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**CITY OF KELOWNA**  
**MEMORANDUM**

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**Date:** January 3, 2018 (REVISED)  
**File No.:** Z17-0116  
**To:** Community Planning (KB)  
**From:** Development Engineering Manager(JK)  
**Subject:** 1371 Bernard Avenue RU6 to RM3

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Development Engineering has the following requirements associated with this application. The road and utility upgrading requirements outlined in this report will be a requirement of this development.

The Development Engineering Technologist for this project is Aaron Sangster.

.1) Domestic Water and Fire Protection

- (a) The development site is presently serviced with a 19mm diameter water service. The developer's consulting mechanical engineer will determine the domestic, fire protection requirements of this proposed development and establish hydrant requirements and service needs. Only one service will be permitted for this development.

.2) Sanitary Sewer

- (a) The development site is presently serviced with a 100mm diameter sanitary sewer service. Only one service will be permitted for this development. The developer's consulting civil engineer will determine sanitary sizing for this development. The applicant, at his cost, will arrange for the removal of the existing service and the installation of a new larger service if required.

.3) Storm Drainage

- (a) The developer must engage a consulting civil engineer to provide a storm water management plan for these sites which meets the requirements of the City Subdivision Development and Servicing Bylaw 7900. The storm water management plan must also include provision of lot grading plans, minimum basement elevations (MBE), if applicable, and provision of a storm drainage service and recommendations for onsite drainage containment and disposal systems.

.4) Road Improvements

- (a) Lakeview Street fronting this development must be upgraded to an Local – Class 1 (SS-R5) to include barrier curb & gutter, pave the unpaved gravel area adjacent to the existing sidewalk, remove and replace existing sidewalk if required to accommodate proposed curb & gutter, and relocation or adjustment of existing utility appurtenances if required to accommodate the upgrading construction. No retaining walls or structures permitted in City ROW.

Z17-0116 1371 Bernard Ave. RU6 - RM3 AS.doc

- (b) The lane fronting this development is required to be constructed to a paved standard. A cross section of SS-R2 should be used for design and costing.

.5) Road Dedication and Subdivision Requirements

By registered plan to provide the following:

- (a) Grant statutory rights-of-way if required for utility services.

.6) Electric Power and Telecommunication Services

- (a) All proposed distribution and service connections are to be installed underground. Existing distribution and service connections, on that portion of a road immediately adjacent to the site, are to be relocated and installed underground as this site is located adjacent to the South Pandosy urban town centre.
- (b) Make servicing applications to the respective Power and Telecommunication utility companies. The utility companies are required to obtain the City's approval before commencing construction.
- (c) Re-locate existing poles and utilities, where necessary. Remove aerial trespass (es).

.7) Engineering

Road and utility construction design, construction supervision, and quality control supervision of all off-site and site services including on-site ground recharge drainage collection and disposal systems, must be performed by an approved consulting civil engineer. Designs must be submitted to the City Engineering Department for review and marked "issued for construction" by the City Engineer before construction may begin.

.8) Design and Construction

- (a) Design, construction supervision and inspection of all off-site civil works and site servicing must be performed by a Consulting Civil Engineer and all such work is subject to the approval of the City Engineer. Drawings must conform to City standards and requirements.
- (b) Engineering drawing submissions are to be in accordance with the City's "Engineering Drawing Submission Requirements" Policy. Please note the number of sets and drawings required for submissions.
- (c) Quality Control and Assurance Plans must be provided in accordance with the Subdivision, Development & Servicing Bylaw No. 7900 (refer to Part 5 and Schedule 3).
- (d) A "Consulting Engineering Confirmation Letter" (City document 'C') must be completed prior to submission of any designs.
- (e) Before any construction related to the requirements of this subdivision application commences, design drawings prepared by a professional engineer must be submitted to the City's Works & Utilities Department. The design drawings must first be "Issued for Construction" by the City Engineer. On examination of design drawings, it may be determined that rights-of-way are required for current or future needs.

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.9) Servicing Agreements for Works and Services

- (a) A Servicing Agreement is required for all works and services on City lands in accordance with the Subdivision, Development & Servicing Bylaw No. 7900. The applicant's Engineer, prior to preparation of Servicing Agreements, must provide adequate drawings and estimates for the required works. The Servicing Agreement must be in the form as described in Schedule 2 of the bylaw.
- (b) Part 3, "Security for Works and Services", of the Bylaw, describes the Bonding and Insurance requirements of the Owner. The liability limit is not to be less than \$5,000,000 and the City is to be on the insurance policy as an additional insured.

.10) Survey Monuments and Iron Pins

If any legal survey monuments or property iron pins are removed or disturbed during construction, the developer will be invoiced a flat sum of \$1,200.00 per incident to cover the cost of replacement and legal registration. Security bonding will not be released until restitution is made.

.11) Bonding and Levy Summary

(a) Bonding

Lakeview Street upgrade	<b>To be determined</b>
Lane Frontage Improvements	<b>To be determined</b>
<b>Total Bonding</b>	<b>To be determined</b>

.12) Administration Charge

An administration charge will be assessed for processing of this application, review and approval of engineering designs and construction inspection. The administration charge is calculated as (3.5% of Total Off-Site Construction Cost plus GST).

14) Development Permit and Site Related Issues

Access and Manoeuvrability

- (a) The access to this site must be from the lane. Access from Bernard Avenue is not permitted as per bylaw.

15. Geotechnical Report

As a requirement of this application the owner must provide a geotechnical report prepared by a Professional Engineer qualified in the field of hydro-geotechnical survey to address the following:

- (a) Area ground water characteristics.
- (b) Site suitability for development, unstable soils, etc.
- (c) Drill and / or excavate test holes on the site and install piezometers if necessary. Log test hole data to identify soil characteristics, identify areas of fill if any. Identify unacceptable fill material, analyse soil sulphate content, identify unsuitable underlying soils such as peat, etc. and make recommendations for remediation if necessary.

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<b>SCHEDULE</b>		<b>A</b>
This forms part of application		
# Z17-0116		
Planner Initials	<div>KB</div>	
		 City of <b>Kelowna</b> <small>COMMUNITY PLANNING</small>

- (d) List extraordinary requirements that may be required to accommodate construction of roads and underground utilities as well as building foundation designs.
- (e) Additional geotechnical survey may be necessary for building foundations, etc.

  
\_\_\_\_\_  
James Kay, P. Eng.  
Development Engineering Manager

AS



# BERNARD AVE. 4-PLEX



ATTACHMENT A

This forms part of application  
# Z17-0116

Planner  
Initials KB



ALL CONTRACTORS ARE REQUIRED TO  
THEIR WORK AND SUPPLY THEIR PRODUCTS  
COMPLIANCE WITH ALL BUILDING CODES  
LAWS OF THE PROVINCE OF BRITISH

This drawing is an instrument of service and  
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limited to such

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Verify all dimensions and datums prior  
commencement of  
Report all errors and omissions to the



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ARCHITECTURE  
URBAN PLANNING  
CIVIL ENGINEERING  
www.newtownservices.ca

Revision		
No	Date	Description
1	NOV 24, 2017	ISSUED FOR DP

Seal

## ARCHITECTURAL

NEW TOWN ARCHITECTURE & ENGINEERING  
200-1464 ST. PAUL STREET  
KELOWNA, BC V1Y 2E6  
ROMAN YAMCHSHIKOV  
Roman@newtownservices.net  
T. (250) 860 8185  
F. (250) 860 0985

## DRAWING LIST:

A001	COVER SHEET & DRAWING LIST
A002	SITE PLAN & ZONING ANALYSIS
A003	SURVEY
A004	RENDERINGS
A005	RENDERINGS
A006	FOUNDATION & GARAGE LEVEL PLANS
A007	MAIN & SECOND LEVEL PLANS
A008	ROOF DECK & UPPER ROOF PLANS
A009	ELEVATIONS
A010	ELEVATIONS
A011	SECTIONS

## CIVIL

NEW TOWN ARCHITECTURE & ENGINEERING  
200-1464 ST. PAUL STREET  
KELOWNA, BC V1Y 2E6  
JACOB PAUL  
Jacob@newtownservices.net  
T. (250) 860 8185  
F. (250) 860 0985

## DRAWING LIST:

1	SERVICING PLAN
2	GRADING PLAN

## LANDSCAPE

WSP  
540 LEON AVENUE  
KELOWNA, BRITISH COLUMBIA, V1Y 6J6  
BYRON DOUGLAS  
BYRON.DOUGLAS@WSP.COM  
T. (250) 469 7730  
M. (250) 826 7728

## DRAWING LIST:

LDP-1	SITE PLAN
LDP-2	HYDROZONE PLAN



CONTEXT PLAN: 1371 BERNARD AVE.

project title  
BERNARD AVE. 4-PLEX

project address  
1371 BERNARD AVE,  
KELOWNA, BC  
project no. 4035  
file no.

drawing title  
COVER SHEET  
& DRAWING  
LIST

designed scale  
drawn

checked R.Y.

drawing no.

A001

plotted NOV 24, 2017 11/24/2017 2:00:08 PM



ZONING ANALYSIS:

EXISTING

ZONING:  
RU6

PROPOSED

RM3

RM3 ZONING REQUIREMENTS:

ALLOWED

PROPOSED

FAR:

0.80

0.59

NET BUILDING AREA:

7943.8 SF BASED ON 0.80 FAR

6123.35 SF

MAX SITE COVERAGE FOR BUILDINGS:

40%

29%

MAX SITE COVERAGE INCL PARKING & DRIVEWAYS:

60%

59%

BUILDING HEIGHT:

3 STOREYS OR 10 m

3 STOREYS W/ LOCALIZED DEPRESSION  
FOR ENTRY

SETBACKS:

FRONT: 4.5m

4.5m

SIDE: 2.5m FROM WEST

4.5m FROM LAKEVIEW ST.

7.75m FROM WEST

4.5m FROM LAKEVIEW ST.

REAR: 7.5m

8.3m

PRIVATE OPEN SPACE:

REQUIRED: 100.0 m2

BALCONIES/ PATIOS: 333.57 m2

PARKING AND LOADING:

2 STALLS x 4 UNITS = 8 STALLS

PROVIDED:

8 STALLS

BICYCLE PARKING:

CLASS II: 0.1 x 4 UNITS = 0.4

PROVIDED:

2 STALLS

BUILDING STATISTICS:

UNIT TYPOLOGY & COUNT:

3 BEDROOM: 4

BUILDING AREA: 268.5 SM (2690.13 SF)

GROSS CONSTRUCTION AREA: 922.4 SM (9928.7 SF)

NOTE:

SITE SURVEY BASED ON INFORMATION PROVIDED BY:

FINAL LAYOUT, GRADE ELEVATIONS AND FINAL MAIN FLOOR ELEVATION TO BE  
DETERMINED BY SURVEYOR & CIVIL ENGINEER IN CONSULTATION WITH  
CONTRACTOR & OWNER.

ARCHITECTURAL SITE PLAN TO BE READ IN CONJUNCTION WITH CIVIL SITE  
PLAN.

ARCHITECTURAL SITE PLAN TO BE READ IN CONJUNCTION WITH LANDSCAPE  
PLAN.



1 SITE PLAN  
1:100

ATTACHMENT

A

This forms part of application

# Z17-0116

Planner

Initials

KB

City of  
Kelowna  
COMMUNITY PLANNING

NORTH

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Revision

No	Date	Description
1	NOV 24, 2017	ISSUED FOR DP

Seal

project title

BERNARD AVE. 4-PLEX

project address

1371 BERNARD AVE,  
KELOWNA, BC

project no.

4035

file no.

drawing title

SITE PLAN &  
ZONING  
ANALYSIS

designed

scale

As indicated

drawn

R.B./R.Y.

checked

R.Y.

drawing no.

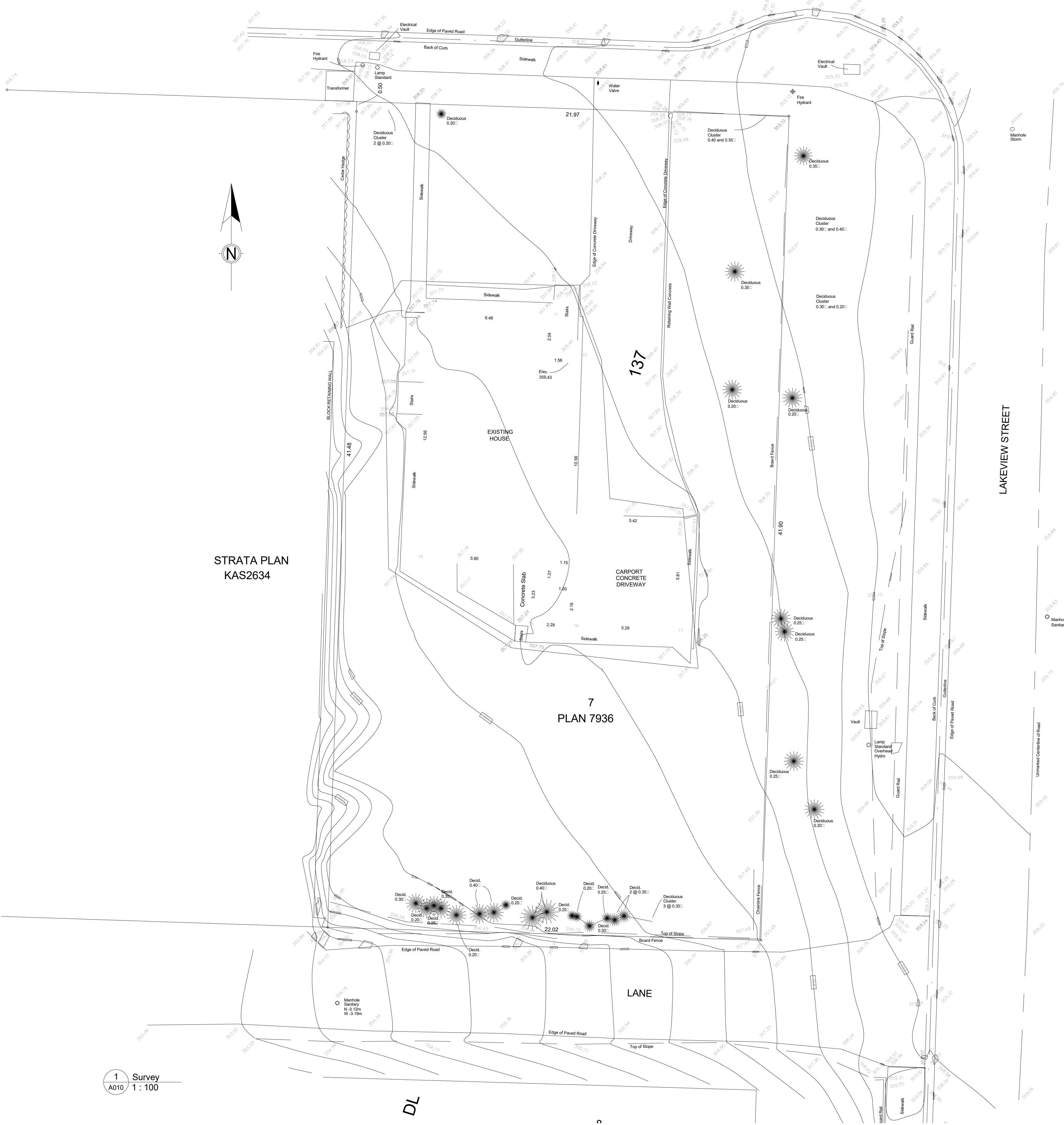
A002

plotted

NOV 24, 2017

11/24/2017 2:00:09 PM





STRATA PLAN  
KAS2634

1 Survey  
A010 1 : 100

ATTACHMENT A

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Planner  
Initials KB



City of  
**Kelowna**  
COMMUNITY PLANNING

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Seal

project title  
BERNARD AVE. 4-PLEX

project address  
1371 BERNARD AVE,  
KELOWNA, BC  
project no. 4035  
file no.  
drawing title  
SURVEY

designed	scale 1 : 100
drawn	R.B./R.Y.
checked	R.Y.
drawing no.	<b>A003</b>
plotted	NOV 24, 2017 11/24/2017 2:00:09 PM

NOT FOR  
CONSTRUCTION





ATTACHMENT A

This forms part of application # Z17-0116

Planner Initials KB

City of Kelowna COMMUNITY PLANNING

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KELOWNA, BC

project no. 4035

file no.

drawing title

RENDERINGS

designed

drawn

checked

drawing no.

scale

R.B./R.Y.

R.Y.

plotted

NOV 24, 2017 11/24/2017 2:00:09 PM

A004





ATTACHMENT A

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Planner  
Initials KB



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Seal

project title  
BERNARD AVE. 4-PLEX

project address  
1371 BERNARD AVE,  
KELOWNA, BC

project no. 4035

file no.

drawing title

RENDERINGS

designed scale

drawn R.B./R.Y.

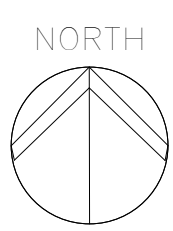
checked R.Y.

drawing no.

A005

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Seal

project title  
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project address  
1371 BERNARD AVE,  
KELOWNA, BC

project no. 4035

file no.

drawing title

FOUNDATION &  
GARAGE LEVEL  
PLANS

designed scale 1/8" = 1'-0"

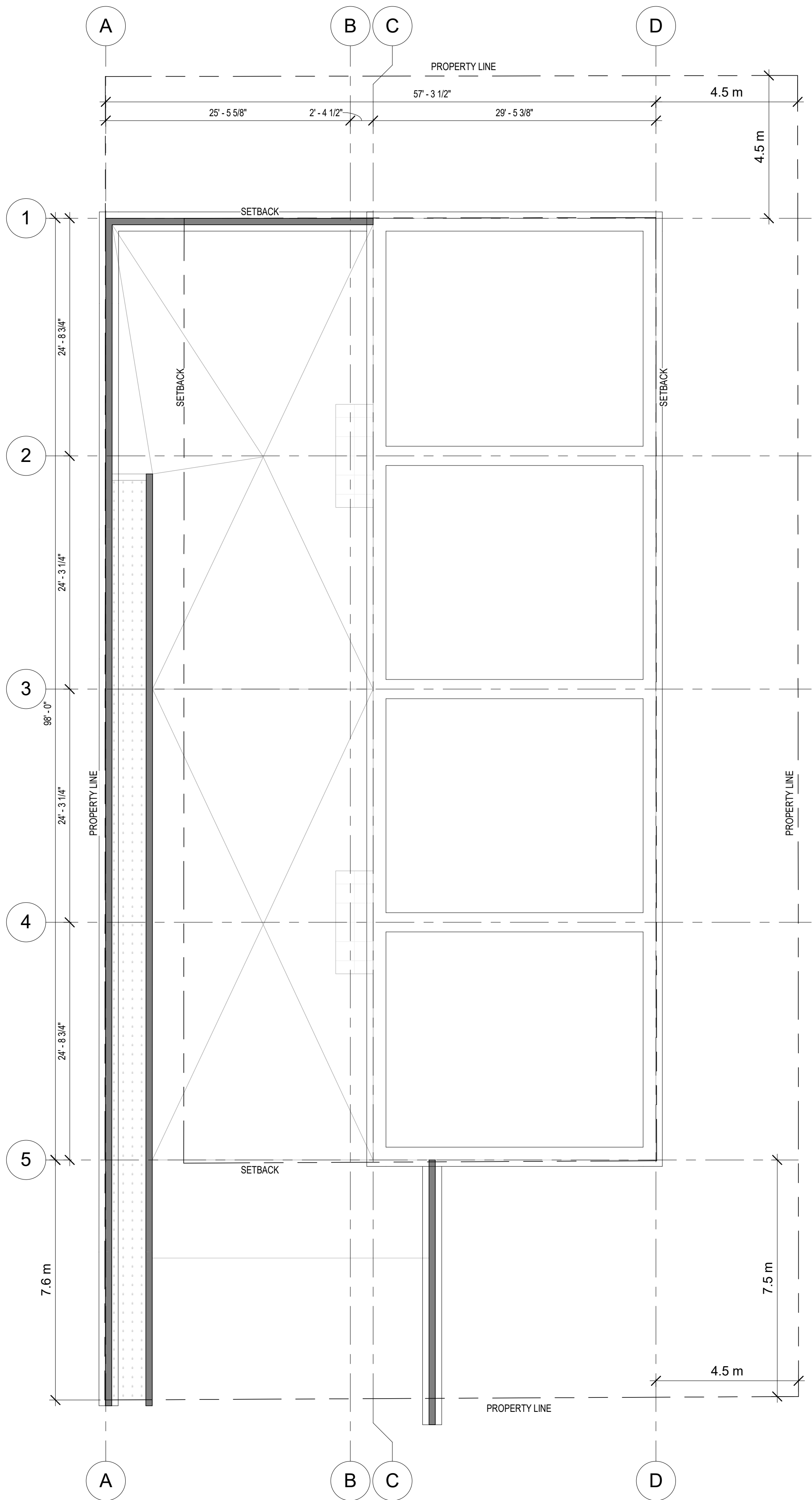
drawn R.B./R.Y.

checked R.Y.

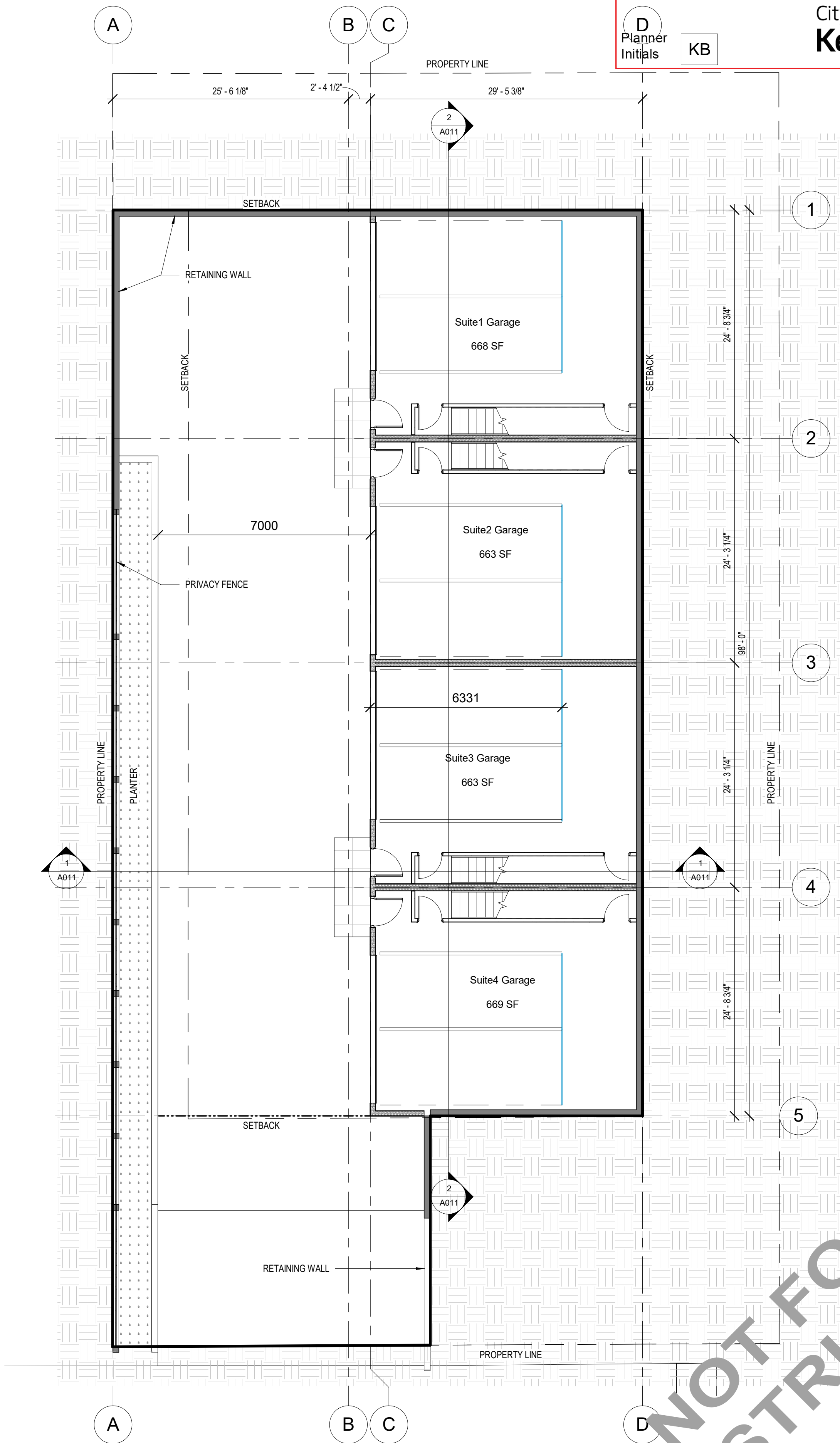
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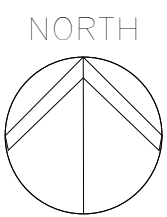


1 FOUNDATION PLAN  
1/8" = 1'-0"



2 GARAGE FLOOR PLAN  
1/8" = 1'-0"

NOT FOR  
CONSTRUCTION



Revision

No	Date	Description
1	NOV 24, 2017	ISSUED FOR DP

Seal

project title

BERNARD AVE. 4-PLEX

project address

1371 BERNARD AVE,  
KELOWNA, BC

project no.

4035

file no.

drawing title

MAIN & SECOND  
LEVEL PLANS

designed

scale

1/8" = 1'-0"

drawn

R.B./R.Y.

checked

R.Y.

drawing no.

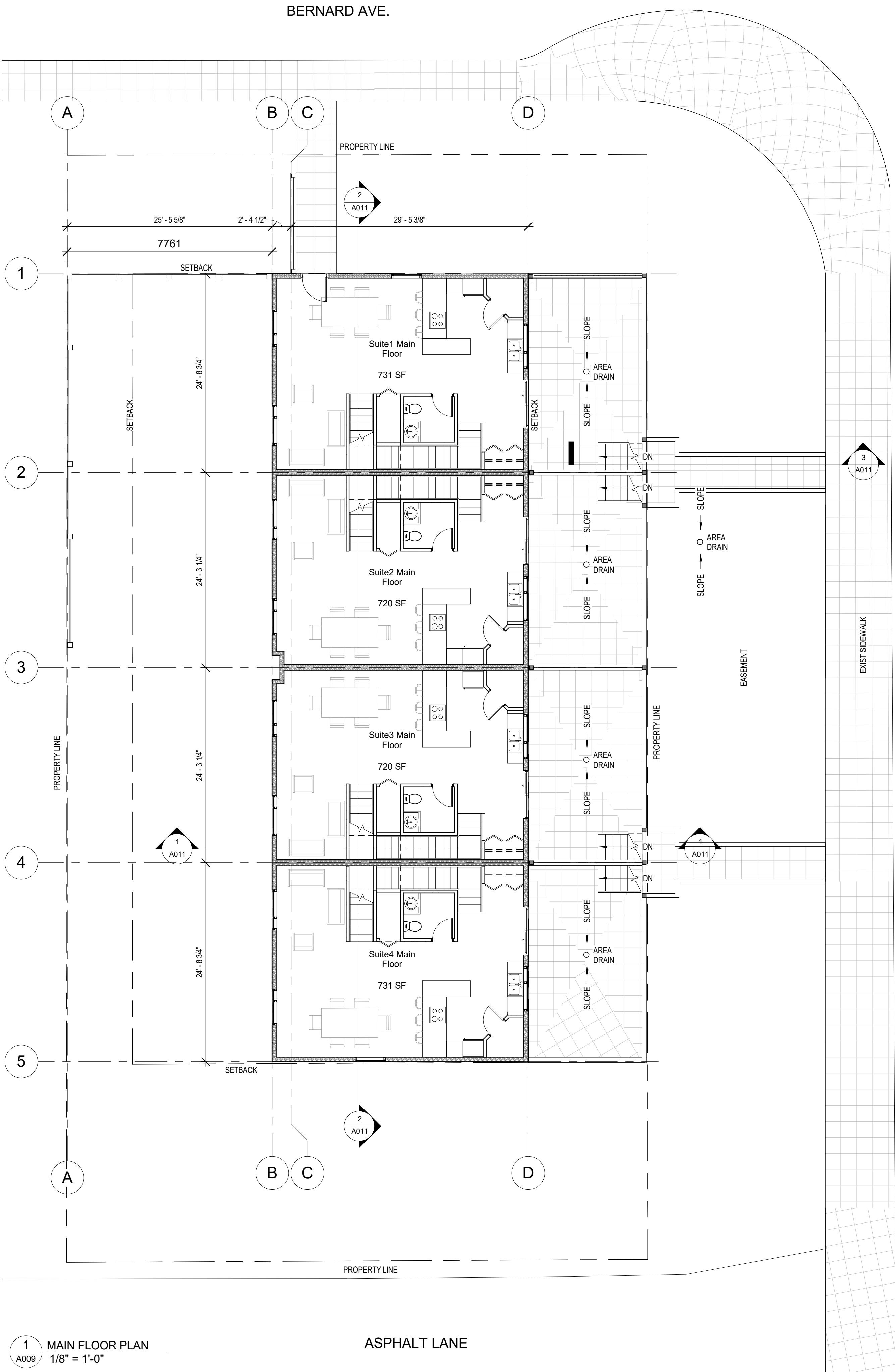
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plotted

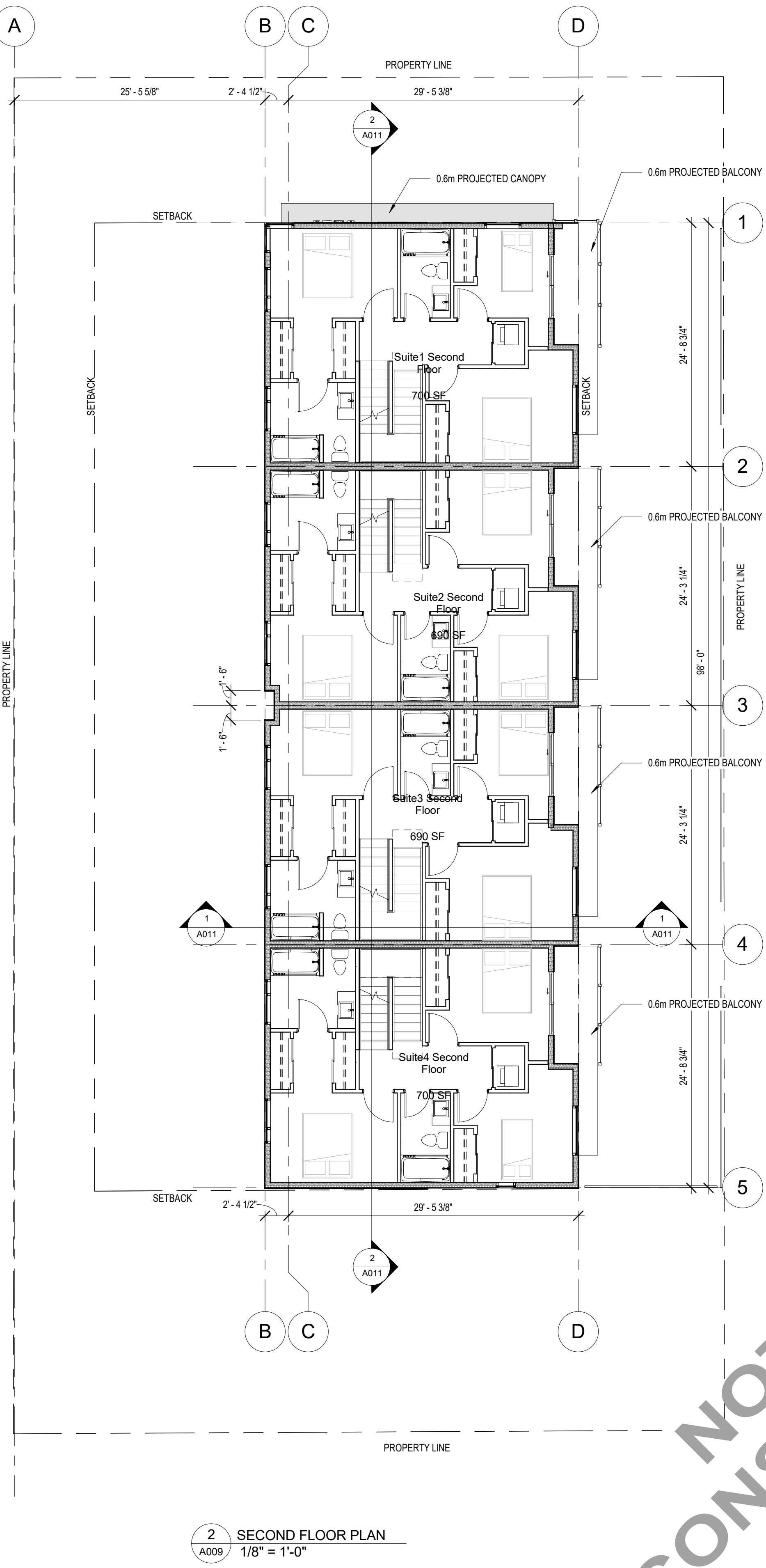
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BERNARD AVE.



LAKEVIEW STREET



NOT FOR  
CONSTRUCTION





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Seal

project title  
BERNARD AVE. 4-PLEX

project address  
1371 BERNARD AVE,  
KELOWNA, BC

project no. 4035

file no.

drawing title

**ROOF DECK &  
UPPER ROOF  
PLANS**

designed scale 1/8" = 1'-0"

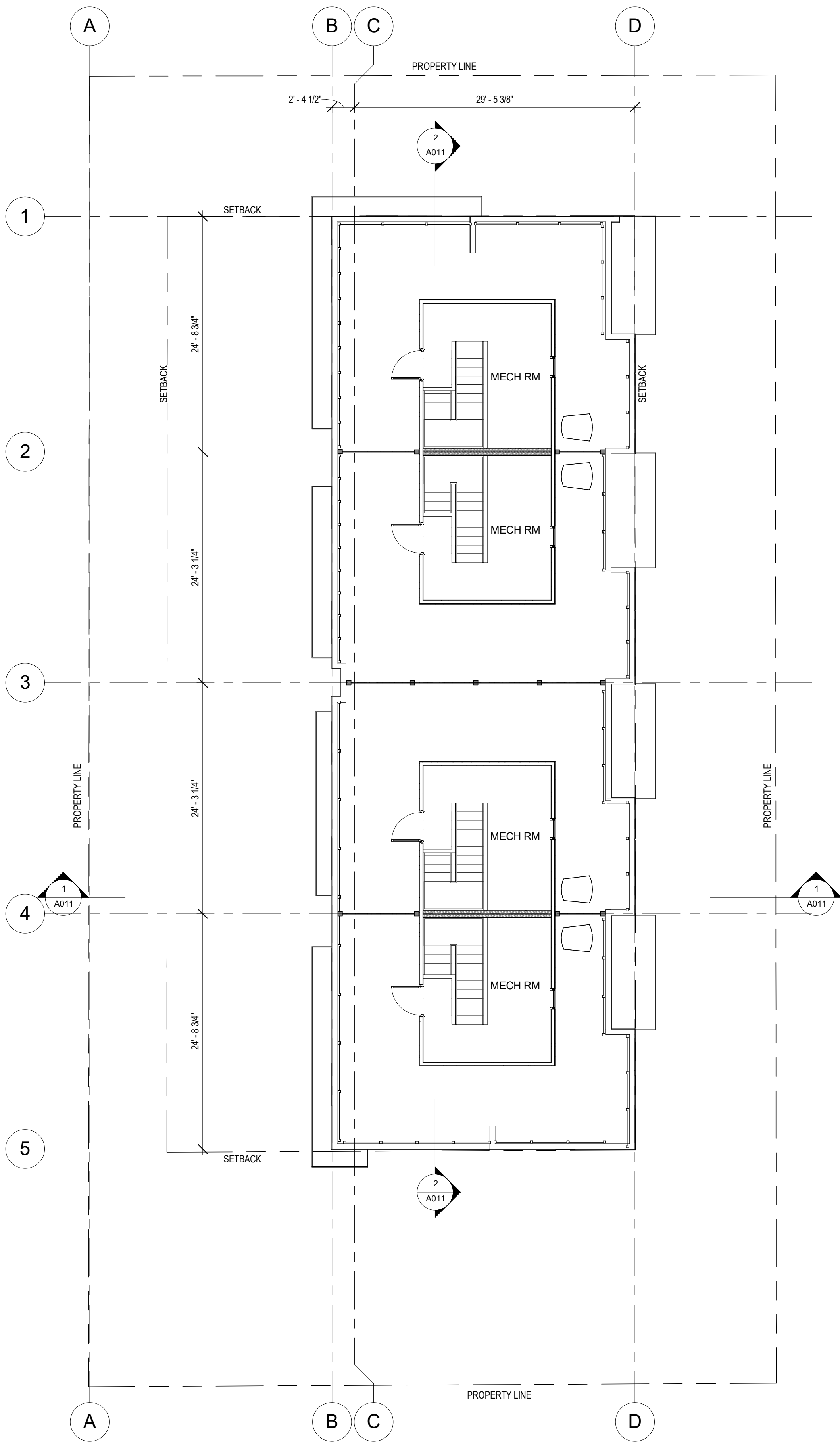
drawn R.B./R.Y.

checked R.Y.

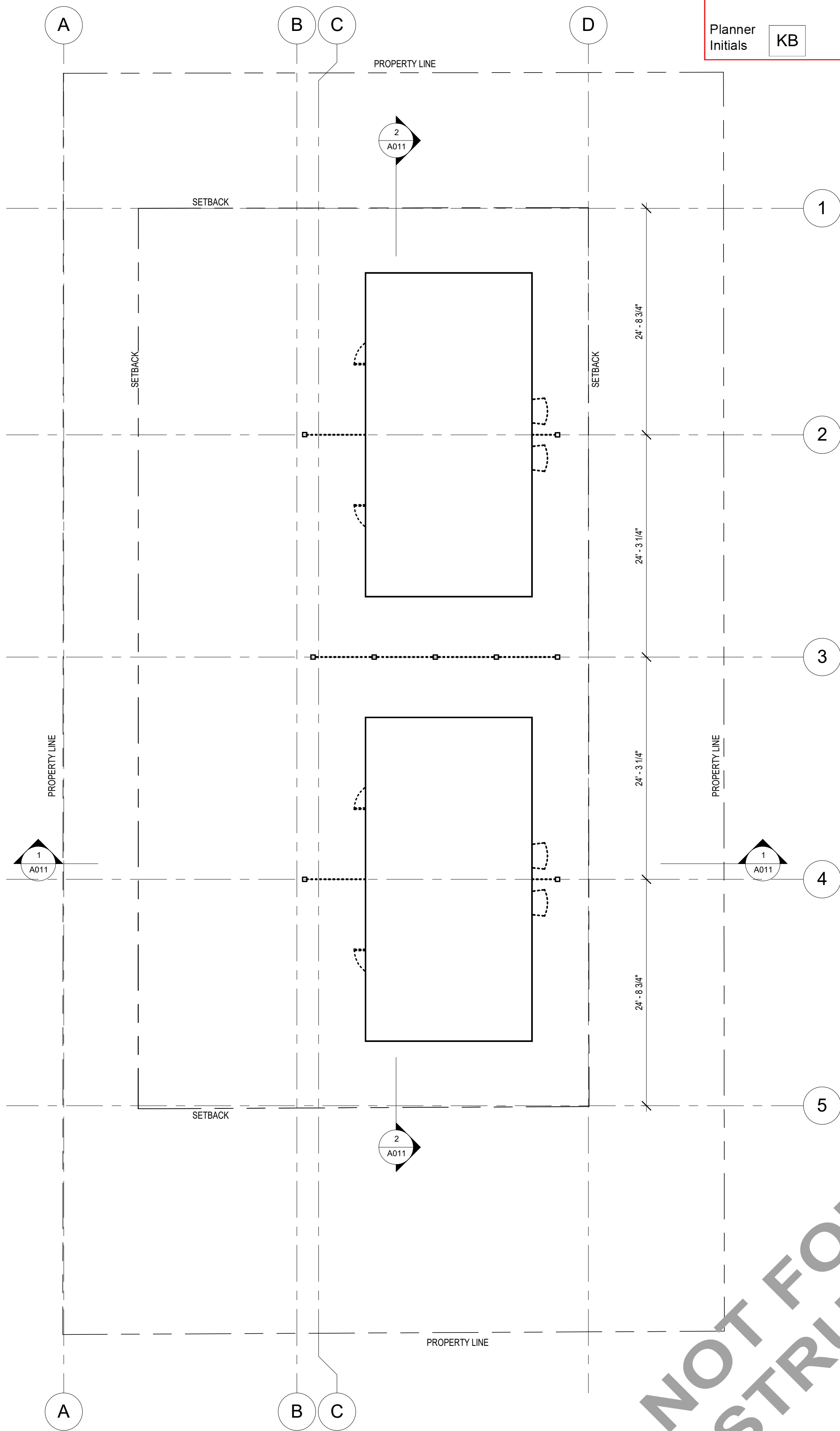
drawing no.

**A008**

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1 ROOF LEVEL  
A009 1/8" = 1'-0"



2 HIGHER ROOF  
A009 1/8" = 1'-0"

NOT FOR  
CONSTRUCTION



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Revision

No	Date	Description
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Seal

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BERNARD AVE. 4-PLEX

project address  
1371 BERNARD AVE,  
KELOWNA, BC

project no. 4035

file no.

drawing title

ELEVATIONS

designed scale As indicated

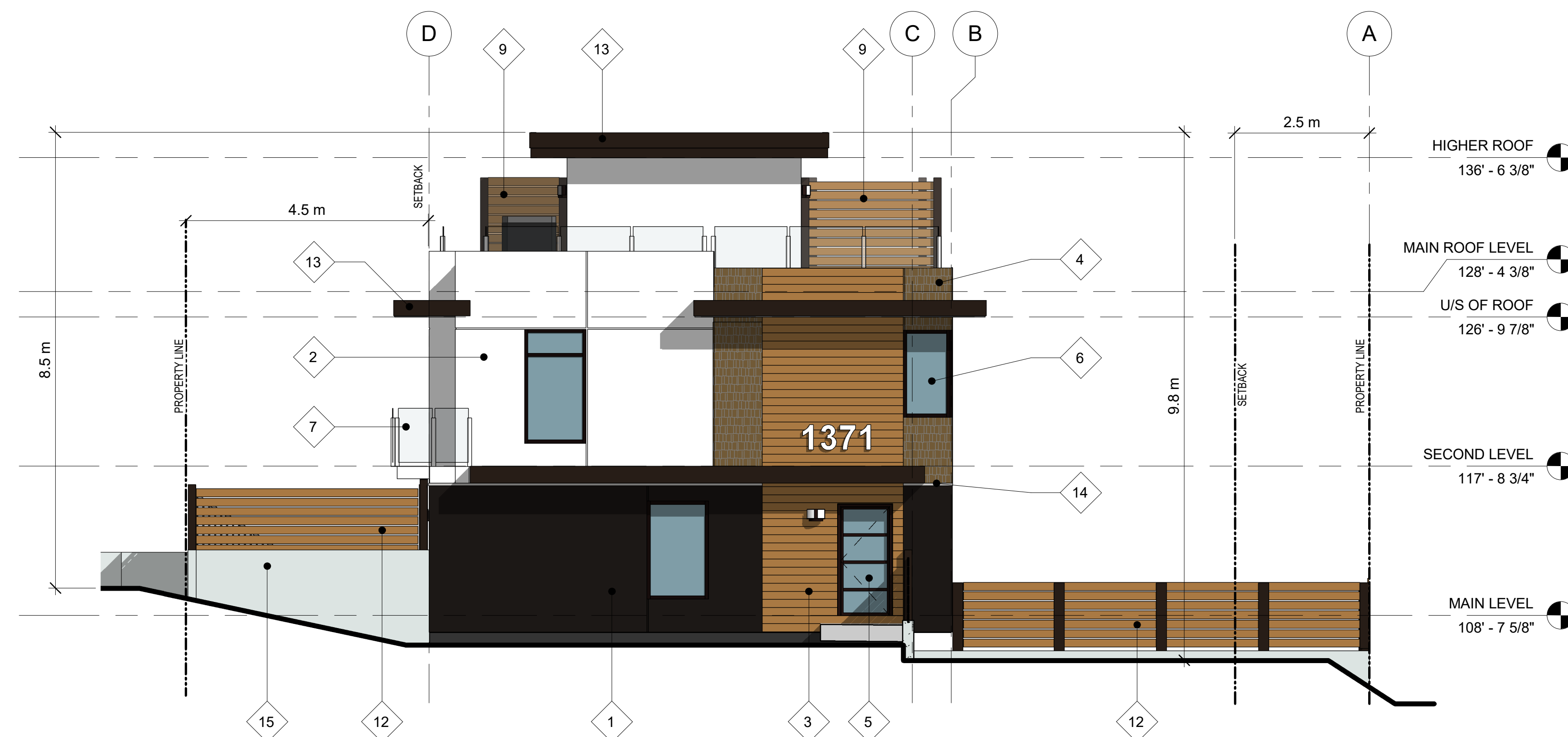
drawn R.B./R.Y.

checked R.Y.

drawing no.

A009

plotted NOV 24, 2017 11/24/2017 2:00:18 PM



1 North Elevation  
3/16" = 1'-0"



3 East Elevation  
3/16" = 1'-0"

City of  
**Kelowna**  
COMMUNITY PLANNING

## MATERIAL KEYNOTE

1. ACRYLIC STUCCO - DARK BROWN
2. ACRYLIC STUCCO - WHITE
3. IMITATION CEDAR SIDING (FIBRE CEMENT BOARD)
4. IMITATION CEDAR SHINGLES (FIBRE CEMENT BOARD)
5. DOUBLE GLAZED ALUMINUM DOORS
6. DOUBLE GLAZED ALUMINUM WINDOWS
7. GLAZED RAILING SYSTEM
8. METAL OVERHEAD GARAGE DOOR - INSULATED
9. PRIVACY SCREEN - COMPOSITE CEDAR STRIP
10. ALUMINUM SOLAR SHADE - PAINTED BLACK
11. MECHANICAL UNIT - ON ISOLATION PAD
12. CEDAR STRIP FENCING
13. METAL CAP-FLASHING - PAINTED
14. EXPANSION JOIST - METAL FLASHING - PAINTED
15. ARCHITECTURAL CONCRETE
16. METAL FENCE - PAINTED WHITE

Planner  
Initials  
KB

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project address

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project no.

4035

file no.

drawing title

**ELEVATIONS**

designed

scale

As indicated

drawn

R.B./R.Y.

checked

R.Y.

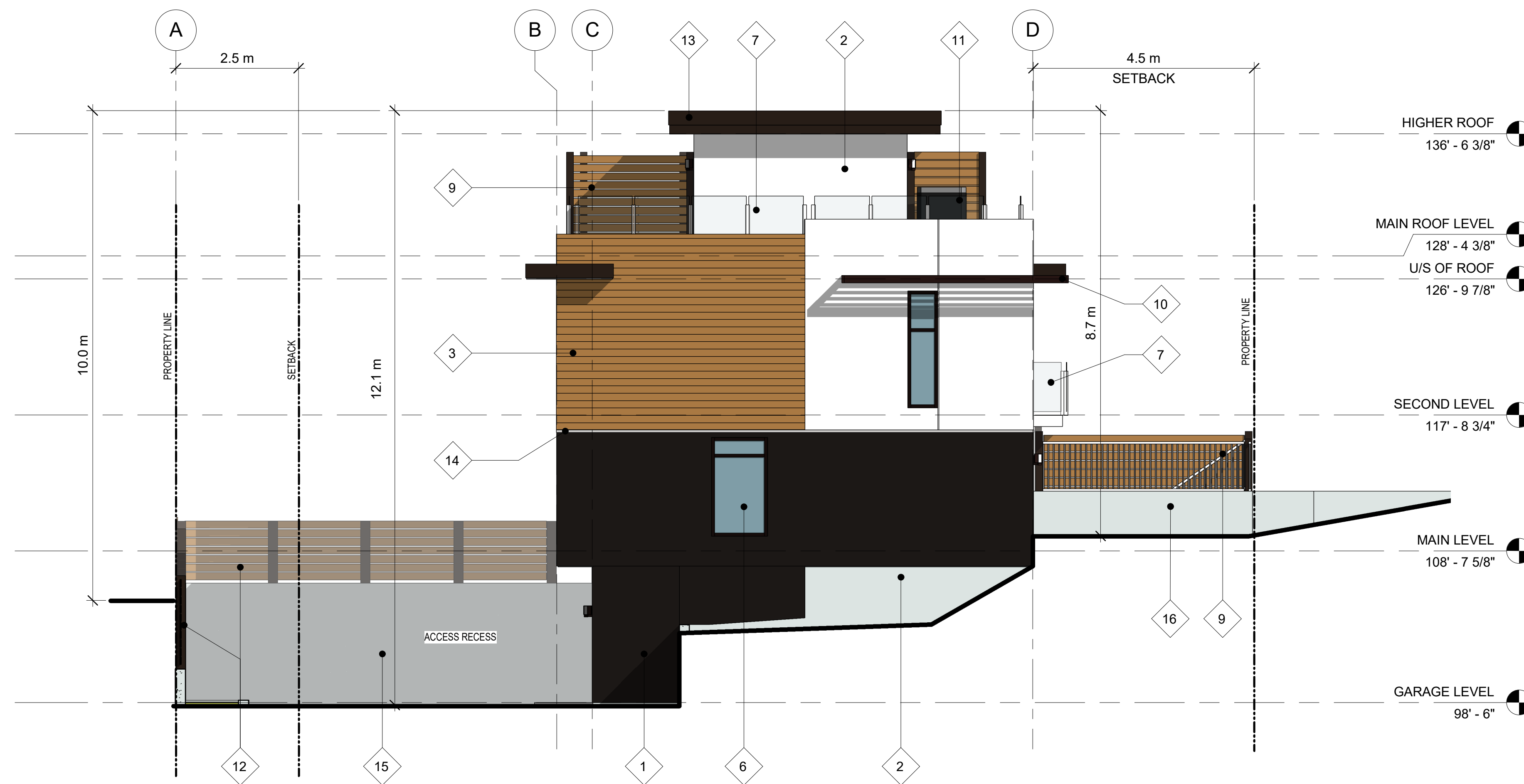
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**A010**

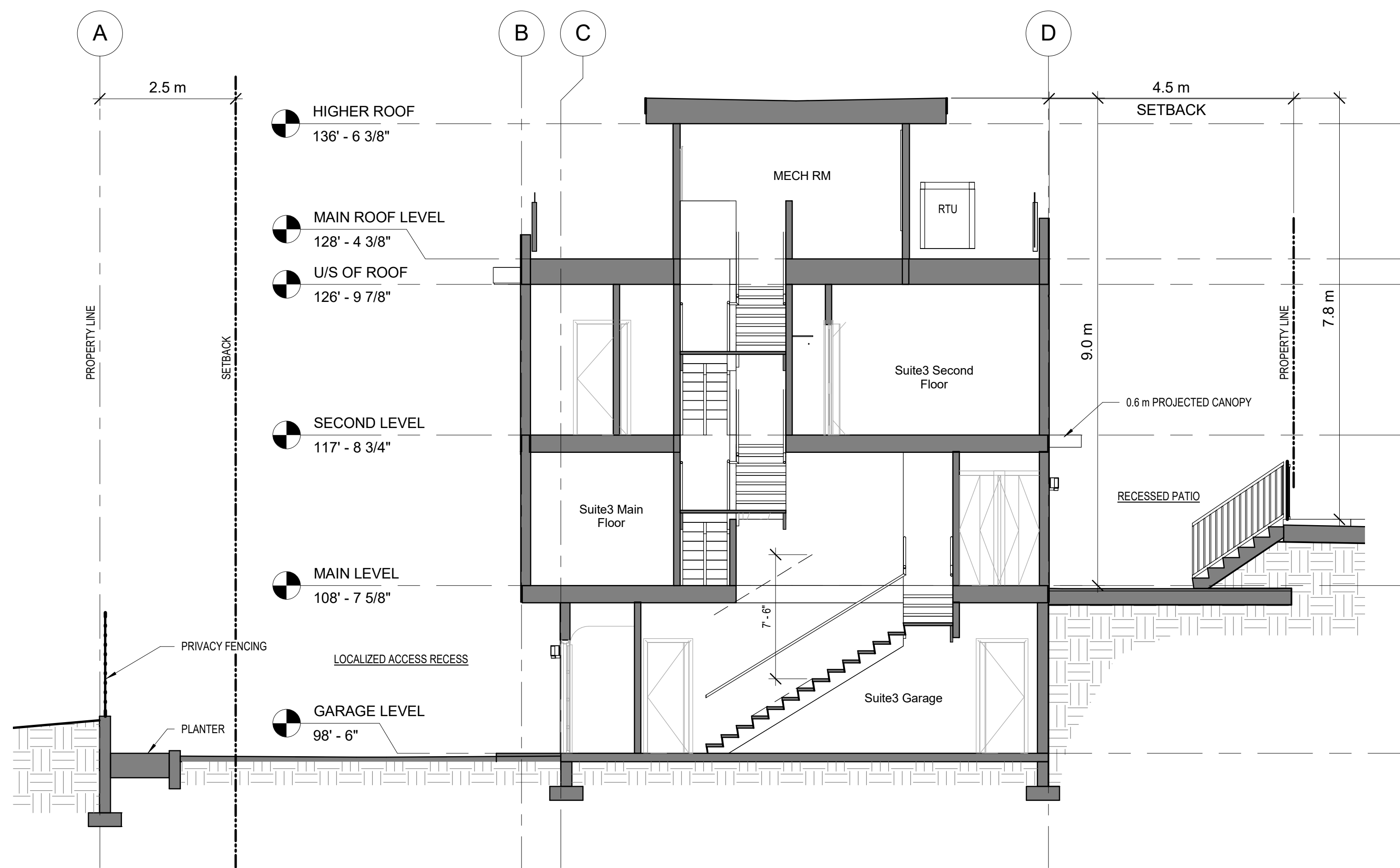
plotted

NOV 24, 2017

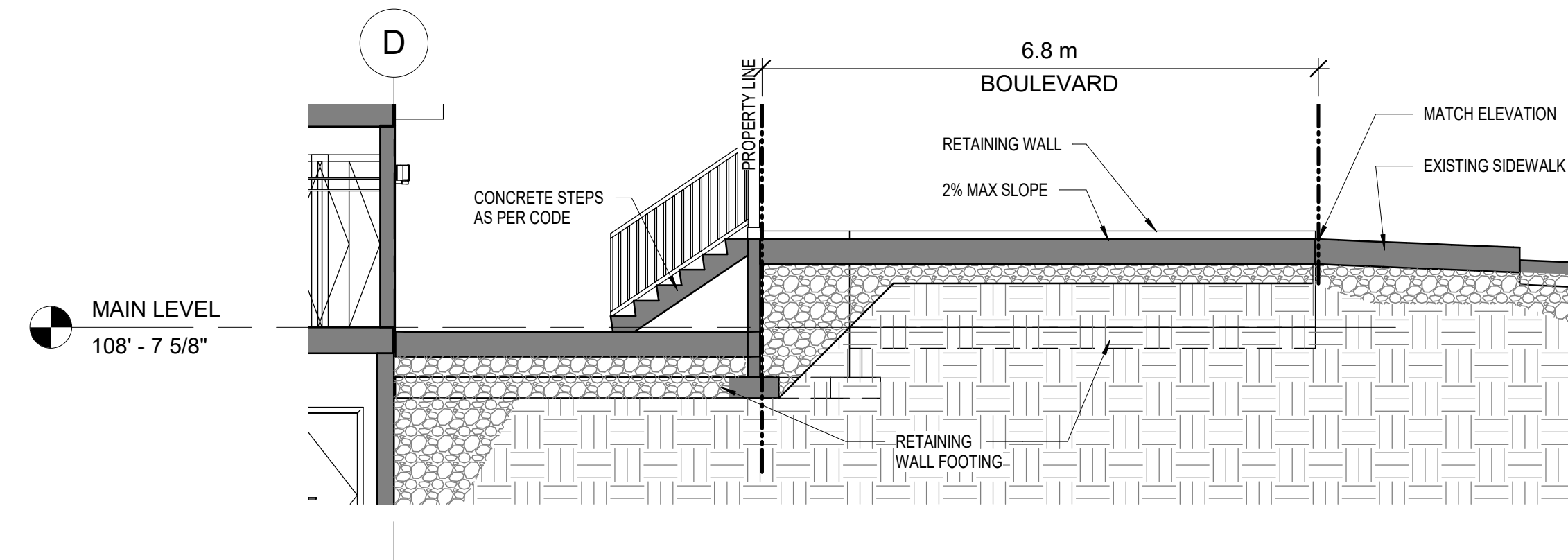
11/24/2017 2:00:28 PM

1 South Elevation  
3/16" = 1'-0"2 West Elevation  
3/16" = 1'-0"NOT FOR  
CONSTRUCTION

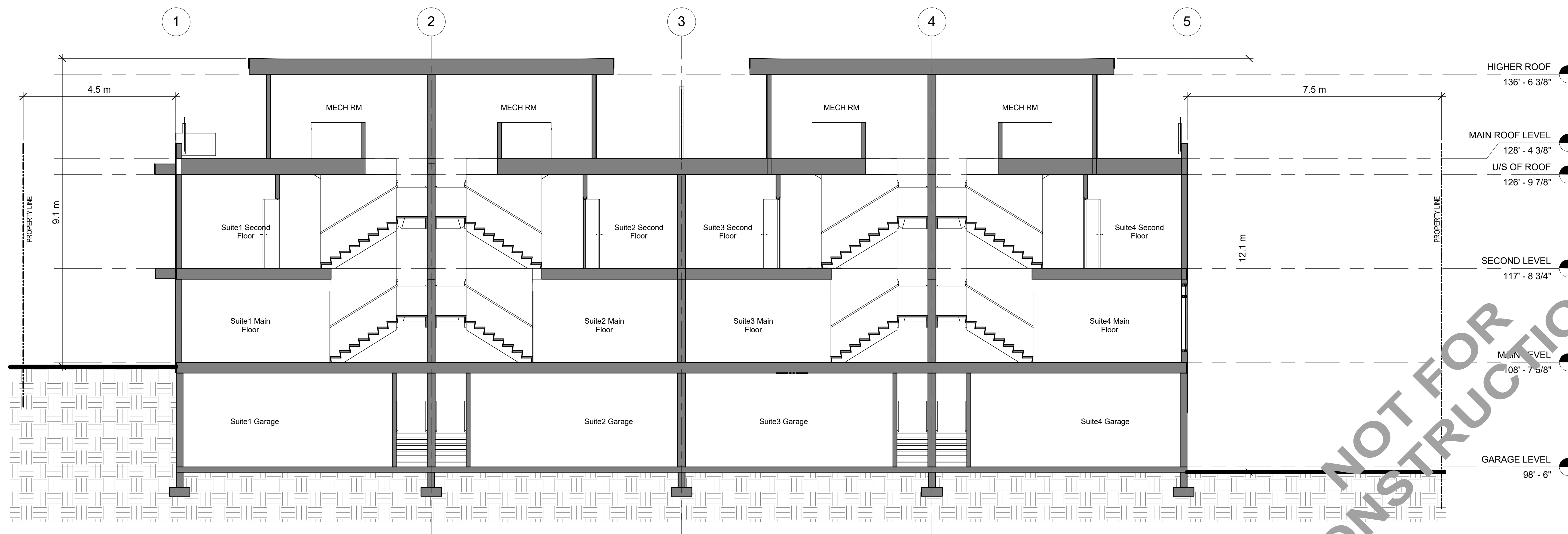




1 Section 1  
A006 3/16" = 1'-0"



3 PATIO SECTION - TYPICAL  
A3.1 3/16" = 1'-0"



2 Section 2  
A006 3/16" = 1'-0"

## ATTACHMENT A

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project no. 4035

file no.

drawing title

**SECTIONS**

designed scale 3/16" = 1'-0"

drawn R.B./R.Y.

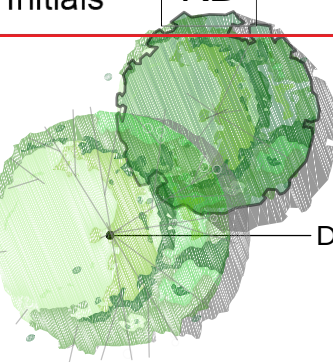
checked R.Y.

drawing no.

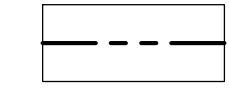
**A011**

plotted NOV 24, 2017 11/24/2017 2:00:28 PM

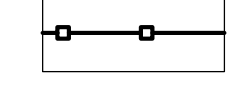




DECIDUOUS TREE



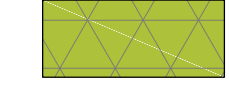
PROPERTY LINE



12m TIMBER FENCE



GRASS / PERENNIAL MULCHED PLANTING BEDS



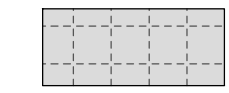
SHRUB PLANTING MULCHED PLANTING BEDS



SOD AREA



PATIO (BY OTHERS)



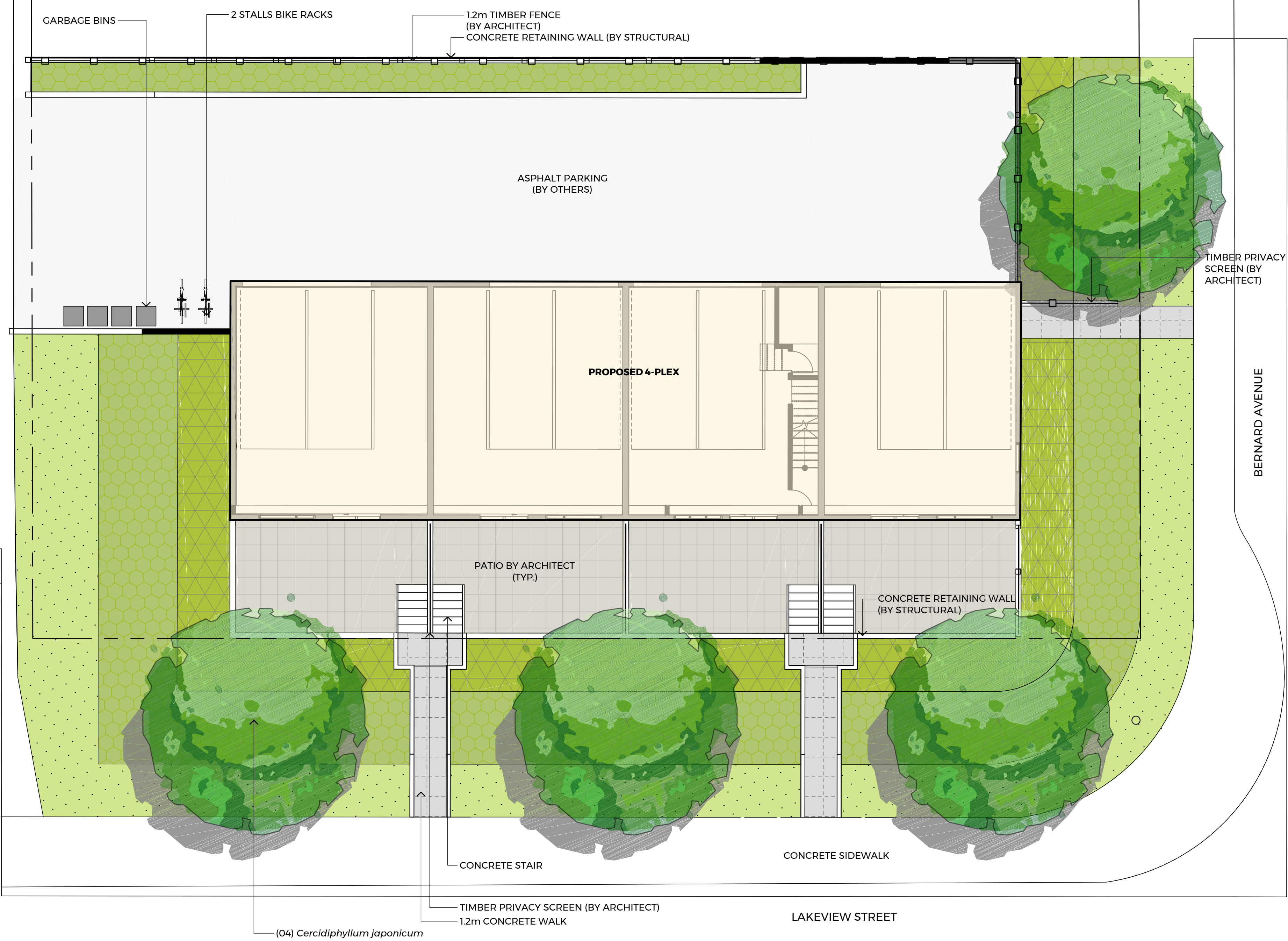
CONCRETE WALK

LANDSCAPE DEVELOPMENT DATA:

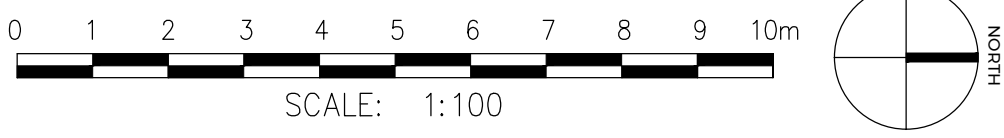
1. PLANT MATERIALS AND CONSTRUCTION METHODS SHALL CONFORM TO MINIMUM STANDARDS ESTABLISHED IN THE CANADIAN LANDSCAPE STANDARD (CURRENT EDITION).
2. THE LANDSCAPE DESIGN DESIGNATED HEREIN IS CONCEPTUAL BUT REFLECTS THE MINIMUM ACCEPTABLE QUALITY AND SIZE.
3. PLANT MATERIAL SELECTIONS ARE CONCEPTUAL ONLY. FINAL PLANTING SELECTIONS MAY VARY DEPENDING UPON AVAILABILITY.
4. ALL PLANTING BEDS SHALL HAVE APPROVED MULCH.
5. ALL LANDSCAPE AREAS TO BE IRRIGATED WITH AN EFFICIENT AUTOMATIC IRRIGATION SYSTEM.
6. THIS DRAWING DEPICTS FORM AND CHARACTER AND IS TO BE USED FOR DEVELOPMENT PERMIT SUBMISSION ONLY. IT IS NOT INTENDED FOR USE AS A CONSTRUCTION DOCUMENT.

REPRESENTATIVE PLANT LIST

BOTANICAL NAME	COMMON NAME	SIZE	ROOT	Mature Plant Size (Ht x Wd.)
<b>Trees Deciduous</b>				
<i>Cercidiphyllum japonicum</i>	Katsura Tree	6cm Cal	B&B	12.0m x 8.0m
<b>Shrubs / Grasses</b>				
<i>Buxus 'Green Gem'</i>	Green Gem Boxwood	#01	Potted	1.0m x 1.0m
<i>Cornus alba 'Bailhala'</i>	Ivory Halo Dogwood	#01	Potted	1.50m x 1.50m
<i>Euonymus alatus 'Compactus'</i>	Dwarf Burning Bush	#01	Potted	2.0m x 2.0m
<i>Miscanthus sinensis 'Gracillimus'</i>	Maiden Hair	#01	Potted	1.0m x 1.5m
<i>Pennisetum alopecuroides 'Red Head'</i>	Red Head Fountain Grass	#01	Potted	1.2m x 1.2m
<b>Perennials</b>				
<i>Allium 'Globemaster'</i>	Persian Onion		bulb	
<i>Echinacea purpurea 'Magnus'</i>	Magnus Coneflower	#01	Potted	1.0m x 0.75m
<i>Nepeta x fassenii 'Walker's Low'</i>	Walker's Low Catmint	#01	Potted	0.90m x 0.90m
<i>Rudbeckia hirta 'Indian Summer'</i>	Goldsturm Coneflower	#01	Potted	0.75m x 1.0m



1 LANDSCAPE PLAN  
LDP1 SCALE: 1:100



REPRESENTATIVE IMAGES



*Cercidiphyllum japonicum*



*Buxus 'Green Gem' with Allium*



*Cornus alba 'Bailhala'*



*Euonymus alatus 'Compactus'*



*Nepeta x fassenii 'Walker's Low'*



*Rudbeckia hirta 'Indian Summer'*



*Echinacea purpurea 'Magnus'*



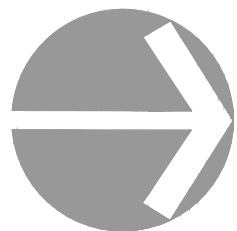
*Pennisetum alopecuroides 'Red Head'*



*Miscanthus sinensis 'Gracillimus'*



Bike Racks



REVISIONS / ISSUED		
NO.	DATE	DESCRIPTION
1	NOV 02/17	ISSUED FOR DP

PROJECT	1371 BERNARD AVENUE 4-PLEX
CLIENT	
LOCATION	KELOWNA, B.C.



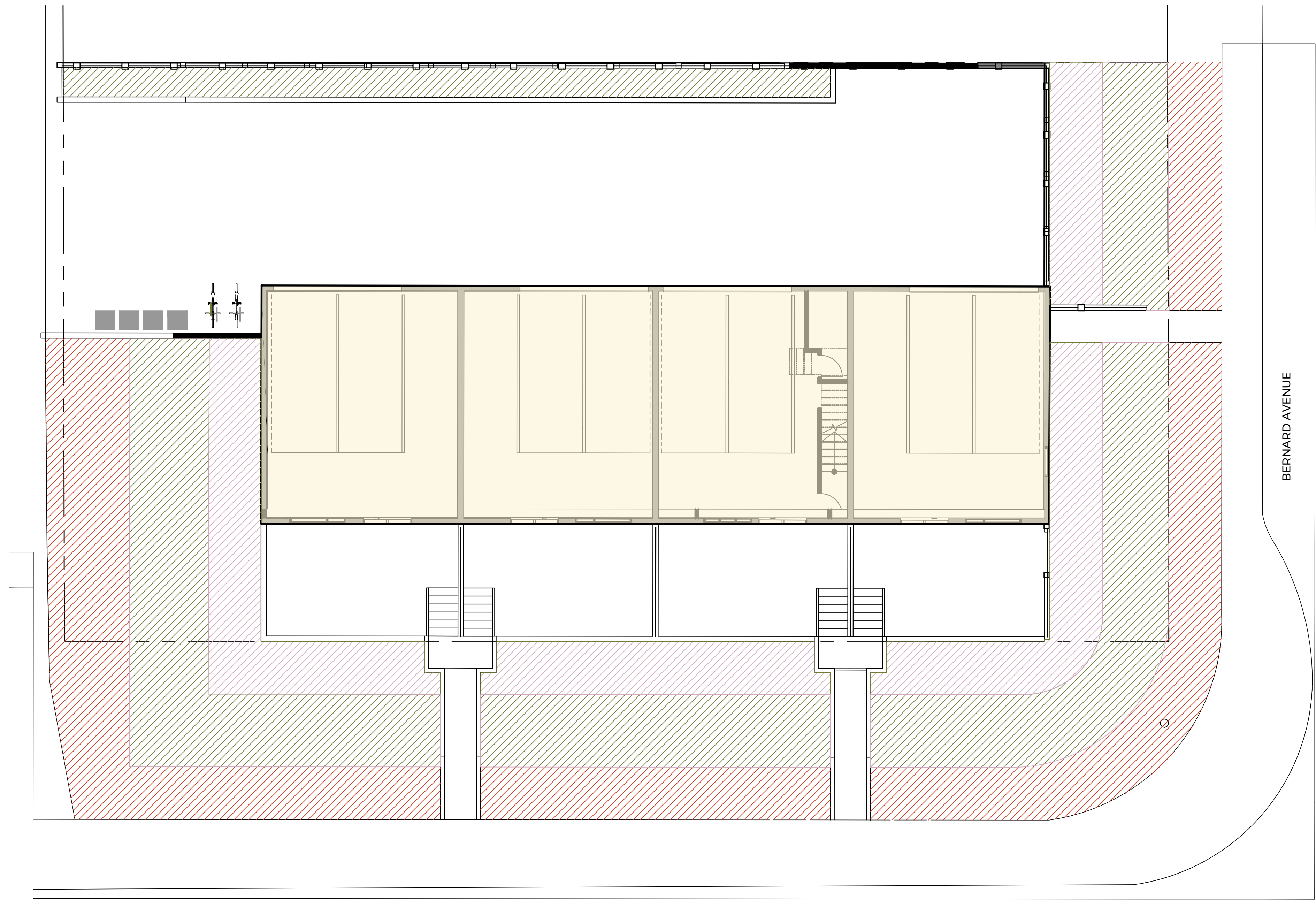
540 Leon Avenue, Kelowna, BC V1Y6J6  
t. 250.869.1334, f. 250.862.4849, www.wsp.com

DESIGN BY	BD
DRAWN BY	YY
CHECKED BY	BD
PROJECT NO.	17M-01929
SCALE	1:100

SHEET TITLE	SITE PLAN
SHEET NO.	LDP-1
	1 OF 2



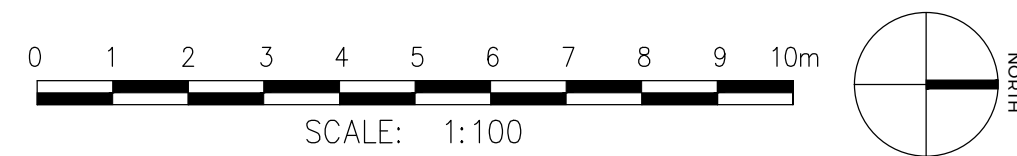
P:\51 - BC INTERIOR\1717\17M-01929-00 BERNARD 4-PLEX\01 - PRODUCTION DRAWINGS\01 - CURRENT\17M-01929-LDP.DWG



HYDROZONE LEGEND:

- LOW WATER REQUIREMENTS (224.0m.sq.)
- MODERATE WATER REQUIREMENTS (121.0m.sq.)
- HIGH WATER REQUIREMENTS (178.0m.sq.)

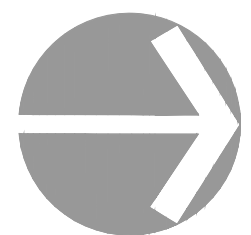
1 HYDROZONE PLAN  
LDP2 SCALE: 1:100



ATTACHMENT A

This forms part of application  
# Z17-0116

Planner  
Initials KB



REVISIONS / ISSUED		
1	NOV 02/17	ISSUED FOR DP
NO.	DATE	DESCRIPTION

PROJECT  
1371 BERNARD AVENUE 4-PLEX

CLIENT

LOCATION  
KELOWNA, B.C.



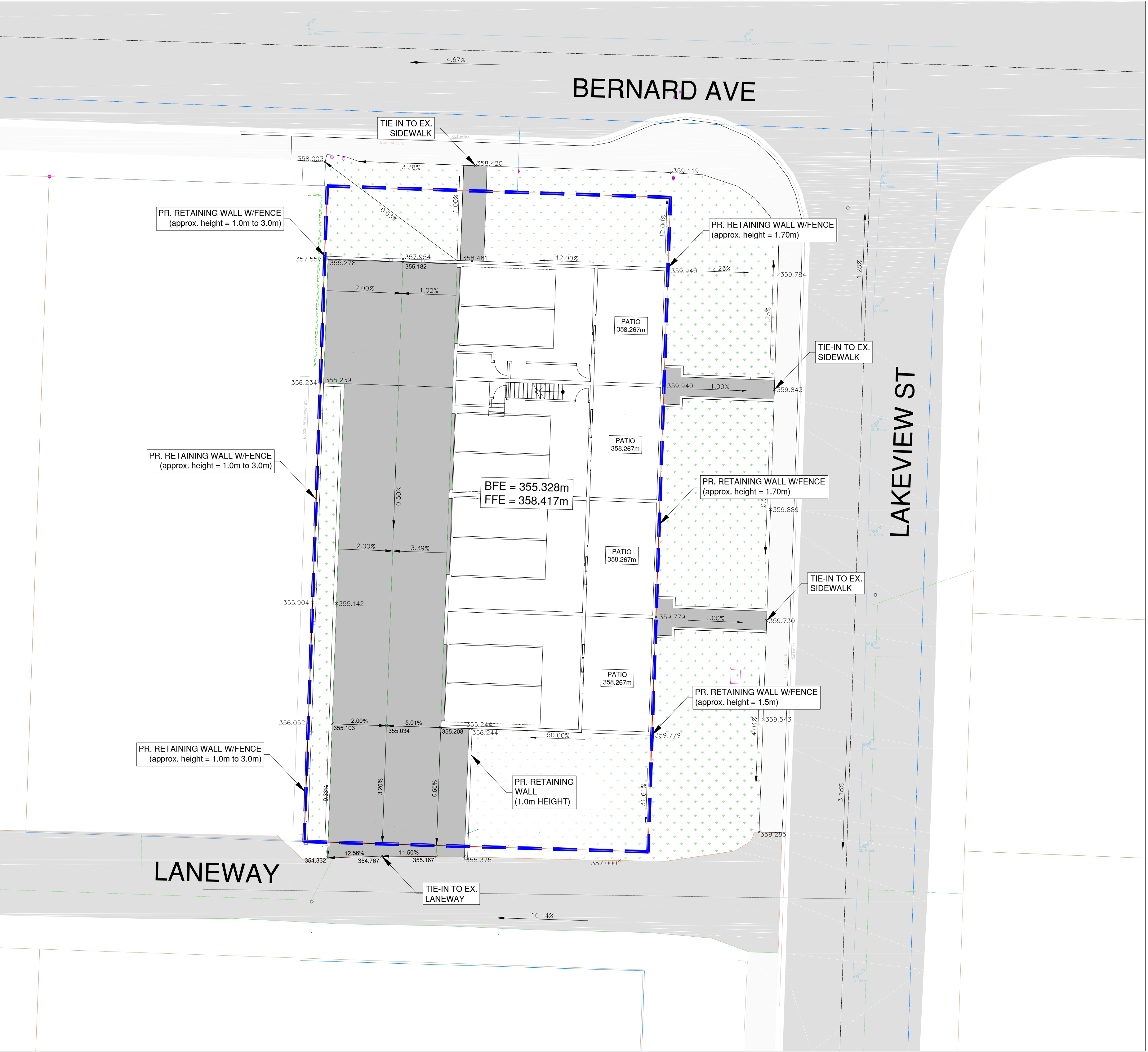
540 Leon Avenue, Kelowna, BC V1Y6J6  
t. 250.869.1334, f. 250.862.4849, www.wsp.com

DESIGN BY	BD
DRAWN BY	YY
CHECKED BY	BD
PROJECT NO.	17M-01929
SCALE	1:100

SHEET TITLE	HYDROZONE PLAN
SHEET NO.	LDP-2







<div>LEGEND</div> <div><div><div>WATER</div><div>SAN. SEWER</div><div>STORM SEWER</div><div>GAS</div><div>U/G TELEPHONE</div><div>U/G ELECTRICAL</div></div><div><div><div>MANHOLE</div><div>UTILITY POLE</div><div>POWER POLE</div><div>LAMP STANDARD</div><div>CATCH BASIN</div><div>HYDRANT</div><div>TREES</div><div>SURVEY MONUMENT</div></div><div><div><div>○ M.H.</div><div>● U.P.</div><div>● P.P.</div><div>□ L.S.</div><div>⊗ C.B.</div><div>⊕ HYD</div><div>○ T</div><div>⊙</div></div><div><div><div>PAVE WITH ASPHALT</div><div>REMOVE-REGRADE-REPLACE</div><div>LEVEL COURSE</div></div></div></div></div></div>		<div>LEGEND</div> <div><div><div>PAVE WITH ASPHALT</div><div>REMOVE-REGRADE-REPLACE</div><div>LEVEL COURSE</div></div></div>		<div>NO.</div> <div>YY/MM/DD</div> <div>BY</div> <div>REVISION</div> <div>CH'KD</div>		<div><div><div>NEW TOWN</div><div>ARCHITECTURE</div><div>URBAN PLANNING</div><div>CIVIL ENGINEERING</div><div>www.newtownservices.ca</div></div></div>		<div>BASE JP</div> <div>DESIGN JP</div> <div>APPROVED -</div> <div>DATE 2017/11/21</div> <div>SCALE 1:150</div>	<div>CITY OF KELOWNA</div> <div>DESIGN AND CONSTRUCTION</div> <div>GRADING PLAN</div> <div>BERNARD 4 PLEX</div> <div>1371 BERNARD AVE</div>		<div>The location of existing underground utilities are shown in an approximate way only &amp; have not been independently verified by the owner or its representative. The contractor shall determine the exact location of all existing utilities before commencing work, and agrees to be fully responsible for any and all damages which might be occasioned by the contractor's failure to exactly locate and preserve any and all underground utilities.</div> <div><div>DRAWING NO.</div><div>2</div><div>CITY OF KELOWNA FILE NO.</div><div>-</div></div> <div><div>REV. NO.</div><div>0</div></div>
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