

**CITY OF KELOWNA**
MEMORANDUM

Date: Nov 20, 2017
File No.: Z17-0101

To: Community Planning Management (LK)

From: Development Engineering Manager (JK)

Subject: 490 Dougall Rd N

RU1 to RU1c

Development Engineering has the following comments and requirements associated with this application to rezone from RU1 to RU1c to facilitate the development of a carriage house. The servicing requirements outlined in this report will be a requirement of this development.

1. Domestic Water and Fire Protection

The property is located within the Rutland Water District (RWD) service area. The water system must be capable of supplying domestic and fire flow demands of the project in accordance with the Subdivision, Development & Servicing Bylaw. The developer is responsible, if necessary, to arrange with RWD staff for any service improvements.

2. Sanitary Sewer

- a) Our records indicate that this property is currently serviced with a 100mm-diameter sanitary sewer service which is adequate for this application.
- b) This property is located within Sewer Specified Area #20. 1 Single Family Equivalent (SFE) is paid for annually with property taxes and is required to be paid in full as part of this rezoning application in addition to 0.5 SFE for the proposed carriage house. The total sewer Specified Area fee in 2017 will be calculated based on 1.5 SFE at \$2045.50 per SFE = **\$3068.25**

3. Development Permit and Site Related Issues

- a) Direct the roof drains onto splash pads.
- b) Maximum driveway width permitted is 6m.

4. Electric Power and Telecommunication Services

It is the applicant's responsibility to make a servicing application with the respective electric power, telephone and cable transmission companies to arrange for service upgrades to these services which would be at the applicant's cost.

James Kay, P. Eng.
Development Engineering Manager
agm



106 – 200 Dougall Road North
Kelowna, BC V1X 3K5
www.rutlandwaterworks.com

p: (250) 765-5218
f: (250) 765-7765
e: info@rutlandwaterworks.com

December 8, 2017

Jaspreet Sekhon
1828 Split Rail Pl
Kelowna, BC V1X 3K5

RE: Lot 17, Plan 3476 – 490 Dougall Rd N (Zoning)
File # Z17-0101, RWD File 17/23

In response to City of Kelowna request for comment the following is a summary of Rutland Waterworks District requirements:

1. Capital Expenditure Charges	<u>\$2,200.00</u>
Total Fees Payable	\$2,200.00


Water service for the carriage house is to be extended from the existing single family dwelling (through the existing water meter).

Any outstanding accounts must be brought to current status.

Upon receipt of these fees, a water certificate will be issued.

Should you have any questions or require further information, please contact the undersigned.

Sincerely,



Kevin Reynolds
Manager

c. Lydia Korolchuk (City of Kelowna)

CODE AND STANDARDS

ALL WORKMANSHIP IS TO BE OF A STANDARD EQUAL IN ALL RESPECTS TO GOOD BUILDING PRACTICE.

AT THE TIME OF PREPARATION, THIS PLAN WAS DRAWN IN ACCORDANCE WITH THE CURRENT EDITION OF THE NATIONAL BUILDING CODE. IT IS THE RESPONSIBILITY OF THE BUILDER TO INSURE THAT CHANGES MADE TO THE CODE ARE COMPLIED WITH AND ALL AMENDMENTS ARE INCORPORATED IN THE CONSTRUCTION OF THIS PLAN. ALL WORK SHALL CONFORM TO THE LOCAL BUILDING CODES AND BYLAWS WHICH TAKE PRECEDENCE.

PRIOR TO PROCEEDING WITH CONSTRUCTION, THE BUILDER MUST VERIFY ALL INFORMATION, DIMENSIONS AND SPECIFICATION OF THIS PLAN.

GENERAL NOTES - ARCHITECTURAL

ROOF SPACE VENTILATION - PROVIDE UNIFORM VENTILATION TO 1/300 OF INSULATED CEILING AREA c/w TWO-WAY VENTING

ROOF SPACE - VENTS - PROVIDE UNIFORM DISTRIBUTION OF VENTS WITH 25% MIN. IN THE EAVES AND 15% IN THE ROOF TOP

ROOF SPACE INSULATED - SHALL BE 1" MIN. DISTANCE BELOW THE TOP OF JOISTS

GLASS DETAILS
- WINDOW FRAMES TO BE THERMALLY BROKEN
- GLASS IN SIDELIGHT WITHIN 36" OF THE DOOR LOCKS TO BE SAFETY GLASS
- WINDOWS IN THE ENTRANCE, SHOWER AND SLIDING DOORS TO BE SAFETY GLASS
- WINDOWS IN BEDROOMS TO BE 4'-11" MAX. ABOVE FLOOR AND TO HAVE A MIN. OPENING DIMENSION OF 15" WITH AN AREA OF 3/75 SFT
- PROVISION FOR SAFETY GLASS SKYLIGHT IN THERMALLY BROKEN ALUMINUM FRAME

WALL ASSEMBLY INSULATION - MIN. R-VALUE OF R-14 FOR WALLS, R-28 FOR FLAT OR VAULTED CEILINGS AND R-40 FOR ATTICS

WALL ASSEMBLY - WATERPROOF WALLBOARD IS REQUIRED AS TILE BASE AROUND ALL TUBS AND SHOWERS.

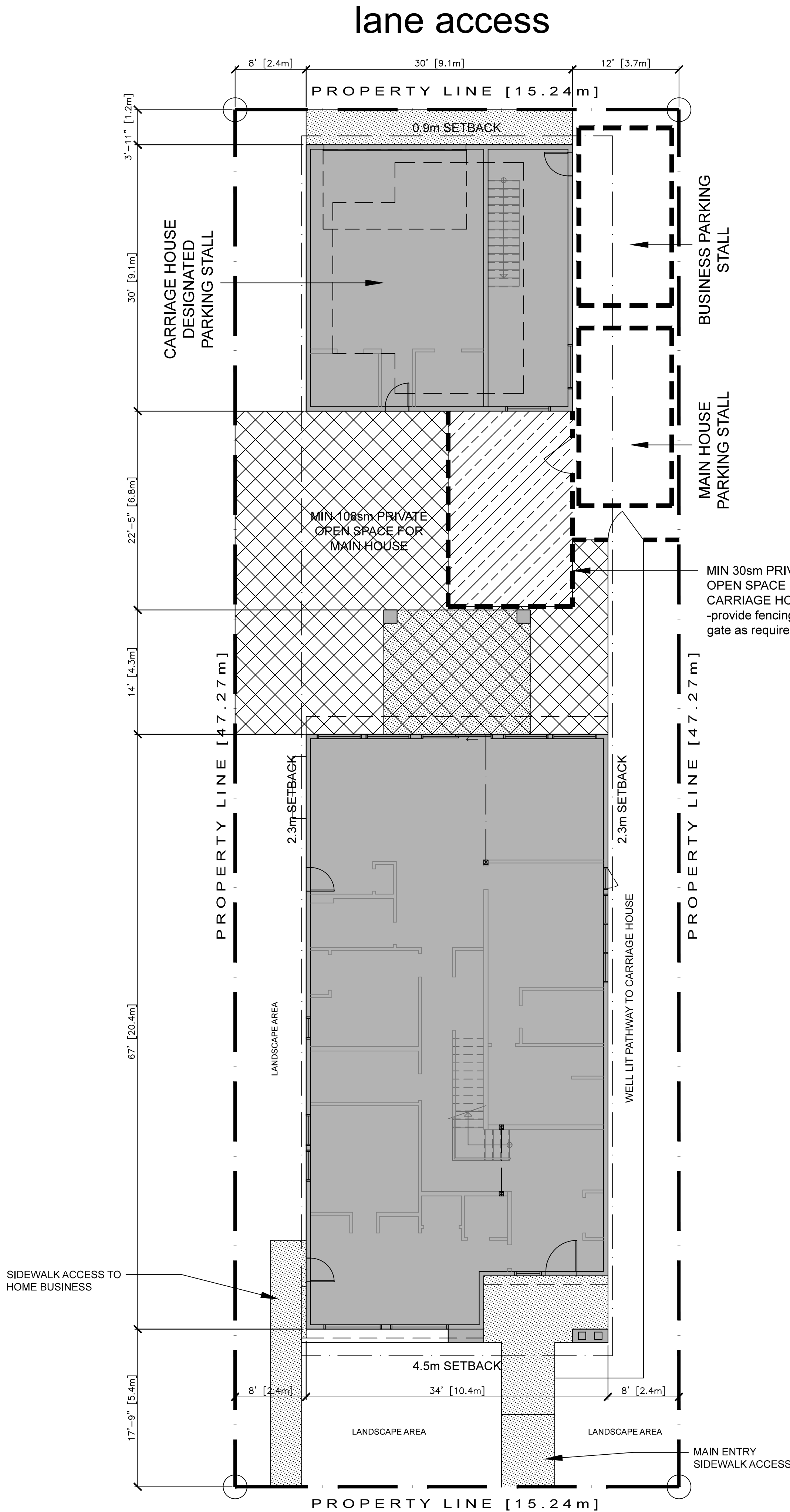
CEILINGS - MIN. 5/8" GWB THICKNESS WHERE THE SPACING MEMBERS IS GREATER THAN 16" O.C.

VENTILATION
- NATURAL VENTILATION TO ALL ROOMS
- AIR SHALL BE MECHANICALLY EXHAUSTED FROM KITCHENS, LAUNDRY AND BATHROOMS THAT HAVE NO VENTED WINDOWS
- ALL DOORS SHALL BE UNDERCUT 1/2" FOR AIR FLOW

RESIDENTIAL STRUCTURAL NOTES

- CONCRETE FOOTINGS MUST BE PLACED ON UNDISTURBED SOIL AT AN ELEVATION BELOW FROST PENETRATION.
- PAD AND STRIP FOOTINGS ARE TO BE CENTERED UNDER COLUMNS AND WALLS ABOVE UNLESS OTHERWISE SHOWN. STEPS IN FOOTINGS ARE TO BE A MAXIMUM OF 24" HIGH AND A MINIMUM OF 24" APART. FOOTINGS ARE TO BE PLACED BELOW FROST LINE AS PER CODE, OR ON FIRM BEARING SOIL, WHICHEVER IS DEEPER
- TO BE VERIFIED BY GEOTECHNICAL ENGINEER.
- FOUNDATION WALLS SHALL NOT BE BACK FILLED UNTIL THE CONCRETE HAS REACHED A MINIMUM 14 DAY COMPRESSIVE STRENGTH AND ALL STRUCTURAL FRAMING, INCLUDING PLYWOOD SUB FLOOR, REQUIRED TO PROVIDE LATERAL SUPPORT TO THE FOUNDATION WALLS, IS COMPLETE, FULLY NAILED AND ANCHORED.
- ALL FOUNDATION WALLS OVER 8'-0" IN HEIGHT MUST BE DESIGNED BY A CERTIFIED STRUCTURAL ENGINEER.

ALL PAD FOOTINGS TO BE SIZED AND DESIGNED BY A STRUCTURAL ENGINEER



WITHOUT HEAT RECOVERY VENTILATOR		
CONSTRUCTION ASSEMBLIES	RSI	R
SLOPING ROOF ASSEMBLY		
OUTSIDE AIR FILM	0.03	0.17
LAMINATED ASPHALT SHINGLES	0.08	0.45
7/16" O.S.B. SHEATHING	0.11	0.62
ENGINEERED ROOF TRUSSES	N/A	N/A
R-50 BATT INSULATION (18")	8.80	48.85
6mil POLY VAPOUR BARRIER	N/A	N/A
1/2" GWB	0.08	0.45
INTERIOR AIR FILM	0.12	0.68
TOTAL EFFECTIVE INSULATION VALUE: (4.51 min.)	9.22	51.02
WOOD FLOOR ASSEMBLY		
3/4" T&G OSB GOLD SHEATHING	0.14	0.77
ENGINEERED I-JOISTS (SPACING AS PER MANUF.)	N/A	N/A
1/2" GWB	0.08	0.45
ADD R-24 BATT INSUL. ABOVE GARAGE	4.23	15.1
CONC. FLOOR ASSEMBLY		
AIR FILM	0.16	0.91
4" REINFORCED CONC. SLAB	0.04	0.23
6mil U/V POLY	N/A	N/A
8" COMPACTED GRAVEL FILL	N/A	N/A
UNDISTURBED BEARING SOIL	N/A	N/A
FOUNDATION WALL		
DAMPPROOFING OVER	N/A	N/A
8" CONC. FOUNDATION WALL	0.11	0.62
1" AIR SPACE	0.18	1.0
2X6 WOOD STUDS @ 16" O.C.	N/A	N/A
R-22 BATT INSULATION	2.84	16.13
6mil POLY VAPOUR BARRIER	N/A	N/A
1/2" GWB	0.08	0.45
INTERIOR AIR FILM	0.12	0.68
TOTAL EFFECTIVE INSULATION VALUE: (2.98 min.)	3.33	18.88
EXTERIOR WALL ASSEMBLY (STUCCO)		
OUTSIDE AIR FILM	0.03	0.17
ACRYLIC STUCCO FINISH C/W METAL LATH ON	N/A	N/A
BUILDING PAPER	N/A	N/A
3/8" OSB SHEATHING	0.08	0.45
2X6 WOOD STUDS @ 24" O.C.	N/A	N/A
R-24 BATT INSULATION	2.8	15.9
6mil POLY VAPOUR BARRIER	N/A	N/A
1/2" GWB (PAINT FINISH)	0.08	0.45
INTERIOR AIR FILM	0.12	0.68
TOTAL EFFECTIVE INSULATION VALUE: (3.08 min.)	0.12	17.65
INTERIOR WALL ASSEMBLY (BETWEEN GARAGE & HOUSE)		
1/2" GWB		
2X4 WOOD STUDS @ 16" O.C.		
1/2" GWB		
NOTE: -2X6 STUDS WHERE NOTED -PROVIDE WONDERBOARD BACKING BOARD TO ALL WALLS AROUND TUBS & SHOWERS -MOISTURE RESISTANT GWB @ ALL WASHROOMS & BEHIND SINKS		
INTERIOR WALL ASSEMBLY (BETWEEN GARAGE & HOUSE)		
EXTERIOR AIR FILM (GARAGE SIDE)	0.03	0.17
1/2" GWB	0.08	0.45
2X6 WOOD STUDS @ 16" O.C.	N/A	N/A
R-24 BATT INSUL.	2.66	15.1
6mil POLY VAPOUR BARRIER	N/A	N/A
1/2" GWB	0.08	0.45
INTERIOR AIR FILM	0.12	0.68
TOTAL EFFECTIVE INSULATION VALUE: (2.92 min.)	2.97	16.85

DRAWING LIST

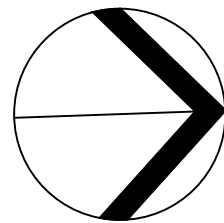
A2.01	SITE PLAN & WALL ASSEMBLY RSI VALUES
A3.01	MAIN FLOOR & UPPER FLOOR PLAN
A3.02	DETACHED GARAGE & CARRIAGE HOUSE PLAN
A3.03	ROOF PLAN
A4.01	FRONT & REAR ELEVATIONS
A4.02	SIDE ELEVATIONS ELEVATIONS
A4.03	DETACHED GARAGE/CARRIAGE HOUSE ELEVS
A5.01	BUILDING SECTIONS & DETAILS

defined by lines

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PROJECT
SEKHON HOUSE

490 N. DOUGALL RD, KELOWNA, BC

DRAWING NUMBER

A2.01

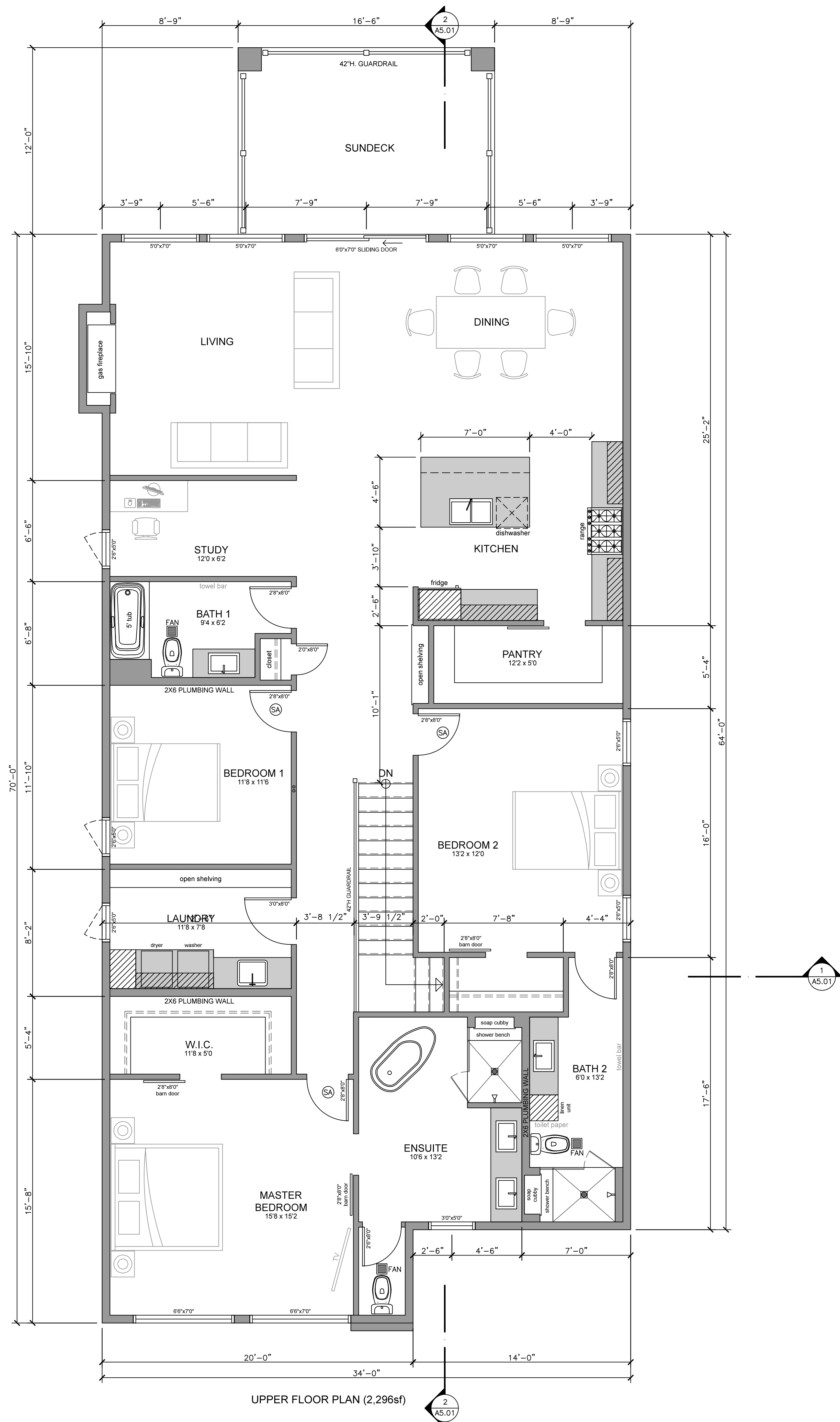
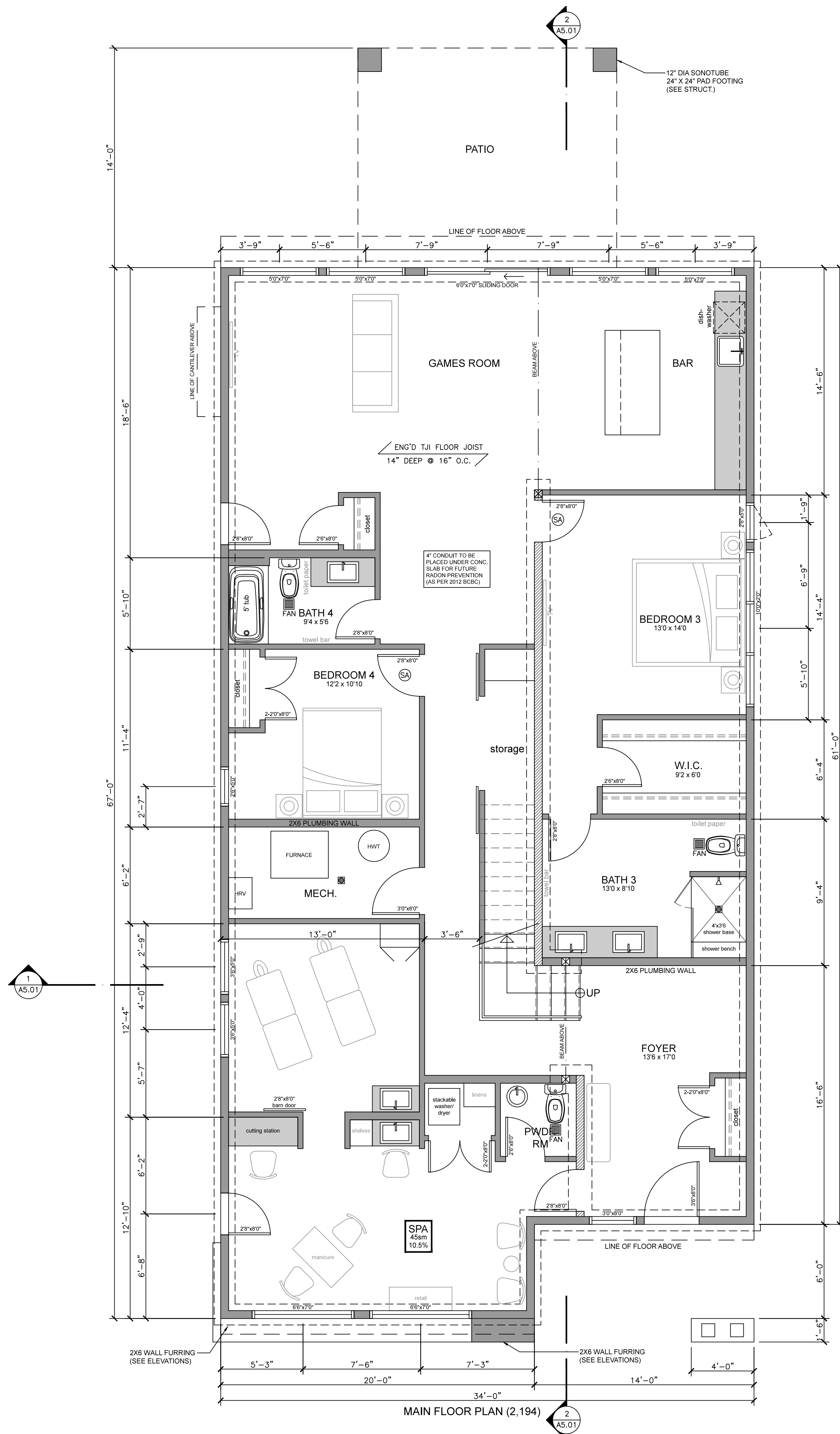
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DRAWING TITLE

SITE PLAN

No.	Date	Revision
01	2017-10-03	issued for DP
02	2018-02-23	revisions for DP
Date	2018-02-23	
Job #	17-081	
Scale	As Shown	
Drawn	PH	

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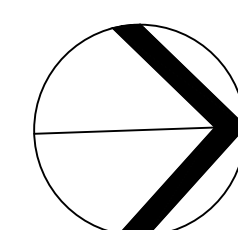
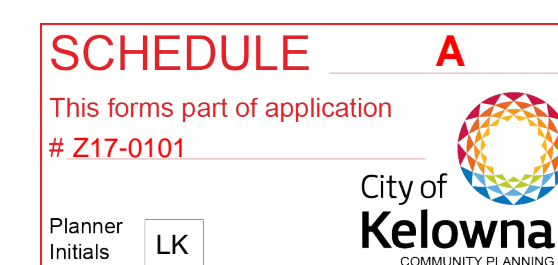
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PROJECT
SEKHON HOUSE

490 N. DOUGALL RD. KELOWNA, BC

DRAWING NUMBER

A3.01

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MAIN & UPPER FLOOR PLAN

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01	2017-10-03	issued for DP
02	2018-02-23	revisions for DP

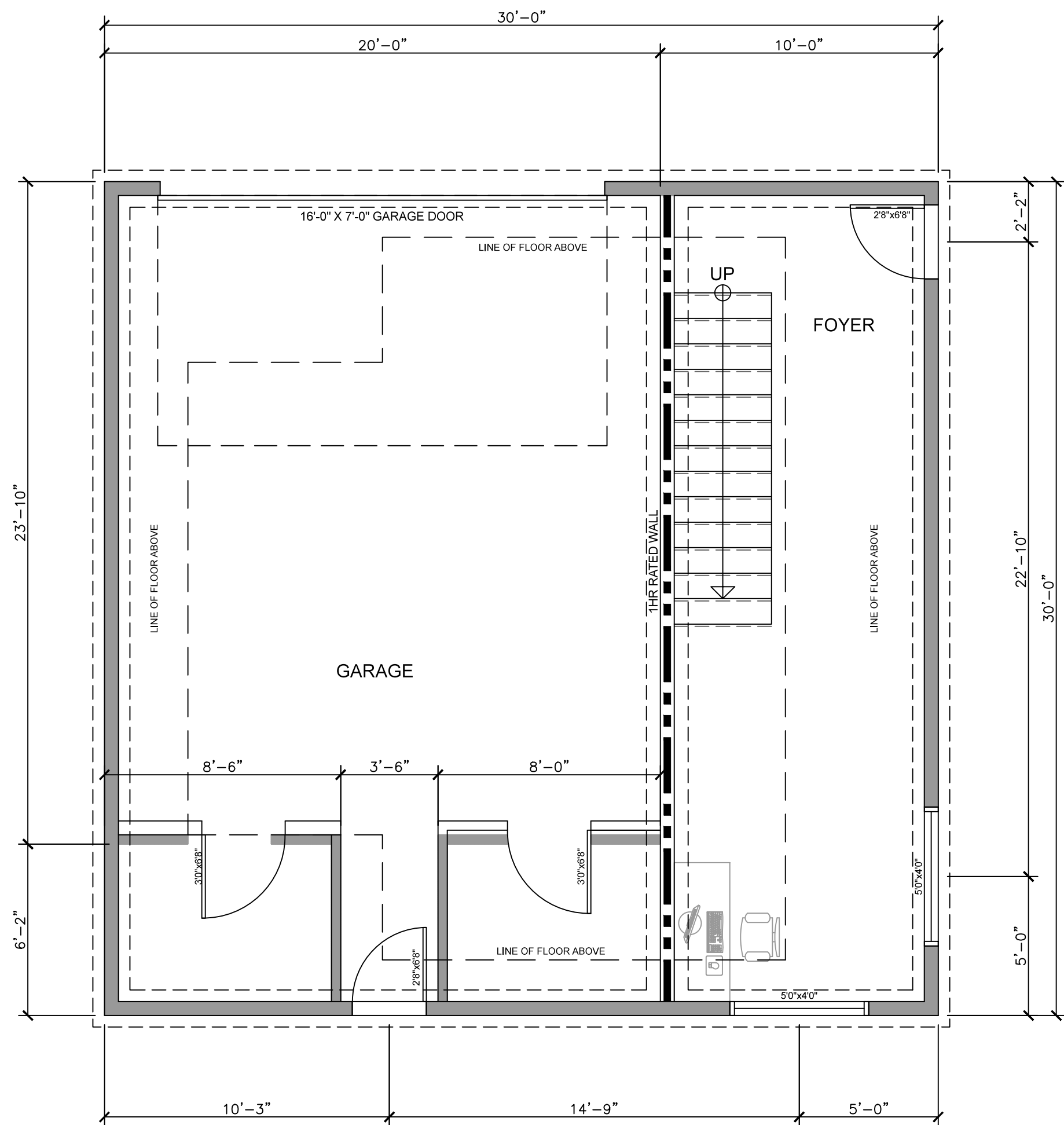
Date 2018-02-23

Job # 17-081

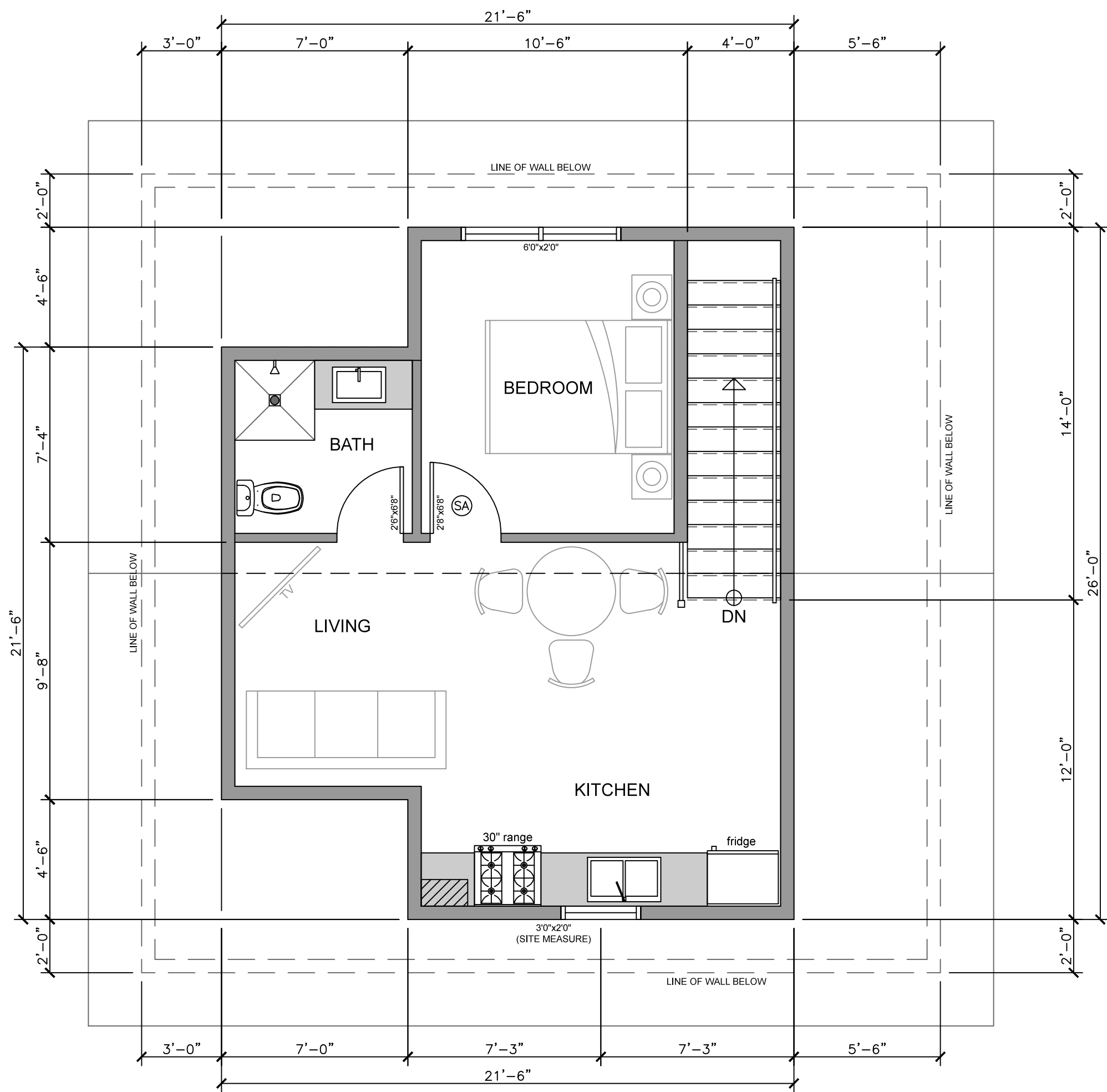
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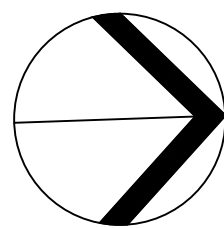


DETACHED GARAGE (607sft)
CARRIAGE HOUSE MAIN FLOOR (292sft)



CARRIAGE HOUSE
UPPER FLOOR PLAN (496sft)

SCHEDULE A
This forms part of application
Z17-0101
Planner Initials LK
City of Kelowna
COMMUNITY PLANNING



PROJECT
SEKHON HOUSE
490 N. DOUGALL RD, KELOWNA, BC
DRAWING NUMBER

A3.02

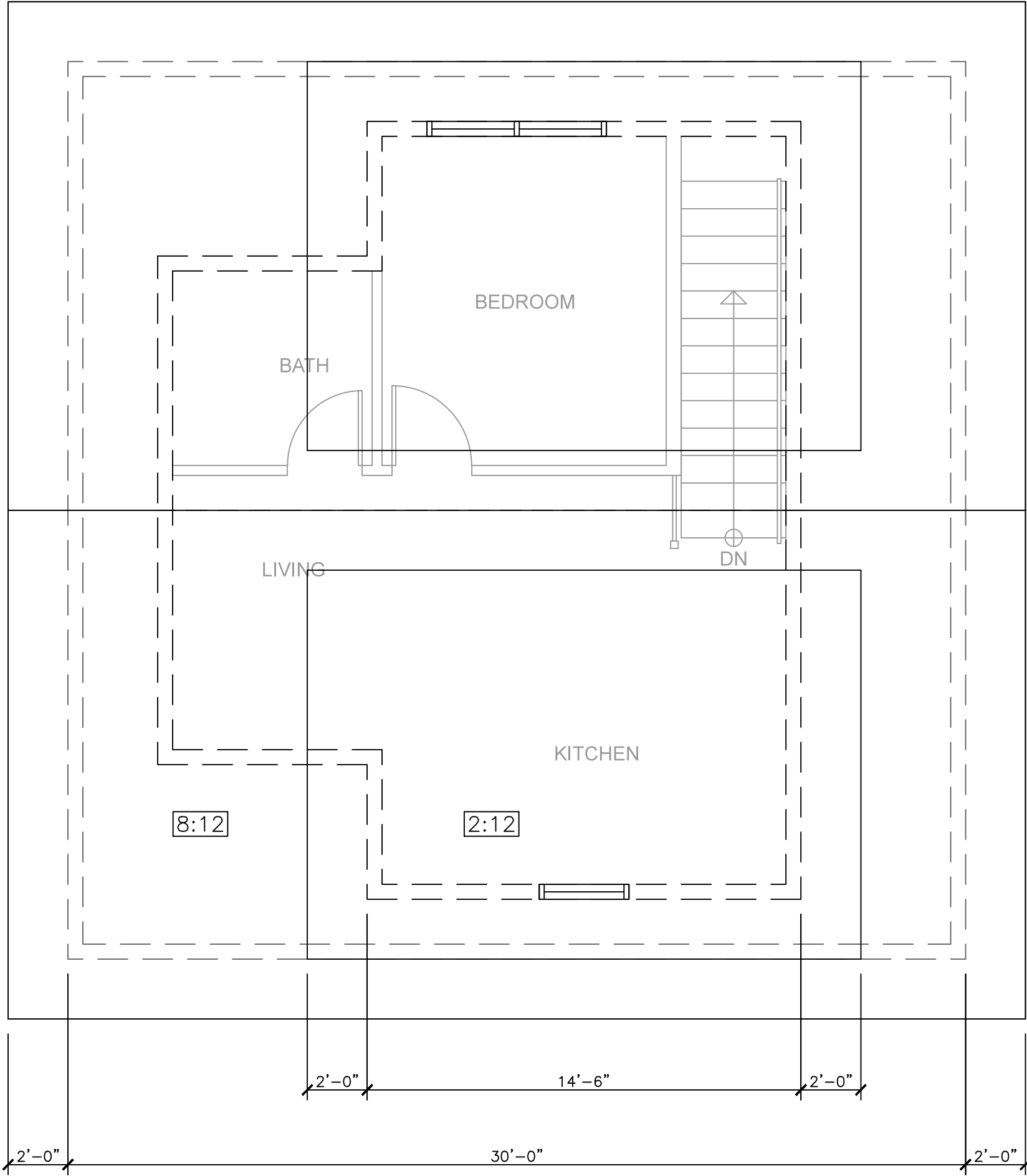
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DRAWING TITLE
DETACHED GARAGE
& CARRIAGE HOUSE

No.	Date	Revision
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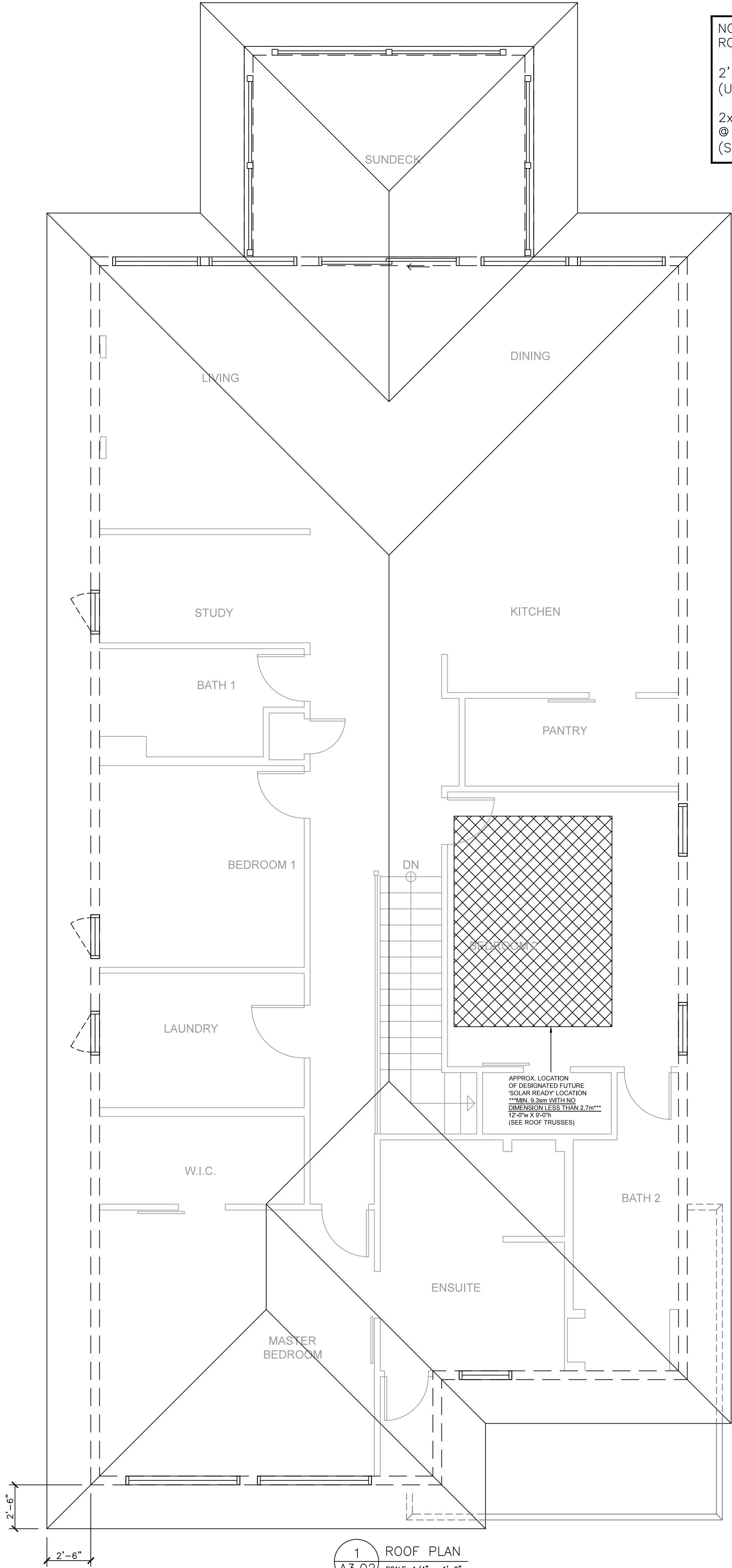
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Drawn	PH

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NOTE:
MAIN ROOF SLOPE: 8:12
UPPER ROOF SLOPE: 2:12
2'-0" TYPICAL OVERHANG
(UNLESS NOTED OTHERWISE)
2x6 CONTIN. WOOD NAILER
⊗ PERIMETER OF TRUSS
(SEE DETAIL)

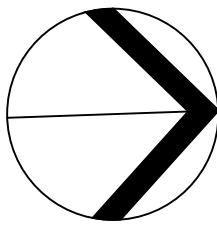
2 CARRIAGE HOUSE ROOF PLAN
A3.02 SCALE: 1/4" = 1'-0"



NOTE:
ROOF SLOPE @ 4:12
2'-6" TYPICAL OVERHANG
(UNLESS NOTED OTHERWISE)
2x6 CONTIN. WOOD NAILER
⊗ PERIMETER OF TRUSS
(SEE DETAIL)

1 ROOF PLAN
A3.02 SCALE: 1/4" = 1'-0"

SCHEDULE A
This forms part of application
Z17-0101
Planner Initials LK
City of Kelowna
COMMUNITY PLANNING



PROJECT
SEKHON HOUSE
490 N. DOUGALL RD, KELOWNA, BC
DRAWING NUMBER

A3.03

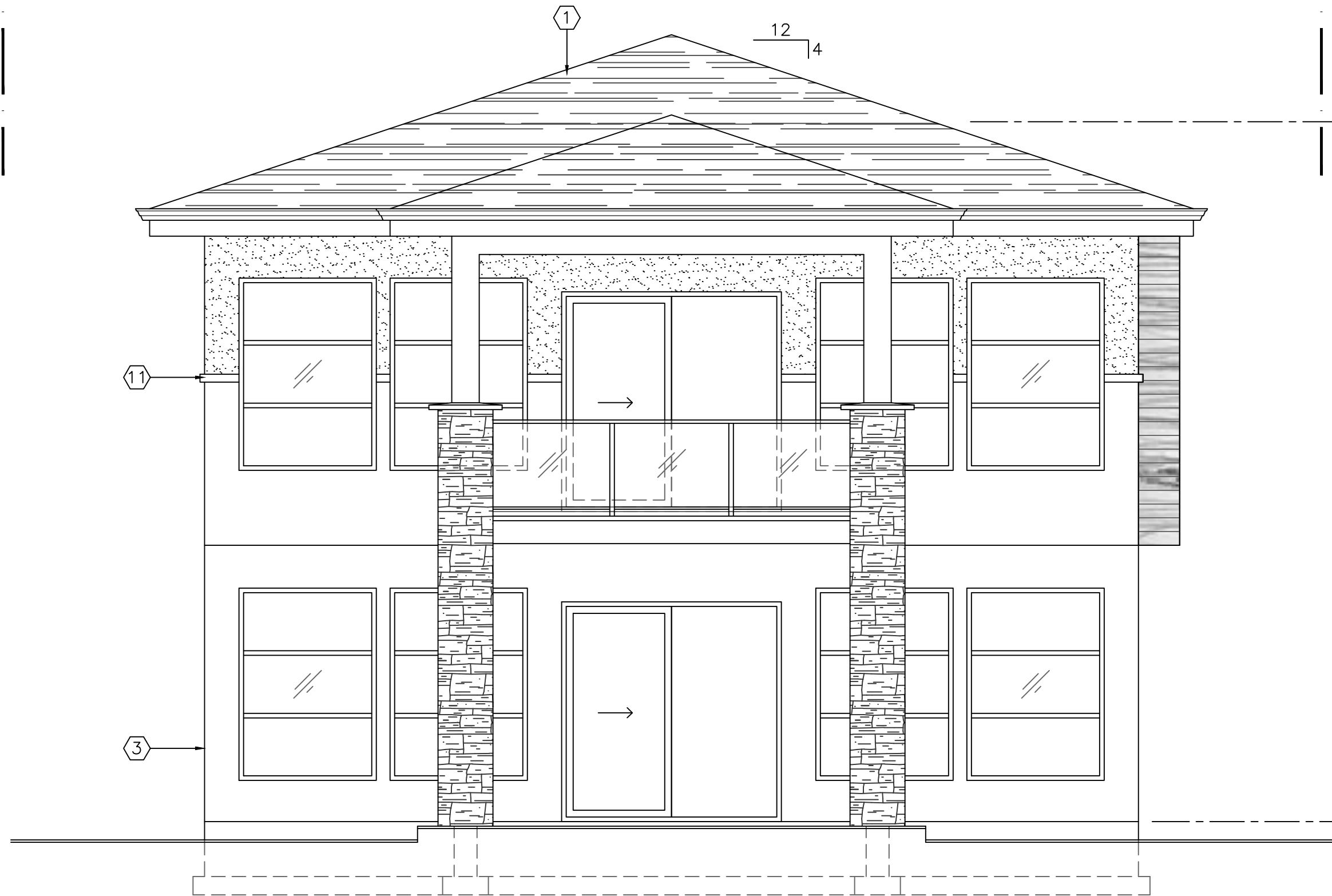
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DRAWING TITLE

ROOF PLANS

No.	Date	Revision
01	2017-10-03	issued for DP
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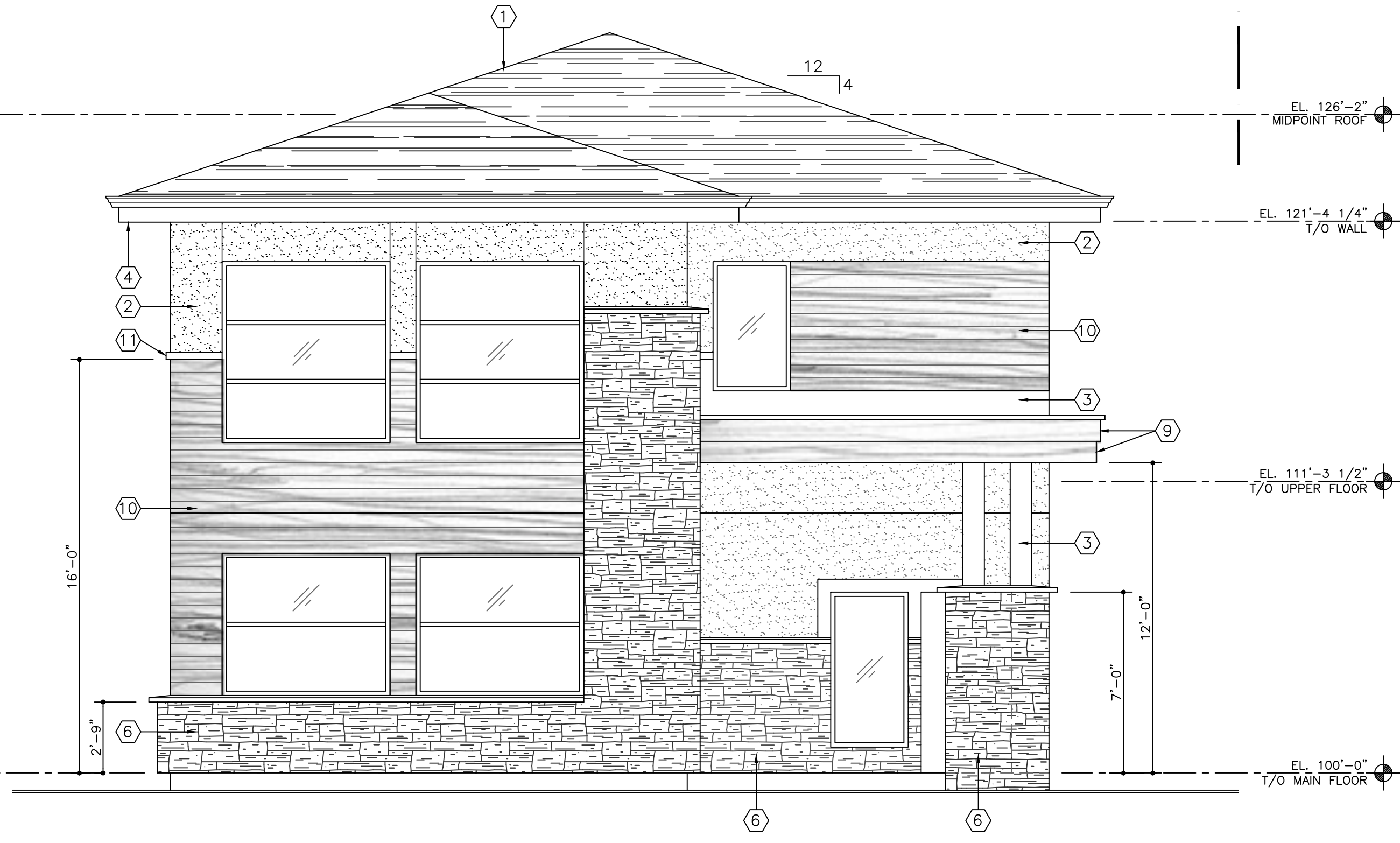
PROPERTY LINE



2 REAR ELEVATION (WEST)
A4.01 SCALE: 1/4" = 1'-0"

PROPERTY LINE

PROPERTY LINE



1 FRONT ELEVATION (EAST)
A4.01 SCALE: 1/4" = 1'-0"

EXTERIOR FINISHES SCHEDULE

1	ASPHALT SHINGLES
2	HARDIE PANEL SIDING (PAINTED BLACK)
3	STUCCO FINISH (COLOUR TO BE SELECTED BY OWNER)
4	PREFIN. METAL GUTTER OVER 1X12 PAINTED FASCIA BOARD
5	VINYL WINDOWS
6	STONE VENEER SELECTED BY OWNER
7	SAFETY GLASS RAILING
8	OVERHEAD GARAGE DOORS
9	1X12 WOOD FASCIA (STAIN FINISH)
10	1X6 WOOD SIDING (STAIN FINISH)
11	2" X 4" FOAM TRIM BAND
12	

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SCHEDULE

This forms part of application
Z17-0101

Planner
Initials LK

B


City of
Kelowna
COMMUNITY PLANNING

PROJECT
SEKHON HOUSE

490 N. DOUGALL RD, KELOWNA, BC

DRAWING NUMBER

A4.01

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DRAWING TITLE

FRONT & REAR
ELEVATIONS

No.	Date	Revision
01	2017-10-03	issued for DP
02	2018-02-23	revisions for DP

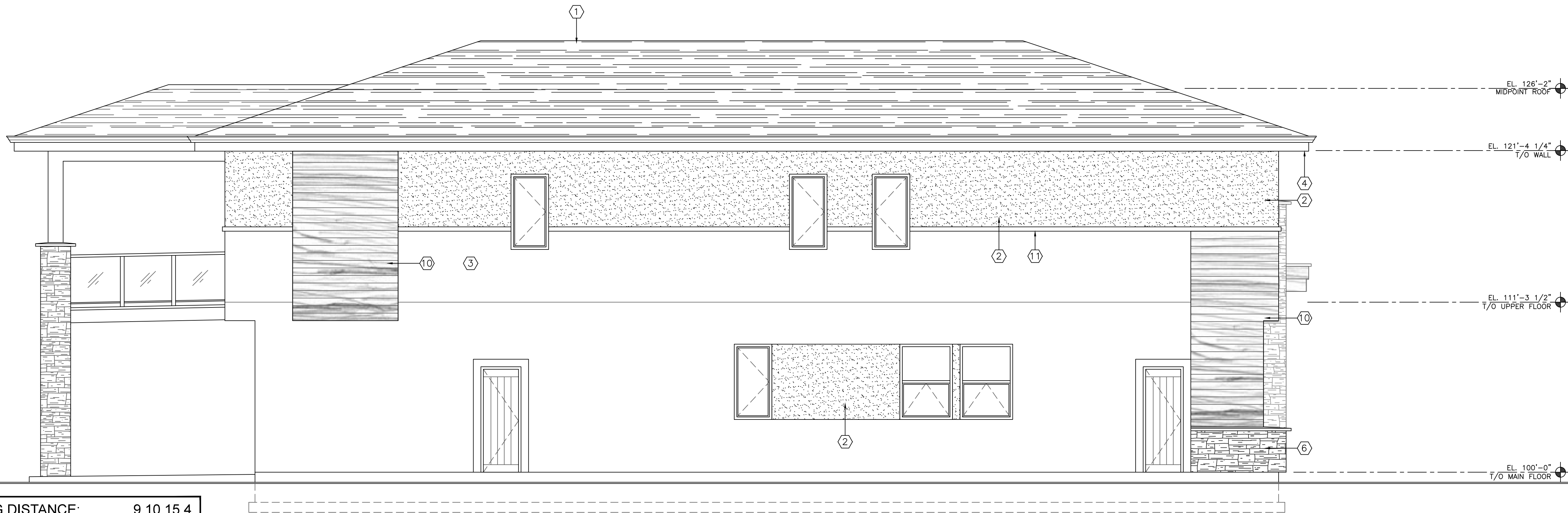
Date 2018-02-23

Job # 17-081

Scale As Shown

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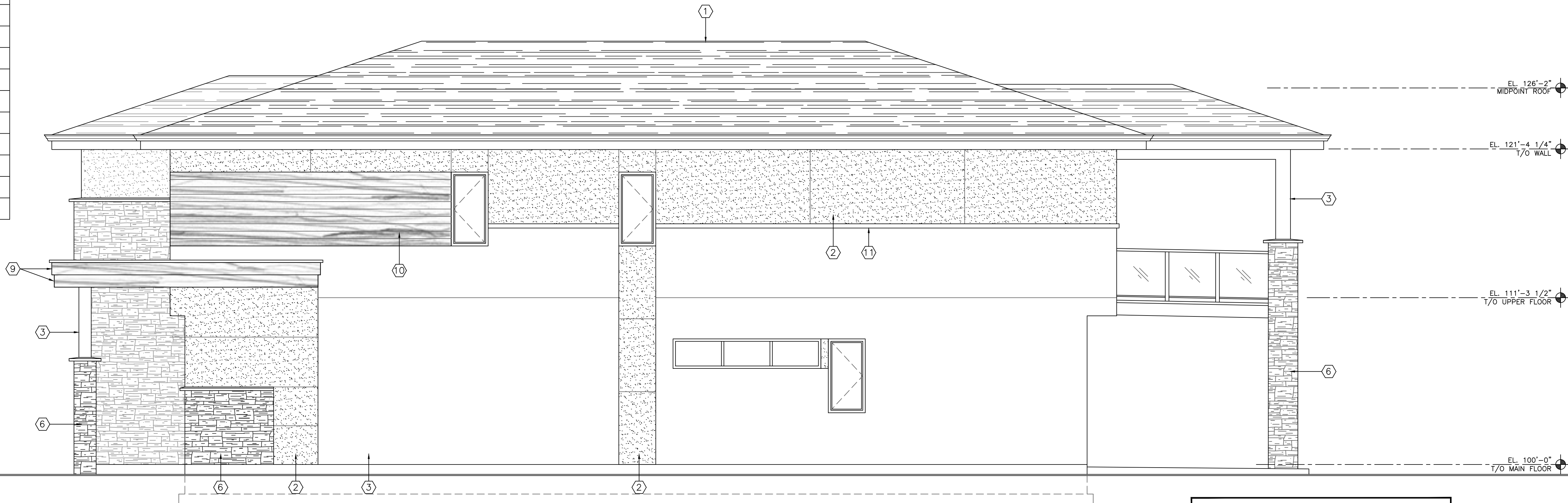
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LIMITING DISTANCE:	9.10.15.4
TOTAL WALL AREA	138.6sm
MAX. ALLOWABLE (8%)	11.1sm
PROPOSED (glazing)	7.9sm
PROPOSED (doors)	3.45sm

1
A4.02
SIDE ELEVATION (SOUTH)
SCALE: 1/4" = 1'-0"

EXTERIOR FINISHES SCHEDULE	
①	ASPHALT SHINGLES
②	HARDIE PANEL SIDING (PAINTED BLACK)
③	STUCCO FINISH (COLOUR TO BE SELECTED BY OWNER)
④	PREFIN. METAL GUTTER OVER 1X12 PAINTED FASCIA BOARD
⑤	VINYL WINDOWS
⑥	STONE VENEER SELECTED BY OWNER
⑦	SAFETY GLASS RAILING
⑧	OVERHEAD GARAGE DOORS
⑨	1X12 WOOD FASCIA (STAIN FINISH)
⑩	1X6 WOOD SIDING (STAIN FINISH)
⑪	2" X 4" FOAM TRIM BAND
⑫	



2
A4.02
SIDE ELEVATION (NORTH)
SCALE: 1/4" = 1'-0"

LIMITING DISTANCE:	9.10.15.4
TOTAL WALL AREA	126.7sm
MAX. ALLOWABLE (8%)	10.1sm
PROPOSED (glazing)	4.9sm

SCHEDULE B

This forms part of application # Z17-0101

Planner Initials LK

City of Kelowna COMMUNITY PLANNING

PROJECT
SEKHON HOUSE
490 N. DOUGALL RD, KELOWNA, BC

DRAWING NUMBER

A4.02

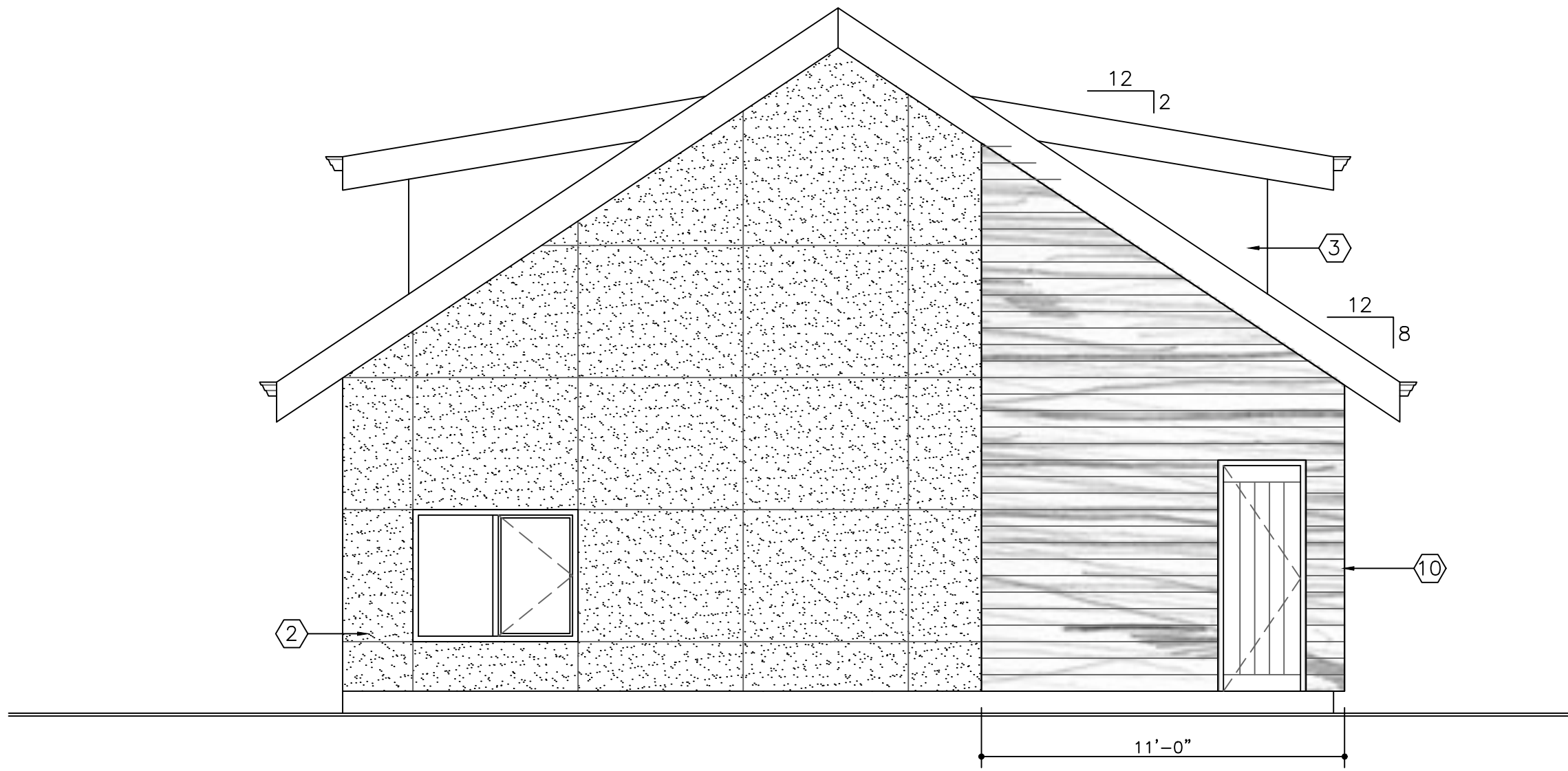
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DRAWING TITLE
SIDE (NORTH&SOUTH)
ELEVATIONS

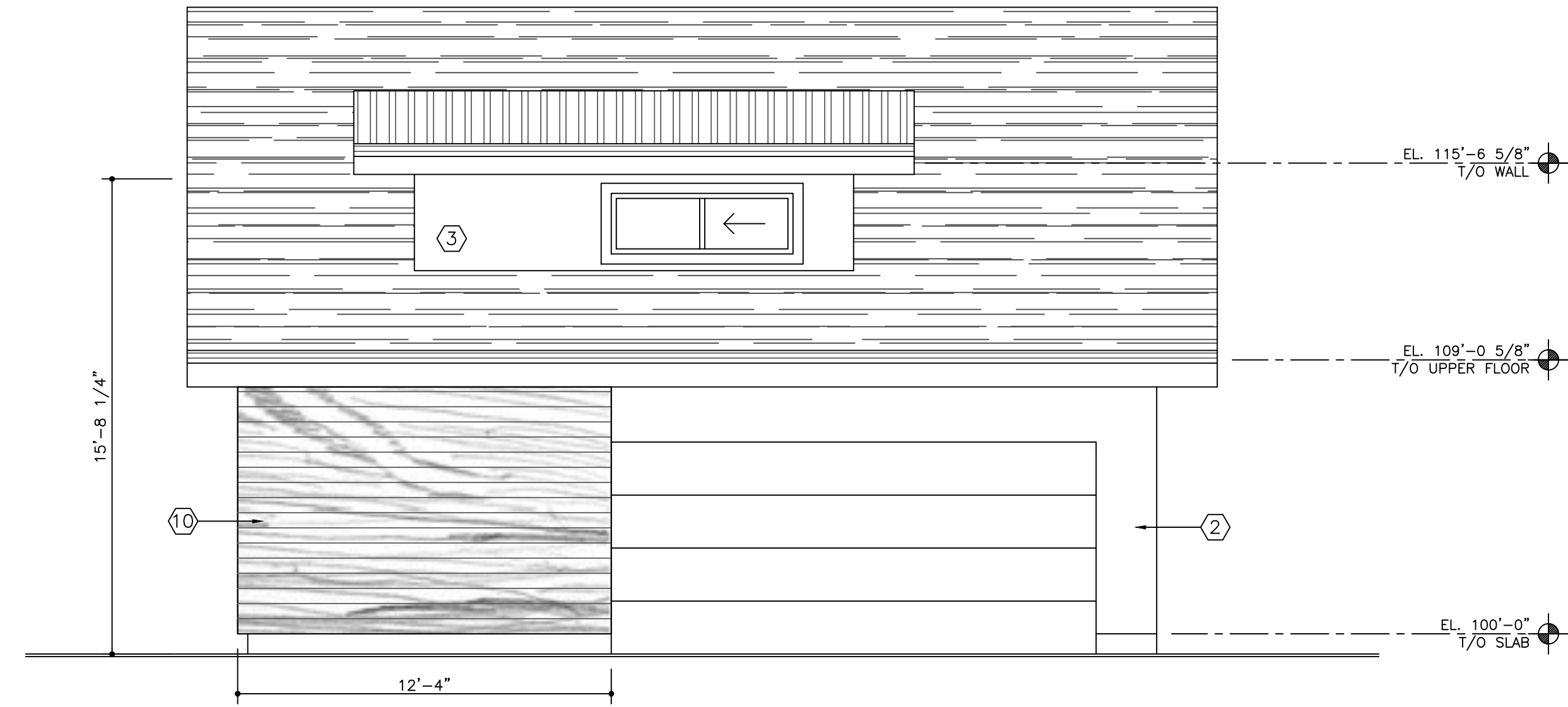
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Date	2018-02-23
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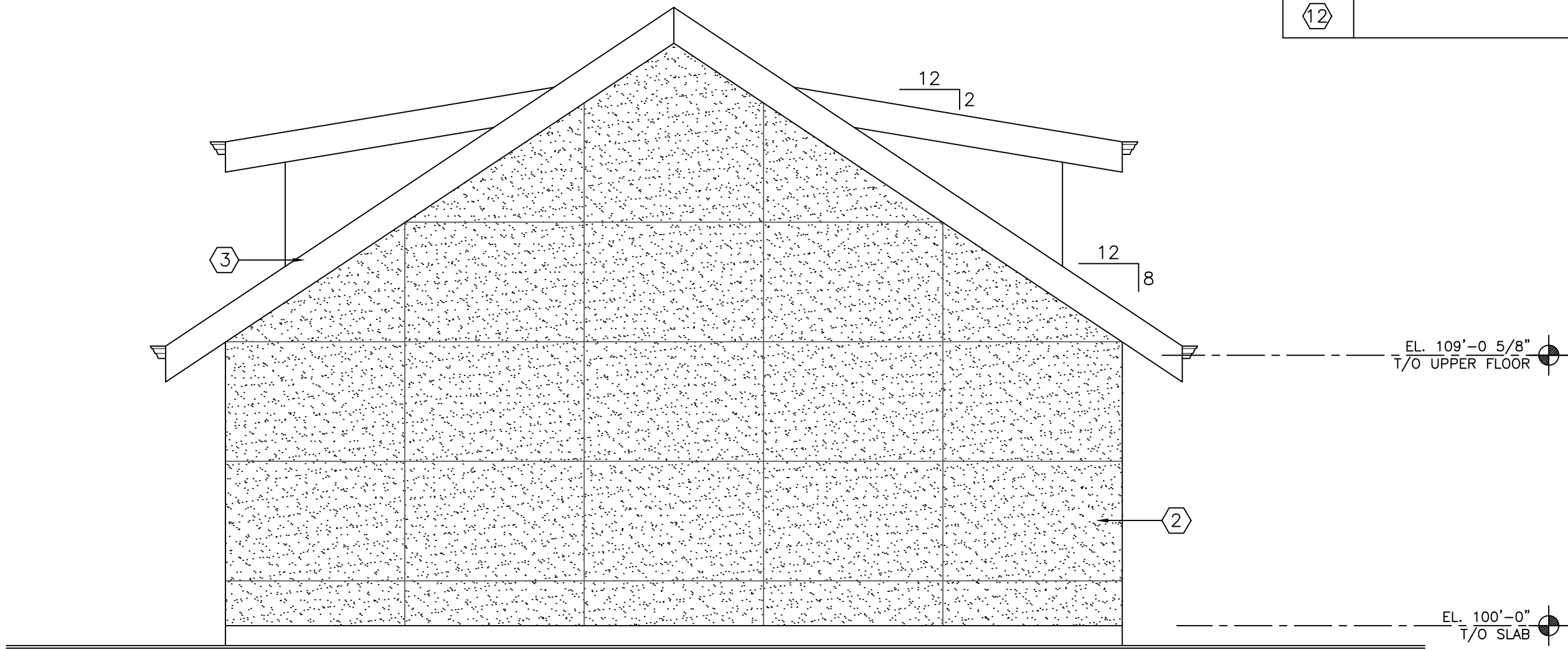


3 SIDE ELEVATION (NORTH)
A4.03 SCALE: 1/4" = 1'-0"

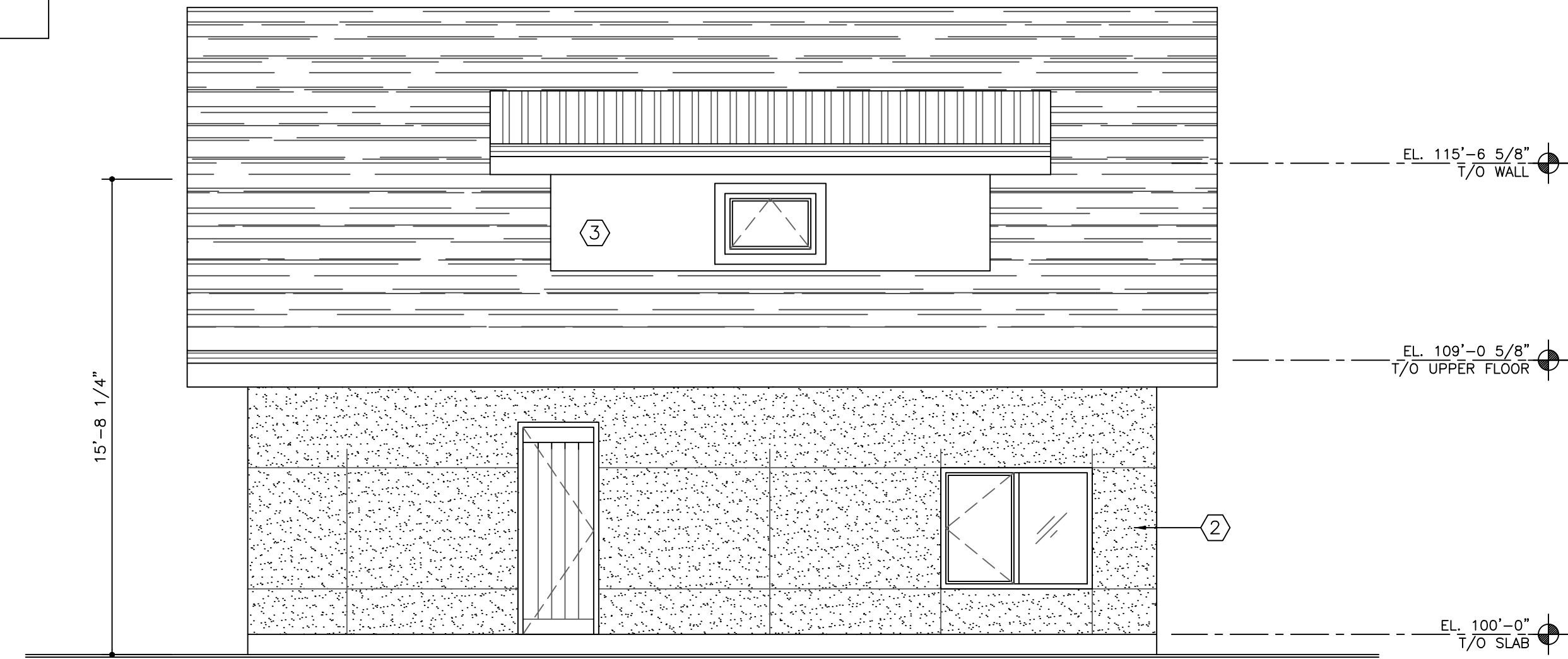


1 LANE ACCESS/REAR ELEV (WEST)
A4.03 SCALE: 1/4" = 1'-0"

EXTERIOR FINISHES SCHEDULE	
1	ASPHALT SHINGLES
2	HARDIE PANEL SIDING (PAINTED BLACK)
3	STUCCO FINISH (COLOUR TO BE SELECTED BY OWNER)
4	PREFIN. METAL GUTTER OVER 1X12 PAINTED FASCIA BOARD
5	VINYL WINDOWS
6	STONE VENEER SELECTED BY OWNER
7	SAFETY GLASS RAILING
8	OVERHEAD GARAGE DOORS
9	1X12 WOOD FASCIA (STAIN FINISH)
10	1X6 WOOD SIDING (STAIN FINISH)
11	2" x 4" FOAM TRIM BAND
12	



4 SIDE ELEVATION (SOUTH)
A4.03 SCALE: 1/4" = 1'-0"



2 'FRONT' ELEV (EAST)
A4.03 SCALE: 1/4" = 1'-0"

SCHEDULE B

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Planner Initials LK

City of Kelowna COMMUNITY PLANNING

PROJECT
SEKHON HOUSE
490 N. DOUGALL RD, KELOWNA, BC

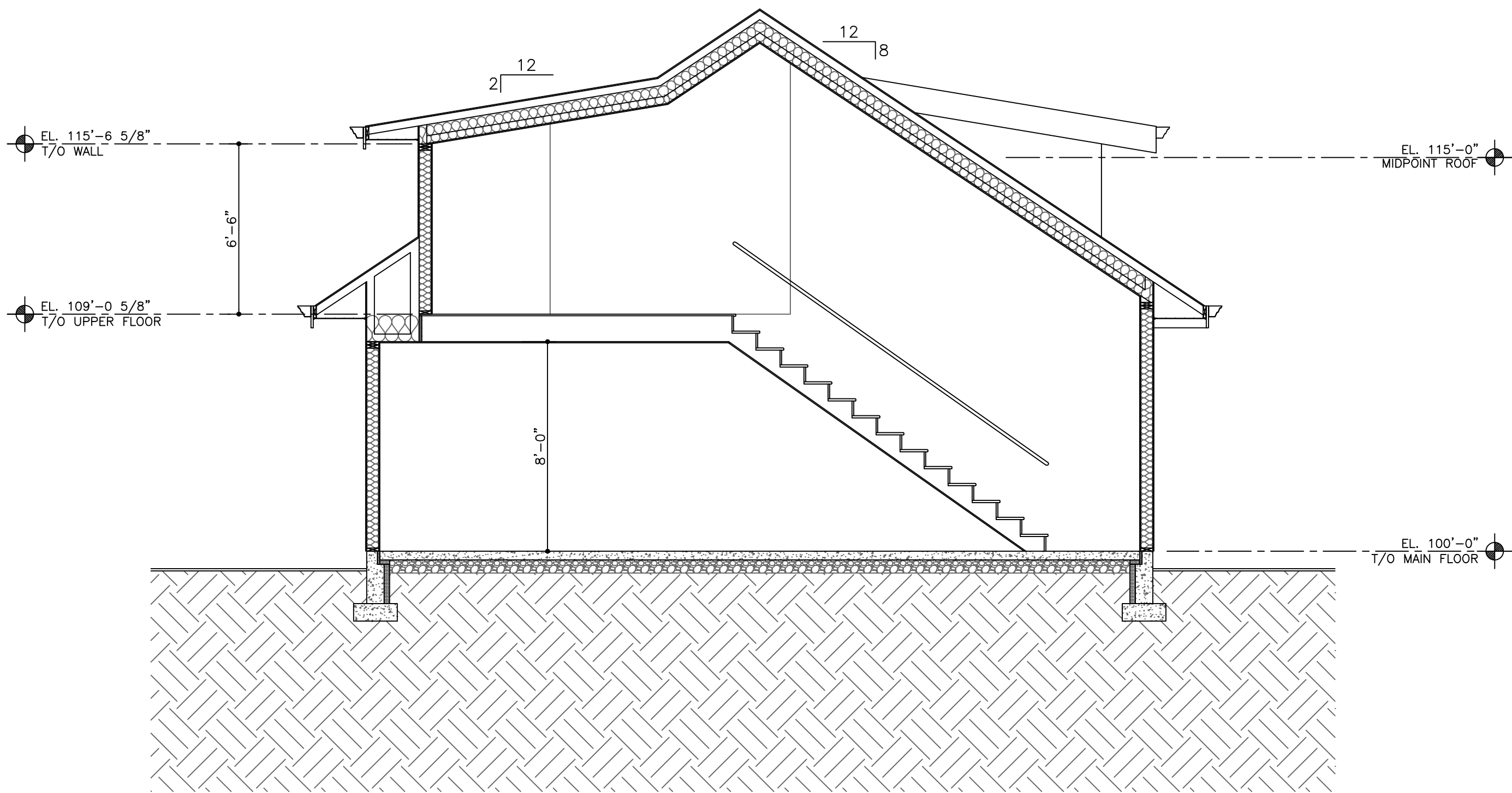
DRAWING NUMBER
A4.03

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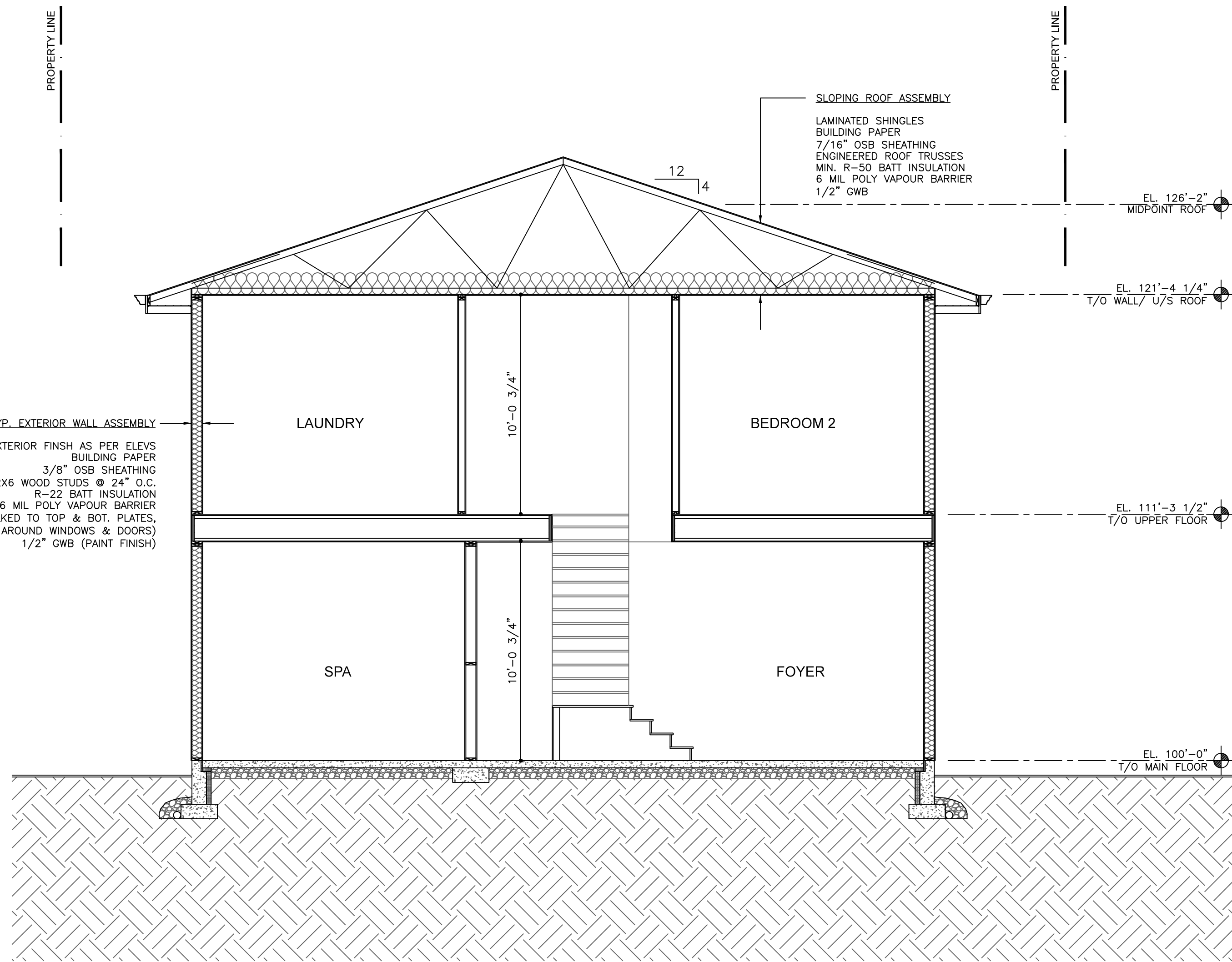
DRAWING TITLE
DETACHED GARAGE & CARRIAGE HOUSE

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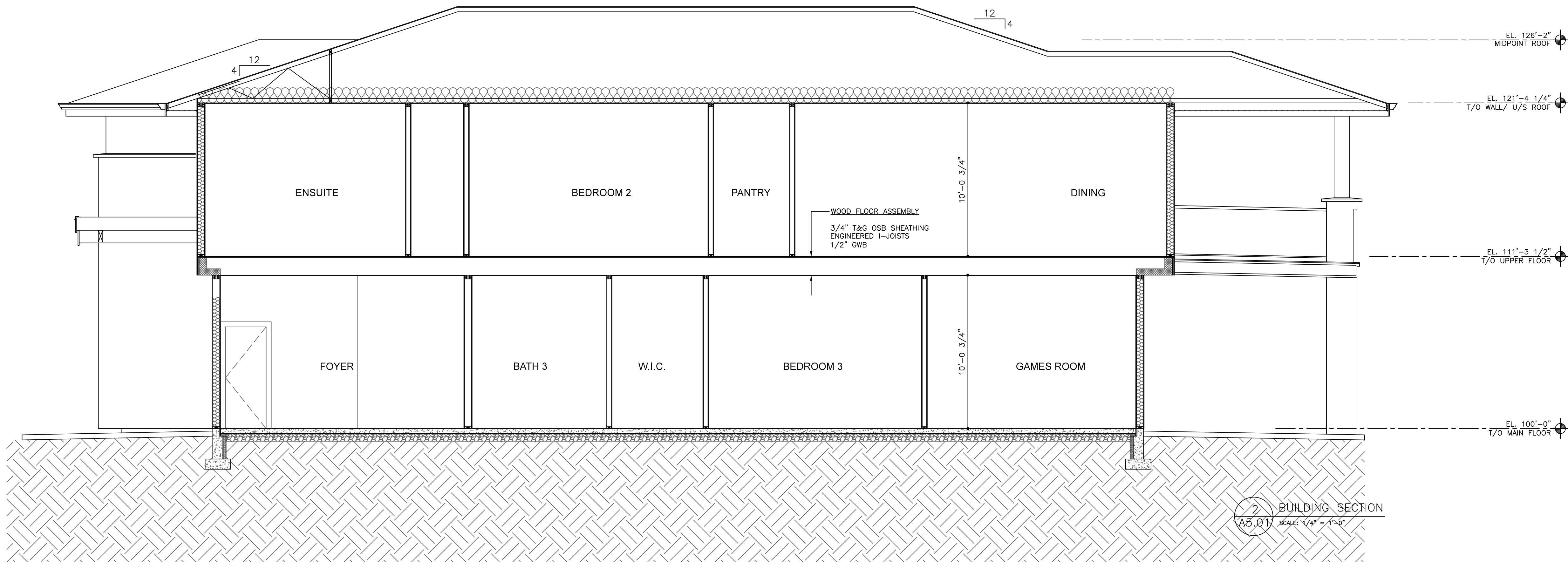
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3
A5.01
BUILDING SECTION
(DETACHED GARAGE/CARRIAGE HOUSE)
SCALE: 1/4" = 1'-0"



1
A5.01
BUILDING SECTION
SCALE: 1/4" = 1'-0"



2
A5.01
BUILDING SECTION
SCALE: 1/4" = 1'-0"

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PROJECT
HARI RESIDENCE

875 MAYFAIR RD, KELOWNA, BC

DRAWING NUMBER

A5.01

DRAWINGS ARE NOT TO BE SCALED
ALL DIMENSIONS SHALL BE VERIFIED ON JOB

DRAWING TITLE

BUILDING SECTIONS

No.	Date	Revision
01	2016-09-11	preliminary approval
02	2016-09-25	issued for coord/BP

Date 2016-09-27

Job # 16-065

Scale As Shown

Drawn PH

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