

DESCRIPTION	DATE
PROJECT START	09/29/2017
DP SUBMISSION	10/27/2017

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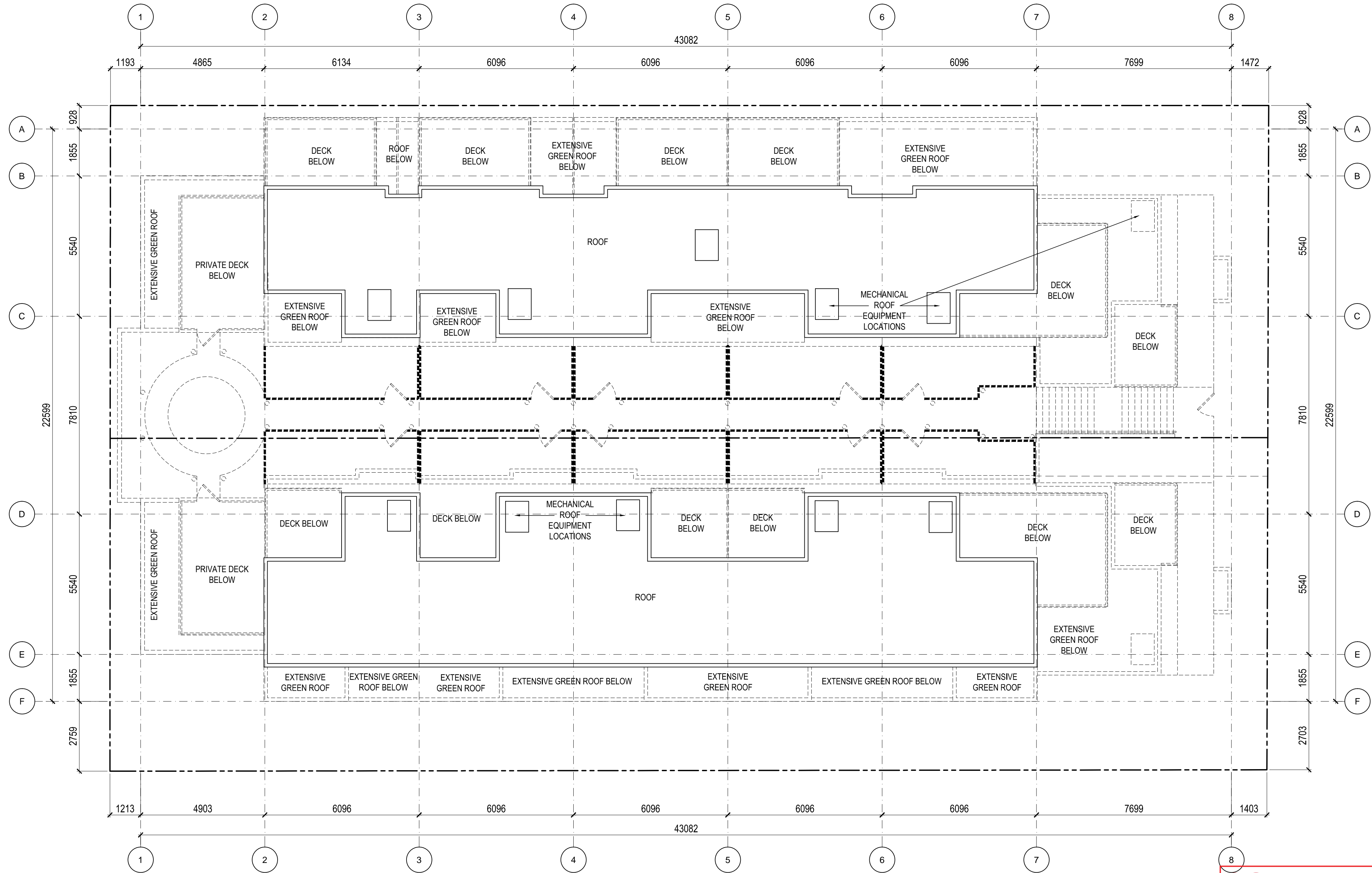
CLIENT
D.McLean Construction Ltd
1102 - 1633 West 10th Avenue
Vancouver, B.C.
V6J 0B1

PROJECT
PROJECT NAME
1304 & 1308 Richter Street
Kelowna, B.C.

DRAWING
Roof Plan

BUILDING PERMIT
BP2017-XX
DEVELOPMENT PERMIT
DP2017-XX
FILE
2017-12-RK
DATE
2017/10/27
DRAWING NUMBER
DRAFTSMAN
HA
SCALE
AS INDICATED

A2.4



1 Roof Plan
A2.4 SCALE: 1:100

EXTENSIVE GREEN ROOF:
-MAXIMUM SOIL DEPTH WOULD BE 6" BUT LIKELY AVERAGE 3" - 4" TO ACCOMMODATE PLANTS, DROUGHT TOLERANT SUCCULENTS AND GRASSES, SUCH AS SEDUMS (ANGELINA), LAVENDER (BLUE CUSHION), CACTI, AND BLUEBUNCH WHEAT GRASS, WHICH DO NOT REQUIRE WATERING ONCE ESTABLISHED.
VEGETATION - SEE ABOVE
IRRIGATION - DURING PLANT ESTABLISHMENT ONLY
ACCESS - TENANT CANNOT BE REQUESTED TO MAINTAIN ADJACENT AREAS OF GREEN ROOF, SO MAINTENANCE COULD BE PERFORMED, BI-ANNUALLY, DURING SPRING AND FALL WINDOW WASHING, USING A GENIE LIFT, FOR THE BUILDING PERIMETER. INTERIOR ROOF AND FOURTH FLOOR GREEN ROOF AREAS COULD BE SERVICED BY ACCESS LADDERS EXTENDING DOWN FROM THE ROOF ABOVE. ROOF TOP ANCHORS SHOULD BE PROVIDED FOR ANCHORAGE OF ROPES.
DRAINAGE
- ASSEMBLY WILL GENERALLY BE CONSTRUCTED AS FOLLOWS:
PLANTS/GROUND COVER
TOP SOIL
ROOT BARRIER
FILTER CLOTH
DRAIN SHEET/DIMPLE-BOARD
2 PLY ROOFING MEMBRANE
ROOF DRAINS TO BE WATTS TYPE ROOF DRAINS W/ FILTER BASKET

FAR CALCULATION
SITE AREA: 1,200.59 m²
Main Floor Area: 195.19 m²
2nd Floor Area: 636.26 m²
3rd Floor Area: 586.83 m²
4th Floor Area: 320.10 m²
Total Net Floor Area: 1738.38 m²
Allowable Deductible (50% of stairs): 92.52 m²
Total Net Floor Area - Deductible = 1645.86

1645.86/1200.59 = 1.37 F.A.R.

SCHEDULE

A

This forms part of application

DP17-0249 & DP17-0250

Planner Initials

AW

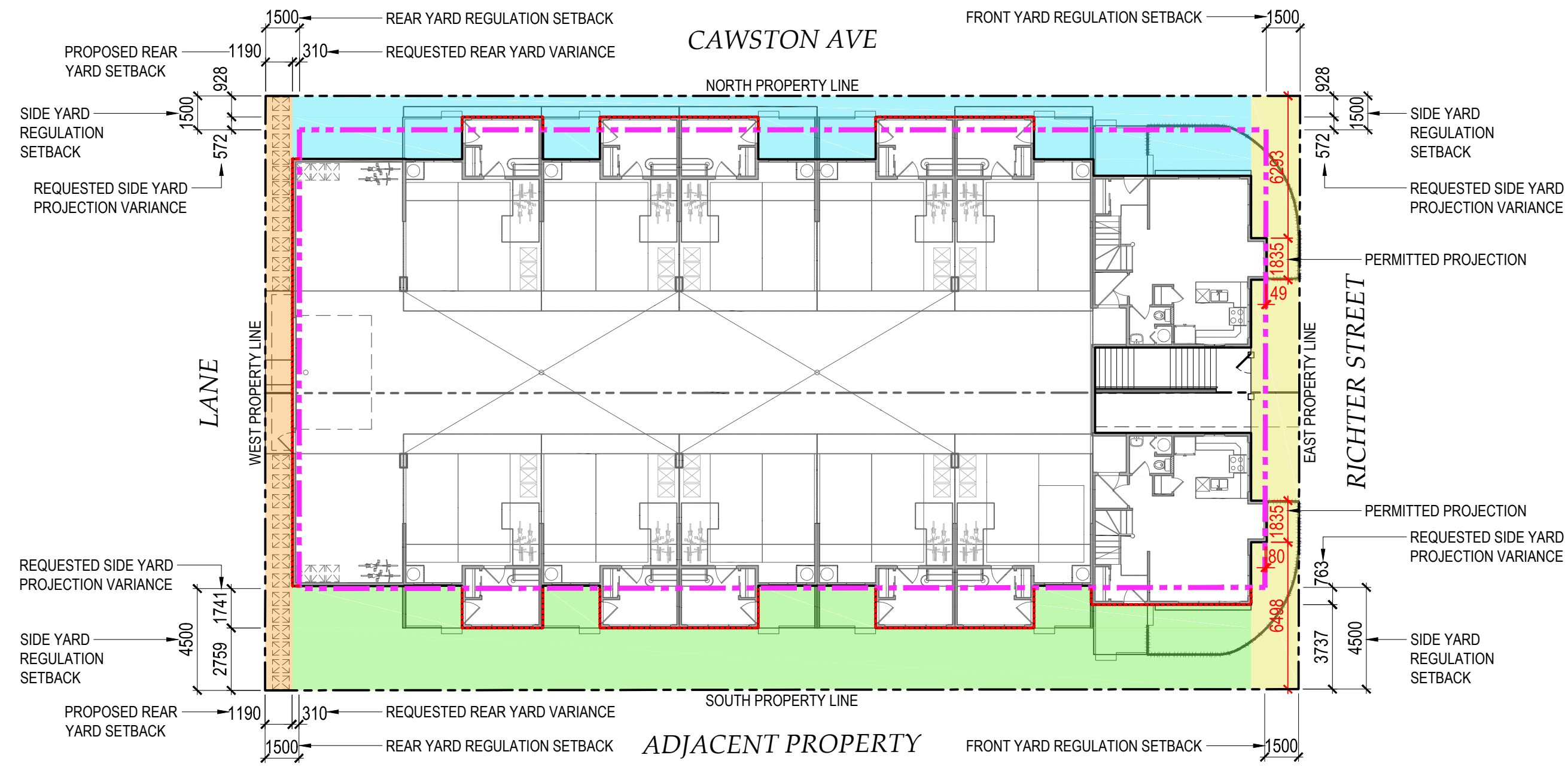
City of Kelowna

COMMUNITY PLANNING

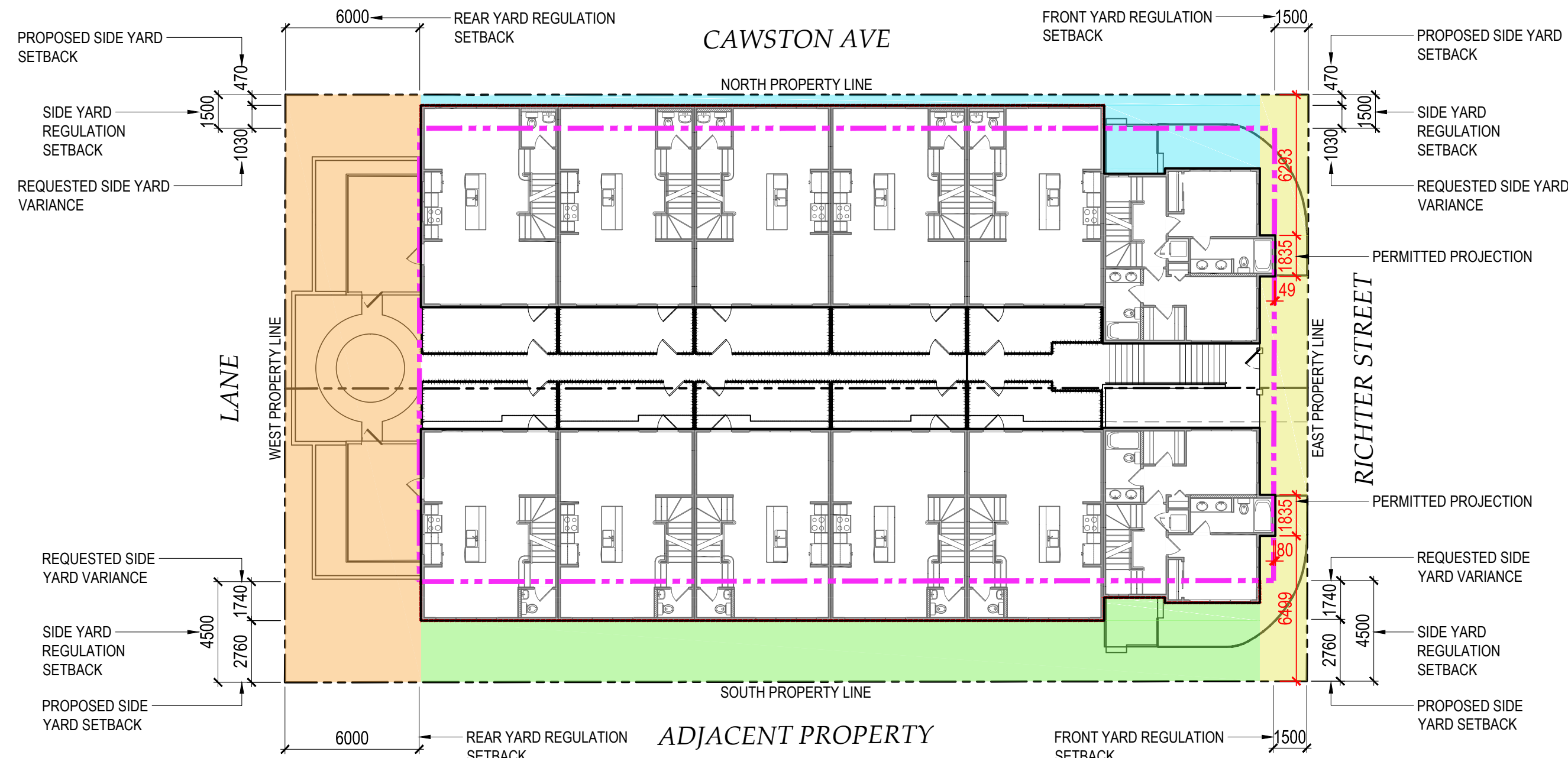
SITE COVERAGE CALCULATION
SITE AREA: 1,200.59 m²
Main Floor Area: 842.73 m²
842.73 / 1200.59 = 0.70 x 100 = 70%

DESCRIPTION	DATE
PROJECT START	09/29/2017
DP SUBMISSION	10/27/2017

CONSULTANTS



1 1st FLOOR SETBACK PLAN (UNDER 2.5 STORIES)
A2.5 1:200



2 2nd FLOOR SETBACK PLAN (UNDER 2.5 STORIES)
A2.5 1:200

- PROPOSED NORTH FRONT YARD
- PROPOSED EAST FRONT YARD
- PROPOSED SOUTH SIDE YARD
- PROPOSED WEST REAR YARD
- ENCROACHMENT
- PROPERTY LINE
- REGULATION SETBACK LINE

SCHEDULE A

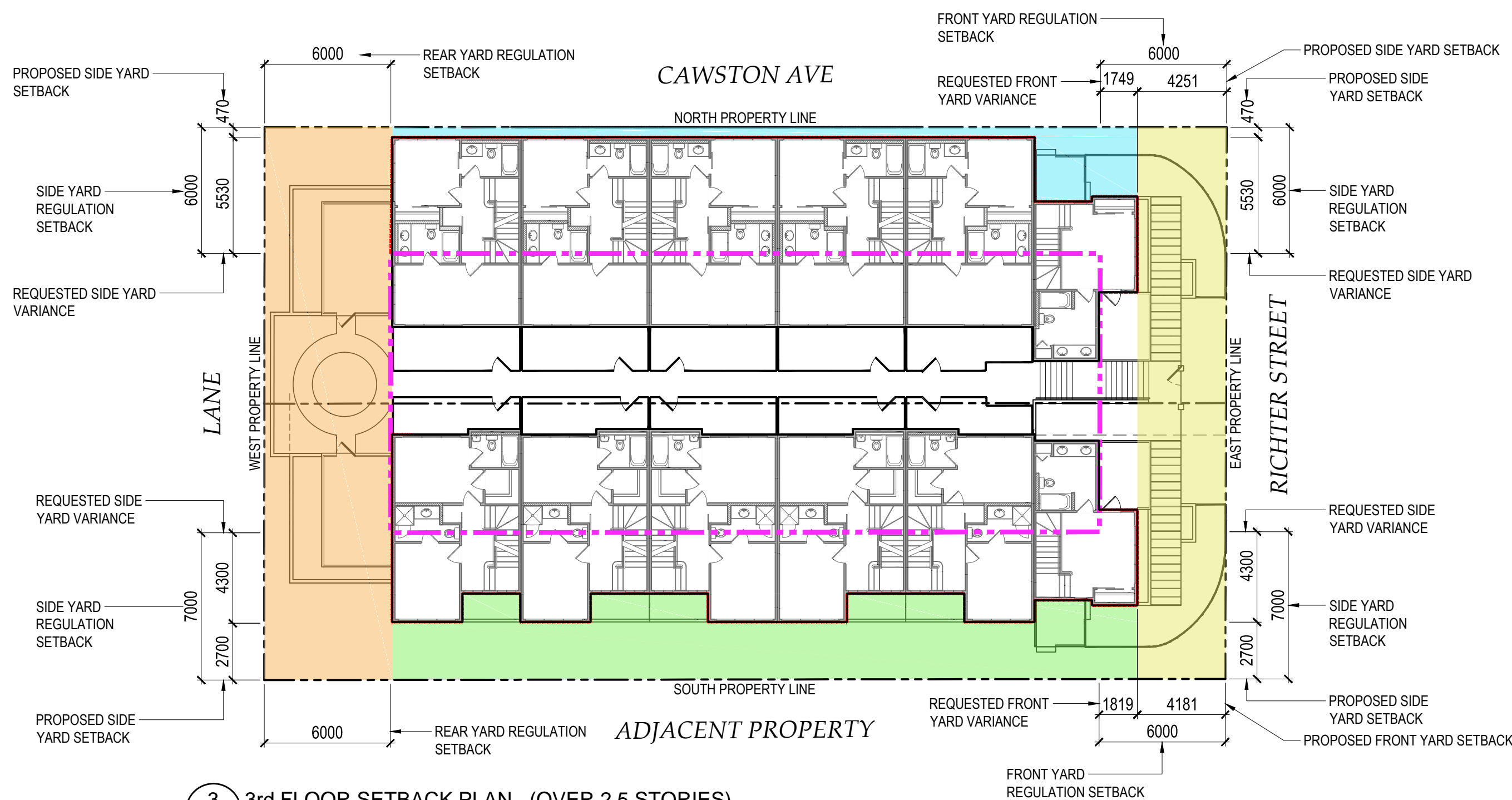
This forms part of application
DP17-0249 & DP17-0250

Planner Initials **AW**

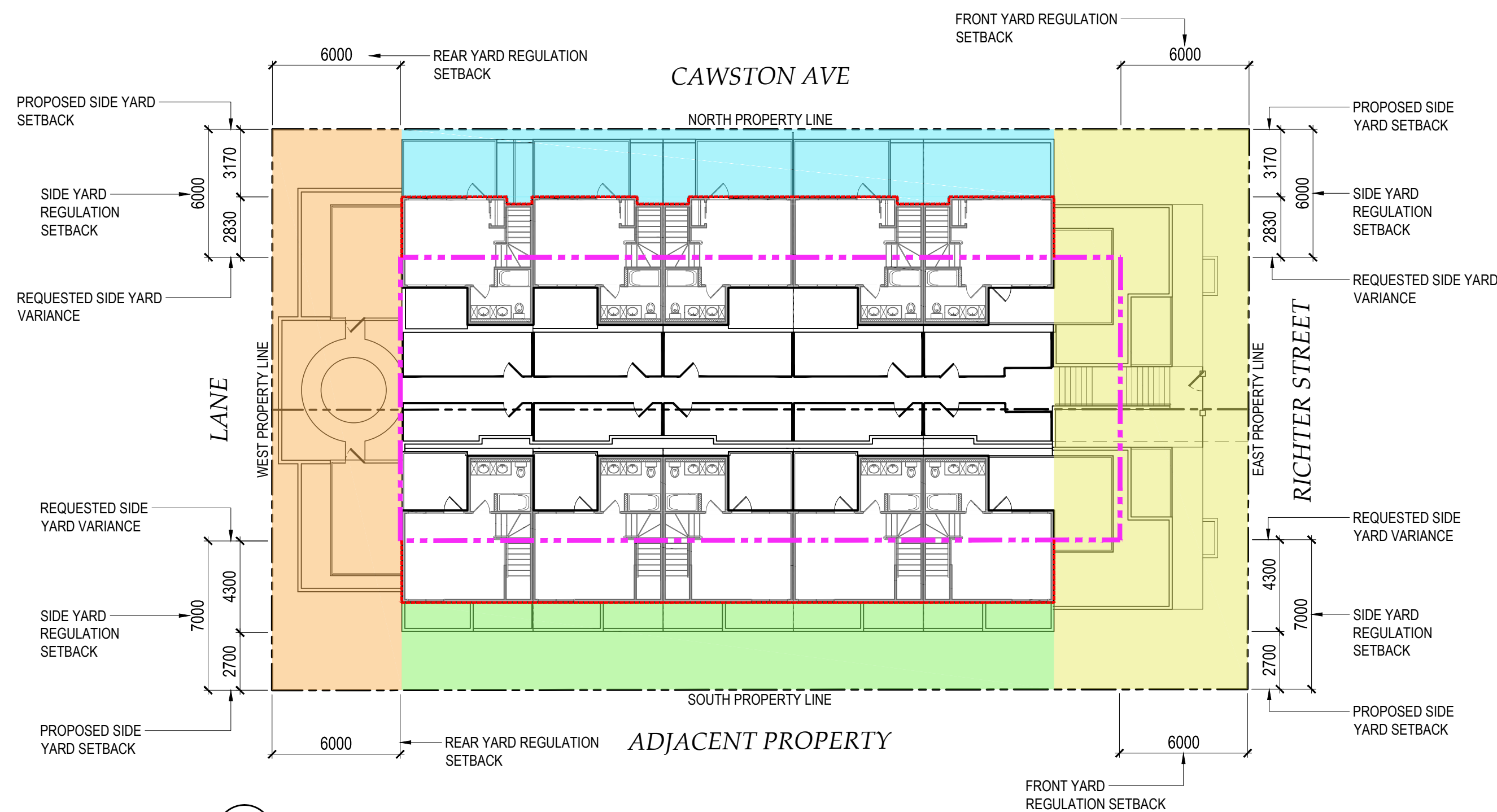
City of Kelowna
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3 3rd FLOOR SETBACK PLAN (OVER 2.5 STORIES)
A2.5 1:200



4 4th FLOOR SETBACK PLAN (OVER 2.5 STORIES)
A2.5 1:200

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V6J 0B1

PROJECT
PROJECT NAME
1304 & 1308 Richter Street
Kelowna, B.C.

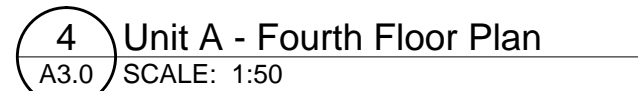
DRAWING
Setback Plan

BUILDING PERMIT
BP2017-XX
DEVELOPMENT PERMIT
DP2017-XX
FILE
2017-12-RK
DATE
2017/10/27
DRAWING NUMBER
HA
SCALE
AS INDICATED

A2.5



2 Unit A - Second Floor Plan
A3.0 SCALE: 1:50

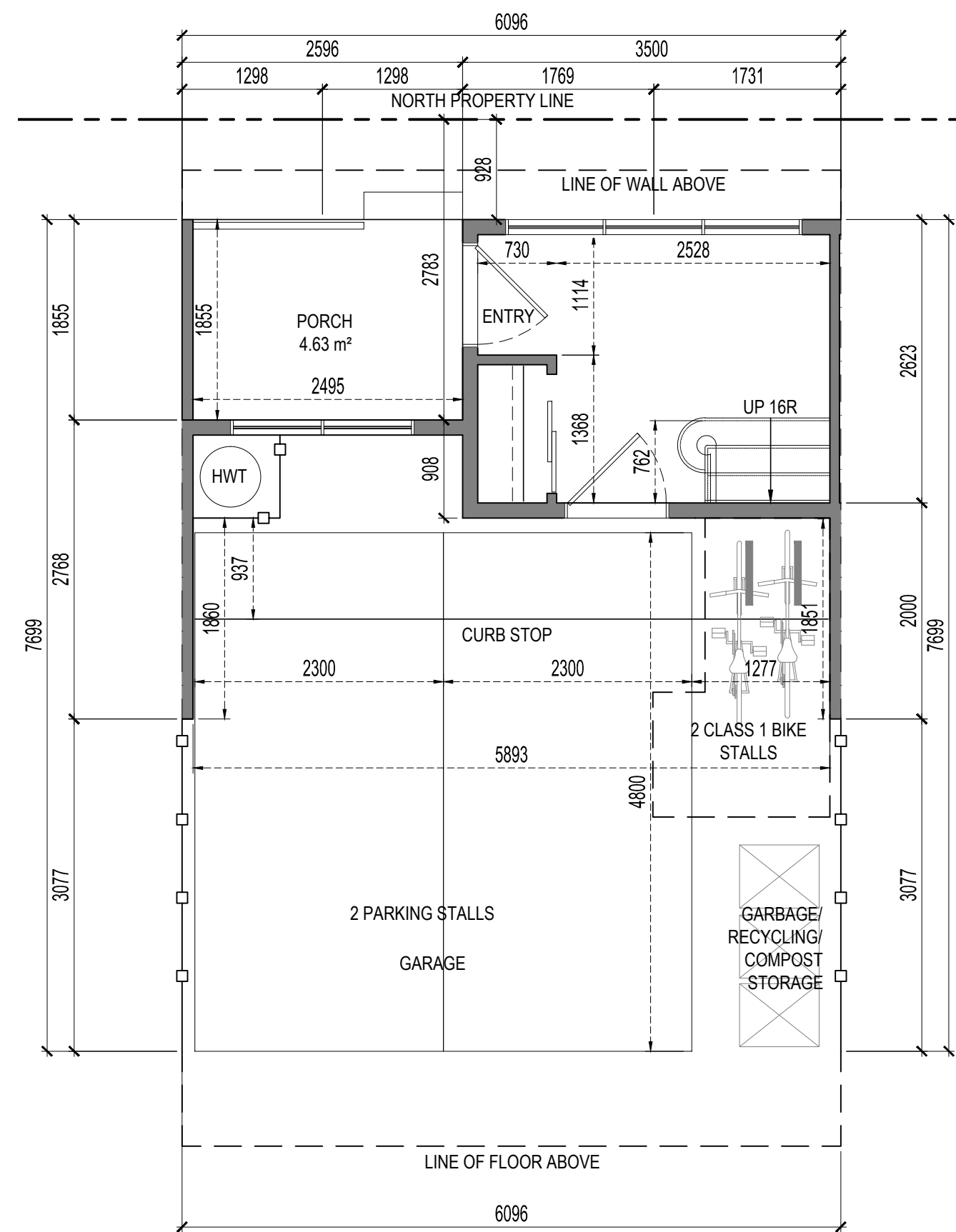


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250

City of
Kelowna
COMMUNITY PLANNING

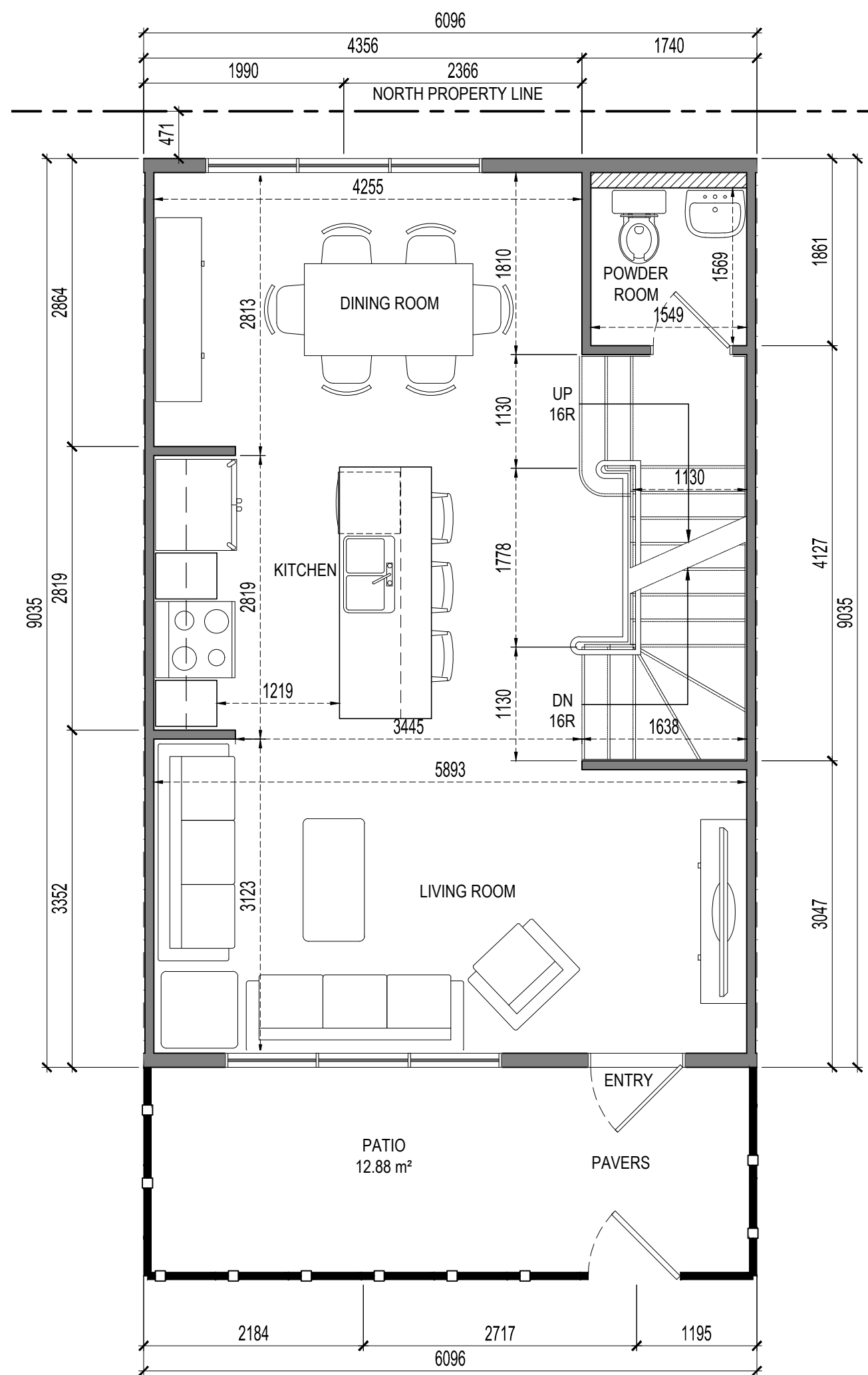
DESCRIPTION	DATE
PROJECT START	09/29/2017
DP SUBMISSION	10/27/2017

CONSULTANTS

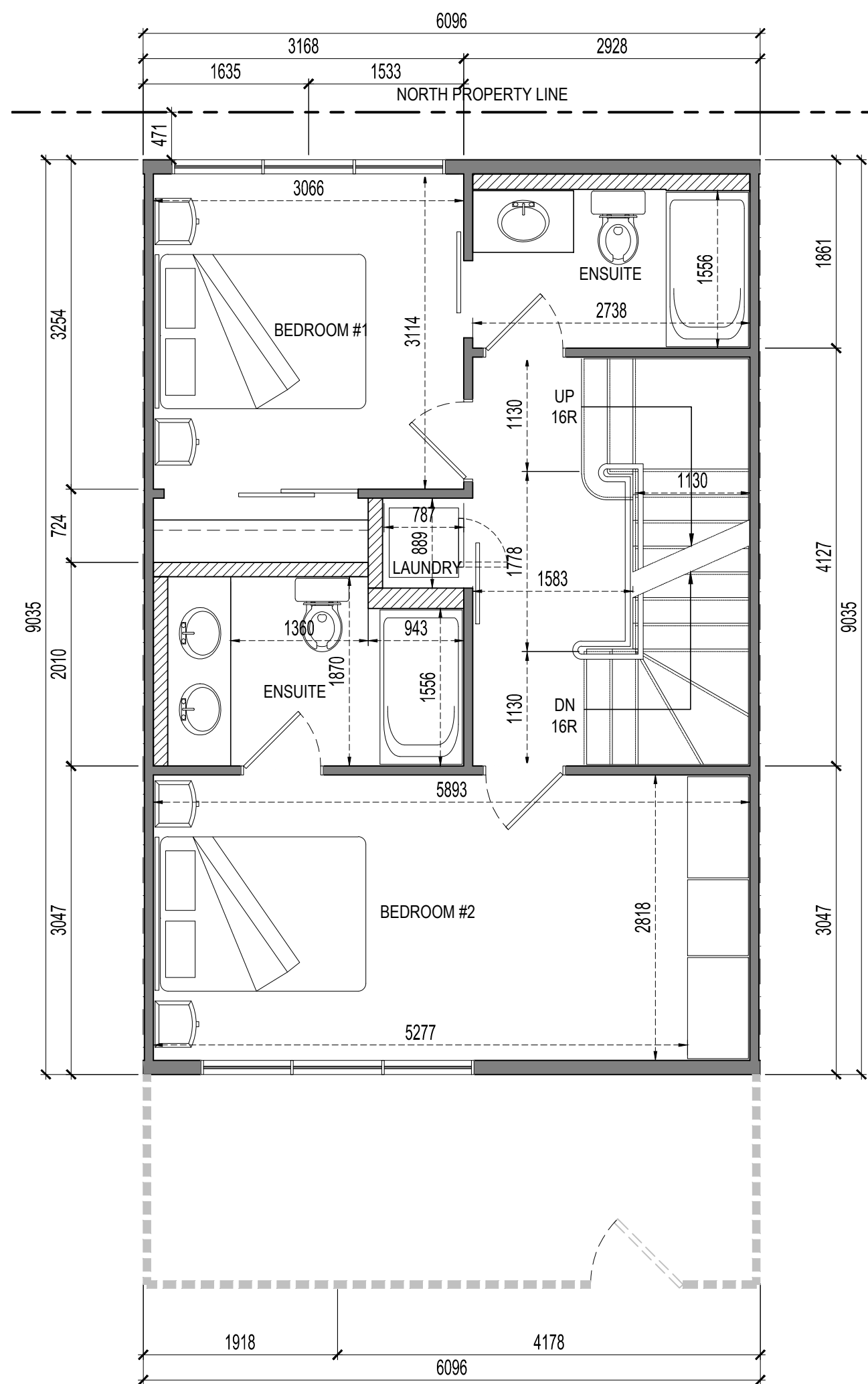


1 Unit B - Main Floor/Parking Plan
A3.1 SCALE: 1:50

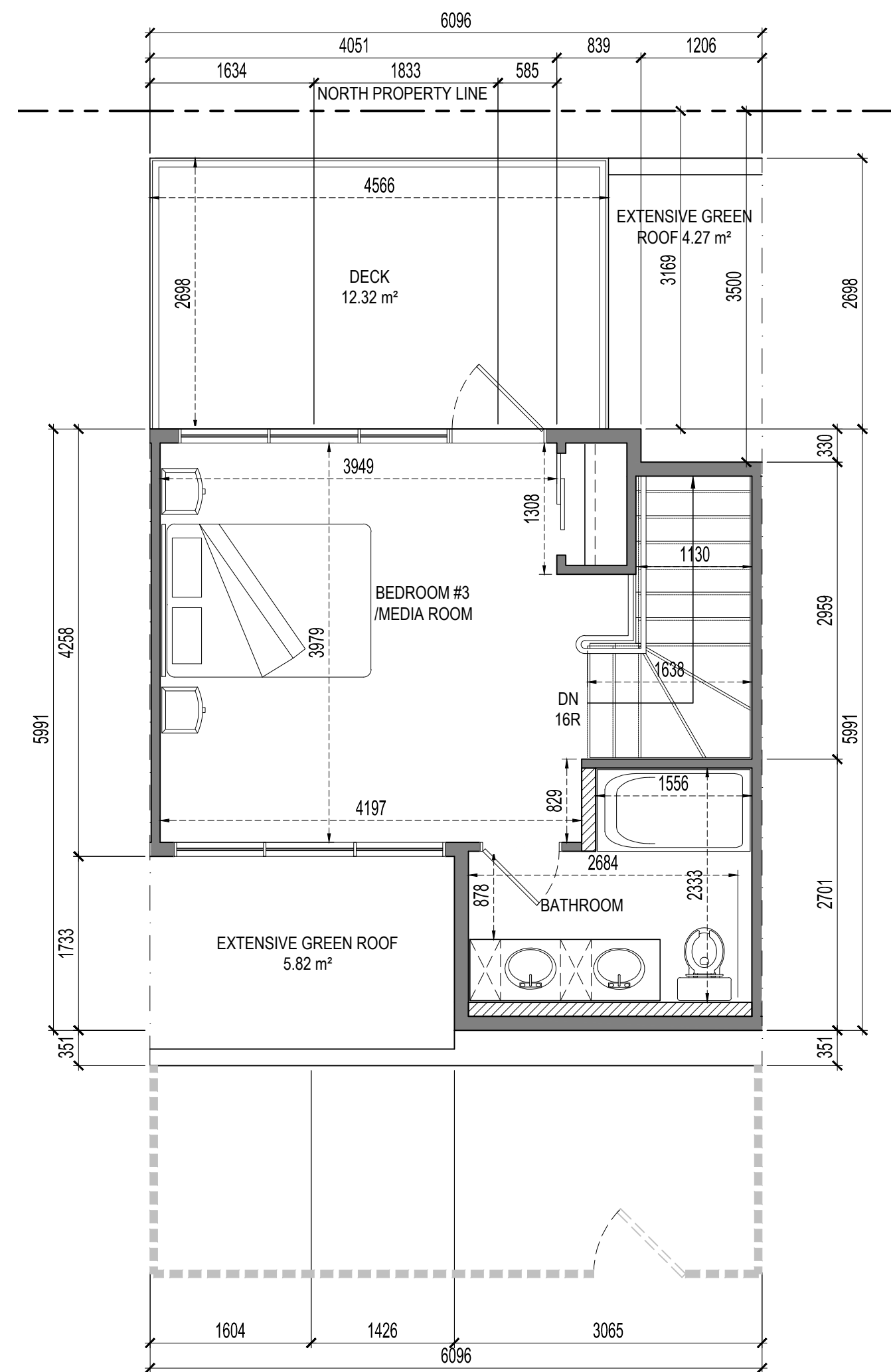
Total Unit B Area: 148.18 m²



2 Unit B - Second Floor Plan
A3.1 SCALE: 1:50



3 Unit B - Third Floor Plan
A3.1 SCALE: 1:50



4 Unit B - Fourth Floor Plan
A3.1 SCALE: 1:50



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PROJECT
PROJECT NAME
1304 & 1308 Richter Street
Kelowna, B.C.

DRAWING
Unit Type B Floor Plans

BUILDING PERMIT
BP2017-XX
DEVELOPMENT PERMIT
DP2017-XX
FILE
2017-12-RK
DATE
2017/10/27
DRAWING NUMBER
A3.1

SCHEDULE

A

This forms part of application
DP17-0249 & DP17-0250

Planner Initials

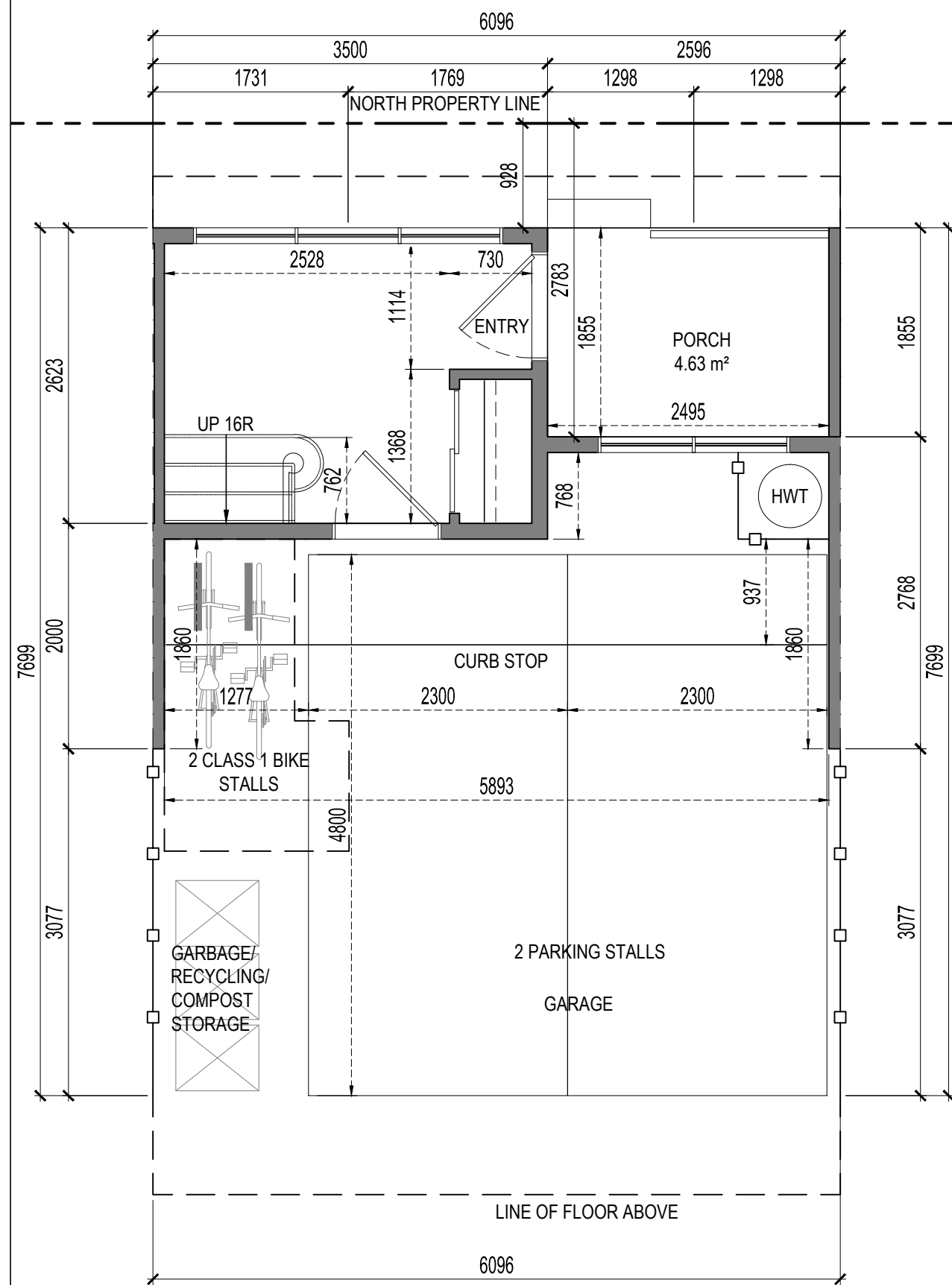
AW



City of
Kelowna
COMMUNITY PLANNING

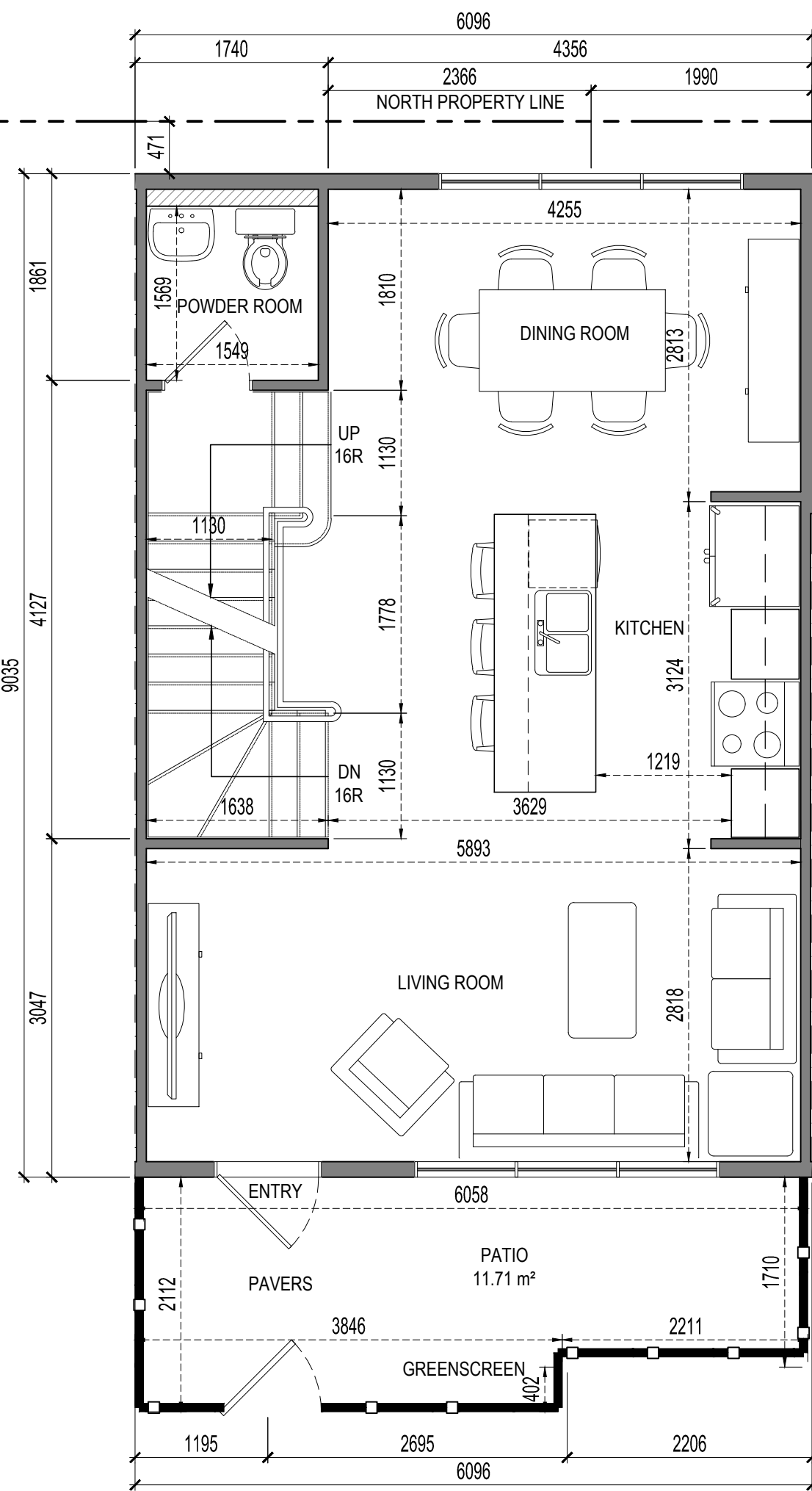
DESCRIPTION	DATE
PROJECT START	09/29/2017
DP SUBMISSION	10/27/2017

CONSULTANTS

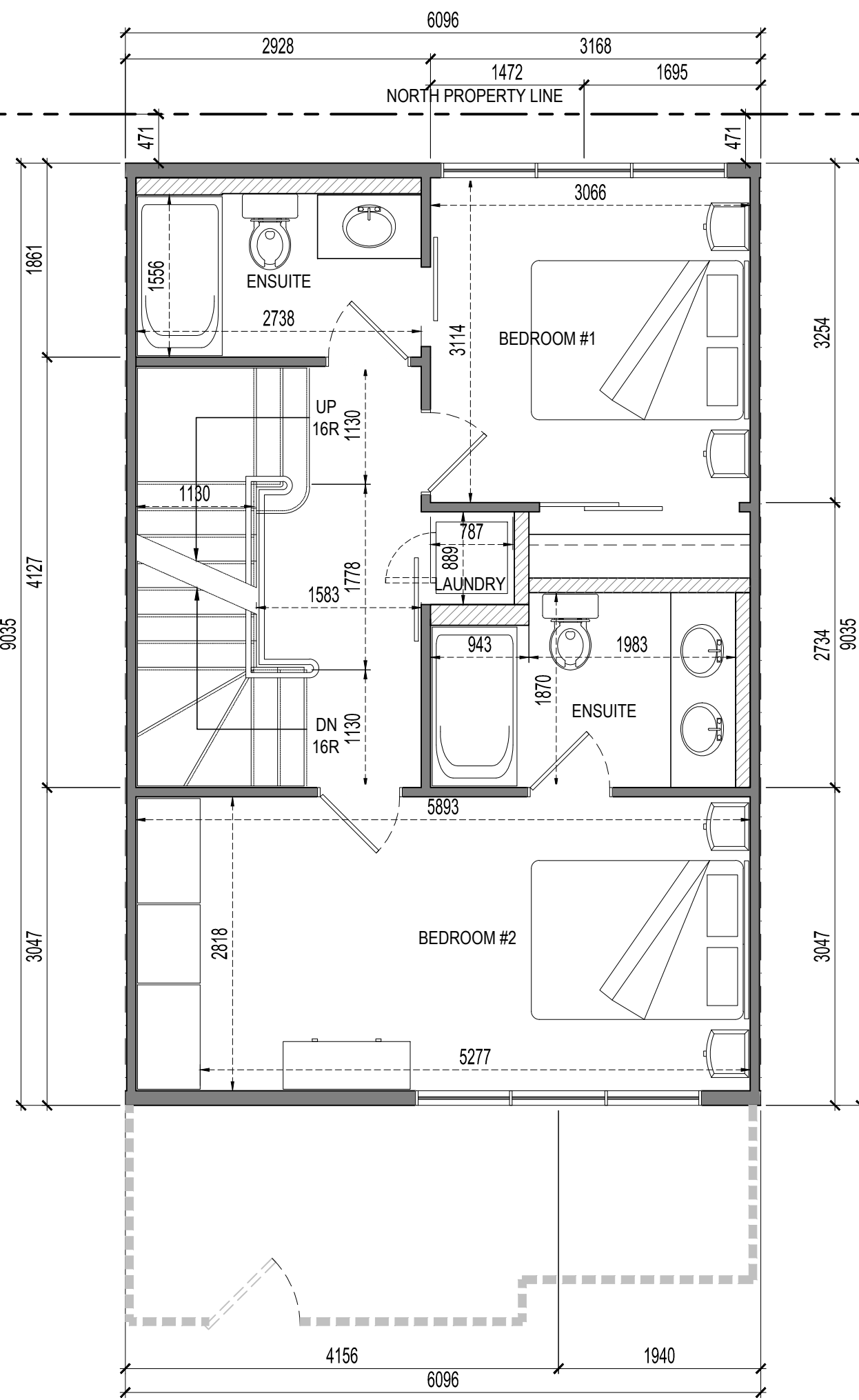


1 Unit C - Main Floor/Parking Plan
A3.2 SCALE: 1:50

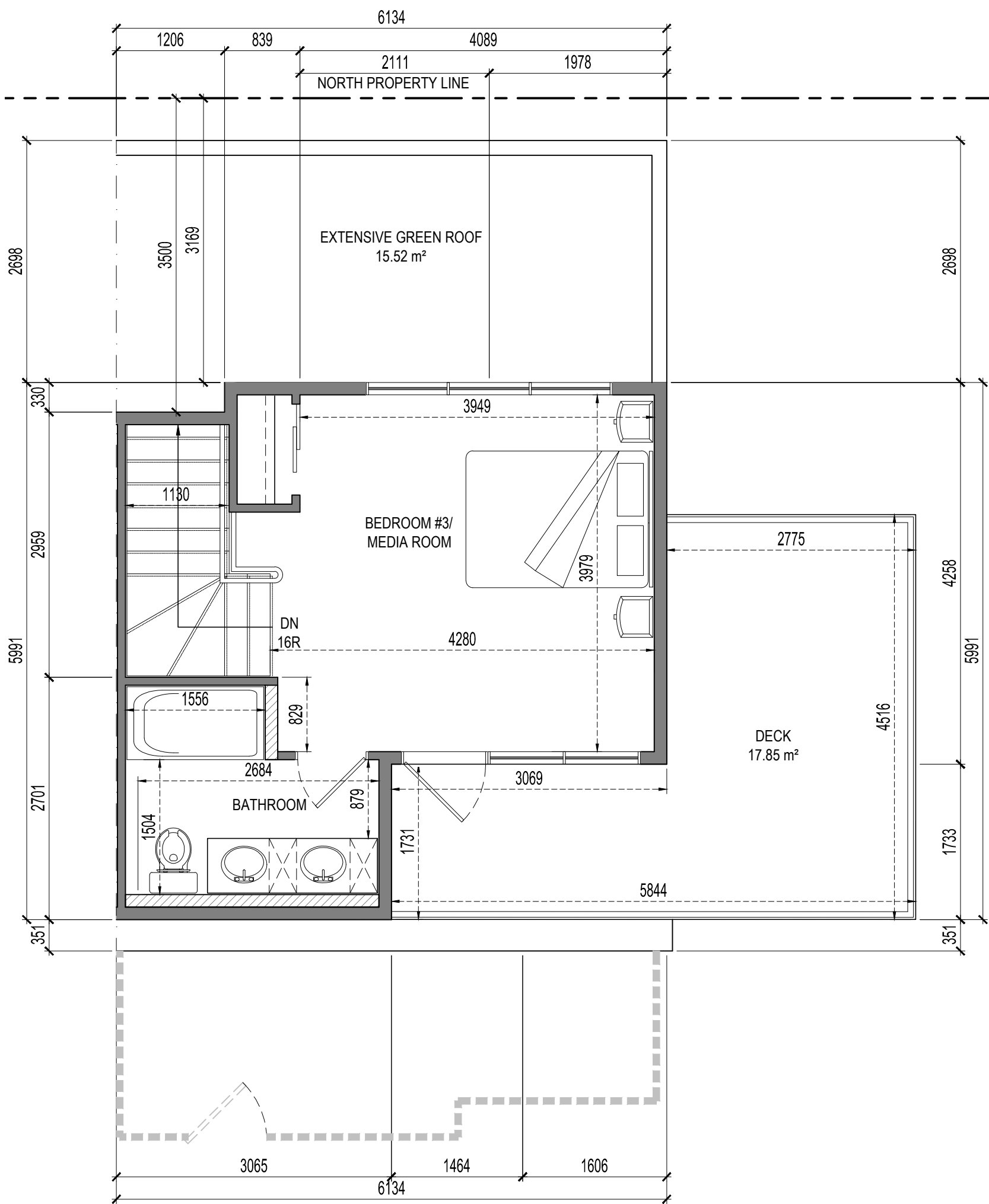
Total Unit C Area: 148.35 m²



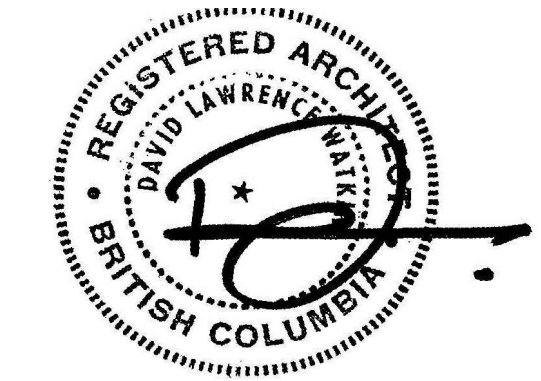
2 Unit C - Second Floor Plan
A3.2 SCALE: 1:50



3 Unit C - Third Floor Plan
A3.2 SCALE: 1:50



4 Unit C - Fourth Floor Plan
A3.2 SCALE: 1:50



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PROJECT
PROJECT NAME
1304 & 1308 Richter Street
Kelowna, B.C.

DRAWING
Unit Type C Floor Plans

BUILDING PERMIT
BP2017-XX
DEVELOPMENT PERMIT
DP2017-XX
FILE
2017-12-RK
DATE
2017/10/27
DRAWING NUMBER
A3.2

DRAWN BY
HA
SCALE
AS INDICATED

SCHEDULE**A**

This forms part of application
DP17-0249 & DP17-0250

Planner Initials

AW

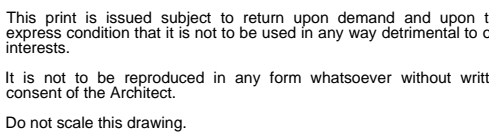
City of Kelowna

COMMUNITY PLANNING

CONSULTANTS



Total Unit D Area: 145.17 m²



CLIENT

PROJECT

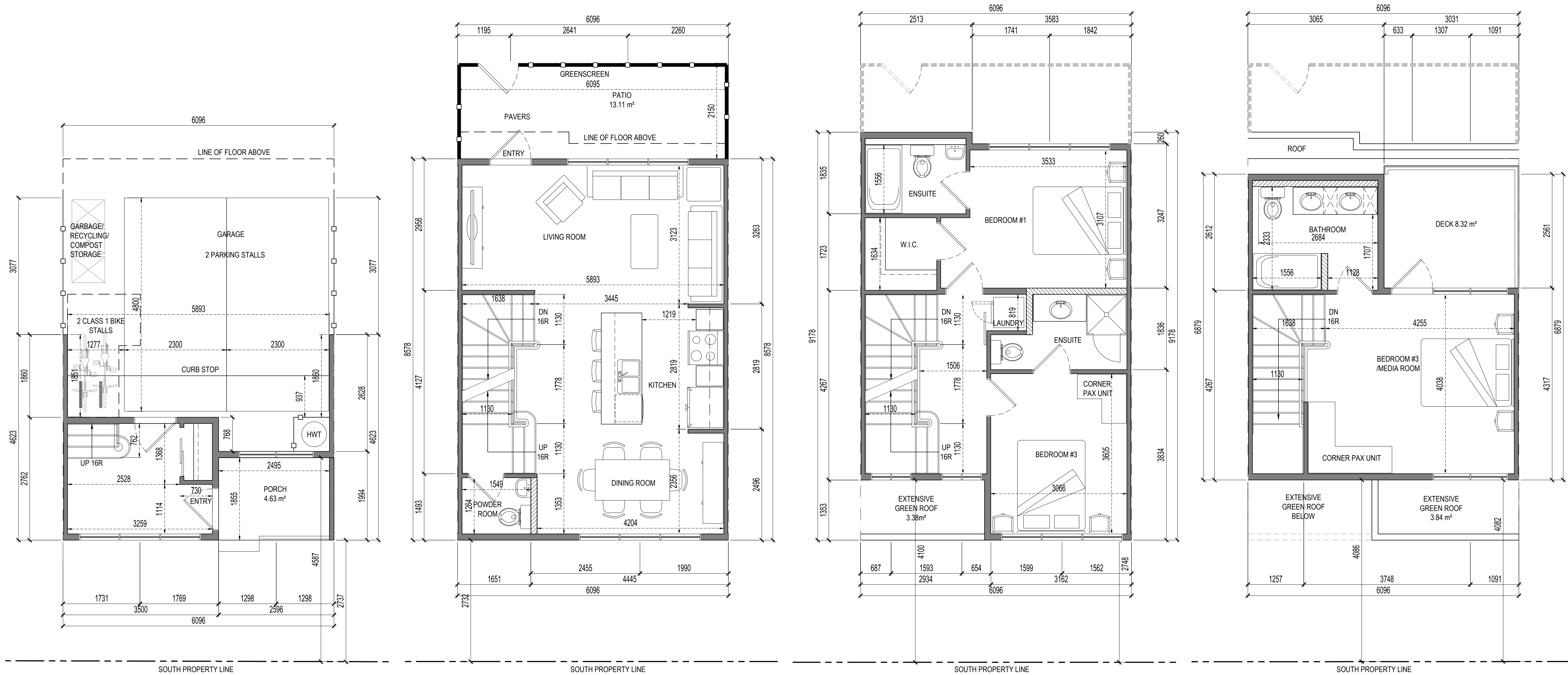
DRAWING

DRAWING NUMBER

City of Kelowna
COMMUNITY PLANNING

DESCRIPTION	DATE
PROJECT START	09/29/2017
DP SUBMISSION	10/27/2017

CONSULTANTS



1 Unit E - Main Floor/Parking Plan
A3.4 / SCALE: 1:50

Total Unit E Area: 147.37 m²

2 Unit E - Second Floor Plan
A3.4 / SCALE: 1:50

3 Unit E - Third Floor Plan
A3.4 / SCALE: 1:50

4 Unit E - Fourth Floor Plan
A3.4 / SCALE: 1:50



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Vancouver, B.C.
V6J 0B1

PROJECT
PROJECT NAME
1304 & 1308 Richter Street
Kelowna, B.C.

DRAWING
Unit Type E Floor Plans

BUILDING PERMIT
BP2017-XX
DEVELOPMENT PERMIT
DP2017-XX
FILE
2017-12-RK
DATE
2017/10/27
DRAWING NUMBER
HA
SCALE
AS INDICATED

A3.4

SCHEDULE

A

This forms part of application
DP17-0249 & DP17-0250

Planner Initials **AW**

City of Kelowna
COMMUNITY PLANNING

DESCRIPTION	DATE
PROJECT START	09/29/2017
DP SUBMISSION	10/27/2017

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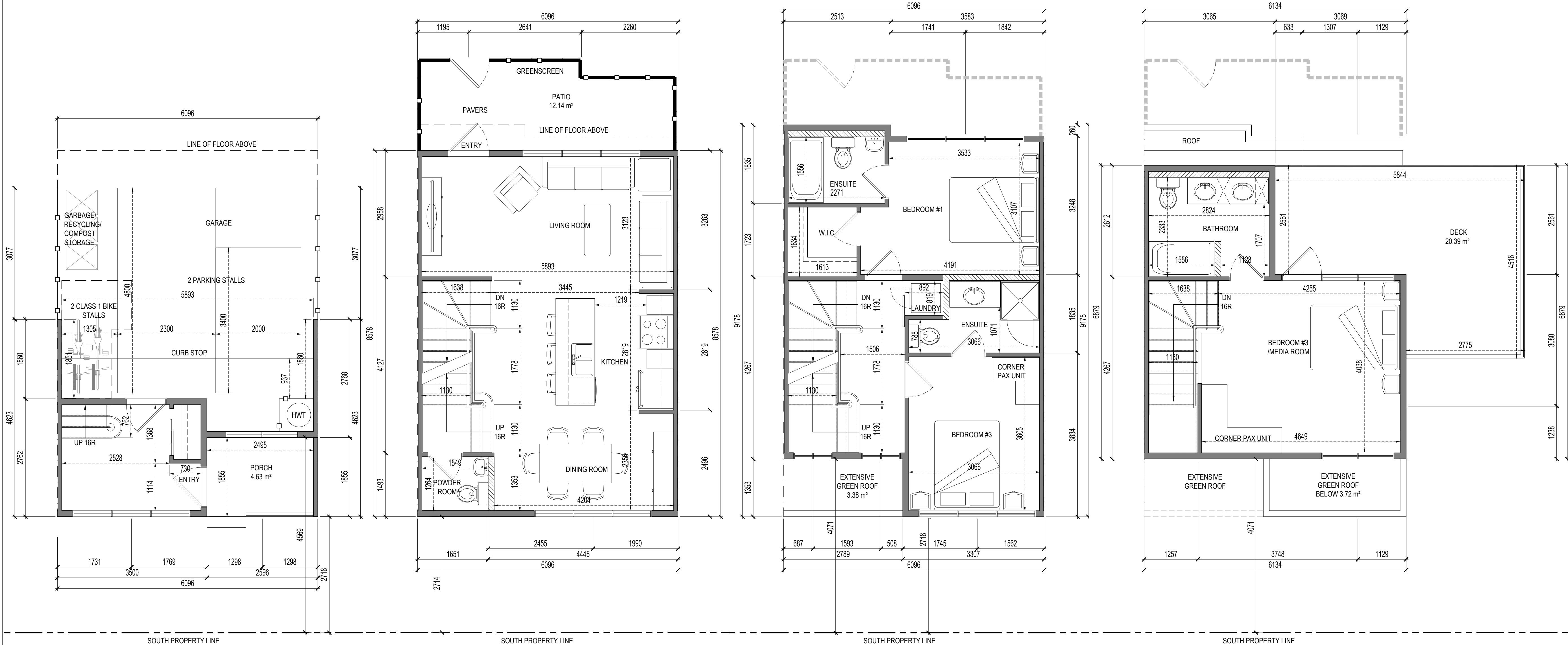
CLIENT
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Vancouver, B.C.
V6J 0B1

PROJECT
PROJECT NAME
1304 & 1308 Richter Street
Kelowna, B.C.

DRAWING
Unit Type F Floor Plans

BUILDING PERMIT
BP2017-XX
DEVELOPMENT PERMIT
DP2017-XX
FILE
2017-12-RK
DATE
2017/10/27
DRAWING NUMBER
DRAWN BY
HA
SCALE
AS INDICATED

A3.5



1 Unit F - Main Floor/Parking Plan
A3.5 SCALE: 1:50

Total Unit F Area: 147.53 m²

2 Unit F - Second Floor Plan
A3.5 SCALE: 1:50

3 Unit F - Third Floor Plan
A3.5 SCALE: 1:50

4 Unit F - Fourth Floor Plan
A3.5 SCALE: 1:50

SCHEDULE A

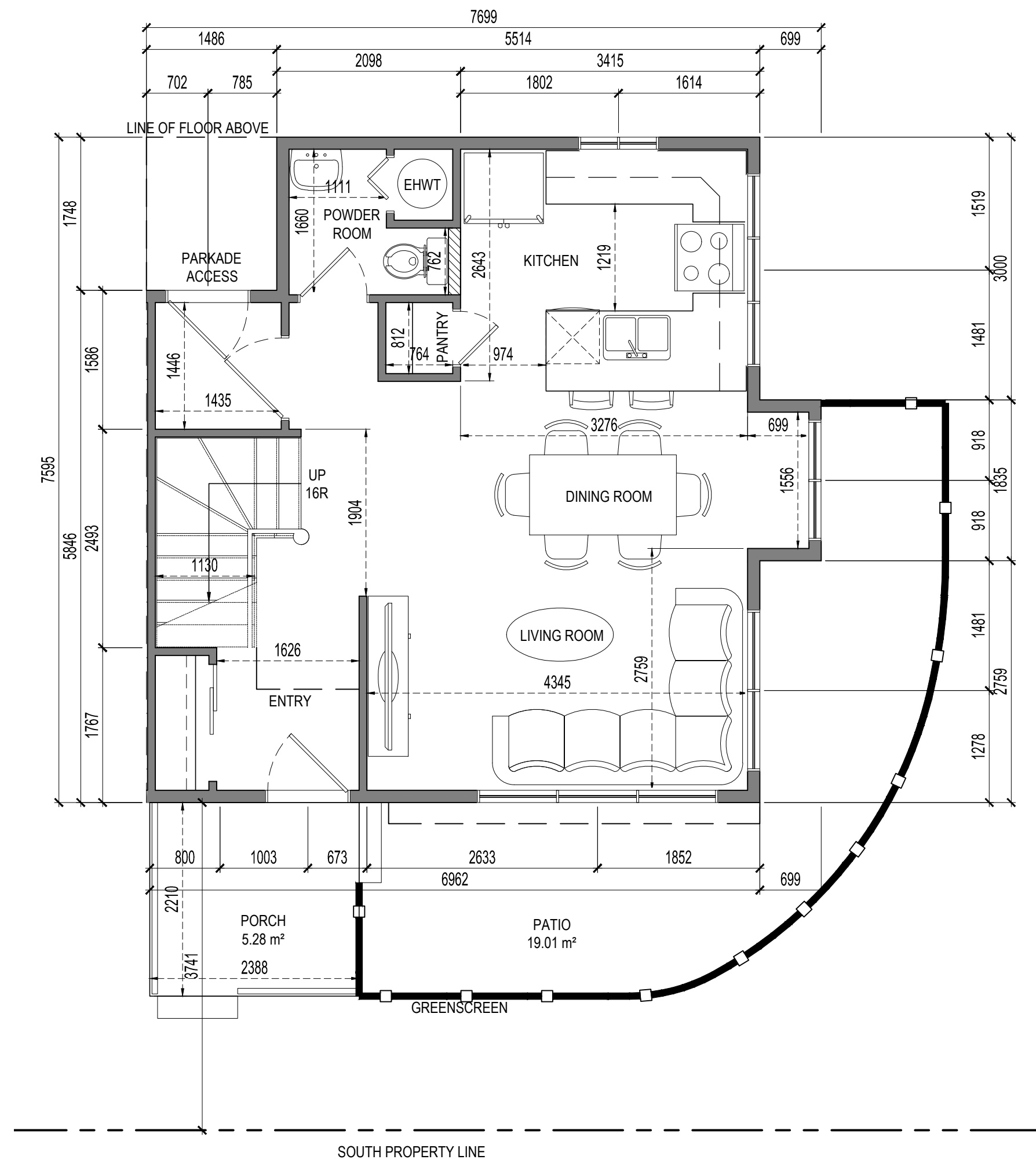
This forms part of application
DP17-0249 & DP17-0250

Planner
Initials **AW**



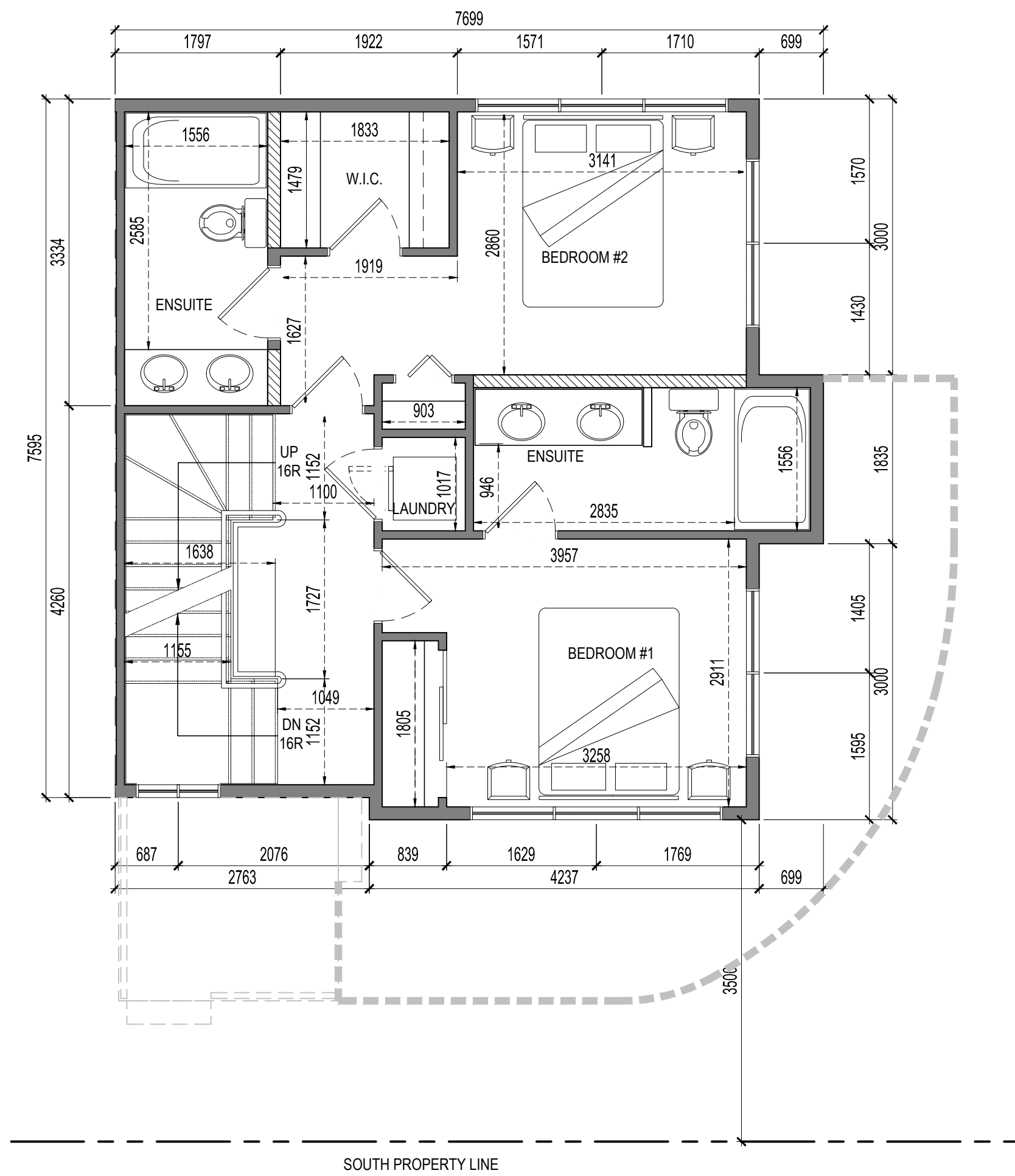
DESCRIPTION	DATE
PROJECT START	09/29/2017
DP SUBMISSION	10/27/2017

CONSULTANTS

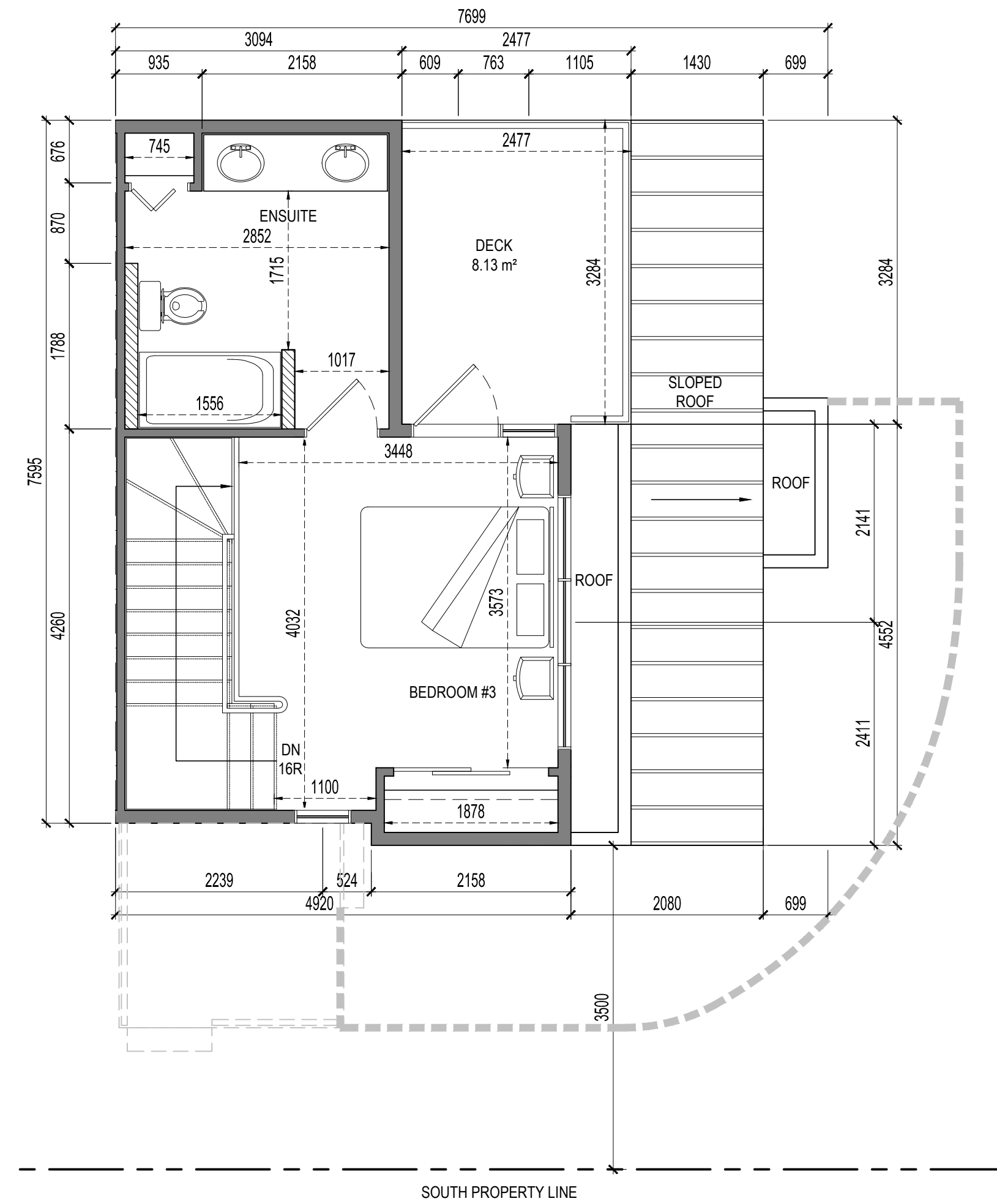


1 Unit G - Main Floor Plan
A3.6 SCALE: 1:50

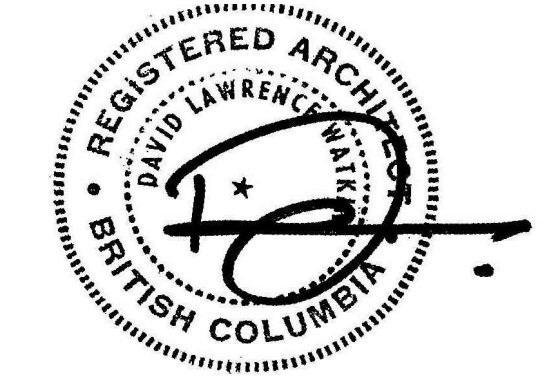
Total Unit G Area: 139.18 m²



2 Unit G - Second Floor Plan
A3.6 SCALE: 1:50



3 Unit G - Third Floor Plan
A3.6 SCALE: 1:50



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PROJECT
PROJECT NAME
1304 & 1308 Richter Street
Kelowna, B.C.

DRAWING
Unit Type G Floor Plans

BUILDING PERMIT
BP2017-XX
DEVELOPMENT PERMIT
DP2017-XX
FILE
2017-12-RK
DATE
2017/10/27
DRAWING NUMBER
A3.6

DRAWN BY
HA
SCALE
AS INDICATED

SCHEDULE

A

This forms part of application
DP17-0249 & DP17-0250

Planner Initials

AW



City of
Kelowna
COMMUNITY PLANNING



1 North Elevation
A4 SCALE: 1:100

2 North Section
A4 SCALE: 1:100



3 South Elevation
A4 SCALE: 1:100

FINISH LEGEND	
	1 METAL FLASHING - CHARCOAL
	2 JAMESHARDIE - REVEAL PANEL SYSTEM - ARTIC WHITE
	3 JAMESHARDIE - REVEAL PANEL SYSTEM - IRON GREY
	4 BRICK - BLACK
	5 LUX PANEL - FIR
	6 METAL STANDING SEAM ROOFING - EBONY
	7 LUX PANEL SOFFIT - FIR TO BE INSTALLED UNDER ANY OVERHANG

SCHEDULE B

This forms part of application
DP17-0249 & DVP17-0250

Planner
Initials

AW



NO.	REVISION	DATE
1	PROJECT START	03/03/2017
2	DP APPLICATION	05/30/2017
3		
4		
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10		

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david watkin
architect

P: (403) 283-6433 F: (403) 270-0714
C: (403) 971-0254 E: david@dwatkinarchitect.com
3800 Point McKay Road NW, Calgary, Alberta, T3B 5B8
www.davidwatkinarchitect.com

PROJECT
Avenue on Cawston
1304 & 1308 Richter Street
Kelowna, BC

CLIENT
**Innocept Development &
Real Estate Outsourcing**
1240 Industrial Road
Kelowna, BC

DRAWING
Elevations

BUILDING PERMIT

DEVELOPMENT PERMIT

FILE

DATE

DRAWING NUMBER

DRAWN BY

SCALE

AS INDICATED

A4

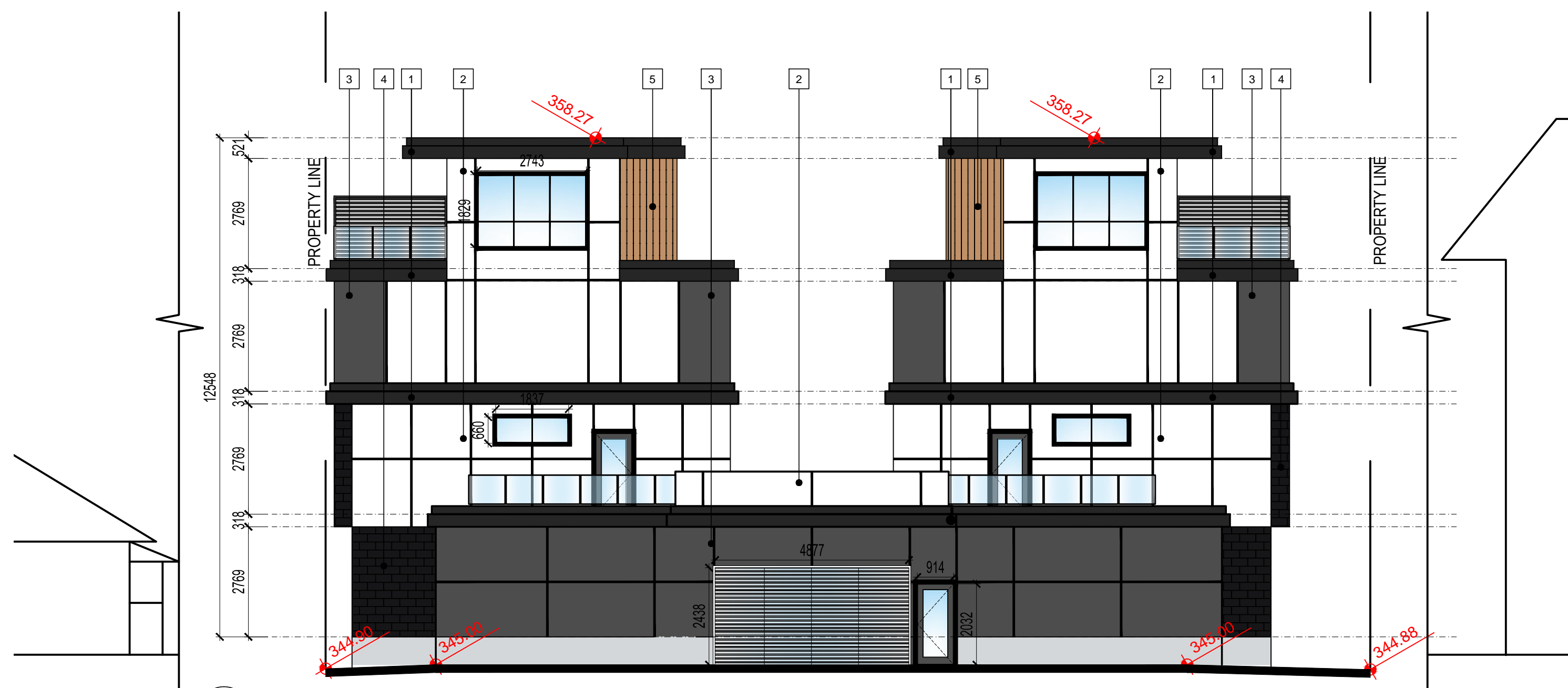


FINISH LEGEND

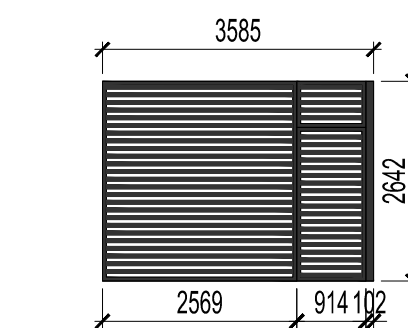
- 1 METAL FLASHING - CHARCOAL
- 2 JAMESHARDIE - REVEAL PANEL SYSTEM - ARTIC WHITE
- 3 JAMESHARDIE - REVEAL PANEL SYSTEM - IRON GREY
- 4 BRICK - BLACK
- 5 LUX PANEL - FIR
- 6 METAL STANDING SEAM ROOFING - EBONY
- 7 LUX PANEL SOFFIT - FIR TO BE INSTALLED UNDER ANY OVERHANG.



1 West Elevation
A4.1 SCALE: 1:100



2 East Elevation
A4.1 SCALE: 1:100



3 Fence & Gate Elevation
A4.1 SCALE: 1:100

SCHEDULE

B

This forms part of application

DP17-0249 & DVP17-0250

Planner Initials

AW

City of Kelowna

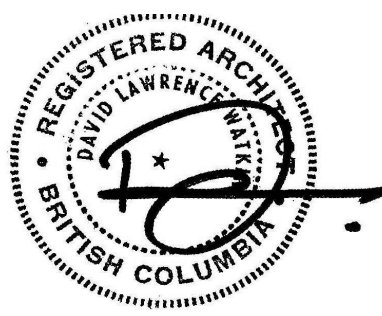
COMMUNITY PLANNING

NO.	REVISION	DATE
1	PROJECT START	03/03/2017
2	DP APPLICATION	05/30/2017
3		
4		
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10		

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C: (403) 971-0254 E: david@dwatkinarchitect.com

3800 Point McKay Road NW, Calgary, Alberta, T3B 5B8

www.davidwatkinarchitect.com

PROJECT
Avenue on Cawston
1304 & 1308 Richter Street
Kelowna, BC

CLIENT
Innocept Development & Real Estate Outsourcing
1240 Industrial Road
Kelowna, BC

DRAWING
Elevations

BUILDING PERMIT	---
DEVELOPMENT PERMIT	---
FILE	2017-04-KR
DATE	05/30/2017
DRAWING NUMBER	---
DRAWN BY	HA
SCALE	AS INDICATED

A4.1



1 Southwest Rendering
A4.2 SCALE: NTS



2 Southeast Rendering
A4.2 SCALE: NTS

SCHEDULE B

This forms part of application
DP17-0249 & DVP17-0250

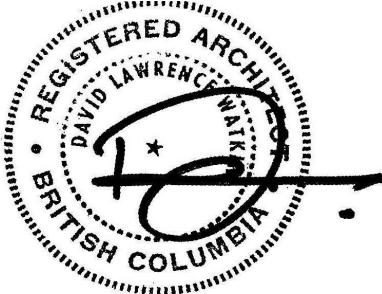
Planner
Initials

AW



NO.	REVISION	DATE
1	PROJECT START	03/03/2017
2	DP APPLICATION	05/30/2017
3		
4		
5		
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10		

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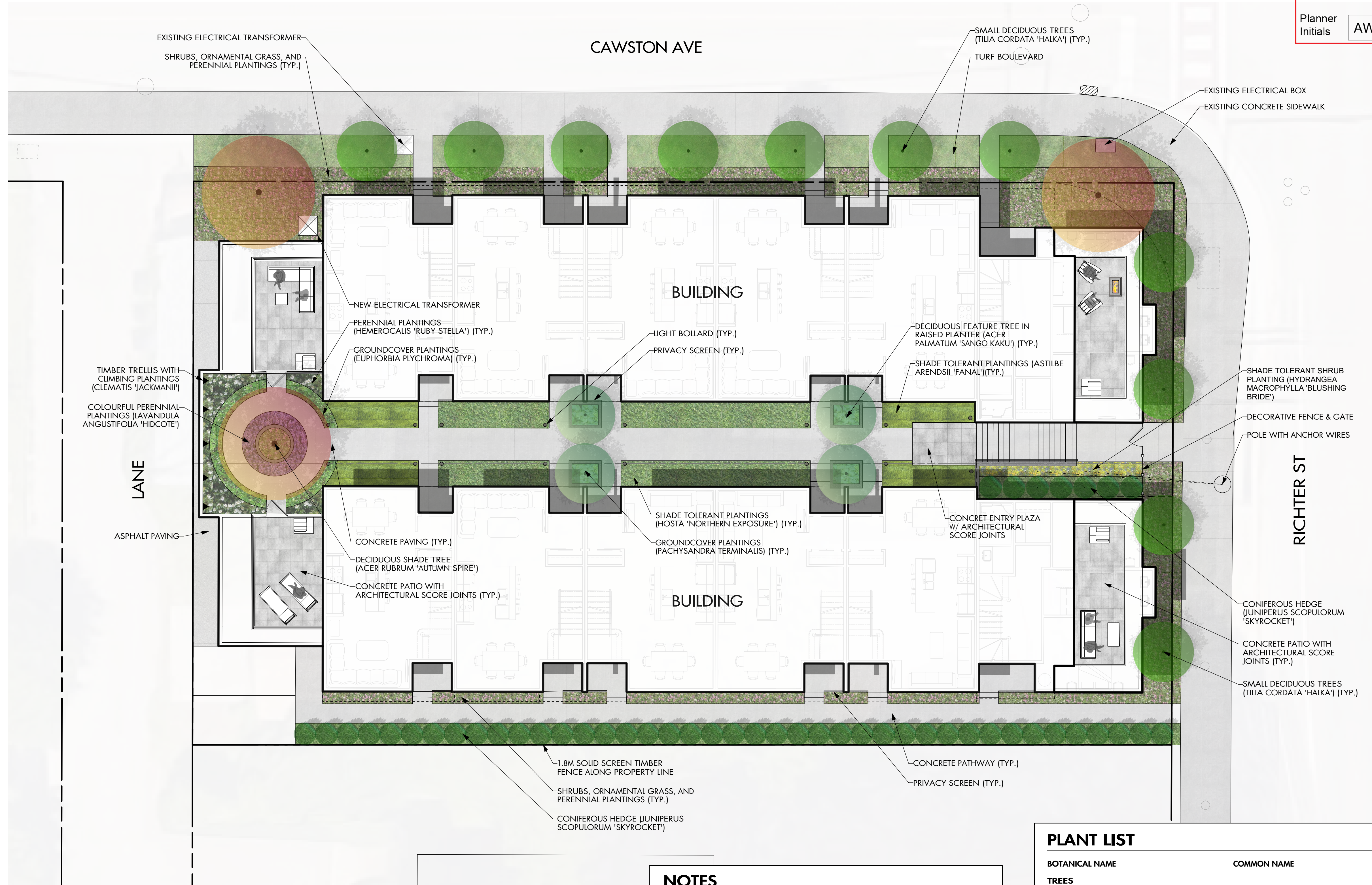
PROJECT
Avenue on Cawston
1304 & 1308 Richter Street
Kelowna, BC

CLIENT
Innocept Development & Real Estate Outsourcing
1240 Industrial Road
Kelowna, BC

DRAWING
Renderings

BUILDING PERMIT	---
DEVELOPMENT PERMIT	---
FILE	2017-04-KR
DATE	05/30/2017
DRAWING NUMBER	HA
	SCALE AS INDICATED

A4.2



SCHEDULE

C

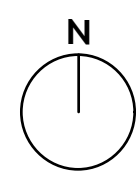
This forms part of application
DP17-0249 & DVP17-0250

Planner
Initials AW



OUTLAND DESIGN
LANDSCAPE ARCHITECTURE

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PROJECT TITLE
1304-1308 RICHTER STREET

Kelowna, BC

DRAWING TITLE
CONCEPTUAL LANDSCAPE PLAN

ISSUED FOR / REVISION		
1	17.05.16	Review
2		
3		
4		
5		

PROJECT NO	17053
DESIGN BY	KG
DRAWN BY	NG
CHECKED BY	FB
DATE	MAY 16, 2017
SCALE	1:100

SEAL



DRAWING NUMBER

L1/2

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NOTES

1. PLANT MATERIAL AND CONSTRUCTION METHODS SHALL MEET OR EXCEED B.C.L.N.A. STANDARDS.
2. ALL SOFT LANDSCAPE AREAS SHALL BE WATERED BY A FULLY AUTOMATIC TIMED UNDERGROUND IRRIGATION SYSTEM.
3. TREE AND SHRUB BEDS TO BE DRESSED IN A MINIMUM 50mm WOOD MULCH. DO NOT PLACE WEED MAT UNDERNEATH TREE AND SHRUB BEDS.
4. TREE AND SHRUB BEDS TO RECEIVE A MINIMUM 300mm DEPTH TOPSOIL PLACEMENT.
5. TURF AREAS FROM SOD SHALL BE NO. 1 GRADE GROWN FROM CERTIFIED SEED OF IMPROVED CULTIVARS REGISTERED FOR SALE IN B.C. AND SHALL BE TOLERANT OF DROUGHT CONDITIONS. A MINIMUM OF 100mm DEPTH OF GROWING MEDIUM IS REQUIRED BENEATH TURF AREAS. TURF AREAS SHALL MEET EXISTING GRADES AND HARD SURFACES FLUSH.

PLANT LIST

BOTANICAL NAME	COMMON NAME	QTY	SIZE / SPACING & REMARKS
TREES			
ACER PALMATUM 'SANGO KAKU'	CORAL BARK JAPANESE MAPLE	4	6cm CAL.
ACER RUBRUM 'AUTUMN SPIRE'	AUTUMN SPIRE RED MAPLE	3	6cm CAL.
TILIA CORDATA 'HALKA'	SUMMER SPRITE LINDEN	11	6cm CAL.
SHRUBS			
BERBERIS X THUNBERGII 'BAILONE'	RUBY CAROUSEL BARBERRY	27	#02 CONT. /1.0M O.C. SPACING
HYDRANGEA MACROPHYLLA 'BLUSHING BRIDE'	BLUSHING BRIDE HYDRANGEA	14	#02 CONT. /1.5M O.C. SPACING
SYRINGA MEYERI 'PALIBIN'	DWARF KOREAN LILAC	12	#02 CONT. /1.5M O.C. SPACING
PERENNIALS & GRASSES			
ACHILLEA 'MOONSHINE'	MOONSHINE YARROW	18	#01 CONT. /0.75M O.C. SPACING
ASTILBE ARENDsii 'FANAL'	FANAL RED ASTILBE	77	#01 CONT. /0.5M O.C. SPACING
EUPHORBIA POLYCHROMA	CUSHION SPURGE	23	#01 CONT. /0.6M O.C. SPACING
FESTUCA OVINA 'ELIJAH BLUE'	ELIJAH BLUE FESCUE	30	#01 CONT. /0.5M O.C. SPACING
HEMEROCALLIS 'RUBY STELLA'	RUBY STELLA DAYLILY	22	#01 CONT. /0.75M O.C. SPACING
HEMEROCALLIS 'STELLA D'ORO'	STELLA D'ORO DAYLILY	22	#01 CONT. /0.75M O.C. SPACING
HOSTA 'NORTHERN EXPOSURE'	NORTHERN EXPOSURES HOSTA	42	#01 CONT. /1.0M O.C. SPACING
JUNIPERUS SCOPULORUM 'SKYROCKET'	SKYROCKET JUNIPER	48	#05 CONT. /MIN. 1.5m HT.
LAVANDULA ANGUSTIFOLIA 'HIDCOTE'	ENGLISH LAVENDER	87	#01 CONT. /0.6M O.C. SPACING
PACHYSANDRA TERMINALIS	JAPANESE SPURGE	18	#01 CONT. /0.5M O.C. SPACING
PENNISETUM ALOPECUROIDES	FOUNTAIN GRASS	8	#01 CONT. /1.0M O.C. SPACING



SCHEDULE C

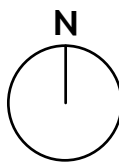
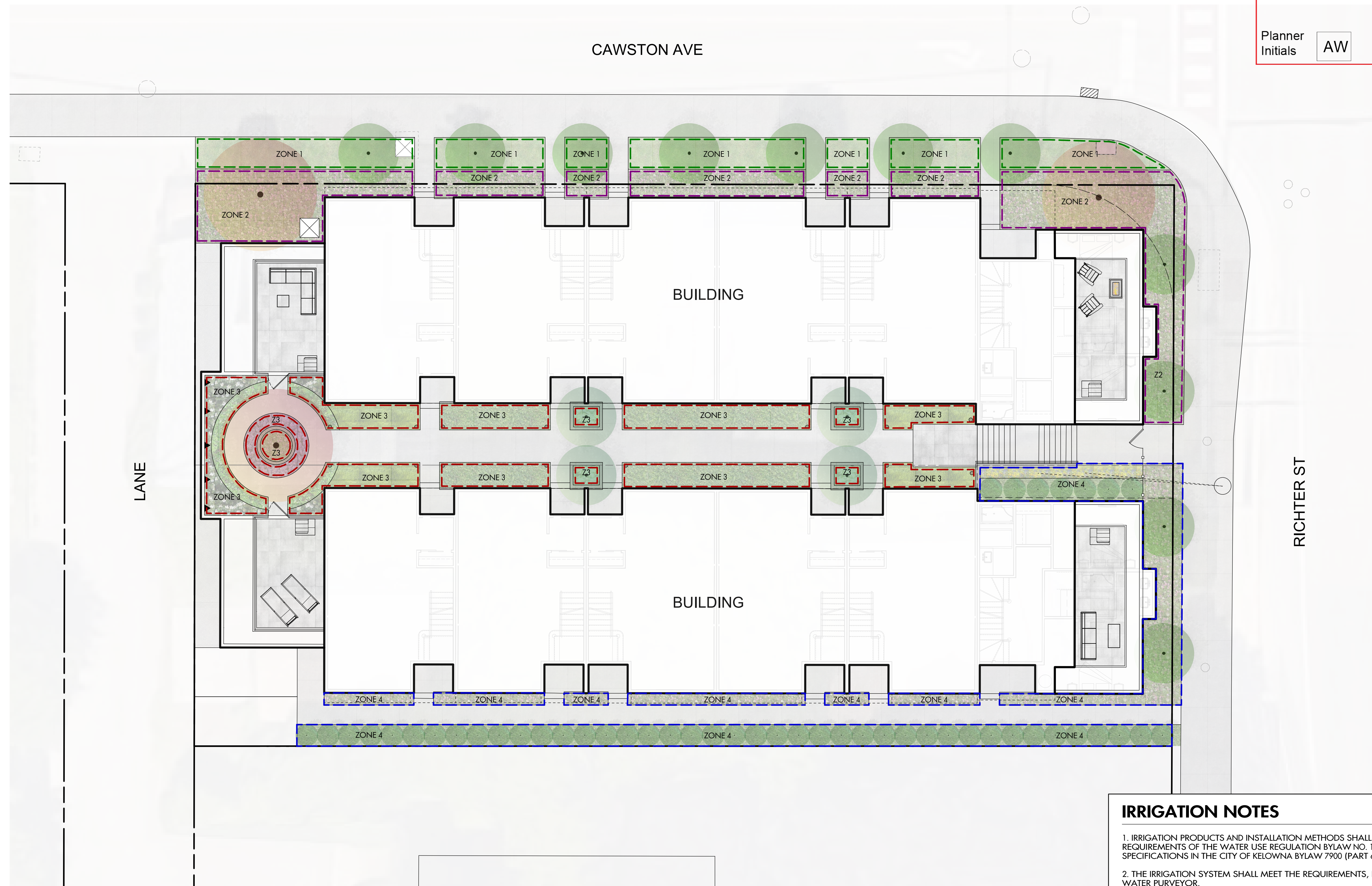
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PROJECT TITLE

1304-1308 RICHTER STREET

Kelowna, BC

DRAWING TITLE

WATER CONSERVATION & IRRIGATION PLAN

ISSUED FOR / REVISION

1	17.05.16	Review
2		
3		
4		
5		

PROJECT NO 17053

DESIGN BY KG

DRAWN BY NG

CHECKED BY FB

DATE MAY 16, 2017

SCALE 1:100

SEAL



DRAWING NUMBER

L2/2

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WATER CONSERVATION CALCULATIONS

LANDSCAPE MAXIMUM WATER BUDGET (WB) = 330 cu.m. / year
ESTIMATED LANDSCAPE WATER USE (WU) = 234 cu.m. / year

WATER BALANCE = 96 cu.m. / year

*REFER ATTACHED IRRIGATION APPLICATION FOR DETAILED CALCULATIONS

IRRIGATION LEGEND



ZONE #1: LOW VOLUME POP-UP SPRAYHEADS FOR TURF AREA
TOTAL AREA: 58 sq.m.
MICROCLIMATE: NORTH EXPOSURE, PARTIALLY SHADED BY TREES
ESTIMATED ANNUAL WATER USE: 83 cu.m.



ZONE #2: HIGH EFFICIENCY SUBSURFACE DRIP IRRIGATION FOR MODERATE WATER USE PLANTING AREAS
TOTAL AREA: 96 sq.m.
MICROCLIMATE: NORTH EXPOSURE, PARTIALLY SHADED BY TREES & BUILDING
ESTIMATED ANNUAL WATER USE: 53 cu.m.



ZONE #3: HIGH EFFICIENCY SUBSURFACE DRIP IRRIGATION FOR MODERATE WATER USE PLANTING AREAS
TOTAL AREA: 84 sq.m.
MICROCLIMATE: NORTHWEST EXPOSURE, PARTIALLY SHADED BY TREES & BUILDING
ESTIMATED ANNUAL WATER USE: 47 cu.m.



ZONE #4: HIGH EFFICIENCY SUBSURFACE DRIP IRRIGATION FOR MODERATE WATER USE PLANTING AREAS
TOTAL AREA: 90 sq.m.
MICROCLIMATE: SOUTHEAST EXPOSURE, PARTIALLY SHADED BY TREES & BUILDING
ESTIMATED ANNUAL WATER USE: 50 cu.m.

IRRIGATION NOTES

1. IRRIGATION PRODUCTS AND INSTALLATION METHODS SHALL MEET OR EXCEED THE REQUIREMENTS OF THE WATER USE REGULATION BYLAW NO. 10480 AND THE SUPPLEMENTARY SPECIFICATIONS IN THE CITY OF KELOWNA BYLAW 7900 (PART 6, SCHEDULE 5).
2. THE IRRIGATION SYSTEM SHALL MEET THE REQUIREMENTS, REGULATIONS, AND BYLAWS OF THE WATER PURVEYOR.
3. THE IRRIGATION SYSTEM SHALL BE EQUIPPED WITH AN APPROVED BACKFLOW PREVENTION DEVICE, WATER METER, AND SHUT OFF VALVE LOCATED OUTSIDE THE BUILDING ACCESSIBLE TO THE CITY.
4. AN APPROVED SMART CONTROLLER SHALL BE INSTALLED. THE IRRIGATION SCHEDULING TIMES SHALL UTILIZE A MAXIMUM ET VALUE OF 7" / MONTH (KELOWNA JULY ET), TAKING INTO CONSIDERATION SOIL TYPE, SLOPE, AND MICROCLIMATE.
5. DRIP LINE AND EMITTERS SHALL INCORPORATE TECHNOLOGY TO LIMIT ROOT INTRUSION.
6. IRRIGATION SLEEVES SHALL BE INSTALLED TO ROUTE IRRIGATION LINES UNDER HARD SURFACES AND FEATURES.
7. IRRIGATION PIPE SHALL BE SIZED TO ALLOW FOR A MAXIMUM FLOW OF 1.5m /SEC.
8. A FLOW SENSOR AND MASTER VALVE SHALL BE CONNECTED TO THE CONTROLLER AND PROGRAMMED TO STOP FLOW TO THE SYSTEM IN CASE OF AN IRRIGATION WATER LEAK.