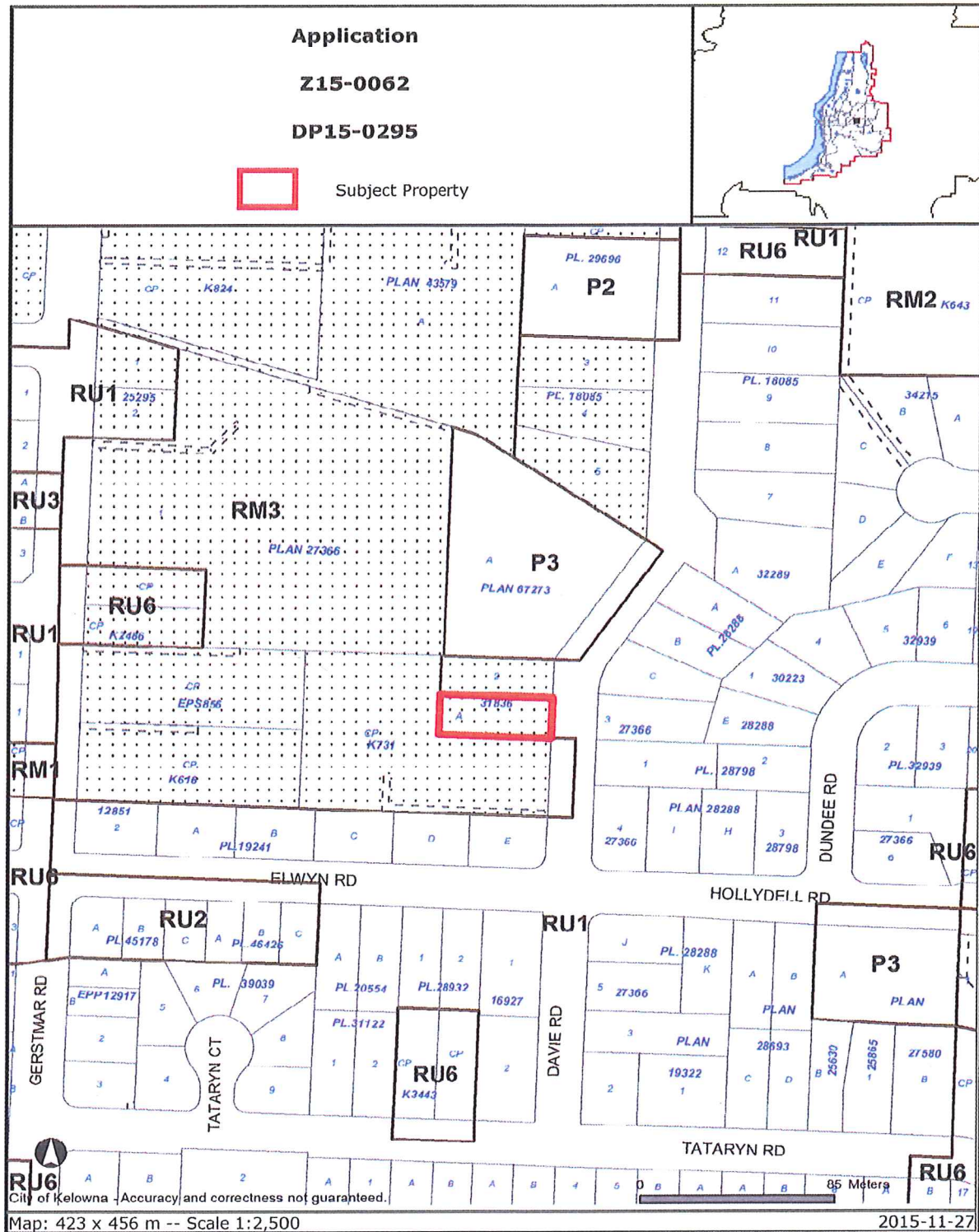




Certain layers such as lots, zoning and dp areas are updated bi-weekly. This map is for general information only.
The City of Kelowna does not guarantee its accuracy. All information should be verified.

CITY OF KELOWNA
MEMORANDUM

Date: January 28, 2016
File No.: Z15-0062
To: Land Use Management Department (TB)
From: Development Engineering Manager
Subject: 330 Davie Rd Lot A Plan 31836 Carriage House RU1C

Development Engineering has the following requirements associated with this application.

1. Domestic Water

This property is located within the Rutland Water District (RWD) service area. The water system must be capable of supplying domestic and fire flow demands of the project in accordance with the Subdivision, Development & Servicing Bylaw. The developer is responsible, if necessary, to arrange with RWD staff for any service improvements and the decommissioning of existing services.

2. Sanitary Sewer

Our records indicate that this property is currently serviced with a 100mm-diameter sanitary sewer service. No service upgrades are required for this application.

3. Electric Power and Telecommunication Services

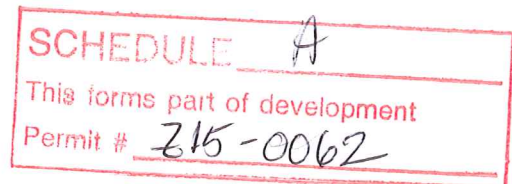
It is the applicant's responsibility to make a servicing application with the respective electric power, telephone and cable transmission companies to arrange for service upgrades to these services which would be at the applicant's co

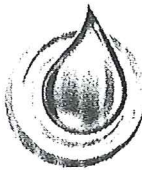
4. Development Permit and Site Related Issues

Direct the roof drains into on-site rock pits.

Steve Muenz, P. Eng.
Development Engineering Manager

jo





Rutland
WATERWORKS DISTRICT

106 – 200 Dougall Road North
Kelowna, BC V1X 3K5
www.rutlandwaterworks.com

p: (250) 765-5218
f: (250) 765-7765
e: info@rutlandwaterworks.com

December 17, 2015

Jeremiah Weiler
330 Davie Rd
Kelowna BC V1X 3Y8

RE: Lot A, Plan 31836 – 330 Davie Rd File # Z150062 / DP 15-0295, RWD File 15/19

In response to City of Kelowna request for comment, the following is a summary of Rutland Waterworks District requirements:

1. Capital Expenditure Charges for one multi-family unit (Carriage House) \$2,200.00

Total Fees Payable \$2,200.00

Water service for the carriage house is to be extended from the existing single family dwelling (through the primary residence water meter). Our records indicate that this meter is an older style and Rutland Waterworks will require it to be updated as part of this development. There is no additional fee to you for the upgraded meter; however, should there be any plumbing changes required the applicant is responsible for those costs.

Please contact our office at Building Permit stage for more information.

Upon receipt of these fees a water certificate will be issued.

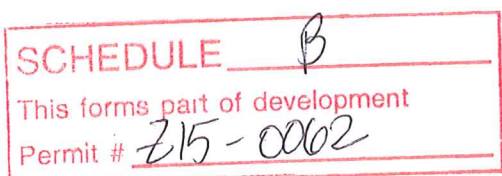
Should you have any questions or require further information, please contact the undersigned.

Sincerely,


Pete Preston
General Manager

c. City of Kelowna (Planning Department)

intermaldevelopment330 Davie Rd Dev Res File 15_19



CODES AND STANDARDS

All workmanship is to be of a standard equal in all respects to good building practice.

All the time of preparation, this plan was drawn in accordance with the current edition of the B.C. Building Code. It is the responsibility of the owner to ensure that changes made to the code are complied with and all amendments are incorporated in the construction of this plan. All work shall conform to local building codes and bylaws which may take precedence.

Prior to proceeding with construction, the owner/contractor must verify all information, dimensions and specifications of this plan. Written dimensions always take precedence over scale measurements.

Any variance from structural drawings or from conditions as shown on drawings is the responsibility of the owner/contractor and such variance shall be their sole responsibility.

CONCRETE & FOOTINGS

All concrete to have a minimum compressive strength of 2500 PSI (20 MPa) at 28 days.

Concrete footings must be placed on undisturbed or compacted soil to an elevation below frost penetration. Footings shown on these drawings have been designed for soil bearing capacity of 2500 PSI. If a lower bearing capacity is encountered, it is the responsibility of the owner/contractor to have the footings redesigned by a qualified person to suit existing conditions.

All foundation walls 24" (600 mm) and higher shall have one horizontal 10 mm reinforcing bar 3" (75 mm) from the top. Corner reinforcing is to be beyond minimum 18" (450 mm).

All footings are to have two 1" reinforcing bars. The reinforcing bars are to be spaced such that one bar is 3" (75 mm) from the side and bottom of the footing on both sides of the footing.

Grades shown on elevations are estimated. Adjust on site as required. Finishing walls other than the foundation walls of the residence are beyond the scope of these drawings unless otherwise noted.

INSULATION / VENTILATION

Minimum R18 ratings from the BCBC R-26.2.6 for Zone 5 with out heat recovery ventilator.

Ceiling below attic - R 49.23 / R 2.87
Cathedral ceilings and flat roofs - R 24.52 / R 2.47
Interior walls - R 17.49 / R 2.10
Floor above finished space - R 24.52 / R 2.47
Foundation walls - R 16.70 / R 2.28
Unheated floor above finished - R 11.13 / R 1.18
Heated floor above finished - R 13.17 / R 2.32
Slab on grade with an integral footing - R 11.13 / R 1.18

Ceiling insulation may be knee wall type or built type.

Walls and ceilings between residence and detached garage shall be insulated.

Insulation requirements may vary with heating systems and with local conditions.

All roof spaces shall be ventilated with soffit, roof or gable vents or a combination of these, equally distributed between the top of the roof space and soffit.

ABOVE GRADE MASONRY

All above grade masonry is to conform to the BC Building Code.

If brick veneer is to be installed, exterior facing shall be installed up to 8" (200 mm) behind the building left and below the bottom course with vertical joints aligned. Veneer holes 2" (50 mm) max.

CARPENTRY

Framing lumber shall be number one (1) or better source unless otherwise specified on the plan. All beams and joists shown on the drawings to be treated & conform to those manufacturer and contractor. Any beam or joist shown provided by these manufacturer take precedence.

Joists are to be double end parallel partition.

Wood in contact with concrete shall be disengaged with 45 lb. lb. as a all planer gasket and pressure treated with a waterborne preservative or other approved method on exterior walls.

Interior framing to be 4" (100 mm) clear of back and side of frame and 2" (50 mm) clear of back channels. Frame exterior walls 1" (25 mm) clear from exterior cladding.

Plum are to be anchored to concrete with 1/2" anchor bolts, minimum 6 ft. at or other approved method.

Flush framed wood members shall be anchored with 200 lb. j-bolts hangers unless otherwise specified.

MISCELLANEOUS

Cable every and around all interior openings using non-hardening caulking compound.

Flash over all exterior openings.

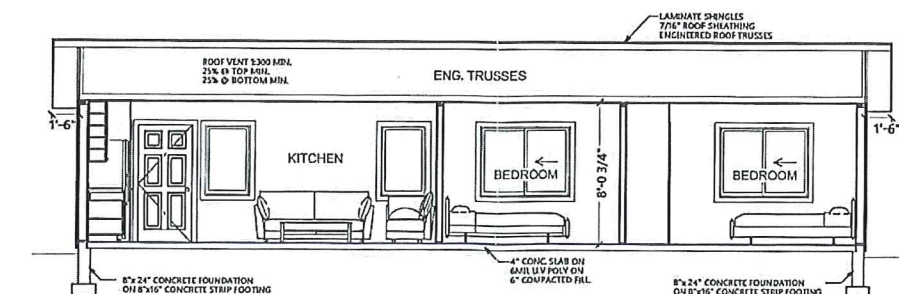
All siding or sheetrock to be a minimum of 8" (200 mm) above finished grade.

All balcony railings to be 36" (910 mm) in height. Minimum spacing between vertical members is 4" (100 mm). Minimum distance between horizontal rails to be 37" (930 mm). Top rail to be within 4" (100 mm) of 40 lbs. per linear foot.

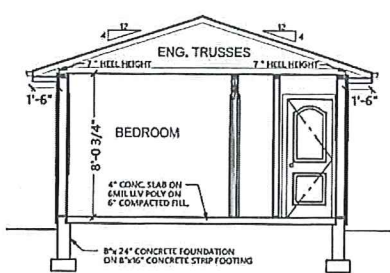
Cost and design down shall have at least one end and shall with minimum depth of 24" unless otherwise stated. Green paint shall have 3" adjustable valves wherever possible. Brown closets shall have on shelf.

ERRORS AND OMISSIONS

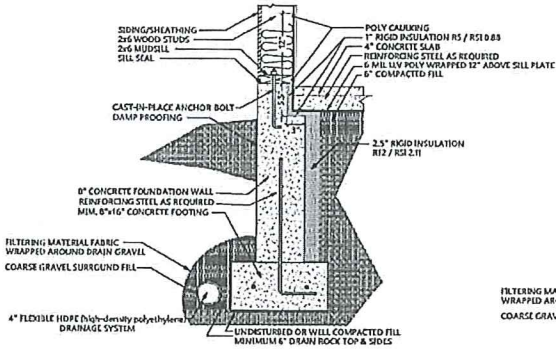
"RISTRY HOME DESIGN INC." MAKES EVERY EFFORT TO PROVIDE COMPLETE AND ACCURATE HOME PLANS. HOWEVER, WE ASSUME NO LIABILITY FOR ANY ERRORS OR OMISSIONS WHICH MAY AFFECT CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE BUYER TO CHECK AND VERIFY ALL DIMENSIONS AND DETAILS BEFORE PROCEEDING WITH CONSTRUCTION. SHOULD ANY DISCREPANCIES BE FOUND ON THESE PLANS PLEASE ADVISE "RISTRY HOME DESIGN INC." AT YOUR EARLIEST CONVENIENCE. BY GOING SO WE WILL BE ABLE TO MAKE CORRECTIONS TO THE DRAWINGS AND REPLACE ANY PLANS PURCHASED IF NECESSARY. IN THIS WAY WE CAN BETTER SERVE YOU AND PREVENT ERRORS FROM RECURRING.



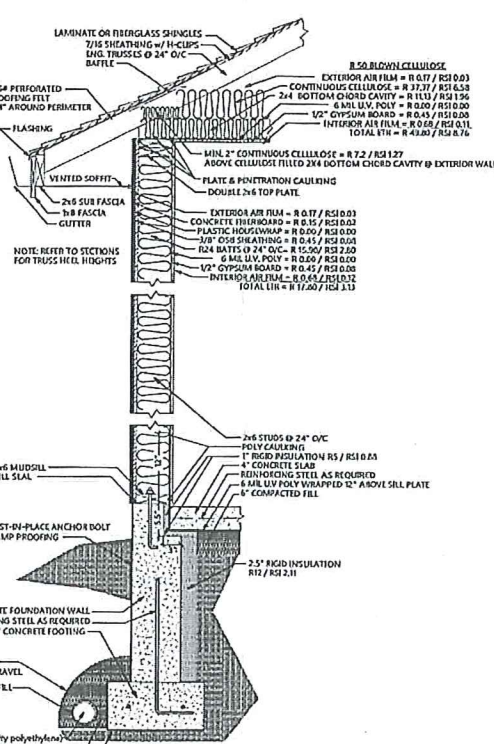
SECTION B-B



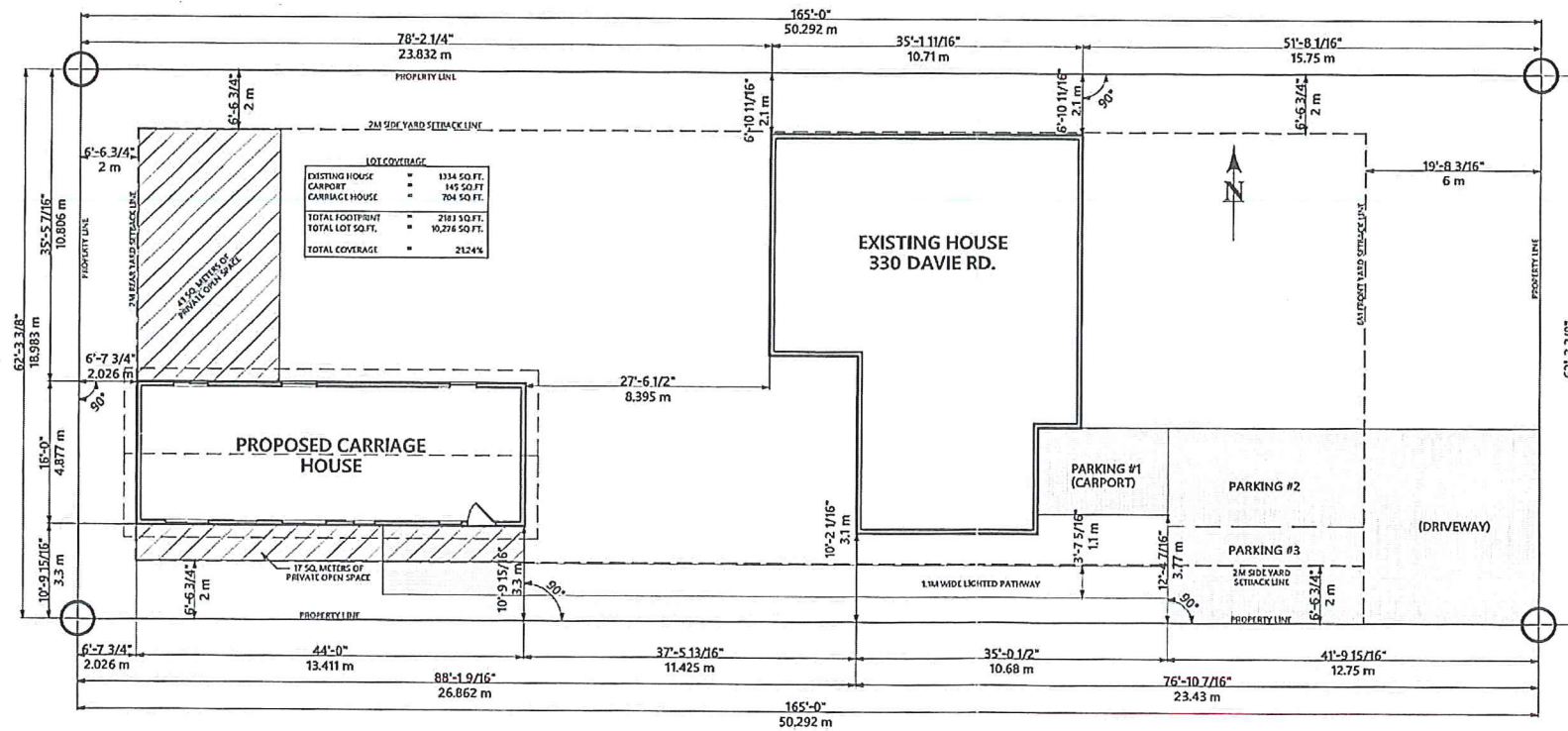
SECTION A-A



FOUNDATION FROST WALL: 24" (MIN)
SCALE: 1" = 1'-0"



TYPICAL WALL SECTION



PLOT PLAN

SCALE: 1/8" = 1'

SPECIFICATIONS

ROOF CONSTRUCTION

INTERGLASS SHINGLES
7/16" ROOF SHEATHING
ENGINEERED ROOF TRUSSES
R-18 BLOWN CELLULOSE
6 MIL UV POLY
1/2" DRYWALL

SOFFIT & FASCIA

5" GUTTER
2x4 SUB FASCIA
DIP FASCIA
VENTED ALUMINUM SOFFIT

FOUNDATION

8" CONC. FOUNDATION
DOWNHILL
8" CONC. FOOTING

DOORS & WINDOWS

WINDOWS & DOORS MIN. U VALUE OF 1.0
GARAGE DOOR MIN. R VALUE OF 6.3
STYROFOAM BACKER ROD AND CAULKING SEALS

EXTERIOR WALLS

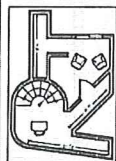
1/2"X6 SIDS
3/8" WALL SHEATHING
2x6 STUDS 24" O.C.
R-14 BATT INSULATION
6 MIL UV POLY
1/2" DRYWALL

CONCRETE SLAB

4" CONC. SLAB
6 MIL UV POLY
6" COMPACTED GRAVEL

DRAINAGE TILE

PERFORATED FELT
MINIMUM 6" DRAIN ROCK
4" DRAIN TILE



Ristry Home Design
design@ristryhomedesign.com
PH: 250-459-1641

ISSUED PLANS:

NO.1 PERMIT DRAWINGS

NO.2

NO.3

NO.4

NO.5

NO.6

NO.7

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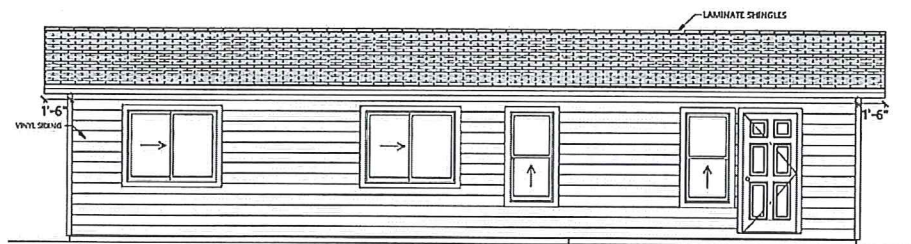
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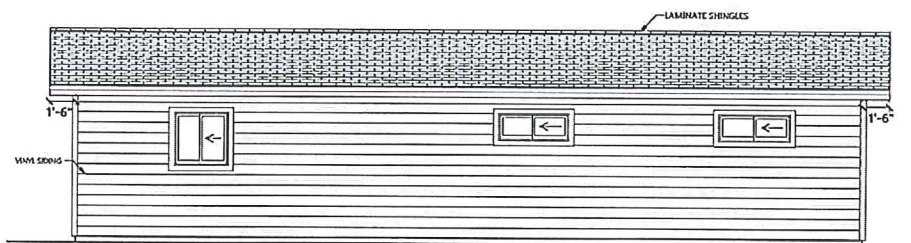
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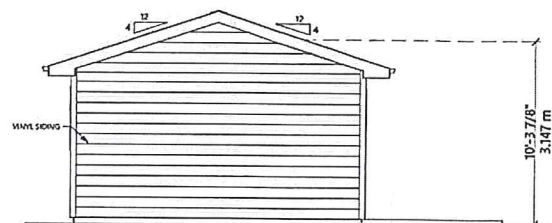
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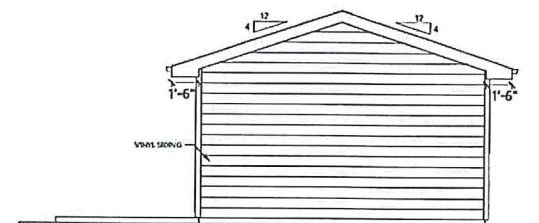
NORTH ELEVATION



SOUTH ELEVATION

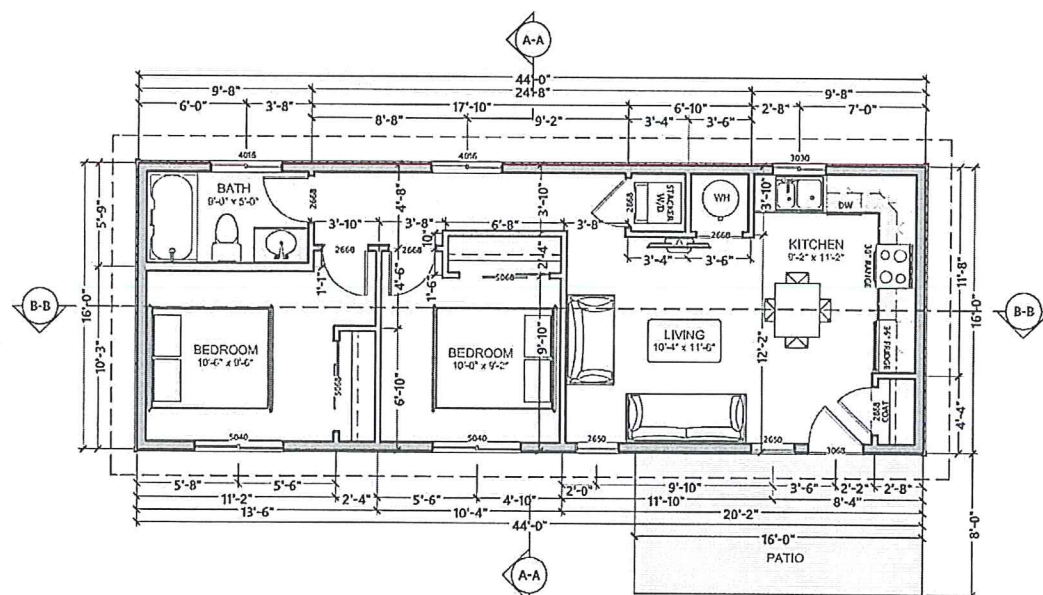


EAST ELEVATION



WEST ELEVATION

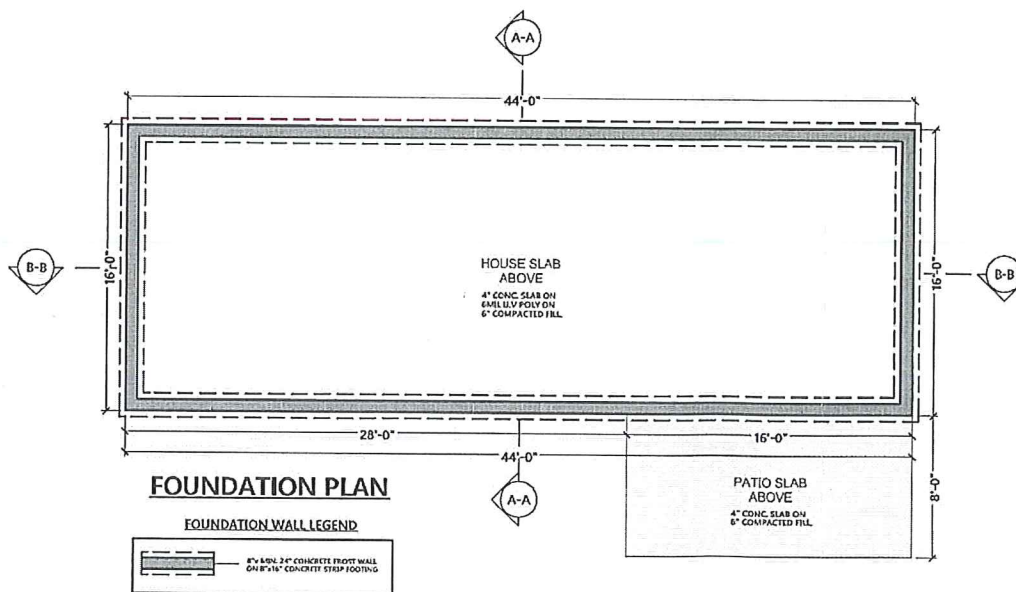
- STANDARD NOTES**
1. ALL WORK SHALL CONFORM TO THE CURRENT BUILDING CODES ADOPTED BY AUTHORITIES HAVING JURISDICTION OR LOCAL BUILDING CODES AND BYLAWS WHICH MAY TAKE PRECEDENCE.
 2. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DRAWINGS.
 3. "R-TISTRY DRAFTING INC." SHALL NOT BE RESPONSIBLE FOR ANY VARIANCES FROM THE STRUCTURAL DRAWINGS AND SPECIFICATIONS, OR ADJUSTMENT REQUIRED RESULTING FROM CONDITIONS ENCOUNTERED AT THE JOB SITE AND IS THE SOLE RESPONSIBILITY OF THE OWNER/BUILDER.
 4. CONSTRUCTION LOADS ON THE STRUCTURE CAUSED BY INTERIM STORAGE OF MATERIALS OR USE OF EQUIPMENT, SHALL NOT BE ALLOWED TO EXCEED THE DESIGN LOADINGS.
 5. ALL WINDOW AND DOOR SEES AND OPERATION ARE TO BE CONFIRMED BY OWNER/BUILDER WITH THE MANUFACTURER.



INTERIOR WALL LEGEND

	2x6 STUDS 16" O/C
	2x4 STUDS 16" O/C

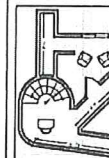
MAIN FLOOR
AREA: 704 SQ.FT.
NOTE: WINDOW LINTELS @ 6" B"



FOUNDATION PLAN

FOUNDATION WALL LEGEND

	8" MIN. 3" CONCRETE FOOT WALL ON 4" MIN. CONCRETE STEP FOOTING
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R-tistry Home Design
design@rtistryhomedesign.com
PH: 250-469-1641

ISSUED PLANS:

NO. 1	PERMIT DRAWINGS	1801-30-15
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PROJECT TITLE
330 DAVIE RD.

DATE:
11/10/2015

SCALE:
1/4" = 1'

SHEET:
1/2