

# REPORT TO COUNCIL



**Date:** 1/25/2016  
**RIM No.** 1250-30  
**To:** City Manager  
**From:** Community Planning (DB)  
**Application:** Z15-0061  
**Address:** 619 McClure Road  
**Subject:** Rezoning a lot from RU1 to RU2 to facilitate a 2 lot subdivision  
**Existing OCP Designation:** S2RES - Single/Two Unit Residential  
**Existing Zone:** RU1- Large Lot Housing  
**Proposed Zone:** RU2 - Medium Lot Housing

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## 1.0 Recommendation

THAT Rezoning Application No. Z15-0061 to amend the City of Kelowna Zoning Bylaw No. 8000 by changing the zoning classification of *Lot A, District Lot 357, SDYD, Plan 13545*, located on *619 McClure Road*, Kelowna, BC from the RU1 zone to the RU2 zone be considered by Council;

AND THAT the Zone Amending Bylaw be forwarded to a Public Hearing for further consideration;

AND THAT final adoption of the Zone Amending Bylaw be considered subsequent to the issuance of a Preliminary Layout Review Letter by the Approving Officer;

AND THAT final adoption of the Zone Amending Bylaw be considered subsequent to the requirements of the Development Engineering Branch being completed to their satisfaction.

AND THAT final adoption of the Rezoning Bylaw be considered subsequent to the outstanding conditions of approval as set out in Schedule "A" attached to the Report from the Community Planning Department dated January 25, 2016;

## 2.0 Purpose

The applicant is requesting permission to rezone the subject property from RU1 - Large Lot Housing to RU2 - Medium Lot Housing in order to facilitate a subdivision of the parcel into two lots.

### 3.0 Community Planning

The subject property is within the Okanagan Mission Sector of Kelowna. It is designated as S2RES - Single/Two Unit Residential in the OCP and as such the application to rezone to RU2 to facilitate a 2 lot subdivision is in compliance with the designated future land use. In addition, the OCP generally supports the densification of neighbourhoods through appropriate infill development, including the use of smaller lots.

The proposed lots meet or exceed the zoning criteria standards for the RU2 - Medium Lot Housing zone. The property is serviced by City of Kelowna water and sanitary sewer.

Based on current City policy and the services available, City staff supports this application.

### 4.0 Proposal

#### 4.1 Background / Project Description

The applicant is requesting permission to subdivide the existing 2104 m<sup>2</sup> (0.52 ac) parcel into two equal parcels.

#### 4.2 Site Context

The subject property is located in the Okanagan Mission Sector of Kelowna (see Map 1 - Subject Property, below). The property currently has a single family dwelling. In order to create the subdivision, the house will need to be demolished.

The surrounding area is characterized by single family dwellings.

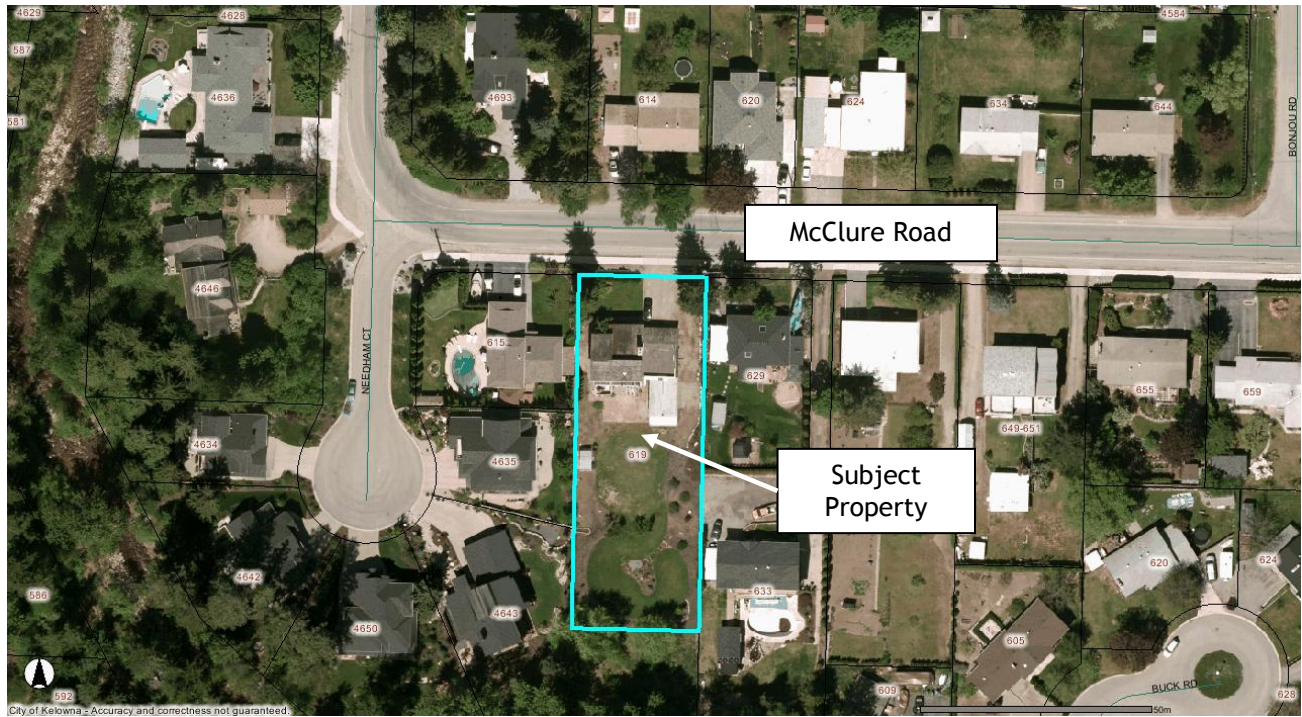
#### 4.3 Zoning of Adjacent Property

Zoning for adjacent properties is outlined in the following table:

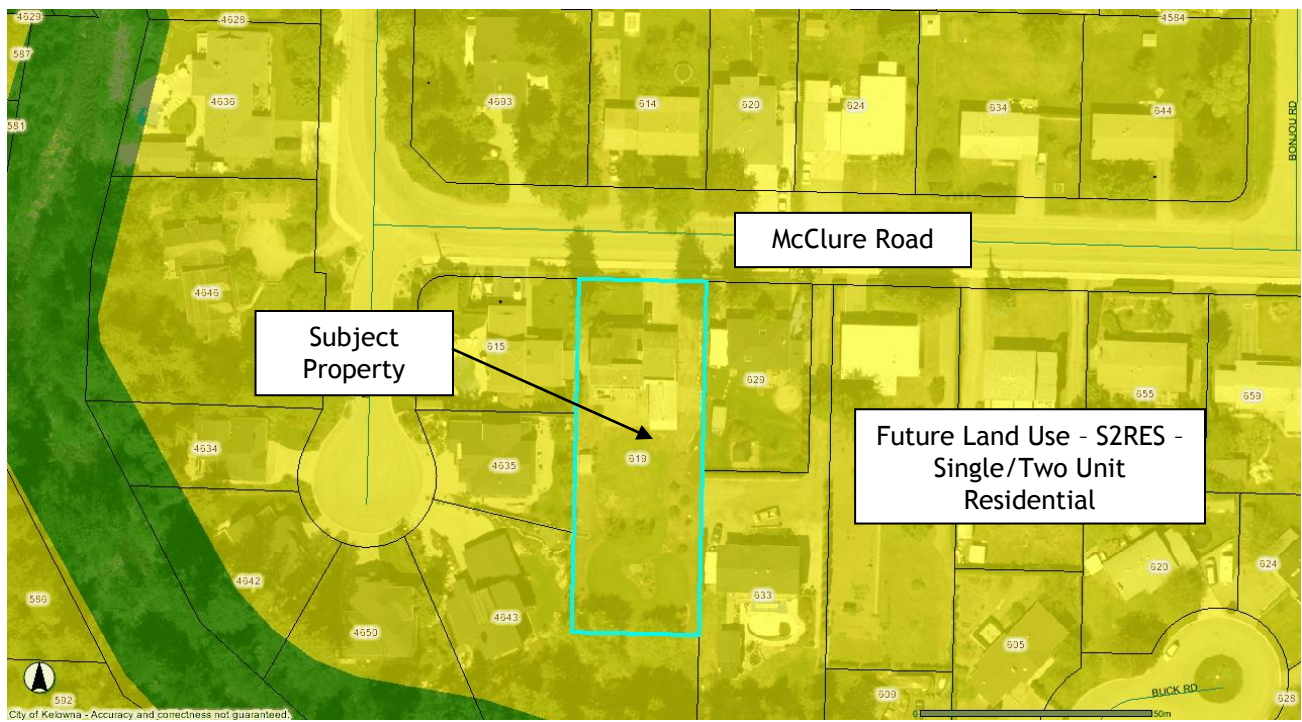
**Table 1: Zoning of Adjacent Property**

<i>Direction</i>	<i>Zoning Designation</i>	<i>Land Use</i>
North	RU-1 Large Lot Housing	Single Family Dwelling
East	RU-1 Large Lot Housing	Single Family Dwelling
South	RU-1 Large Lot Housing	Single Family Dwelling
West	RU-1 Large Lot Housing	Single Family Dwelling

**Map 1: Subject Property - 619 McClure Road**



**Map 2: Neighbourhood Future Land Use - 619 McClure Road**



#### 4.4 Transit

McClure Road is currently serviced by the Southridge Bus Transit Route. The nearest bus stop is approximately 350 m east of the subject property.

#### 4.5 Servicing

The area is currently serviced by City of Kelowna water and sanitary sewer.

#### 4.6 Subdivision and Development Criteria

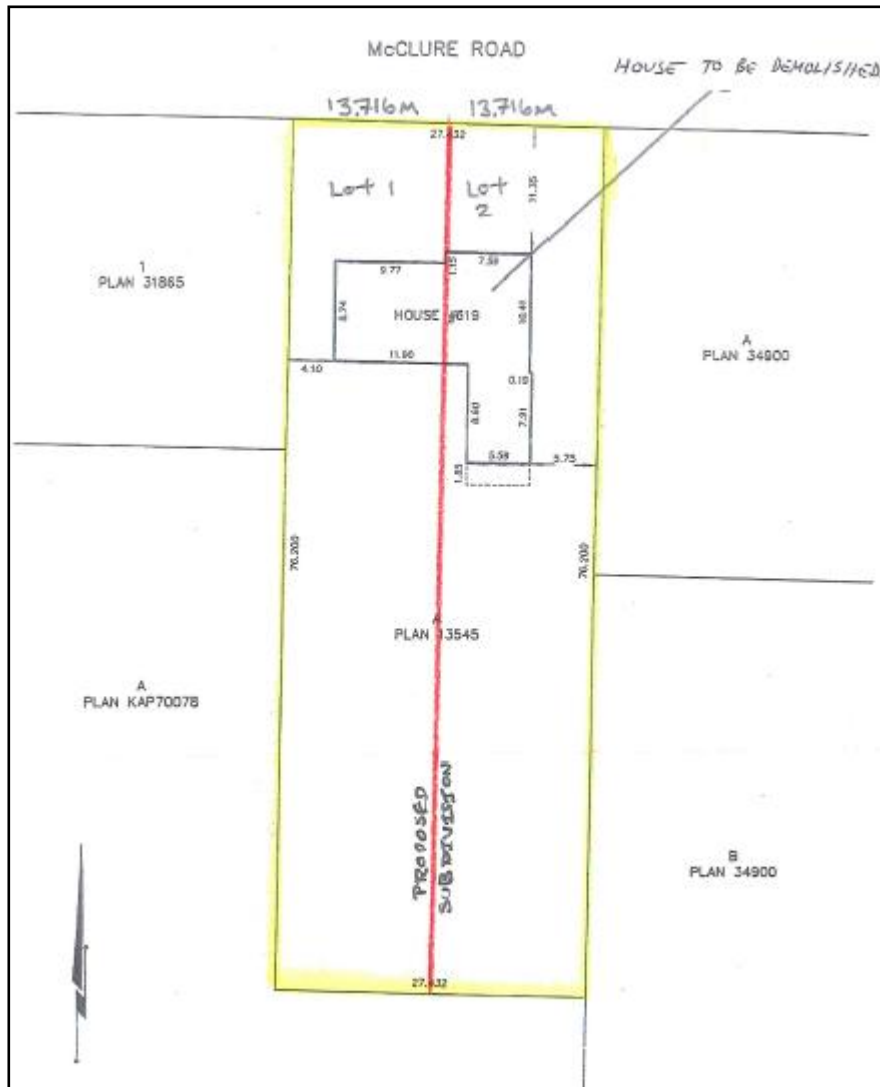
The proposed lot configuration conforms to the requirements of the RU2 - Medium Lot Housing zone requirements. Subdivision and development criteria for the RU2 zone are shown in the Table 1 below.

**Table 2: RU2 Zoning Criteria**

Criteria	RU2 - Medium Lot Housing	Proposed Lots
Minimum Lot Area	400 m <sup>2</sup>	1052 m <sup>2</sup>
Minimum Lot Width	13.0 m	13.7 m
Minimum Lot Depth	30.0 m	76.2 m

No variances are required for this subdivision at this time.

### Map 3: Proposed Subdivision Layout



## 5.0 Current Development Policies

Current development policies that relate to the application are included in the section below.

### 5.1 Kelowna 2020 - Official Community Plan - General Policies<sup>1</sup>

#### Focus development to designated growth areas

**Compact Urban Form.** Develop a compact urban form that maximizes the use of existing infrastructure and contributes to energy efficient settlement patterns. This will be done by increasing densities (approximately 75 - 100 people and/or jobs per ha located within a 400 metre walking distance of transit stops is required to support the level of transit service)

<sup>1</sup> City of Kelowna Official Community Plan - Development Process; p. 5.3

through development, conversion, and re-development within Urban Centres in particular and existing areas as per the provisions of the Generalized Future Land Use Map.

**Permanent Growth Boundary.**<sup>2</sup> Establish a Permanent Growth Boundary as identified on Map 4.1 and Map 5.2. The City of Kelowna will support development of property outside the Permanent Growth Boundary for more intensive use only to the extent permitted as per the OCP Future Land Use designations in place as of initial adoption of OCP Bylaw 10500, except for Agri-Business designated sites or as per Council's specific amendment of this policy. The Permanent Growth Boundary may be reviewed as part of the next major OCP update.

### **Ensure context sensitive housing development<sup>3</sup>**

**Sensitive Infill.** Encourage new development or redevelopment in existing residential areas to be sensitive to or reflect the character of the neighborhood with respect to building design, height and siting.

**Healthy Communities.** Through current zoning regulations and development processes, foster healthy, inclusive communities and a diverse mix of housing forms, consistent with the appearance of the surrounding neighbourhood.

## **6.0 Technical Comments**

### **6.1 Development Services Department**

See attached memorandum dated January 8, 2016.

## **7.0 Application Chronology**

Date of Application Received:	November 26, 2015
Public Consultation Received:	January 7, 2016

**Report prepared by:**

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Damien Burggraeve, Land Use Planner

**Approved for Inclusion:**



Ryan Smith, Manager, Community Planning

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<sup>2</sup> City of Kelowna Official Community Plan, Policy 5.3.1 (Development Process Chapter).

<sup>3</sup> City of Kelowna Official Community Plan - Development Process; p. 5.27

**Attachments:**

Subject Property Map

Site Plan - Proposed Subdivision Layout

Development Engineering Memorandum

Public Notification