

N



GASTON AVE

RICHTER ST

Subject Property Notes:

Rezone a portion of the subject property from I4 - Central Industrial to C4 Urban Centre Commercial

I4

VAUGHAN AVE

P1

I2

CLEMENT AVE

RM4

RU6

Subject Property Notes:



Rezone a portion of the subject property from I2 - General Industrial to C4 Urban Centre Commercial

CORONATION AVE

RU2

MAP "B" PROPOSED ZONING
File Z17-0093

Legend

-  I2 to C4
-  I4 to C4

This map is for general information only.
The City of Kelowna does not guarantee its
accuracy. All information should be verified.

0 20 40 Metres

Rev. Monday, April 02, 2018



**CITY OF KELOWNA**Planner
Initials

AC

MEMORANDUM**Date:** October 31, 2017
File No.: Z17-0093**To:** Community Planning (AC)**From:** Development Engineering Manager (JK)**Subject:** 726 Clement Ave (REVISED) I4 to C4

Development Engineering Department have the following comments and requirements associated with this application. The road and utility upgrading requirements outlined in this report will be a requirement of this development. The Development Engineering Technologist for this project is Jason Angus.

.1) General

- a) Where there is a possibility of a high water table or surcharging of storm drains during major storm events, non-basement buildings may be required. This must be determined by the engineer and detailed on the Lot Grading Plan required in the drainage section.
- b) Provide easements as may be required.
- c) The proposed Development triggers a traffic impact assessment. The applicant's transportation engineer shall contact the City's Transportation & Mobility group who will determine the terms of reference for the study. Recommendations from the Traffic Impact Analysis (TIA) will become requirements of rezoning.

.2) Road Dedication and Subdivision Requirements

- a) On the Clement Ave frontage, provide a 10m dedication for a roadway allowance totalling 30m road right of way.
- b) Provide corner rounding or truncation dedication of 10m radius at Clement Ave and Richter Street.
- c) Lot consolidation.
- d) Access to the development should be via Vaughan Ave and the proposed lane.
- e) All access points should be designed to the SS-C7 standard with a continuous sidewalk at property line.

.3) Geotechnical Study.

- (a) Provide a geotechnical report prepared by a Professional Engineer competent in the field of hydro-geotechnical engineering to address the items below: NOTE: The City is relying on the Geotechnical Engineer's report to prevent any damage to property and/or injury to persons from occurring as a result of problems with soil slippage or soil instability related to this proposed subdivision. The Geotechnical reports must be submitted to the Development Services Department for distribution to the Development Engineering Branch and Inspection Services Division prior to submission of Engineering drawings or application for subdivision approval:

- i. Area ground water characteristics, including any springs and overland surface drainage courses traversing the property. Identify any monitoring required.
- ii. Site suitability for development.
- iii. Site soil characteristics (i.e. fill areas, sulphate content, unsuitable soils such as organic material, etc.).
- iv. Any special requirements for construction of roads, utilities and building structures.
- v. Recommendations for items that should be included in a Restrictive Covenant.
- vi. Recommendations for roof drains, perimeter drains and septic tank effluent on the site.
- vii. Any items required in other sections of this document.

Additional geotechnical survey may be necessary for building foundations, etc

.4) Water

- a) The properties are located within the City of Kelowna service area. The existing lots are serviced with small -diameter water services (6). Only one service will be permitted to the site or per property. The applicant, at his cost, will arrange for the removal of all existing services and the installation of one new larger metered water service.
- b) The developer's consulting engineer will determine the domestic and fire protection requirements of this proposed development and establish hydrant requirements and service needs. The bylaw requirement for commercial zoning is 150l/s and is available at the site. If it is determined that upgrades to any other existing water distribution system must be made to achieve the required fire flows, additional bonding will be required.
- c) An approved backflow protection device must also be installed on site as required by the City Plumbing Regulation and Water Regulation bylaws.
- d) A water meter is mandatory for this development and must be installed inside a building on the water service inlet as required by the City Plumbing Regulation and Water Regulation bylaws. The developer or



building contractor must purchase the meter from the City at the time of application for a building permit from the Inspection Services Department, and prepare the meter setter at his cost

.5) Sanitary Sewer

- a) The developer's consulting mechanical engineer will determine the development requirements of this proposed development and establish the service needs. Only one service will be permitted for this development. The applicant, at his cost, will arrange for the removal and disconnection of the existing services (5) and the installation of one new larger service.
- b) A flow analysis check is required by the developer's civil engineering consultant to determine if there are any down stream impacts to the sewer system triggered by this development.

.6) Drainage

- a) The developer must engage a consulting civil engineer to provide a storm water management plan for the site, which meets the requirements of the City Storm Water Management Policy and Design Manual. The storm water management plan must also include provision of lot grading plan, minimum basement elevation (MBE), if applicable, and provision of a storm drainage service for the development and / or recommendations for onsite drainage containment and disposal systems.
- b) It will be necessary for the developer to construct storm drainage facilities on Clement Ave, Vaughan Ave, and Richter Street to accommodate road drainage fronting the proposed development.
- c) Provide a detailed Stormwater Management Plan for this development as per the Subdivision, Development and Servicing Bylaw #7900.
- d) There is a possibility of a high water table or surcharging of storm drains during major storm events. This should be considered in the design of the onsite system.

.7) Roads

- a) Clement Ave is designated an urban arterial road. Frontage improvements required include curb and gutter, separate sidewalk, piped storm drainage system, road works, landscaped boulevard complete with underground irrigation system, street lights, treed middle median and left turn bays. A modified SS-R9 cross section will be used and provided at the time of design.
- b) Richter Street is designated an urban collector road. Frontage improvements required include curb and gutter, separate sidewalk, piped storm drainage system, road works, left turn bays, landscaped boulevard complete with underground irrigation system, and street lights, traffic signal upgrades and re-location or adjustment of existing utility appurtenances if required to accommodate the upgrading. A modified SS-R6 cross section will be used and provided at the time of design.
- c) Vaughan Ave is designated an urban local road. Frontage improvements required include Curb and Gutter, separate sidewalk, piped storm drainage system, landscaped boulevard complete with underground



irrigation system, curb extensions at the intersections and access points, and street lights. Parallel parking only is permitted on Vaughan Ave. A modified SS-R5 cross section will be used and provided at the time of design.

- d) Proposed lane from the development will be restricted to a right in and right out at the intersection of the lane and Clement Ave.
- e) Provide a Street Sign, Markings and Traffic Control Devices design drawing for review and costing.
- f) Landscaped boulevards, complete with underground irrigation design drawing as per bylaw, is required on Clement Ave, Vaughan Ave & Richter Street.

.9) Power and Telecommunication Services and Street Lights

- a) All proposed distribution and service connections are to be installed underground. Existing distribution and service connections, on that portion of a road immediately adjacent to the site, are to be relocated and installed underground as the subject properties are within the "City Center Urban Center".
- b) Streetlights must be installed on all roads.
- c) Make servicing applications to the respective Power and Telecommunication utility companies. The utility companies are required to obtain the City's approval before commencing construction.
- d) Re-locate existing poles and utilities, where necessary. Remove aerial trespass (es).

.10) Design and Construction

- a) Design, construction supervision and inspection of all off-site civil works and site servicing must be performed by a Consulting Civil Engineer and all such work is subject to the approval of the City Engineer. Drawings must conform to City standards and requirements.
- b) Engineering drawing submissions are to be in accordance with the City's "Engineering Drawing Submission Requirements" Policy. Please note the number of sets and drawings required for submissions.
- c) Quality Control and Assurance Plans must be provided in accordance with the Subdivision, Development & Servicing Bylaw No. 7900 (refer to Part 5 and Schedule 3).
- d) A "Consulting Engineering Confirmation Letter" (City document 'C') must be completed prior to submission of any designs.
- e) Before any construction related to the requirements of this subdivision application commences, design drawings prepared by a professional engineer must be submitted to the City's Development Engineering Department. The design drawings must first be "Issued for Construction" by the City Engineer. On examination of design drawings, it may be determined that rights-of-way are required for current or future needs.



.11) Other Engineering Comments

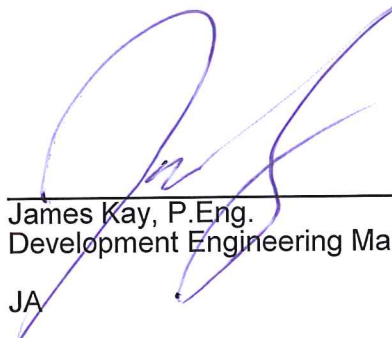
- a) Provide all necessary Statutory Rights-of-Way for any utility corridors required, including those on proposed or existing City Lands, and for public access to Vaughan Ave via the proposed lane.
- b) If any road dedication affects lands encumbered by a Utility right-of-way (such as Terasen, etc.) please obtain the approval of the utility prior to application for final subdivision approval. Any works required by the utility as a consequence of the road dedication must be incorporated in the construction drawings submitted to the City's Development Manager.

.12) Servicing Agreements for Works and Services

- b) A Servicing Agreement is required for all works and services on City lands in accordance with the Subdivision, Development & Servicing Bylaw No. 7900. The applicant's Engineer, prior to preparation of Servicing Agreements, must provide adequate drawings and estimates for the required works. The Servicing Agreement must be in the form as described in Schedule 2 of the bylaw.
- c) Part 3, "Security for Works and Services", of the Bylaw, describes the Bonding and Insurance requirements of the Owner. The liability limit is not to be less than \$5,000,000 and the City is to be named on the insurance policy as an additional insured.

.13) Charges and Fees

- a) Development Cost Charges (DCC's) are payable
- b) Fees per the "Development Application Fees Bylaw" include:
 - i) Street/Traffic Sign Fees: at cost if required (to be determined after design).
 - ii) Survey Monument, Replacement Fee: \$1,200.00 (GST exempt) – only if disturbed.
 - iii) Engineering and Inspection Fee: 3.5% of construction value (plus GST).
- c) A hydrant levy charge of **\$250.00** (\$250.00 per new lot)


James Kay, P.Eng.
Development Engineering Manager

JA

ATTACHMENT A

This forms part of application

OCP17-0021 & Z17-0093

Planner
Initials

AC

City of
Kelowna
COMMUNITY PLANNING



City of Kelowna Recent Rental Housing Summary

Name	Address	Student Bedroom	Micro	Studio	1 Bedroom	2 Bedroom	3 Bedroom	Total # of Units	Type	Status	Date
Karis Support Society	550 Rowcliffe	0	0	0	20	8	2	30	Social Housing	Occupied	Occupied Aug 2015
Homer Rd Townhomes	305 Homer Rd	0	0	0	0	0	9	9	Market Housing	Occupied	Occupied April 2017
Friendship Housing (Central Green)	1745 Chapman Pl	0	0	8	38	32	8	86	Social Housing	Occupied	Occupied Oct 2016
Apple Valley Bldg 2	2065 Benvoulin Ct	0	0	0	64	14	0	78	Senior Non-Market Housing	Occupied	Occupied Dec 2016
Apple Valley Bldg 3	2075 Benvoulin Ct	0	0	0	33	14	0	47	Senior Non-Market Housing	BP - Under Construction	Occupancy Approx. Spring 2018
Central Green Bldg B	1740 Richter St	0	15	0	85	8	0	108	Market Housing	BP - Under Construction	BP Issued Nov 2017
Central Green Bldg F	1730 Richter St	0	20	5	35	20	0	80	Market Housing	BP - Under Construction	BP Issued Nov 2017
Mission Flats	1459 - 1469 KLO Rd	0	0	0	95	165	20	280	Market Housing	BP - Under Construction	BP Issued May 2017
Regency KLO	1360 KLO	0	0	4	111	39	0	154	Seniors Market Housing - Independent Living	DP Approved	No BP
The Flats	1525 Dickson Ave	0	44	10	19	17	0	90	Market Housing	Occupied	Occupied Jan 2017
The Flats 2	1545 Bedford Ave	0	24	0	43	0	0	67	Market Housing	Occupied	Occupied Dec 2017
Mission Group Rentals	1920 Enterprise	0	19	0	17	51	0	87	Market Housing	BP - Under Construction	BP Issued Sept 2017
Train Rentals	720 Valley Rd	0	0	12	55	91	8	166	Market Housing	BP - Under Construction	BP Issued Sept 2017
Conservatory Rentals	775 Glenmore Rd	0	0	0	35	48	4	87	Market Housing	BP - Under Construction	BP Issued June 2017
The Artium	125 Dundas	97	0	0	0	0	0	97	Market Housing - Student Housing	Occupied	Occupied Nov 2017
Society of Hope	165 Celano Cr	0	0	0	0	5	16	21	Non-Market Housing	DP Approved	No BP, DP Approved Jan 2018
Viking 4-plex	2150-2166 Richter St	0	0	0	0	8	0	8	Market Housing	BP - Under Construction	BP Issued Feb 2018
4-Plex	1432 McInnes Ave	0	0	0	0	4	0	4	Market Housing	Occupied	Occupied Nov 2016
The Garden House	205 Hwy 33 E	0	2	0	3	5	1	11	Market Housing	BP - Under Construction	BP Issued Oct 2017
BroadStreet	1975 Kane Rd	0	0	0	17	78	16	111	Market Housing	Occupied	Occupied Dec 2017
U3a	805 Academy Way	0	0	0	8	55	0	63	Market Housing	Occupied	Occupied Aug 2017
U5a	755 Academy Way	0	8	0	14	86	0	108	Market Housing	BP - Under Construction	BP Issued March 2017
Veda 1	840-842 Academy Way	0	251	0	0	0	0	251	Market Housing	Occupied	Occupied May 2017
Veda 2	800-802 Academy Way	0	316	0	0	0	0	316	Market Housing	BP - Under Construction	BP Issued Oct 2016
OMAHs	150 Kneller	0	0	9	52	17	0	78	Non-Market Housing	BP - Under Construction	BP Issued April 2018
Nickel Townhouses	200 Nickel Rd	0	0	0	0	9	10	19	Market Housing	DP Rejected by Council	No BP
Freedom's Door	130 McCurdy	0	49	0	0	0	0	49	Non-Market Housing	Zoning Approved, DP not approved yet	No BP
Worman Townhouses	2127 Ethel St	0	24	0	0	0	0	24	Market Housing	Occupied	Occupied May 2016
The Shore	650 Swordy Ave	0	0	4	56	43	0	103	Market Housing	BP - Under Construction	BP Issued Nov 2017
PC Urban	726 Clement Ave	0	0	0	60	87	1	148	Market Housing	Zoning submitted, no DP	No BP
Anagram	573-603 Clement Ave	0	0	0	2	45	11	58	Market Housing	Zoning Approved, no DP	No BP
Pacific Apartments	1155 Pacific Ave	0	0	5	3	6	0	14	Market Housing	Zoning Approved, no DP	No BP
Anagram Pacific	1145 Pacific Ave	0	0	0	6	19	5	30	Market Housing	Zoning submitted, no DP	No BP
BC Housing Shelter	1642 Commerce Ave	0	55	0	0	0	0	55	Non-Market Housing	DP not approved	No BP
Totals:		97	827	57	871	974	111	2937			

DP= Development Permit
BP= Building Permit

ATTACHMENT

B

This forms part of application
OCP17-0021 & Z17-0093

Planner Initials

AC

City of Kelowna

COMMUNITY PLANNING

Non-Market Rental Housing

	Student Bedroom	Micro	Studio	1 bedroom	2 bedroom	3 Bedroom	Total # of Units
Occupied	0	0	8	122	54	10	194
Under Construction	0	0	9	85	31	0	125
Approved but no BP	0	0	0	0	5	16	21
In Approval Process	0	104	0	0	0	0	104
Total	0	49	17	207	90	26	444

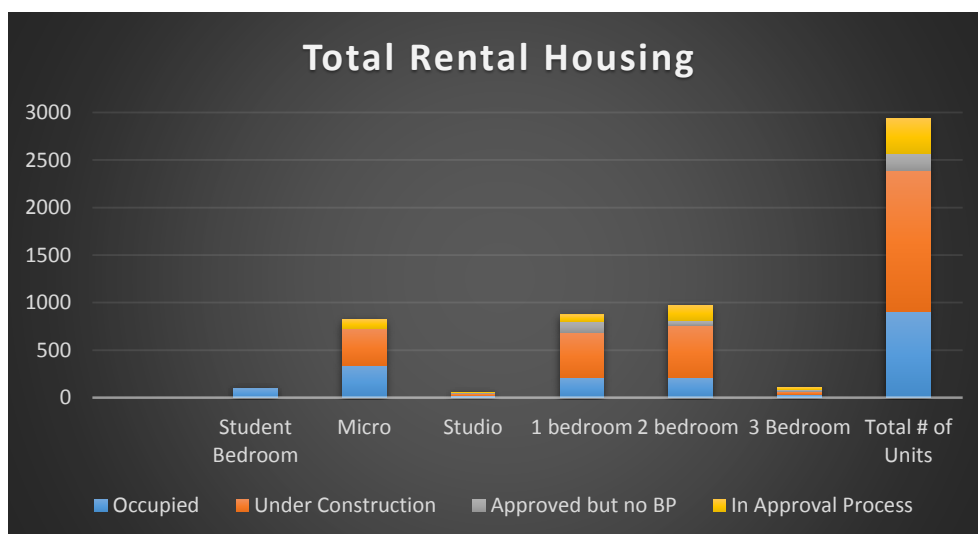
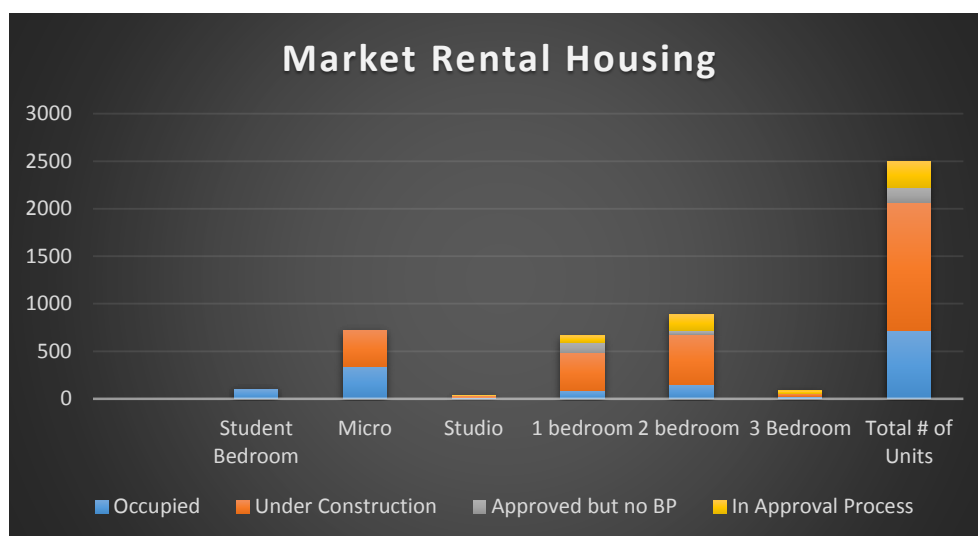
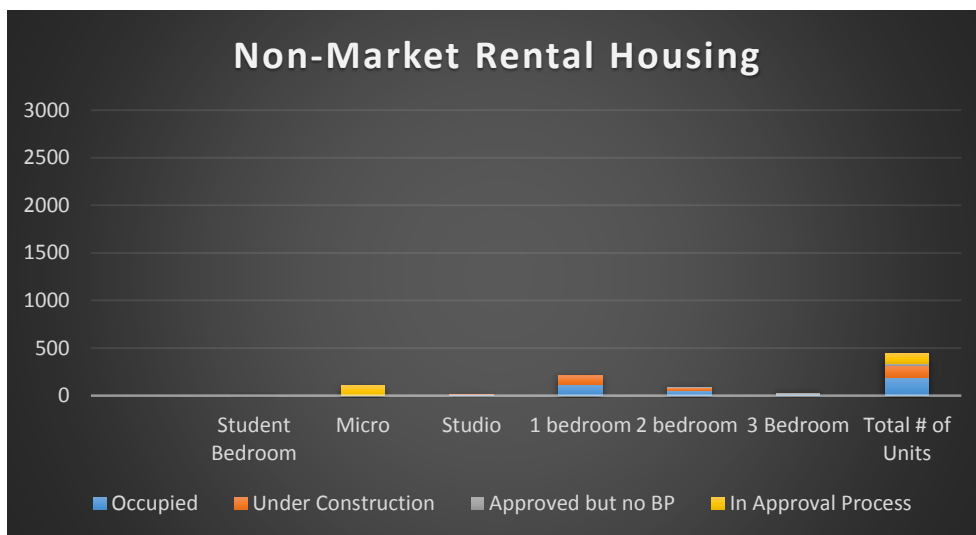
Market Rental Housing

	Student Bedroom	Micro	Studio	1 bedroom	2 bedroom	3 Bedroom	Total # of Units
Occupied	97	343	10	87	154	25	716
Under Construction	0	380	21	395	525	33	1354
Approved but no BP	0	0	4	111	39	0	154
In Approval Process	0	0	5	71	166	27	269
Total	97	723	40	664	884	85	2493

Total Rental Housing

	Student Bedroom	Micro	Studio	1 bedroom	2 bedroom	3 Bedroom	Total # of Units
Occupied	97	343	18	209	208	35	910
Under Construction	0	380	30	480	556	33	1479
Approved but no BP	0	0	4	111	44	16	175
In Approval Process	0	104	5	71	166	27	373
Total	97	827	57	871	974	111	2937

ATTACHMENT B	
This forms part of application # OCP17-0021 & Z17-0093	
Planner Initials	AC
 City of Kelowna COMMUNITY PLANNING	



March 2, 2018

City of Kelowna
1435 Water Street
Kelowna, BC V1Y 1J4

SCHEDULE A & B	
This forms part of application # OCP17-0021 & Z17-0093	
Planner Initials	AC
 City of Kelowna COMMUNITY PLANNING	

Attn: Adam Cseke

Re: Submission of Revised Development Proposal Drawings for 726 Clement Ave., Kelowna

Dear Mr. Cseke,

Further to your email on November 2, 2017, please find below list of revisions made to Development Proposal for 726 Clement Avenue (the "Site"). Revised drawings have been submitted to you on March 2, 2018 via email.

- 1) In order to permit an access onto Clement, we are hoping you will agree to register a statutory RoW to allow public access through your site to Vaughan.

Response: Yes, we agree to provide a right of way through the site.

- 2) Vaughan is to have parallel parking only (no angled parking).

Response: Drawings are revised to show parallel parking on Vaughan Avenue. Please see revised civil set page 9 and architectural A-002.

- 3) We are concerned with the stormwater implications with the large amounts of impervious surfaces. Can you provide some level of detail how you plan on mitigating the stormwater impact?

Response: We are including stormwater tank design in our civil set. Please see Servicing Plans on page 10 and 11. Further detail of the design will be provided at the building permit phase.

- 4) A major concern remains the amount of surface parking. We do not have any recent urban mixed used (commercial / residential) developments that have not provided structured parking of some kind. You are also over your parking count by approximately 15%. This is seen as a negative when providing surface parking as it increases the amount of impervious surfaces. Can you provide parking down to the bylaw minimum and create a green space?

Response: We have reduced parking stalls by 16% from 231 to 194 as well as converted several stalls into landscaping islands. Amount of landscaping and trees along Vaughan Avenue has been increased as well.

- 5) Further, can you add more bicycle spaces for the commercial tenants as well as washroom / change room facility with lockers. This will encourage the commercial employees to bike to and from work?

Response: We have added end of trip facilities to both buildings including lockers, bike storages, and a washroom. Number of Class 1 bicycle parking also increased by 17 stalls.

- 6) The height of the buildings is a concern relative to the proposed design. In order to support a height variance to 6 stories we do not want to see buildings without significant setbacks after the first couple of floors and/or setbacks at the upper floors. Further, it will be difficult to support the increase in height from 4 storeys to 6 when no structured parking is provided.

Response: We have setback the façade ranging from 1895mm to 2555mm on second floor and higher in both buildings.

- 7) Can you please confirm the proposal for the area on the east side of the lane. We would prefer to consider this project comprehensively. Otherwise, will it be ok if we only did the rezoning / OCP amendment for the west side of the lane?

Response: We will submit rezoning of the east parcel as a comprehensive development at a later date.

We can expand further or answer any questions that have not been addressed in the revision. We look forward to moving through the process with you and will provide quick turnaround time to expedite the process.

Respectfully submitted,
PC URBAN CLEMENT HOLDINGS LTD.



Robert Spencer
Sr. Development Manager

SCHEDULE		A & B
This forms part of application # <u>OCP17-0021 & Z17-0093</u>		
Planner Initials	AC	 City of Kelowna COMMUNITY PLANNING

CLEMENT AVE MIXED USE DEVELOPMENT/
PACKING DISTRICT

SCHEDULE

A & B

This forms part of application
OCP17-0021 & Z17-0093

Planner
Initials

AC

City of
Kelowna

COMMUNITY PLANNING

Date
Sep/20/2017
Feb/23/2018

Issue / Revisions
Development Permit Application
Revised Development
Permit Application



P3: Existing site bird's eye view looking from southwest



P3: Existing site bird's eye view looking from southeast



P1: Existing Site view from corner of Clement Ave and Richter St



P2: Existing Site view from Clement Ave looking west



P3: Existing Site view from corner of Vaughan Ave and Richter St



P4: Existing Site view from corner of Vaughan Ave and Richter St looking northeast



P5: Existing Site view from Vaughan Ave looking west



V1: Proposed B1 & B2 view from corner of Clement Ave and Richter St



V2: Proposed B2 view from southwest corner



V3: Proposed Open Space Area

Project Data:

Project Address: 726 Clement Ave,
Kelowna , BC

Legal Description:

BLOCK 29 SECTION 30 TOWNSHIP 26 ODDY
PLAN 202 EXCEPT PLANS 5011 AND KAP55948;
LOT A SECTION 30 TOWNSHIP 26 ODDY'S PLAN KAP55948
LOT 1 AND LOT 2 SECTION 30 TOWNSHIP 26 ODDY'S
DIVISION YALE DISTRICT PLAN EPP34493

Project Team:

Developed by: PC Urban Properties Corp.

880 - 1090 W. Georgia St. Vancouver, BC
t: (604) 408 5687

Architecture: NSDA Architects

201- 134 Abbott St. Vancouver, BC
t: (604) 669 1926

Landscape: Connect Lanscape Architecture

2305 Hemlock St. Vancouver, BC
t: (604) 681 3303

Civil: True Consulting

203- 570 Raymer Ave. Kelowna, BC
t: (250) 861 8783
c: (250) 470 2416

Survey: Vector Geometric Land Surveying

170-1855 Kitchner Rd, Kelowna BC
t: (250) 868 0172

Drawings List

A001.....	Cover Sheet
.....	Survey Plan
A002.....	Site Plan
A003.....	Roof Plan
A005.....	Site Plan (Parking Level 1, B3)
A006.....	Roof Plan(Parking Level2, B3)
A101.....	Floor Plans B1
A102.....	Floor Plans B2
A301.....	Elevations B1
A302.....	Elevations B2
L1.0 to L3.0.....	Landscape
1 to 13.....	Civil

PCurban
property re-imagined™

NSDA
ARCHITECTS

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Vancouver BC
Canada V6B 2K4
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Project
Clement Ave Mixed Use
Development

Sheet Title
Cover Sheet

Project Number

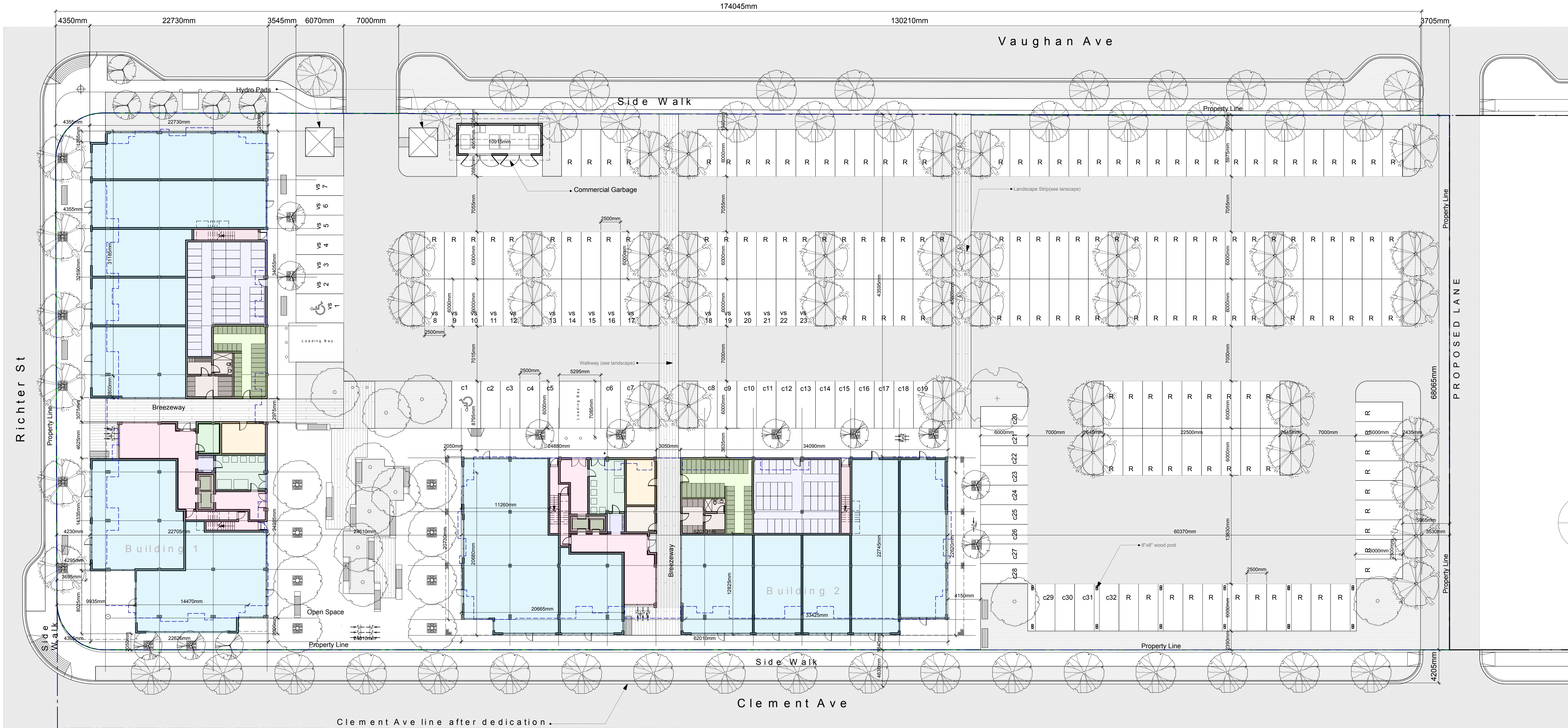
16049

Scale

N.T.S

Sheet Number

A-001



Consultants

Date
Sep/20/2017
Feb/23/2018

Issue / Revisions
Development Permit Application
Revised Development
Permit Application

Seal

PCurban
property re-imagined™

Parking Legend:

R: Residential full size parking
VS : Residential full size visitor parking
C: Commercial full size parking

Site Statistics			Parking	Required No. of Parking	Proposed Parking Area
Project Address:726 Clement Ave Kelowna, B.C.					
Lot area before dedication: 13,900.33 S.M.[149,622 S.F.1]			Building 1 Residential	71 Stalls	
Lot area after dedication: 12,106.32 S.M.[130,307 S.F.]			Building 1 Commercial	1.75 x 894/100 = 16	
Allowable FSR: 1.3			Building 2 Residential	77 Stalls	
Proposed FSR based on lot area after dedication: 1.19			Building 2 Commercial	1.75 x 893.9/100 = 16	
			Total No. of Req. parking B1&2	180 Stalls Incl. 22 visitor	Total provided parking : 194 stalls
Residential Units	Building 1	Building 2	Required Landscape open space on parking	180 x 2 (2 s.m. per stall)=360s.m.[3,875 s.f.]	
1 Bedroom	23 Units	37 Units	Provided Landscape open space on parking	1,259 s.m.[13,557 s.f.]	
2 Bedroom	40 Units	40 Units	Required Loading	1 per 1900 S.M. of commercial=1	2
3 Bedroom	1	0	Bicycle Parking	Class 1(Req/Proposed)	Class 2(Req/Proposed)
Total	71 Units	77 Units	Building 1 Residential	Required / Provided	Required / Provided
Ground Floor Area	1,300.45 s.m.[13,998 s.f.]+Breezway:58.8 s.m.[633s.f.]	1,287 s.m.[13,853 s.f.]+Breezway:60.2 s.m.[649s.f.]	Building 1 Commercial	0.5 x 71 = 36/37	0.1 x 71= 8 / 8
Commercial Space	894 s.m.[9,624s.f.]	889.7 s.m.[9,577 s.f.]	Building 2 Residential	0.2 x 768.5/100 = 2 /8	0.6 x 893/100 = 5 / 5
Res.Indoor Amenity on F2	114.45s.m.[1232 s.f.]	100.33 s.m.[1080 s.f.]	Total	38/45	13/13
Floor Area F.2	1,194 s.m.[12,852 s.f.]	1,194.7 s.m.[12,860 s.f.]	Building 2 Residential	0.5 x 77 = 39/43	0.1 x 77 = 8 / 8
Floor Area F.3-5	1,202.44 s.m.[12,943 s.f.] x 3	1,205.8 s.m.[12,980 s.f.] x 3	Building 2 Commercial	0.2 x 768.22/100 = 2/8	0.6 x 768.22/100 = 5 / 5
Floor Area F.6	1,114.8 s.m.[12,000 s.f.]	1,181 s.m.[12,713 s.f.]	Total	41/51	13/13
Total Residential Area	5,916.1 s.m. [63,681 s.f.]	5,968.37 s.m. [64,243 s.f.]			
Total Residential Area B1 + B2	11,884.5 s.m.[127,924 sf.]				
Total Area B1+B2	14,472 s.m.[155,775 sf.]				
Private Open Space Area	Building 1	Building 2			
Required	23(1BDR)x10+47(2BDR)x15=935 s.m.[10,064 s.f.]	37(1BDR)x10+40(2&3BDR)x15=970 s.m.[10,441 s.f.]			
Provided 2nd Floor Deck	2nd F.Deck :200.3 s.m.[2,157 s.f.]	2nd F.Deck :271.2 s.m.[2,920 s.f.]			
Provided Deck on Floor 3,4 & 5	118 s.m.[1,271 s.f.] x 3 = 354 [3,813 s.f.]	1113 s.m.[1,217 s.f.] x 3 = 339 s.m.[3,651 s.f.]			
Floor 6	Decks:201.4 s.m. [2,168 s.f.]	Decks:113.8 s.m.[1,225 s.f.]			
Open Space between B1 & B2 : 698s.m.[7514 s.f.]	Building 1 share: 698/2= 349s.m.[3,754 s.f.]	Building 2 share: 698/2= 349s.m.[3,754 s.f.]			
Total provided open space	1,104.8 s.m.[11,892 s.f.]	1,073 s.m.[11,550 s.f.]			

Project
Clement Ave Mixed Use
Development

Sheet Title
Site Plan/Statistics

Project Number
16049
Scale
1/250
Sheet Number
A-002

SCHEDULE

A & B

This forms part of application

OCP17-0021 & Z17-0093

Planner

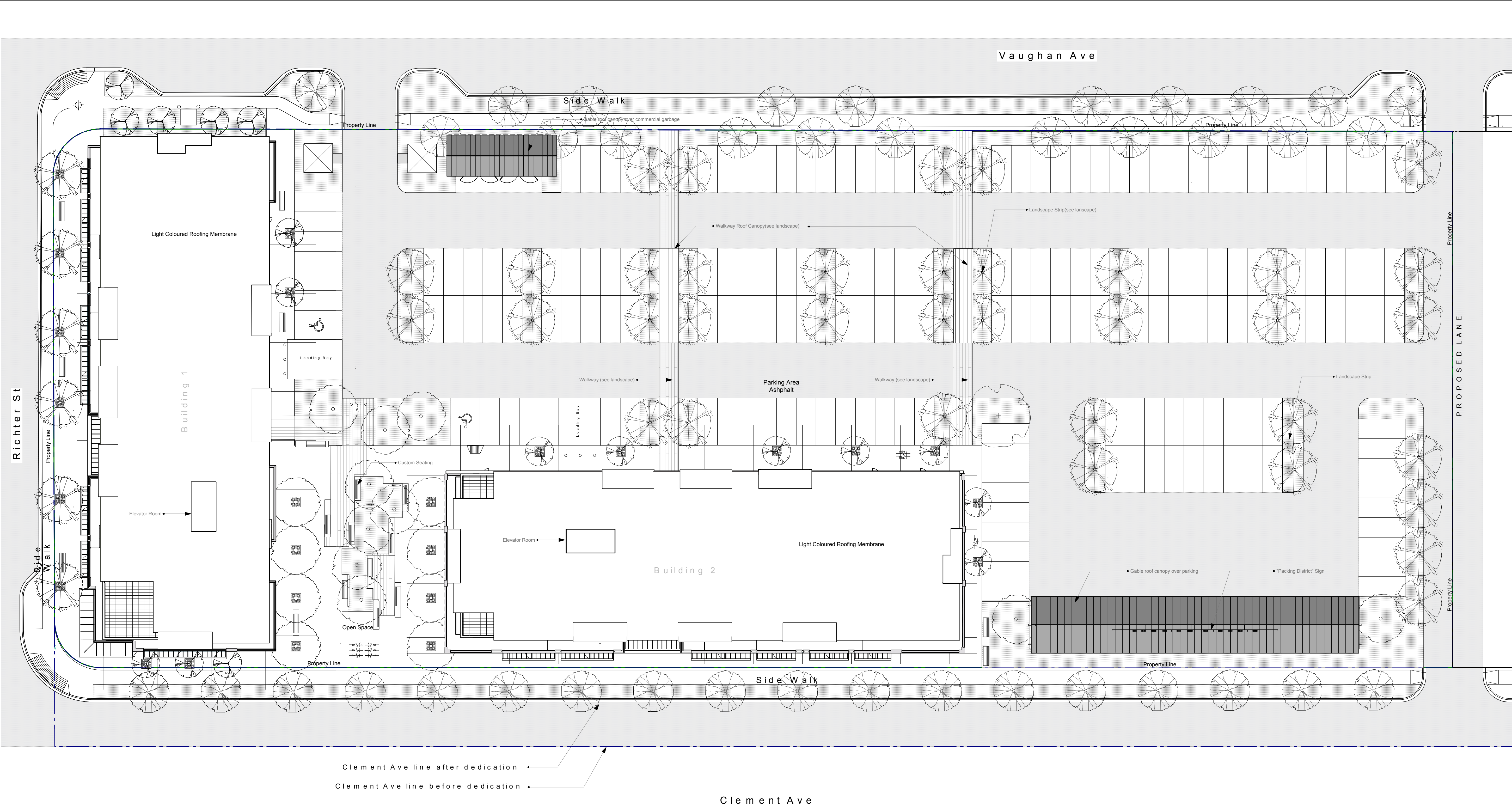
Initials

AC

City of Kelowna

COMMUNITY PLANNING

Date	Issue / Revisions
Sep/20/2017	Development Permit Application
Feb/23/2018	Revised Development Permit Application



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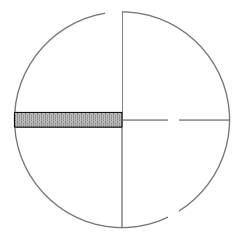
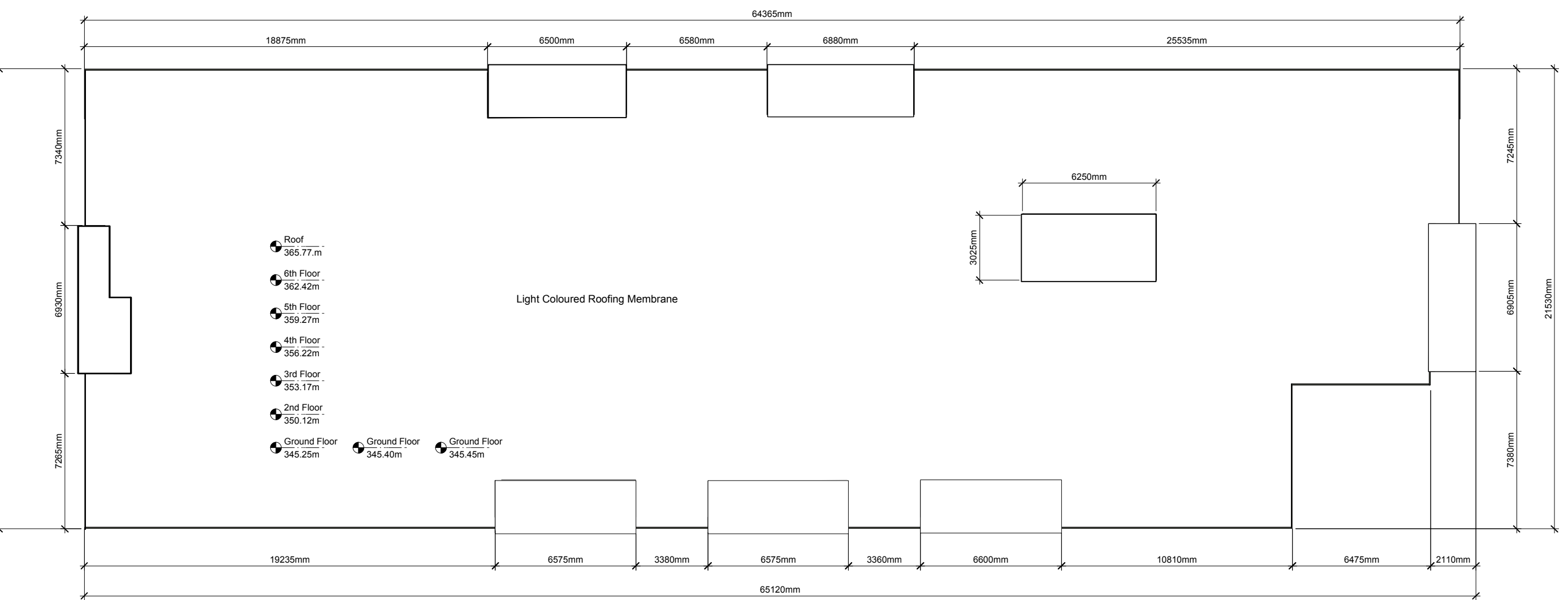
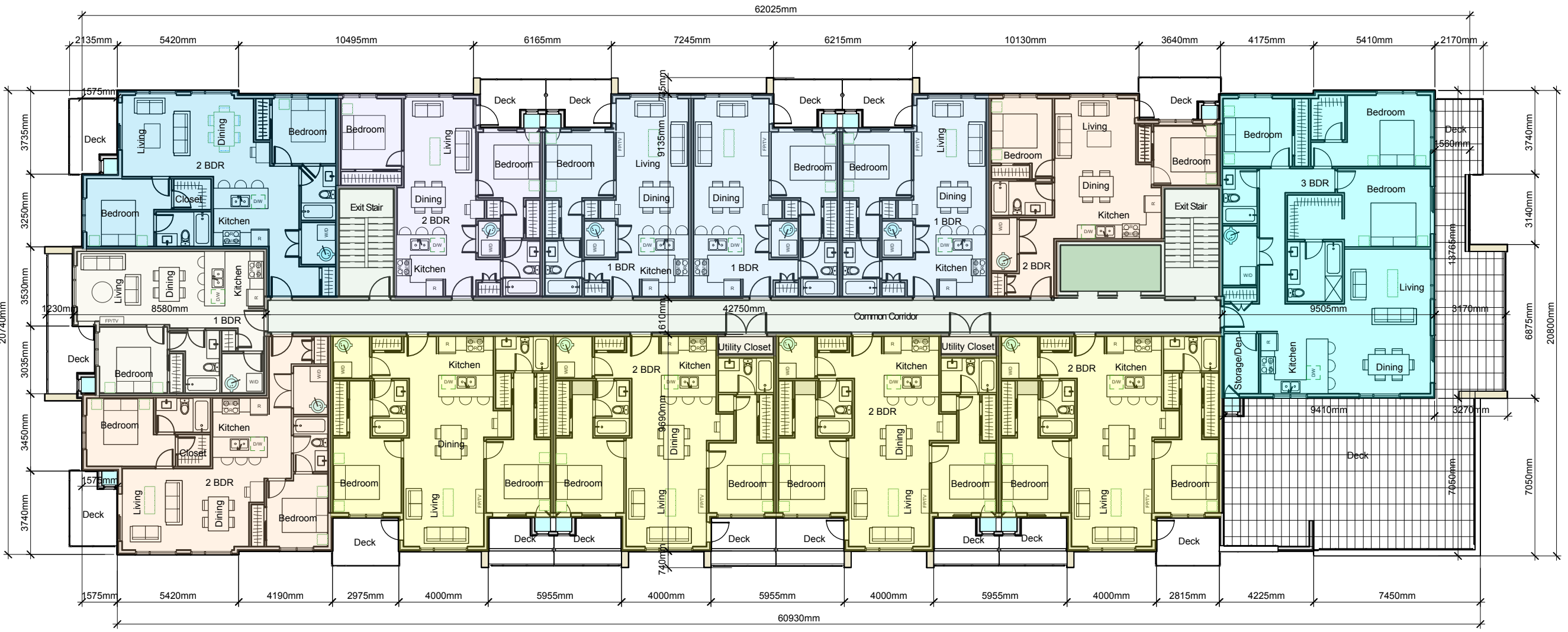
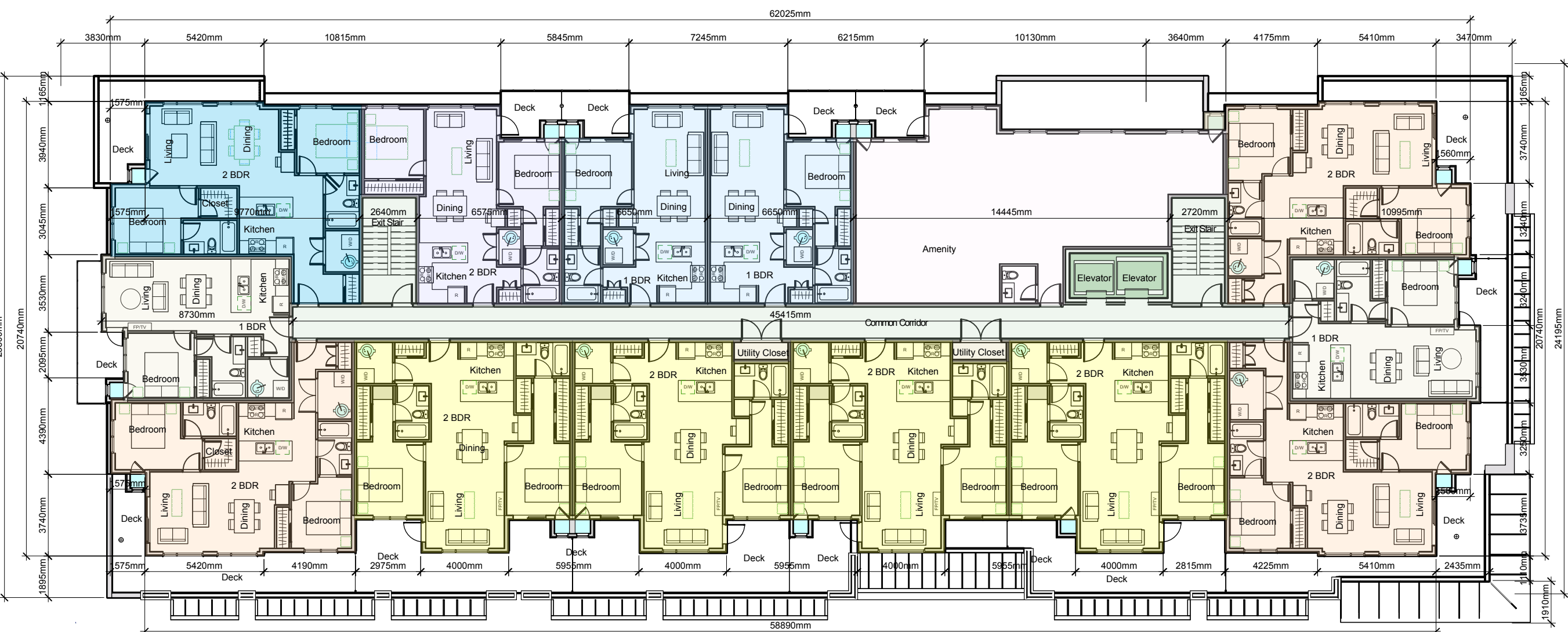
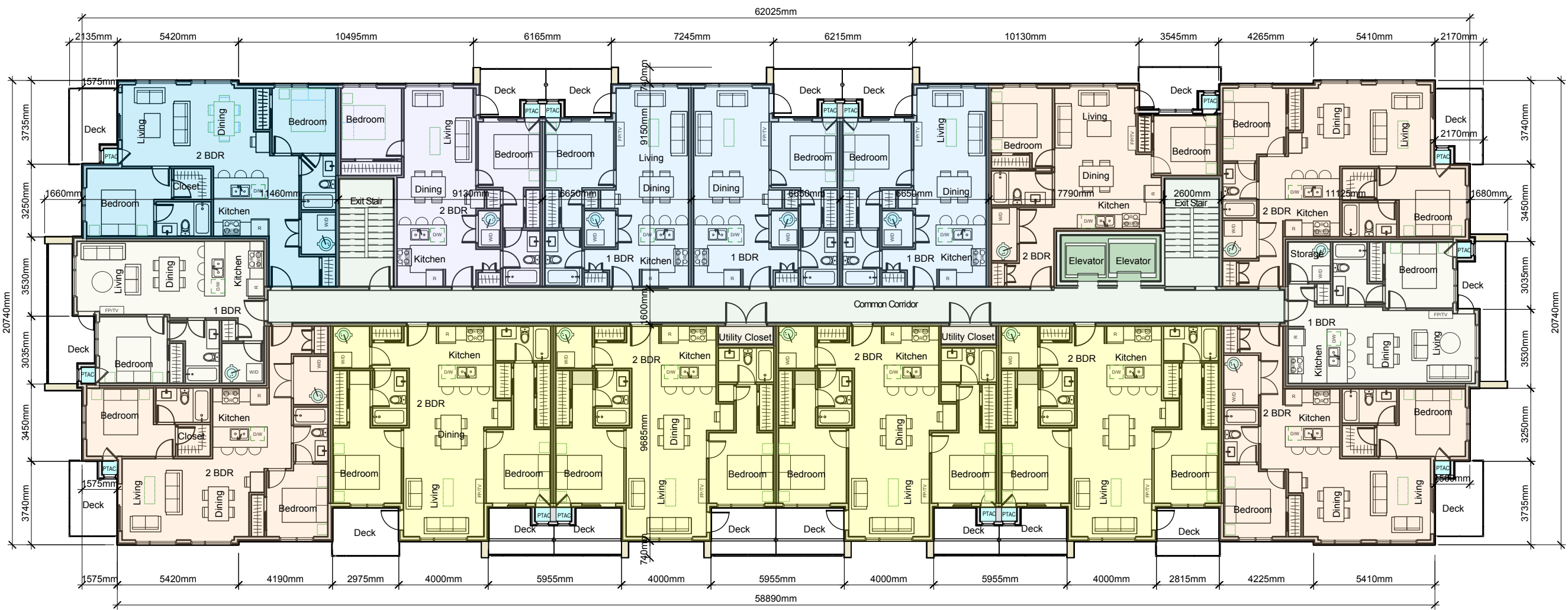
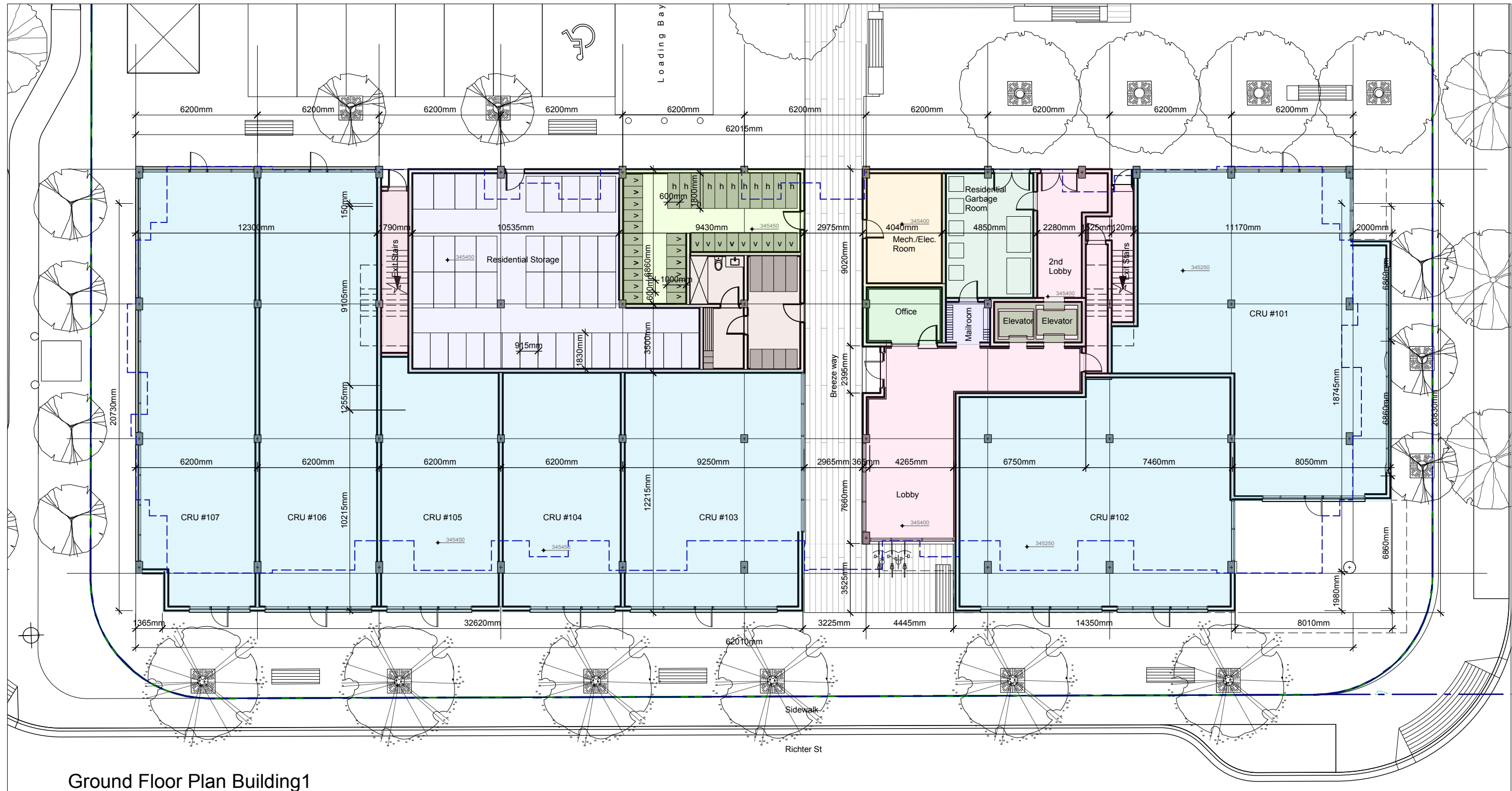
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Project
Clement Ave Mixed Use
Development

Sheet Title
Roof Plan

Project Number
16049
Scale
1/250
Sheet Number
A-003



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Project
Clement Ave Mixed Use
Development

Sheet Title
Floor Plans Building 1

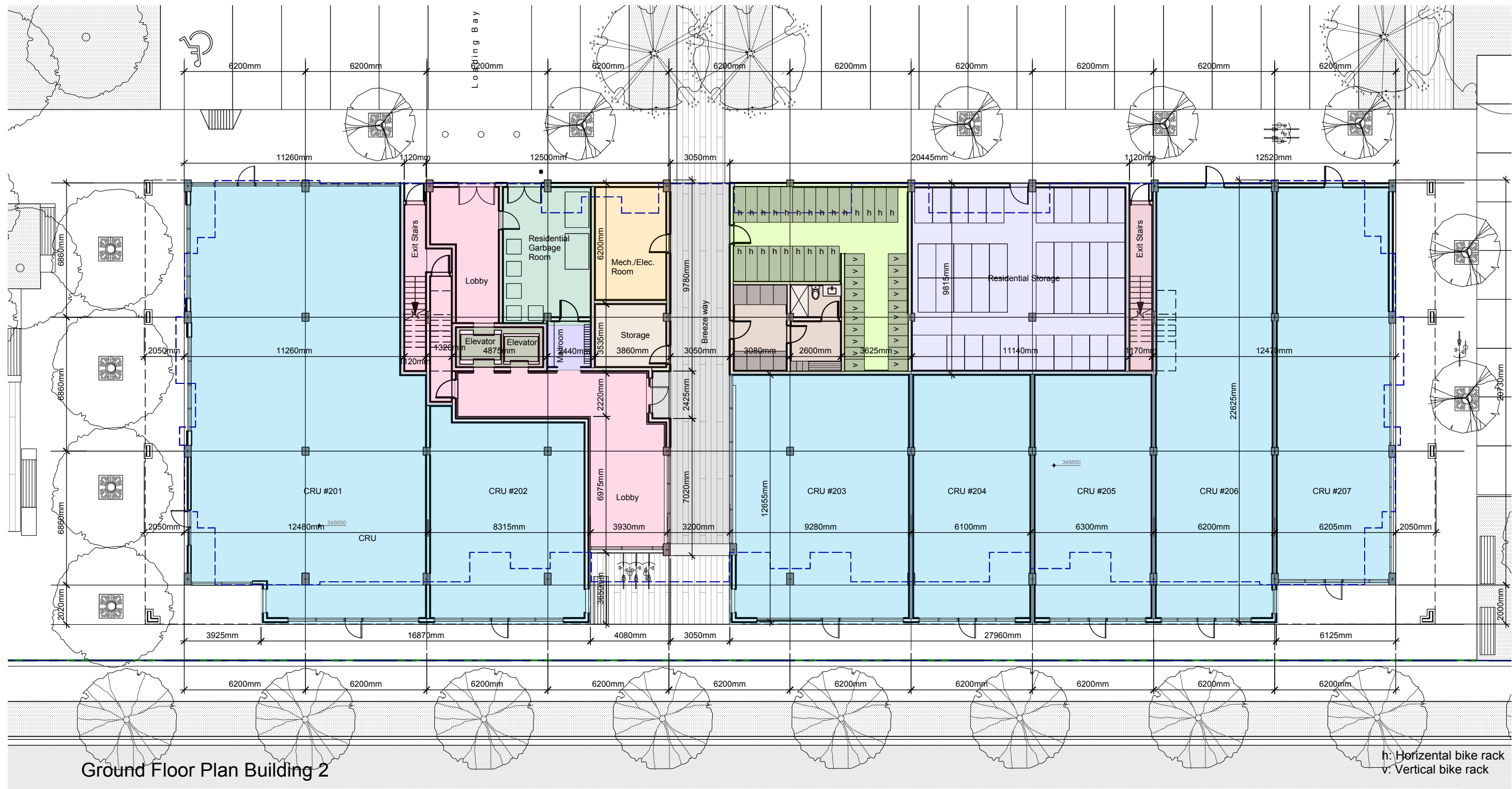
Project Number
16049
Scale
1/200
Sheet Number

A-101

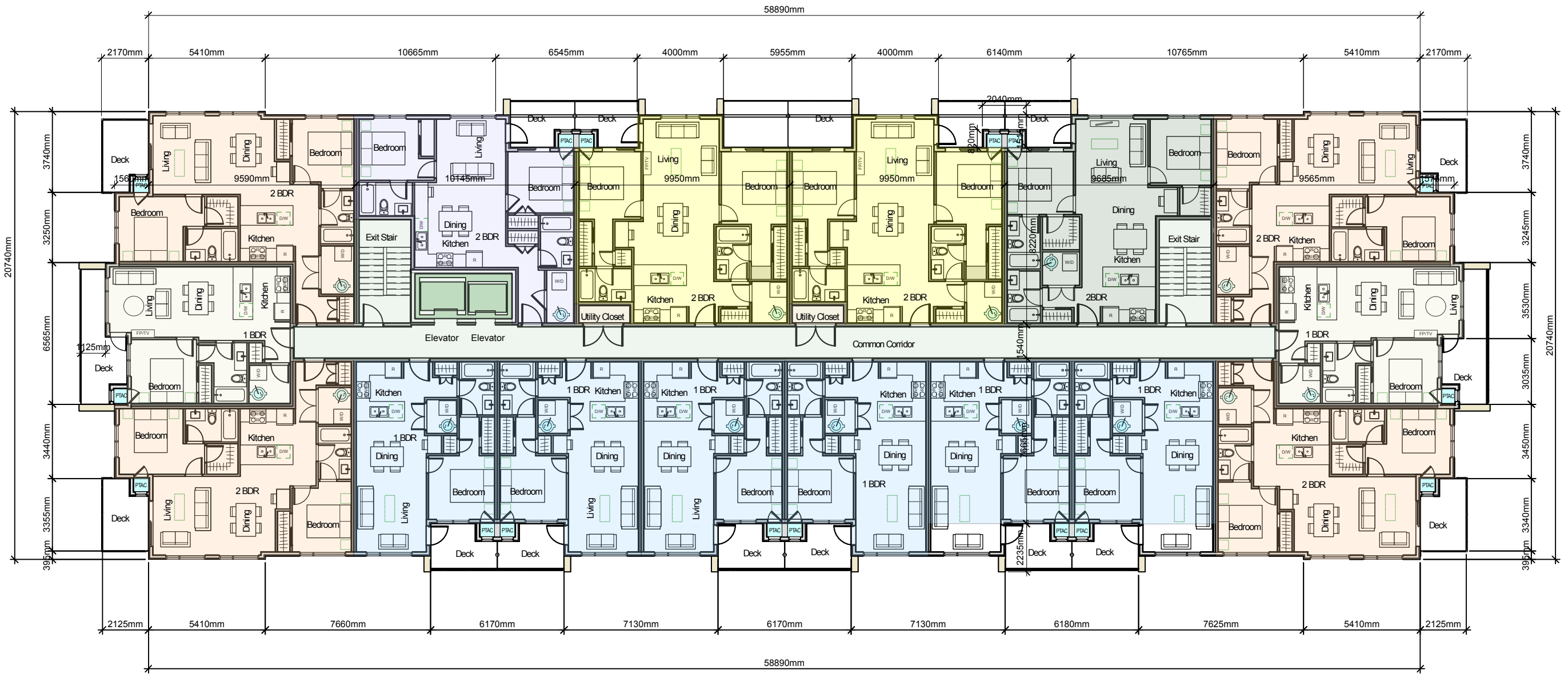


Legend:

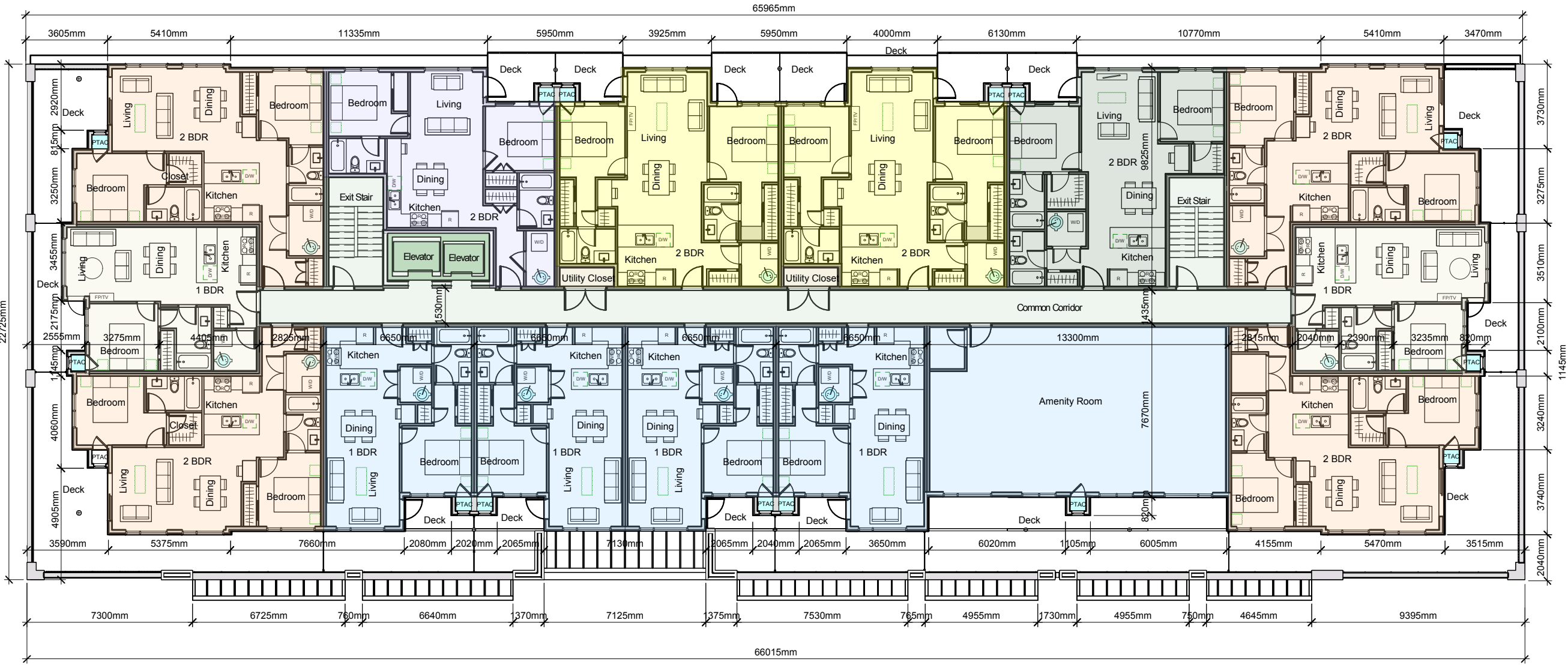
	One Bedroom type I		Three Bedroom
	One Bedroom type II		Commercial Retail Unit (CRU)
	Two Bedroom type I		Residential Common Areas
	Two Bedroom type II		Amenity Area
	Two Bedroom type III		
	Two Bedroom type IV		
	Two Bedroom type V		



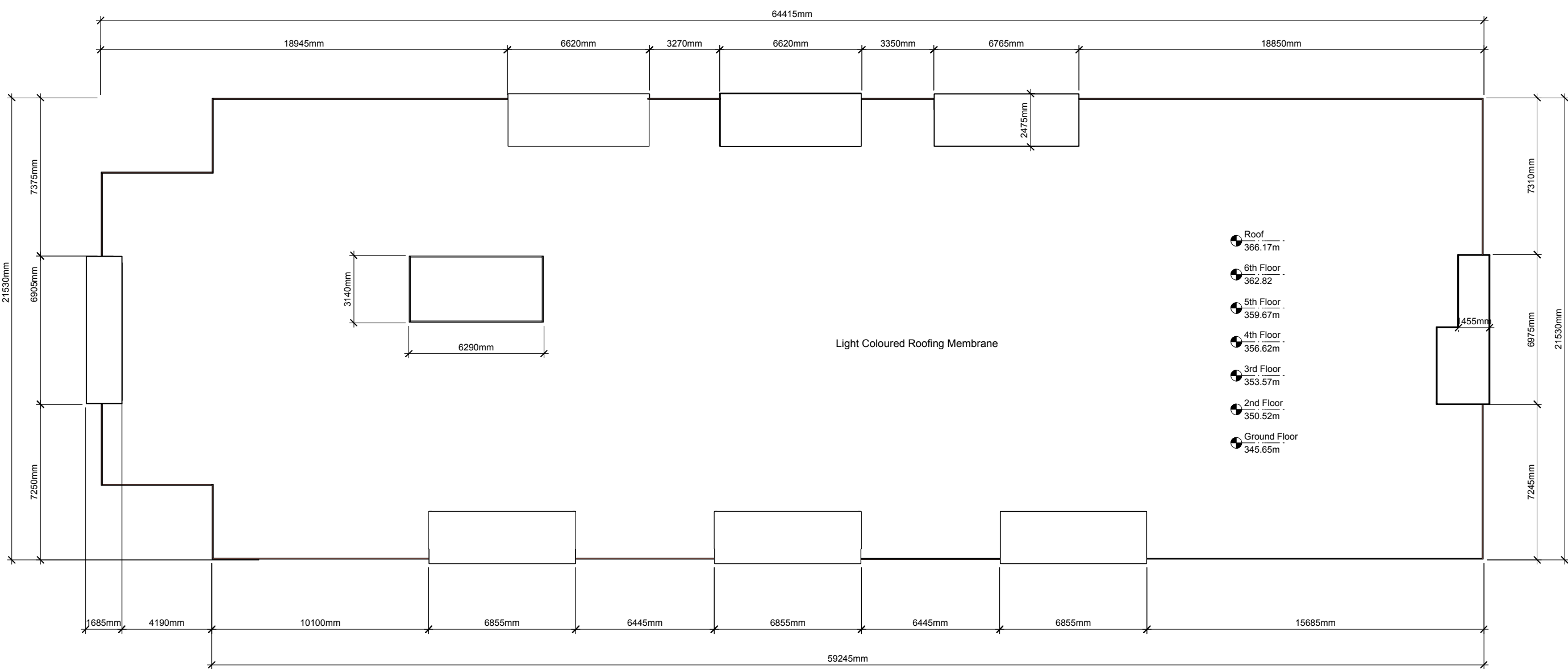
Ground Floor Plan Building 2



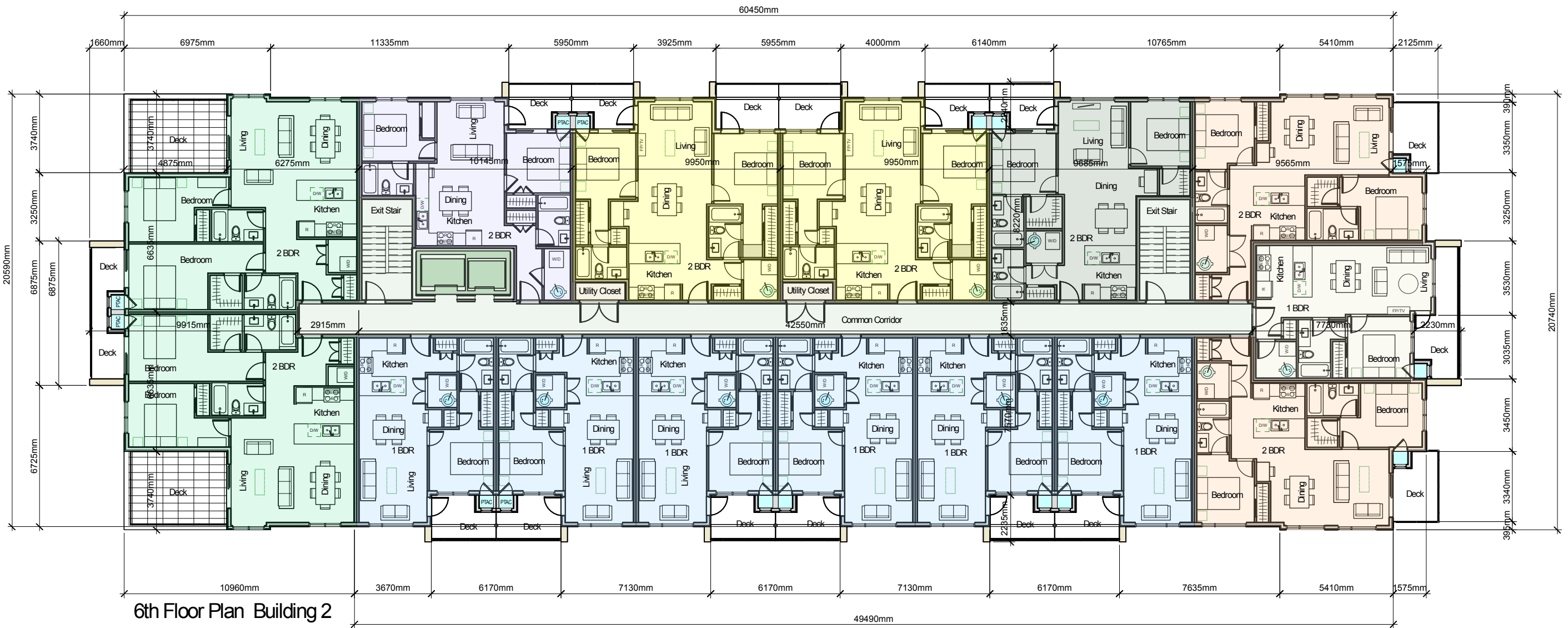
Typ. 3rd, 4th and 5th Floor Plan Building 2



2nd Floor Plan Building 2



Roof Plan Building 2



6th Floor Plan Building 2

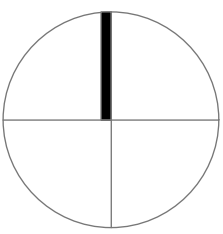
Legend:

	One Bedroom type I		Commercial Retail Unit (CRU)
	One Bedroom type II		Residential Common Areas
	Two Bedroom type I		Amenity Area
	Two Bedroom type II		
	Two Bedroom type III		
	Two Bedroom type IV		
	Two Bedroom type V		

Consultants

Date
Sep/20/2017
Feb/23/2018

Issue / Revisions
Development Permit Application
Revised Development
Permit Application



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Project
Clement Ave Mixed Use
Development

Sheet Title
Floor Plans Building 2

Project Number
16049

Scale
1/200

Sheet Number

A-102



Building 1 West Elevation



Building 1 North Elevation



Building 1 East Elevation



Building 1 South Elevation

SCHEDULE A & B
This forms part of application
OCP17-0021 & Z17-0093

Planner Initials AC

City of Kelowna
COMMUNITY PLANNING

Material List:

- 1- Hardie Panel A + Hardie Fascia A
- 2- Corrugated Metal Panel
- 3- Hardie Panel B
- 4- Alum. Flashing
- 5- Shop Front Windows
- 6- Exposed Concrete/Concrete Block painted
- 7- Sign Band
- 8- Alum.Louver
- 9- Brick Veneer
- 10- Exterior Light Fixture
- 11- Standing Sim Metal Roof
- 12- Stained Wood Post on Concrete Base
- 13- "Packing District Sign"
- 14- Hardie Panel C
- 15- Glass Guardrail W/Alum. Frame
- 16- Metal Door
- 17- Alum. Guardrail
- 18- Hardie Panel D
- 19- Vinyl Window/Patio Door(Black)
- 20- Concrete Post
- 21- Alum. Canopy
- 22- Glass Canopy

Material Palette



Hardie Panel



Corrugated metal panel



Painted concrete block wall



Hardie Panel A - Colour: Red



Hardie Panel B - Colour: Off-White



Hardie Panel C - Colour: Light Gray



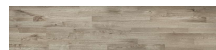
Hardie Panel D - Colour: Green



Colour: Silver Gray



Colour: Off-White



Packing District Sign wood texture



Charcoal black Alum. (Flashing, Guardrails & Window Frames)



Brick Veneer

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Project
**Clement Ave
Mixed Use
Development**

Sheet Title
Elevations Building1

Project Number
16049
Scale
1/200
Sheet Number
A-301



Building 2 South Elevation



Building 2 West Elevation



Building 2 East Elevation

SCHEDULE A & B
This forms part of application
OCP17-0021 & Z17-0093

Planner
Initials AC

City of Kelowna
COMMUNITY PLANNING

Material List:

- 1- Hardie Panel A + Hardie Fascia A
- 2- Corrugated Metal Panel
- 3- Hardie Panel B
- 4- Alum. Flashing
- 5- Shop Front Windows
- 6- Exposed Concrete/Concrete Block painted
- 7- Sign Band
- 8- Alum.Louver
- 9- Brick Veneer
- 10- Exterior Light Fixture
- 11- Standing Slim Metal Roof
- 12- Stained Wood Post on Concrete Base
- 13- "Packing District Sign"
- 14- Hardie Panel C
- 15- Glass Guardrail W/Alum. Frame
- 16- Metal Door
- 17- Alum. Guardrail
- 18- Hardie Panel D
- 19- Vinyl Window/Patio Door(Black)
- 20- Concrete Post
- 21- Alum. Canopy
- 22- Glass Canopy

Material Palette

Hardie Panel

Corrugated metal panel

Painted concrete block wall

Hardie Panel A - Colour:Red

Hardie Panel B - Colour: Off-White

Hardie Panel C - Colour: Light Gray

Hardie Panel D - Colour: Green

Colour: Silver Gray

Colour: Off-White

Packing District Sign wood texture

Charcoal black Alum.(Flashing, Guardrails & Window Frames)

Brick Veneer

Seal

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Project
Clement Ave
Mixed Use
Development

Sheet Title
Elevations Building2

Project Number
16049

Scale
1/200

Sheet Number

A-302

Clement Avenue and Richter Street Mixed-Use

LANDSCAPE ARCHITECTURAL SET - ISSUED FOR REVIEW - 2 FEBRUARY 2018



CONNECT LANDSCAPE ARCHITECTURE INC. DOES NOT GUARANTEE THE EXISTENCE, LOCATION, AND ELEVATION OF UTILITIES AND / OR CONCEALED STRUCTURES AT THE PROJECT SITE.

THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE EXISTENCE, LOCATION, AND ELEVATION OF ALL UTILITIES AND / OR CONCEALED STRUCTURES, AND IS RESPONSIBLE FOR NOTIFYING THE APPROPRIATE COMPANY, DEPARTMENT OR PERSON(S) OF ITS INTENTION TO CARRY OUT ITS OPERATIONS.

LANDSCAPE DRAWING INDEX

SHEET No.	SHEET NAME
L1.0	COVER SHEET AND CONTEXT PLAN
L1.1	CONCEPT PLAN - WEST SIDE
L1.2	CONCEPT PLAN - EAST SIDE
L1.3	PLAZA CONCEPT OPTIONS
L2.0	PRECEDENT MATERIALS
L2.1	PLANT MATERIALS AND SCHEDULE
L2.2	PLANTING PLAN - WEST SIDE
L2.3	PLANTING PLAN - EAST SIDE
L3.0	IRRIGATION PLAN

GENERAL NOTES

ALL LANDSCAPE ARCHITECTURAL DRAWINGS IN THIS PACKAGE SHALL BE READ IN CONJUNCTION WITH ALL OTHER LANDSCAPE ARCHITECTURAL DRAWINGS, DETAILS, SPECIFICATIONS, AND OTHER CORRESPONDANCE THAT MAY BE ISSUED DURING THE COURSE OF THE CONTRACT.

IF A DISCREPANCY OCCURS BETWEEN THE DRAWINGS AND THE SPECIFICATIONS OR ANY OTHER DOCUMENT ASSOCIATED WITH THE PROJECT, THE CONFLICT SHALL BE REPORTED IN WRITING TO THE LANDSCAPE ARCHITECT TO OBTAIN CLARIFICATION AND APPROVAL BEFORE PROCEEDING WITH WORKS.

THE CONTRACTOR SHALL VISIT THE SITE TO VERIFY THE TRUE EXISTING CONDITIONS. ANY UNCLEAR ISSUES SHALL BE CLARIFIED WITH THE LANDSCAPE ARCHITECT. NO CLAIM SHALL BE ALLOWED FOR EXTRAS WHICH MAY ARISE THROUGH NEGLIGENCE OF THIS ADVICE.

ALL EXISTING INFORMATION IS BASED ON AVAILABLE RECORDS AND SHALL NOT BE CONSTRUED TO BE COMPLETE OR ACCURATE.

LAYOUT OF HARDSCAPE, SITE FURNITURE, SOIL, PLANTING, AND ALL OTHER MATERIALS IS TO BE STAKED OUT AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.

ALL PLANTING SHALL BE IN ACCORDANCE WITH BC LANDSCAPE STANDARD, LATEST EDITION. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE EXISTENCE, LOCATION, AND ELEVATION OF ALL UTILITIES AND CONCEALED STRUCTURES, AND IS RESPONSIBLE FOR NOTIFYING THE APPROPRIATE COMPANY, DEPARTMENT OR PERSON(S) OF ITS INTENTION TO CARRY OUT ITS OPERATIONS.

CONNECT LANDSCAPE ARCHITECTURE INC. DOES NOT GUARANTEE THE EXISTENCE, LOCATION, AND ELEVATION OF UTILITIES OR CONCEALED STRUCTURES AT THE PROJECT SITE.

FINAL SPACING, SELECTION, TREE SPECIES TO THE SATISFACTION OF THE CITY OF KELOWNA.

ALL PUBLIC REALM DETAILS TO CITY OF KELOWNA STANDARDS

SCHEDULE

A & B

This forms part of application
OCP17-0021 & Z17-0093

Planner
Initials

AC

City of
Kelowna

COMMUNITY PLANNING



5	REISSUED FOR REVISED DP	18-02-02
4	ISSUED FOR CLIENT REVIEW	17-09-18
3	ISSUED FOR CLIENT REVIEW	17-06-27
2	ISSUED FOR CLIENT REVIEW	17-05-31
1	ISSUED FOR CLIENT REVIEW	17-05-24

REVISIONS



Clement Avenue and Richter Street Mixed-Use

726 Clement Avenue
Kelowna, British Columbia

Scale:	1/16"=1'-0"
Drawn:	KD
Reviewed:	DS
Project No.	06-545

LANDSCAPE COVER PAGE AND CONTEXT PLAN

L1.0

SCHEDULE A & B

This forms part of application
OCP17-0021 & Z17-0093

Planner
Initials AC

City of Kelowna
COMMUNITY PLANNING

RICHTER ST

BUILDING 1

BUILDING 2

VAUGHAN AVE

CLEMENT AVE

LAYOUT AND MATERIALS LEGEND	
DESCRIPTION	SYMBOL
1 PROPOSED LAWN	
2 PROPOSED PLANTING SHRUB AND GROUNDCOVERS	
3 DECIDUOUS TREES PER PLAN	
4 PEDESTRIAN FEATURE PAVERS BARKMAN BRIDGEWOOD PAVING SLABS	
5 SIDEWALK PAVING: CIP CONCRETE PER PLANS AND CITY STANDARDS	
6 RIVER COBBLE LOCAL RIVER COBBLE AND BOULDERS	
7 LOW PATIO RAILING METAL WITH WOOD ACCENTS	
8 WEATHERED STEEL TREE GRATE SPECIFICATION TBD	
9 WEATHERED STEEL BOLLARD SPECIFICATION TBD	
10 BICYCLE PARKING POST AND RING STYLE, SPECIFICATION TBD	
11 PATIO FURNISHINGS BY PERMIT	
12 PROJECT SIGN	
13 CUSTOM SEAT ELEMENTS BOARD FORM CONCRETE	
14 WEATHERED STEEL ART ELEMENTS	

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1	ISSUED FOR CLIENT REVIEW	17-05-24
REVISIONS		

Clement Avenue and Richter Street Mixed-Use

726 Clement Avenue
Kelowna, British Columbia

Scale:	1:200
Drawn:	KD
Reviewed:	DS
Project No.	06-545

LANDSCAPE CONCEPT
WEST SIDE

SCHEDULE A & B

This forms part of application
OCP17-0021 & Z17-0093

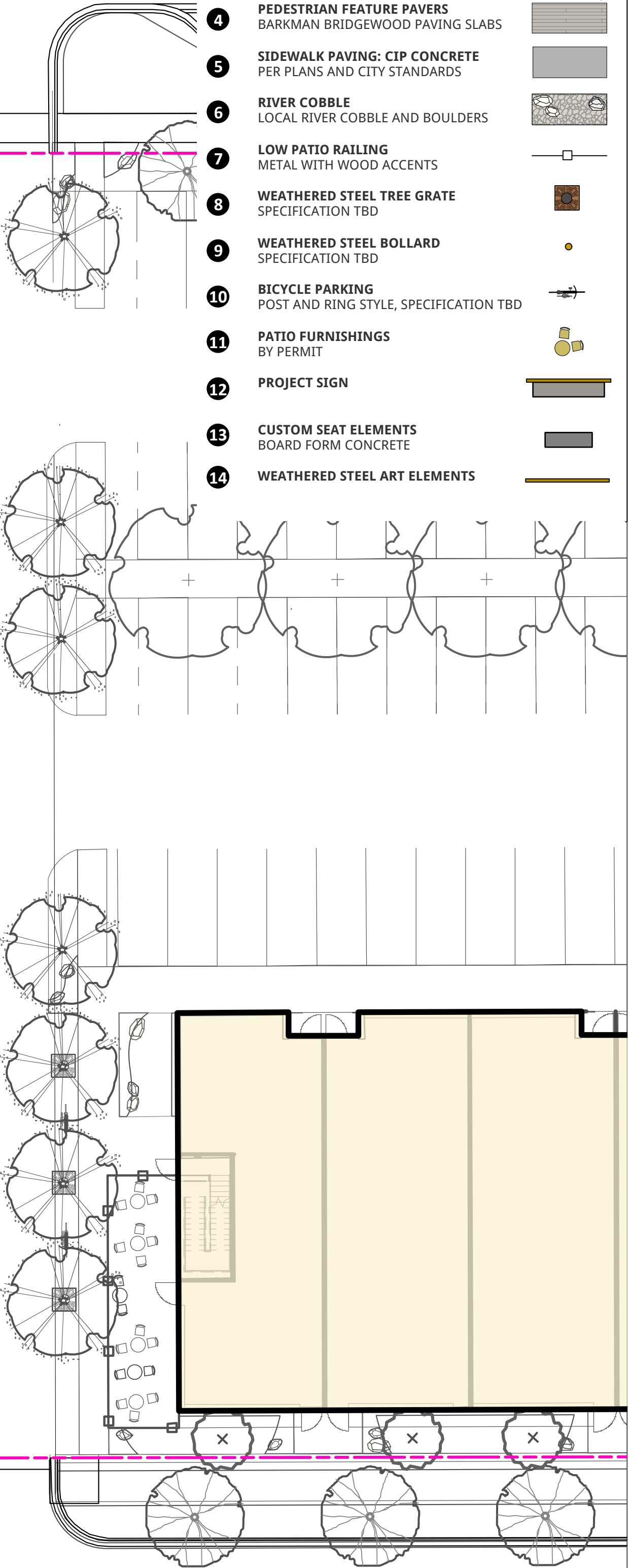
Planner Initials AC

City of Kelowna

COMMUNITY PLANNING



LAYOUT AND MATERIALS LEGEND	
DESCRIPTION	SYMBOL
1 PROPOSED LAWN	[Symbol]
2 PROPOSED PLANTING SHRUB AND GROUNDCOVERS	[Symbol]
3 DECIDUOUS TREES PER PLAN	[Symbol]
4 PEDESTRIAN FEATURE PAVERS BARKMAN BRIDGEWOOD PAVING SLABS	[Symbol]
5 SIDEWALK PAVING: CIP CONCRETE PER PLANS AND CITY STANDARDS	[Symbol]
6 RIVER COBBLE LOCAL RIVER COBBLE AND BOULDERS	[Symbol]
7 LOW PATIO RAILING METAL WITH WOOD ACCENTS	[Symbol]
8 WEATHERED STEEL TREE GRATE SPECIFICATION TBD	[Symbol]
9 WEATHERED STEEL BOLLARD SPECIFICATION TBD	[Symbol]
10 BICYCLE PARKING POST AND RING STYLE, SPECIFICATION TBD	[Symbol]
11 PATIO FURNISHINGS BY PERMIT	[Symbol]
12 PROJECT SIGN	[Symbol]
13 CUSTOM SEAT ELEMENTS BOARD FORM CONCRETE	[Symbol]
14 WEATHERED STEEL ART ELEMENTS	[Symbol]



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1	ISSUED FOR CLIENT REVIEW	17-05-24

REVISIONS

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Clement Avenue and Richter Street Mixed-Use

726 Clement Avenue Kelowna, British Columbia	
Scale:	1:200
Drawn:	KD
Reviewed:	DS
Project No.	06-545

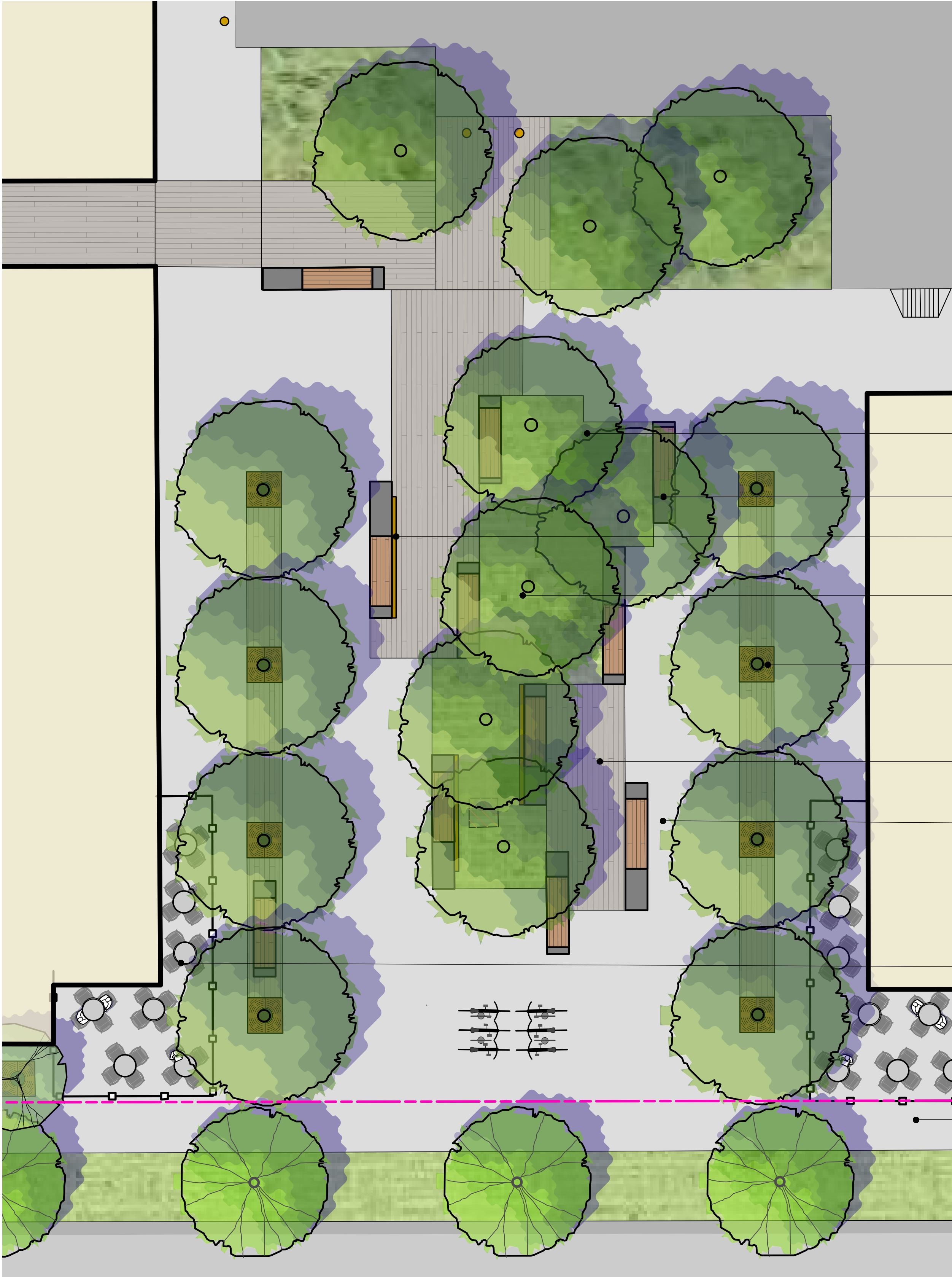
LANDSCAPE CONCEPT
EAST SIDE





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SCHEDULE A & B

This forms part of application
OCP17-0021 & Z17-0093

Planner Initials AC

City of Kelowna

COMMUNITY PLANNING

- SHADE TREES
- CUSTOM SEATING
- POTENTIAL ART PANEL LOCATIONS
- CENTRAL PLANTING AREA WITH SHADE TREES
- TREES IN TREE GRATES
- SPECIAL PAVING DEFINES SEATING ZONES
- CIRCULATION ZONE
- POSSIBLE RESTAURANT PATIO
- SIDEWALK



LANDSCAPE CHARACTER AND PRECEDENTS

DETAILED COURTYARD PLAN - 1:100

5	REISSUED FOR REVISED DP	18-02-02
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REVISIONS		



Clement Avenue and Richter Street Mixed-Use

726 Clement Avenue
Kelowna, British Columbia

Scale:	1:100
Drawn:	KD
Reviewed:	DS
Project No.	06-545

LANDSCAPE CONCEPT
MEZZANINE - LEVEL 3

LANDSCAPE CHARACTER

- RUSTIC MATERIALS COMBINED WITH DROUGHT-TOLERANT PLANTS.
- ATTRACTIVE ORNAMENTAL GRASSES.
- LOCAL MATERIALS, RIVER COBBLE, BOULDERS, TIMBERS.



SEATING AND WALLS

- LARGE AND SIMPLE FORMS.
- COLOURS THAT CONTRAST WITH THE PLANTING MATERIALS.
- BOARD-FORM CONCRETE FOR CUSTOM SEATS AND WALLS, TO RELATE TO PACKING BOX THEME.
- POTENTIAL FOR TIMBERS INTEGRATED AS SEAT TOPS



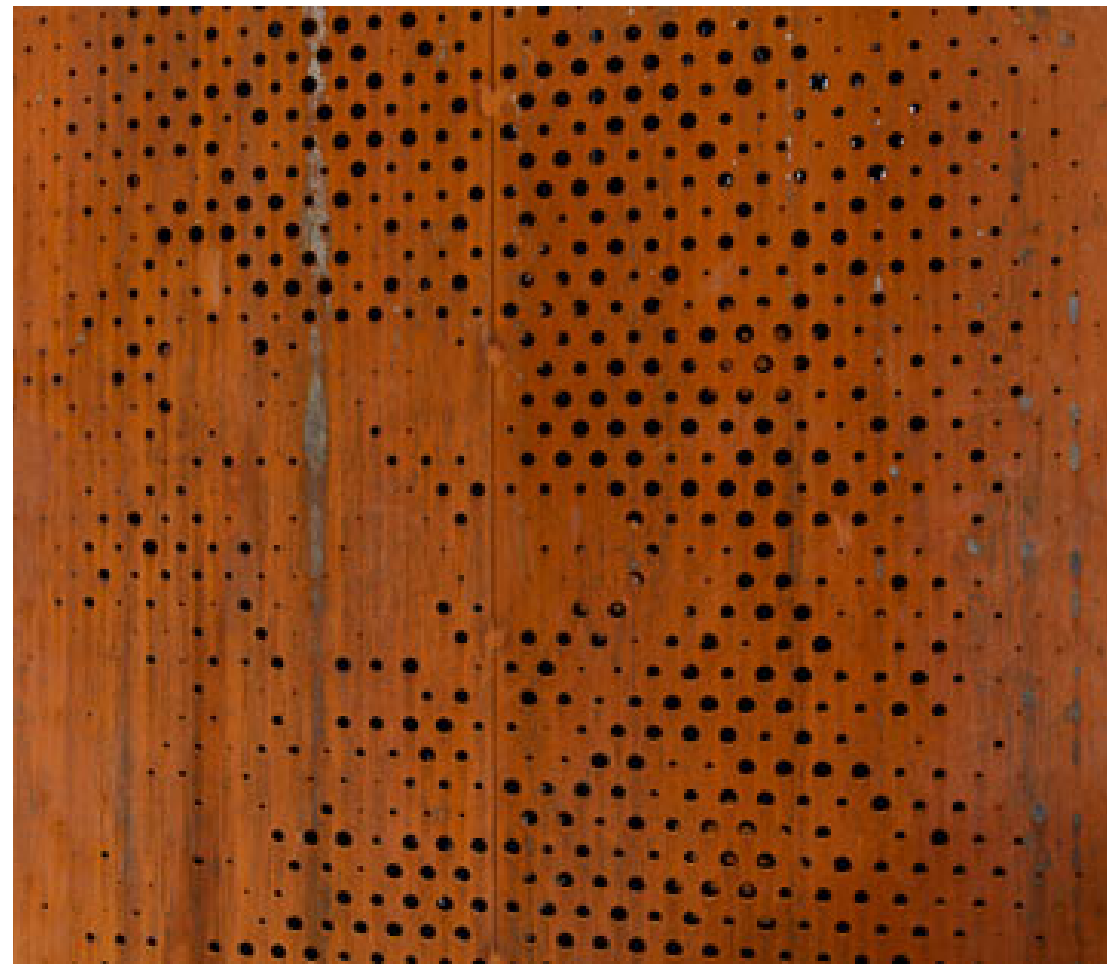
MATERIALS

- TEXTURED CONCRETE PAVING - MIX OF BROOMED AND SAND-BLASTED FINISHES.
- BOARD-FORM CONCRETE FOR WALLS, PLANTERS, SEAT ELEMENTS.
- WOOD-LOOK CONCRETE PAVERS IN FEATURE AREAS TO ADD TO TEXTURE AND CHARACTER.



MATERIALS

- WEATHERED STEEL (CORE-TEN) TO BRING COLOUR AND TEXTURE.
- PATTERNS OR SIMPLE CUT-OUTS FOR IMAGES AND LOGOS.
- TREE GRATES AND OTHER ELEMENTS TO MATCH STEEL AND BRING COLOUR TO DIFFERENT SURFACES.



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1	ISSUED FOR CLIENT REVIEW	17-05-24

REVISIONS



Clement Avenue and Richter Street Mixed-Use

726 Clement Avenue
Kelowna, British Columbia

Scale:	As Shown
Drawn:	DS
Reviewed:	DS
Project No.	06-545

MATERIALS AND CHARACTER

LANDSCAPE CHARACTER

- RUSTIC MATERIALS COMBINED WITH DROUGHT-TOLERANT PLANTS.
- ATTRACTIVE ORNAMENTAL GRASSES MIXED WITH NATIVE AND DROUGHT-TOLERANT SHRUBS AND PERENNIALS
- LOCAL MATERIALS, RIVER COBBLE, BOULDERS



SCHEDULE

A & B

This forms part of application

OCP17-0021 & Z17-0093

Planner

Initials

AC

City of

Kelowna

COMMUNITY PLANNING

PLANT SCHEDULE

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	SUN EXP.
Trees						
	39	<i>Acer rubrum 'Armstrong'</i>	Armstrong Red Maple	7cm cal. 1.8m std. Full braching B&B	As Shown	○●
	17	<i>Acer saccharum 'Apollo'</i>	Apollo Fastigate Sugar Maple	6cm cal. 1.8m std. Full braching B&B	As Shown	○
	44	<i>Fraxinus pennsylvanica 'Prairie Spire'</i>	Prairie Spire Ash	7cm cal. 1.8m std. Full braching B&B	As Shown	○●
	18	<i>Robinia pseudoacacia 'Frisia'</i>	Golden Locust	7cm cal. 1.8m std. Full braching B&B	As Shown	○●
	18	<i>Tilia cordata 'Greenspire'</i>	Greenspire Linden	7cm cal. 1.8m std. Full braching B&B	As Shown	○●
Shrubs						
	0	<i>Artemesia tridentata</i>	Mountain Sage	#2 pot	@600mm O.C.	○
	639	<i>Berberis 'Ruby Glow'</i>	Dwarf Red Barberry	#3 pot	@600mm O.C.	○
	31	<i>Clethra alnifolia</i>	Sweet Pepper Bush	#2 pot	@1200mm O.C.	○●●
	105	<i>Cornus sericea 'Arctic Fire'</i>	Dwarf Dogwood	#2 pot	@750mm O.C.	○●
	698	<i>Cotoneaster dammeri</i>	Little Leaf Cotoneaster	#2 pot	@600mm O.C.	○●
	120	<i>Ericameria nauseosus</i>	Rabbit Bush	#2 pot	@600mm O.C.	○●
	304	<i>Picea abies 'Nidiformus'</i>	Bird's Nest Spruce	#2 pot	@600mm O.C.	○●
	184	<i>Rhus aromatica 'Gro-Low'</i>	Gro'Low Sumac	#2 pot	@750mm O.C.	○●
	30	<i>Ribes alpinum</i>	Alpine Flowering Current	#3 pot	@900mm O.C.	○●
	321	<i>Symphoricarpos albus</i>	Snowberry	#3 pot	@600mm O.C.	○●
	72	<i>Taxus X Media 'Hicksii'</i>	Hick's Yew	1.2m High, B&B	@600mm O.C.	○●●
Ornamental Grasses						
	247	<i>Calamagrostis x Acutiflora 'Karl Foerster'</i>	Feather Reed Grass	#2 pot	@750mm O.C.	○●
	102	<i>Pennisetum alopecuroides 'Hameln'</i>	Dwarf Fountain Grass	#2 pot	@750mm O.C.	○●
	580	<i>Sporobolus heterolepis</i>	Prairie Dropseed	#2 pot	@600mm O.C.	○
Perennials						
	84	<i>Achillea millefolium</i>	Yarrow	10cm pot	@450mm O.C.	○
	93	<i>Echinacea purpurea</i>	Purple Cone Flower	#1 pot	@600mm O.C.	○●
	44	<i>Rudbeckia triloba</i>	Browneyed Susan	#1 pot	@600mm O.C.	○
	202	<i>Salvia nemerosa 'Caradonna'</i>	Midnight Salvia	10cm pot	@450mm O.C.	○
Full Sun ○ Part Sun / Shade ● Shade ●						

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5	REISSUED FOR REVISED DP	18-02-02
4	ISSUED FOR CLIENT REVIEW	17-09-18
3	ISSUED FOR CLIENT REVIEW	17-06-27
2	ISSUED FOR CLIENT REVIEW	17-05-31
1	ISSUED FOR CLIENT REVIEW	17-05-24
REVISIONS		

Clement Avenue and Richter Street Mixed-Use

726 Clement Avenue Kelowna, British Columbia	
Scale:	As Shown
Drawn:	KD
Reviewed:	DS
Project No.	06-545

PLANT SCHEDULE



SCHEDULE A & B

This forms part of application
OCP17-0021 & Z17-0093

Planner Initials

AC

City of Kelowna

COMMUNITY PLANNING

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REVISIONS

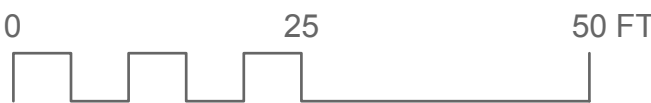
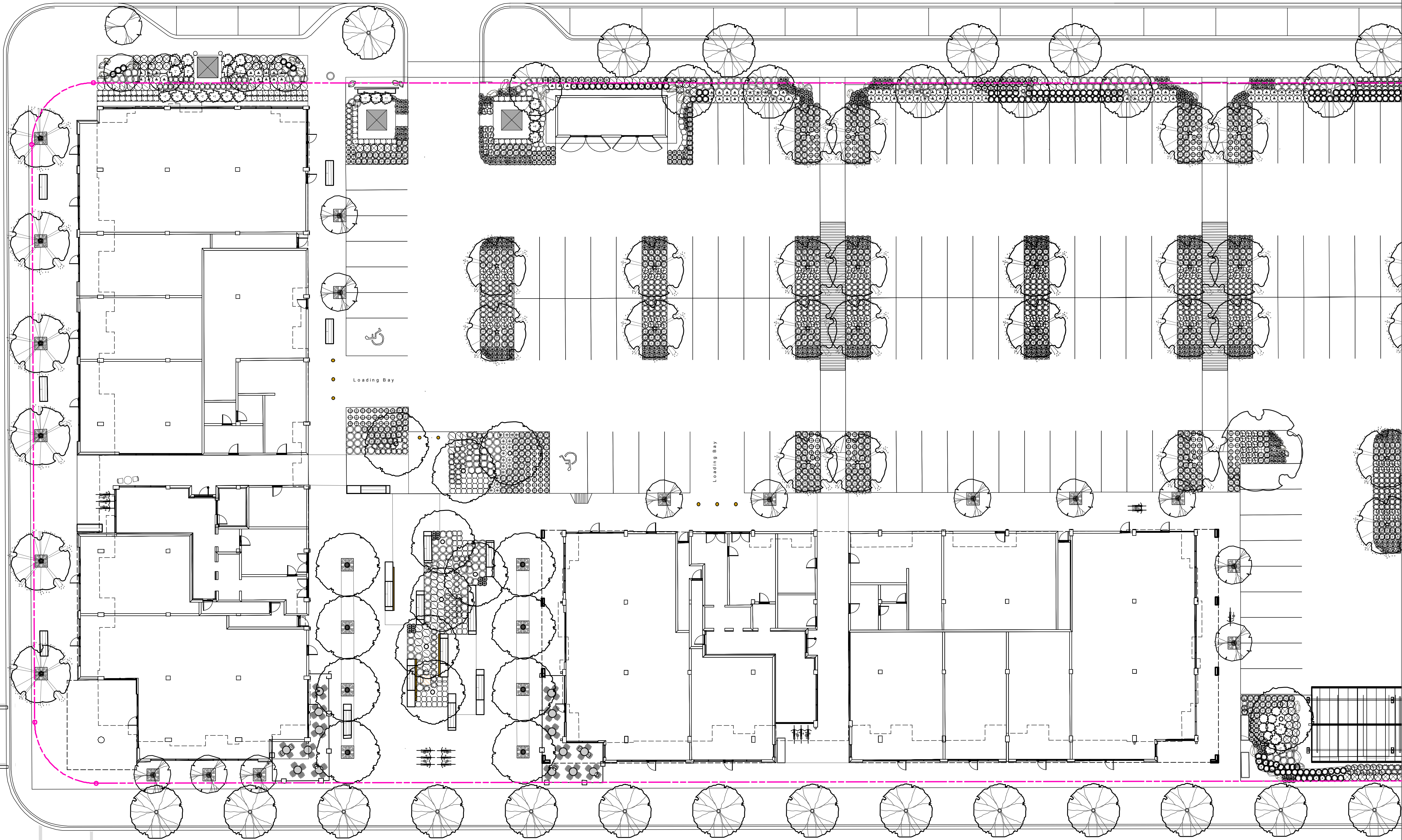


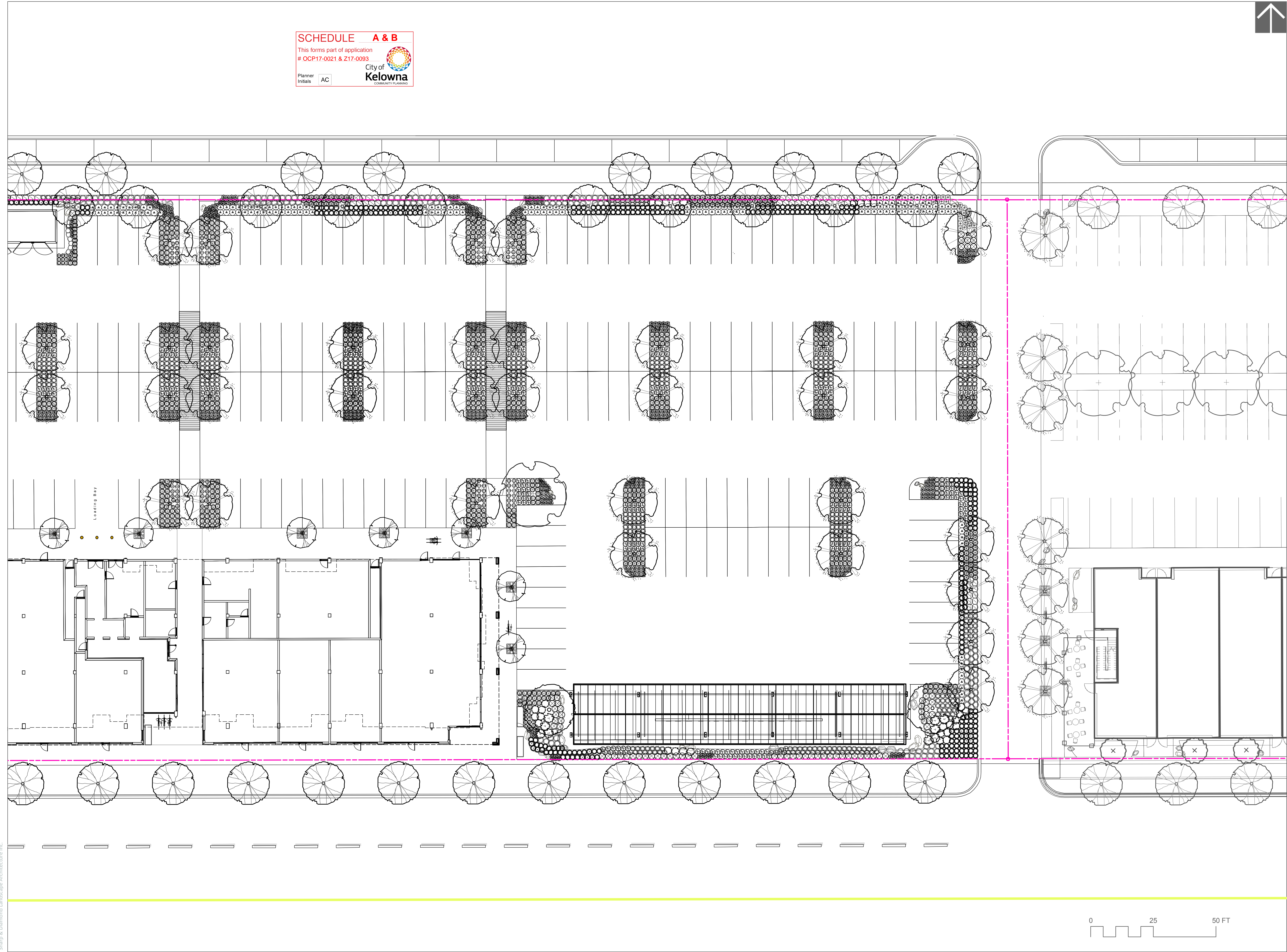
Clement Avenue and Richter Street Mixed-Use

726 Clement Avenue
Kelowna, British Columbia

Scale:	1:200
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LANDSCAPE PLANTING
PLAN WEST SIDE





Sharp & Diamond Landscape Architecture Inc.

SCHEDULE A & B

This forms part of application
OCP17-0021 & Z17-0093

Planner
Initials AC

City of Kelowna
COMMUNITY PLANNING



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REVISIONS

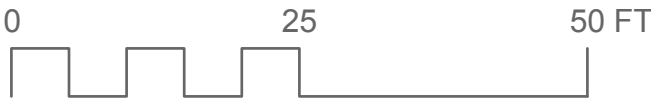


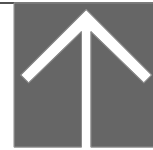
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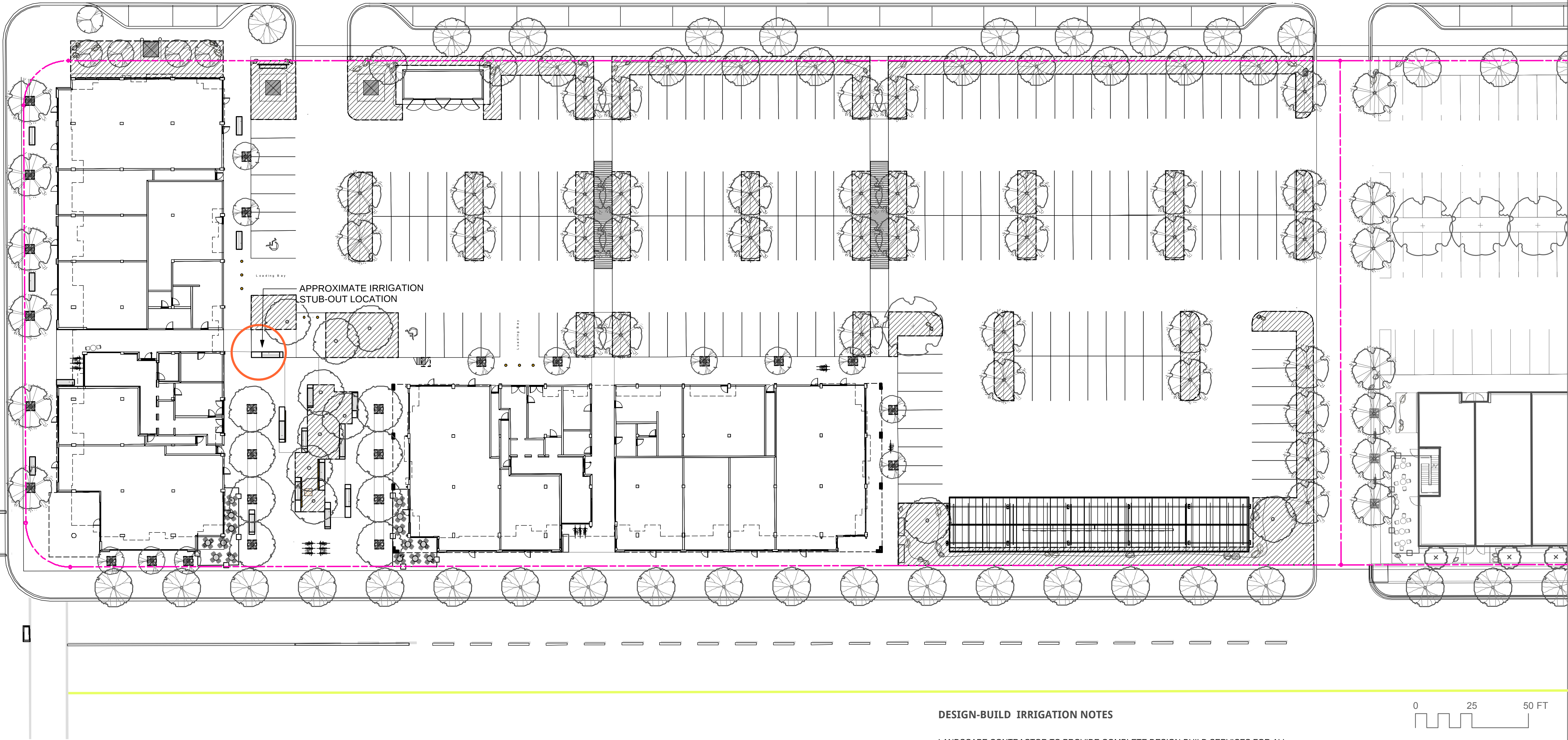
LANDSCAPE PLANTING
PLAN EAST SIDE





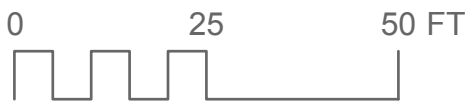
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DESIGN-BUILD IRRIGATION NOTES

- LANDSCAPE CONTRACTOR TO PROVIDE COMPLETE DESIGN-BUILD SERVICES FOR ALL AUTOMATIC SITE IRRIGATION WORKS.
- IRRIGATION CONTRACTOR PERFORMING THE WORK MUST HAVE MINIMUM (5) FIVE YEARS DOCUMENTED EXPERIENCE, AND A MEMBER IN GOOD STANDING OF THE IIABC (IRRIGATION INDUSTRY ASSOCIATION OF BC).
- IRRIGATION TO CONFORM TO ALL LOCAL PLUMBING AND ELECTRICAL CODE REQUIREMENTS. CONTRACTOR IS RESPONSIBLE FOR COORDINATION WITH MECHANICAL AND ELECTRICAL CONSULTANTS AND TRADES.
- IRRIGATION TO CONFORM TO ALL IIABC STANDARDS WITH THE FOLLOWING EXCEPTIONS:
 - MATERIALS SECTION 8B: ALL PIPE TO BE MINIMUM CLASS 200
 - MATERIALS SECTION 5G: NO WIRE SMALLER THAN 14 GAUGE DIRECT BURIAL
- COORDINATE WITH CIVIL CONTRACTOR TO PROVIDE PVC SLEEVING WHERE REQUIRED.
- IRRIGATION STUB-OUTS AND HOSE BIBS PER MECHANICAL PLANS.
- PROVIDE SHOP DRAWINGS FOR IRRIGATION LAYOUT TO CONSULTANT FOR REVIEW AND APPROVAL PRIOR TO FABRICATION AND INSTALLATION. INCLUDE SLEEVING, DRIP LINE, PIPE SIZE, VALVE BOXES, ETC., AND ALL IRRIGATION COMPONENT SPECIFICATIONS. VALVE BOXES TO BE LOCATED IN LOW-VISIBLE, PLANTED AREAS ONLY AND LOCATIONS TO BE APPROVED.
- HIGH EFFICIENCY IRRIGATION TECHNOLOGY TO BE EMPLOYED INCLUDE, BUT ARE NOT LIMITED TO: CENTRAL SHUT-OFF VALVE, HIGH EFFICIENCY DRIP IRRIGATION LINES AND MOTION SENOR/RAIN DELAY CONTROLLER
- TEST SYSTEM PRIOR TO COMPLETION OF LANDSCAPE WORKS TO ENSURE NO LEAKAGE AND SPECIFIED PSI IS MET. PROVIDE WRITTEN NOTICE THAT PRESSURE TESTING HAS MET STANDARDS (LEAKS SHALL NOT BE REPAIRED BY PATCHING).
- PROVIDE COVERAGE AND CONTROLLER TEST WHEN SYSTEM IS COMPLETE AND MAKE ADJUSTMENTS AS REQUIRED.
- PROVIDE AS-BUILT RECORD DRAWINGS TO SCALE SHOWING LOCATIONS OF ALL CONCEALED COMPONENTS, PIPING SYSTEM AND CONDUIT.
- MAINTAIN AND OPERATE IRRIGATION PER MANUFACTURER'S RECOMMENDATIONS THROUGHOUT WARRANTY PERIOD - WINTERIZE AS REQUIRED.
- PROVIDE (3) COPIES OF INSTRUCTIONS MANUALS FOR OPERATION AND MAINTENANCE OF SYSTEM AND CONTROLS. SEASONAL ACTIVITY AND SHUTDOWN AND MANUFACTURER'S PARTS CATALOGUE.
- INSTRUCT OWNER'S PERSONNEL IN THE OPERATION AND MAINTENANCE OF SYSTEM, INCLUDING ADJUSTING OF SPRINKLER HEADS. USE OPERATION AND MAINTENANCE MATERIAL AS BASIS FOR DEMONSTRATION.



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WATER CONSERVATION
AND IRRIGATION PLAN