

CITY OF KELOWNA

MEMORANDUM

Date: February 13, 2018
File No.: DVP18-0035
To: Community Planning (LK)
From: Development Engineering Manager (JK)
Subject: 2510 Dubbin Road

The Development Variance Permit for an addition to an existing single family dwelling with a variance to the building height from 9.5 m maximum to 11.77 m proposed

1. This application does not compromise any City of Kelowna municipal infrastructure.


James Kay P.Eng.
Development Engineering Manager

RO

ATTACHMENT **A**

This forms part of application

DVP18-0035

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Kelowna
COMMUNITY PLANNING



Development Variance Permit

ATTACHMENT B

This forms part of application

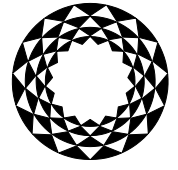
DVP18-0035

Planner
Initials

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Kelowna
COMMUNITY PLANNING



Kelowna

This permit relates to land in the City of Kelowna municipally known as

2510 Dubbin Road

and legally known as

That Part of Lot 2 Section 20 Township 23 ODYD Plan 3252 Lying North West of Road Shown on Said Plan

and permits the land to be used for the following development:

Single Dwelling Housing

The present owner and any subsequent owner of the above described land must comply with any attached terms and conditions.

Date of Decision: April 17, 2018

Decision By: CITY COUNCIL

Development Permit Area: N/A

This permit will not be valid if development has not commenced by April 17, 2020.

Existing Zone: RR3

Future Land Use Designation: S2RES

This is NOT a Building Permit.

In addition to your Development Permit, a Building Permit may be required prior to any work commencing. For further information, contact the City of Kelowna, Development Services Branch.

NOTICE

This permit does not relieve the owner or the owner's authorized agent from full compliance with the requirements of any federal, provincial or other municipal legislation, or the terms and conditions of any easement, covenant, building scheme or agreement affecting the building or land.

Owner:

Applicant:

Ryan Smith
Community Planning Department Manager
Community Planning & Strategic Investments

Date

1. SCOPE OF APPROVAL

This Development Variance Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.

This Development Variance Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this permit, noted in the Terms and Conditions below.

The issuance of a permit limits the permit holder to be in strict compliance with regulations of the Zoning Bylaw and all other Bylaws unless specific variances have been authorized by the Development Variance Permit. No implied variances from bylaw provisions shall be granted by virtue of drawing notations that are inconsistent with bylaw provisions and that may not have been identified as required Variances by the applicant or Municipal staff.

2. CONDITIONS OF APPROVAL

That variances to the following sections of Subdivision, Development & Servicing Bylaw No. 7900 be granted:

Section 4.6: Curb and Gutter, Sidewalk and Bike Lanes Design Standards

To vary the driveway access to a residential property from one (1) driveway per road frontage allowed to two (2) driveways per road frontage proposed.

And that variances to the following sections of Zoning Bylaw No. 8000 be granted:

Section 12.3.6(b): RR3 – Rural Residential 3 Development Regulations

To vary the maximum height from 9.5 m or 2 ½ storey permitted to 11.77 m and 3 storeys proposed.

This Development Variance Permit is valid for two (2) years from the date of April 17, 2019 approval, with no opportunity to extend.

3. PERFORMANCE SECURITY

N/A

4. INDEMNIFICATION

Upon commencement of the works authorized by this Permit the Developer covenants and agrees to save harmless and effectually indemnify the Municipality against:

- a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality said Permit.

All costs, expenses, claims that may be incurred by the Municipality where the construction, engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

**The PERMIT HOLDER is the CURRENT LAND OWNER.
Security shall ONLY be returned to the signatory of the
Landscape Agreement or their designates.**

GARAGE ADDITION

2510 DUBBIN RD

SCHEDULE

B

This forms part of application

DVP18-0035

Planner Initials LK

City of Kelowna COMMUNITY PLANNING



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Issue Schedule		
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1	SITE REVIEW	22.07.17
2	VARIANCE	28.07.17

Dave Ross
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250.212.8412
javabaja@gmail.com

Garage Addition

2510 Dubbin Rd.
Kelowna, BC

TITLE

SCALE: AS NOTED	
DRAWN BY: BV	CHECKED BY: BV
DATE: 28.07.17	PROJECT: 2017-016

A0.0

GENERAL NOTES

- The following notes are to be included as part of the drawings.
- The Contractor or the Owner shall verify all dimensions, details, structural materials and conditions shown on the drawings or noted in the specifications.
- The Contractor or Owner shall resolve any problems arising out of any variances from the drawings and specifications, or from conditions encountered at the job site. Such resolution shall be the sole responsibility of the Contractor or Owner.
- The Designer shall not be responsible for any departure from the drawings and Specifications authorized by any inspection authority during the course of construction.
- The Contractor or the Owner shall ensure that all work conform to the current Building Code adopted by the authorities having jurisdiction or local Building Codes and By-laws that may take precedence.
- The Contractor or the Owner shall be responsible for correct placement of this building on the site.
- The Designer shall not be responsible for site conditions such as soil bearing capacity, depths of water tables or buried structures.
- All work shall be equal in all respects to good building practice.
- Written dimensions take precedence over scaled drawings.
- Construction loads on the structure caused by interim storage of materials or use of equipment will not be allowed to exceed the desing loads.
- These drawings are not to be scaled.

ERRORS AND OMISSIONS

- The Designer makes every effort to provide complete and accurate home plans. This office assumes no liability for any errors or omissions that may affect construction.
- Should any discrepancies be found on this set of drawings, please advise our office at your earliest convenience.

STRUCTURAL DESIGN CRITERIA

- Assumed roof design snow load (live + dead) = 45 psf (2.15 kN/m²)
- Assumed soil bearing capacity = 2000 psf (95.76 kN/m²)
- Concrete foundation walls and slabs-on-grade shall have a minimum compressive strength of 3000 psi (20 MPa) at 28 days.
- All reinforcing bars shall be billet steel complying with CSA-G30.10.

FOUNDATION

- Foundations shall be a minimum of 8" thick insulated concrete or ICF on solid undisturbed bearing soil or pre-engineered soil approved by a geotechnical engineer certified in the province of British Columbia and below a frost line of 2'-0" below grade.
- Basement foundation walls shall not be backfilled until:
 - Concrete has reached its specified 28 day strength.
 - Structural floor framing, including subfloor, required to support the walls is complete and fully nailed and anchored.
- Foundation wall heights may require adjustment to suit site conditions.
- All concrete and masonry foundation walls exceeding limits specified in the current Building Code require engineering.
- All foundation walls 24" (600mm) and higher shall have a minimum of 1- 1/2" (12mm) reinforcing bar centered on wall and located 3" (75mm) from the top of wall.
- Corner reinforcing to be lapped a minimum 24" (600mm).
- Provide minimum side clear concrete cover of 1 1/2" (38mm).
- Provide minimum bottom clear concrete cover of 3" (76mm) cast against soil.
- The Contractor shall examine all applicable drawings for locations of embedded items before placing concrete.
- Perimeter drainage shall be installed where required to the approval of local authorities.

WOOD FRAME CONSTRUCTION:

- Dimensions are taken from outside face of exterior wall studs to centerline of interior wall studs. Face of exterior studs to be flush with outside face of foundation wall. Exceptions noted.
- All studs, plates, backing, blocking and bridging to be No. 2 SPF or better.
- All joists, rafters, beams and lintels to be No. 2 SPF or better. Exceptions noted.
- Floor joists shall be doubled under all non-loadbearing partitions parallel to the joists.
- Joists are to be placed to accommodate heating, plumbing and other services.
- All lintels to be 2-2x10 (2-38x235) or pre-engineered lintels.
- Wood in contact with concrete to be dampproofed with 45 lb tar saturated felt, 6 mil polyethylene.
- All wood plates are to be anchored to foundation with 12 mm (1/2") anchor bolts with spacing not exceeding 1800 mm or (6'-0") O.C. Exceptions noted.
- Exterior wood plates are to be level and sealed at contact with concrete foundation.
- Cross-bridging for floor joists and roof joists shall be 38x38 (2"x2") diagonal type wherever possible. Use solid blocking with TJI's.
- Cross-bridging rows shall be installed at mid-span for joist spans exceeding 2100 mm (7'-0") or at 2100 mm (7'-0") maximum, unless strapping or sheathing is applied to the underside of joists.
- Roof trusses may require an engineer's certificate. For pre-engineered trusses, a certificate must be obtained from the truss fabricator.
- Caulk under all exterior door frames and at both sides of exposed masonry chimneys.

INSULATION AND VENTILATION:

- Minimum insulation requirements:
 - Walls above grade: R22
 - Walls below grade: R15
 - Roof/ceiling: R50 (R28 in cathedral ceilings)
 - Floors Above Unheated Space: R28
- 6 mil polyethylene vapor barrier shall be installed on the warm side of insulation.
- Foundation wall insulation to be 2" of rigid insulation on outside face of concrete or both sides of ICF.
- Ceiling insulation is batt insulation.
- Provide a baffle of air space (equal to soffit venting area) between insulation and roof sheathing at exterior wall line.
- All walls and ceilings between residential spaces and garages or carports shall be insulated.
- Insulation requirements may vary with heating systems and with local conditions. Verify with local authorities.
- All roof spaces shall be ventilated with soffit, roof or gable vents, or a combination of these equally distributed between the top of roof space and soffits.
- Venting area for attics and roof spaces shall be a minimum of 1/300 th of attic or roof space area.
- Vents for unheated crawlspaces shall be closeable, with a minimum total area 1/500 th of the crawlspace area.

FINISHING:

- All interior and exterior finishes shown on the drawings shall be confirmed by the Owner.
- Exterior doors shall be solid core and weather-stripped.
- Garage doors to dwelling area to be solid core, weather-stripped and self-closing.
- All horizontal changes in exterior finishes to be flashed.
- Flashing to be installed over all unprotected exterior openings.
- Sliding glass doors shall have safety glass.
- Window sizes are shown in foot and inches.
- Door Sizes are shown in feet and inches.
- Openings in partitions shown without doors are to be full height unless shown as an arch.
- Lintels at archways are to be framed 2075mm (6'-11") high. Exceptions noted.
- Coat and clothes closets shall have one rod and shelf. Linen closets shall have 5 adjustable shelves where possible. Broom closets shall have one shelf.
- All bathrooms shall have a wall medicine cabinet or one lockable cabinet drawer.

HEATING:

- Installation of entire heating system, whether electric, forced warm air or hot water, must comply with manufacturer's directions (where applicable) and conform to requirements of local codes and regulations in all respects.
- Gas connection will require separate permit and inspection.
- All supply air ducts to be installed overhead in basement unless specified otherwise.
- All return air intakes and registers to be located and installed for maximum efficiency by a qualified heating contractor.

PLUMBING:

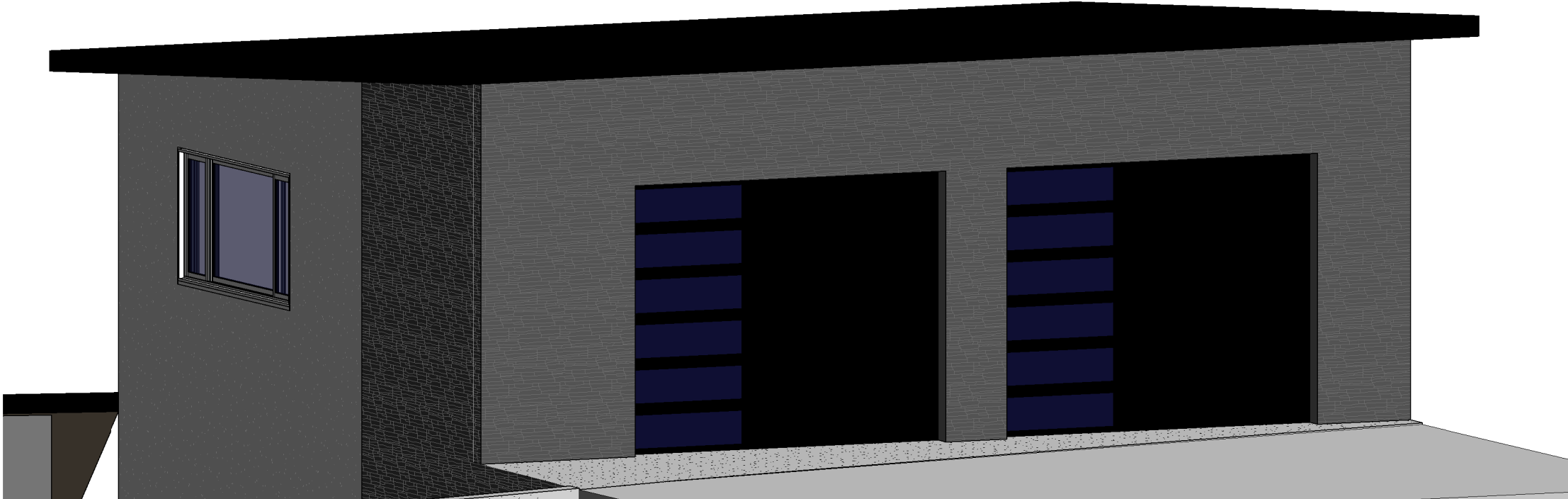
- All materials, equipment and methods of installation shall be in accordance with requirements outlined in Part 7 of the most current British Columbia Building Code and applicable local regulations.
- When the Owner's property is not located on a municipal sewer system, wells and septic disposal systems are to be located and constructed in accordance with health authorities having jurisdiction.
- All plumbing materials in contact with soils shall be corrosive resistant.

ELECTRICAL:

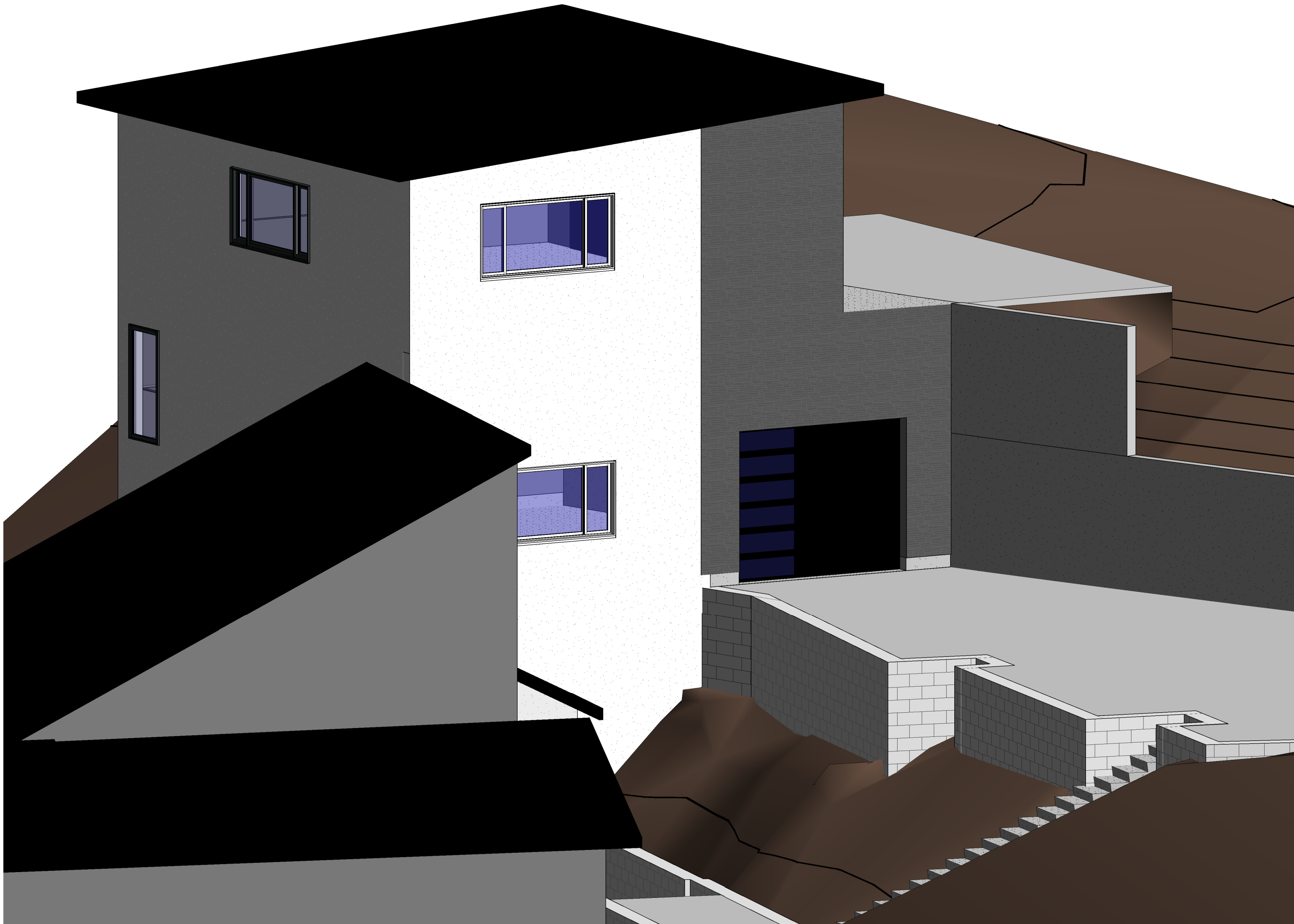
- Installation of electrical items must comply with the most current British Columbia Electrical Code and with the local electrical supplier in all respects.
- Outlet locations must comply with or exceed current minimum requirements outlined in the British Columbia Building Code. The minimum requirements are to be used as a guide only, and may be adjusted according to the Owner's and/or local authority's specific requirements beyond the minimum.

ABBREVIATIONS

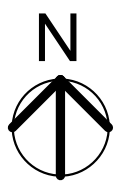
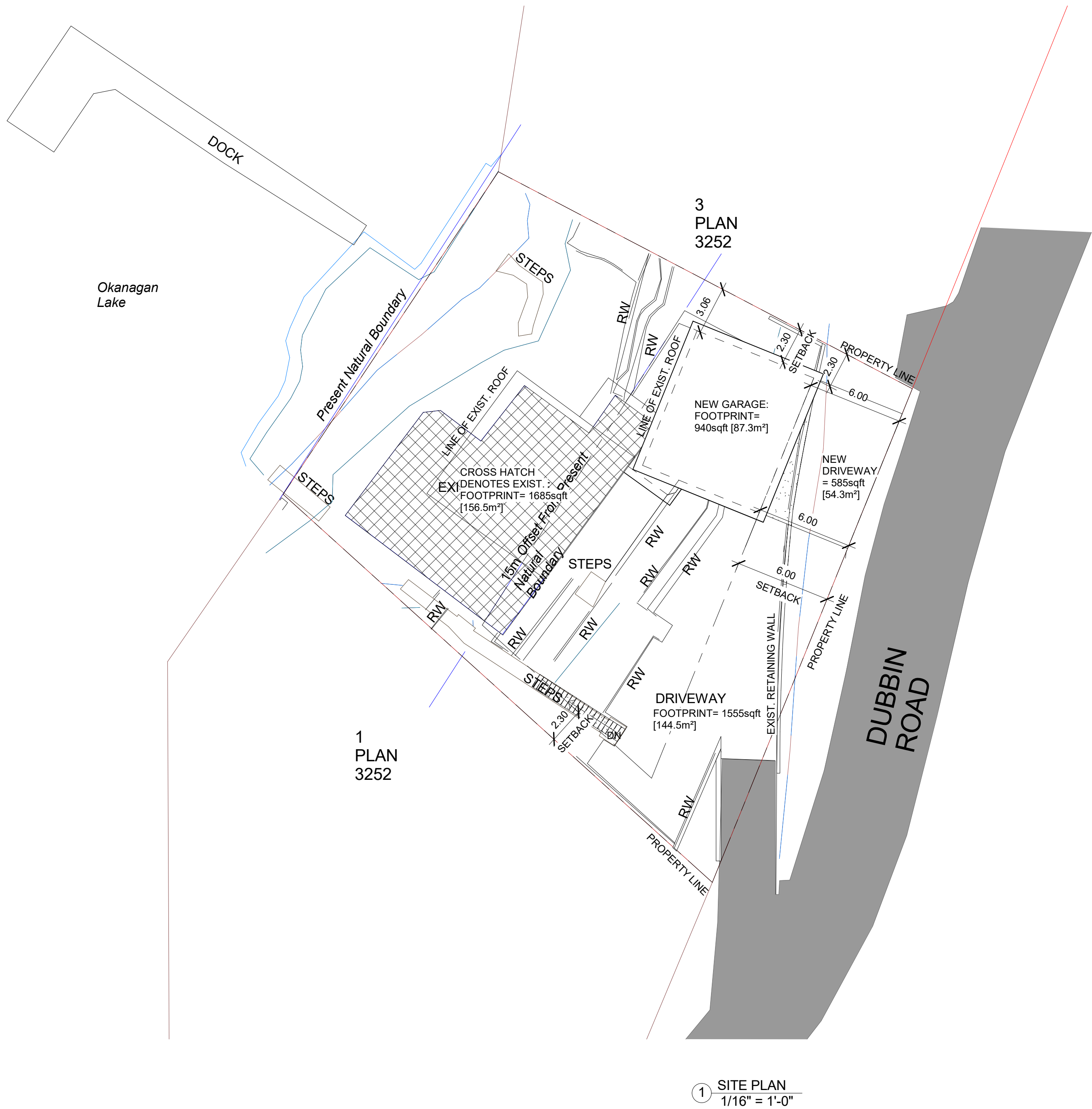
MIR.	Mirror
B.U.	Built-up
MFR. SPEC'S	Manufacturer's Specifications
CEIL.	Ceiling
MW.	Microwave
COL.	Column
N.B.C	National Building Code
CONC.	Concrete
N.T.S	Not to scale
CONC. BLK	Concrete block
OBSC.	Obscure
C.S.	Crawlspace
O/C	On centre
D.	Dryer
O/H	Overhead
DIA.	Diameter
PKT	Pocket door
DN.	Down
PLYW'D	Plywood
D.W.	Dishwasher
R.	Range
DIM.	Dimension
REQ'D	Required
ELEV.	Elevation
R.C.	Rubber cover
EQ.	Equal
R. & S.	Rod & Shaft
F.	Refridgerator
RM.	Room
F.D.	Floor drain
R.O.	Rough opening
FTG.	Footing
S.	Sink
FND.	Foundation
S/C	Solid core
BLDG.	Building
FR.	Freezer
SH.	Shower
FTG.	Footing
SUSP.	Suspended
FURN.	Furnace
T/O	Top of
GA.	Guage
TYP.	Typical
T.B.C	To be confirmed
GW.B.	Gypsum board
U/S	Underside
H.B.	Hose bib
W.	Washer
HORIZ.	Horizontal
W/	With
HT.	Height
W.C.	Water Closet
H.W.	Hot water tank
WD.	Wood
INSUL.	Insulation
W.P.	Weatherproof
W.W.M.	Welded wire mesh
LD.RY.	Laundry
VERT.	Vertical
LIN.	Linen
V.B.	Vapour Barrier
AC.	Acoustic
LINO.	Linoleum
B.C.B.C.	B.C. Building Code
LOUV.	Louvered
BD.	Board
MAX.	Maximum
B.F.	Bifold door
M.C.	Medicine cabinet
MIN.	Minimum
BM	Beam
U.N.O.	Unless Noted Otherwise
ELECT.	Electrical
C/W	Complete with
R/W	Reinforced with
E/W	Each Way
AW.	Awning



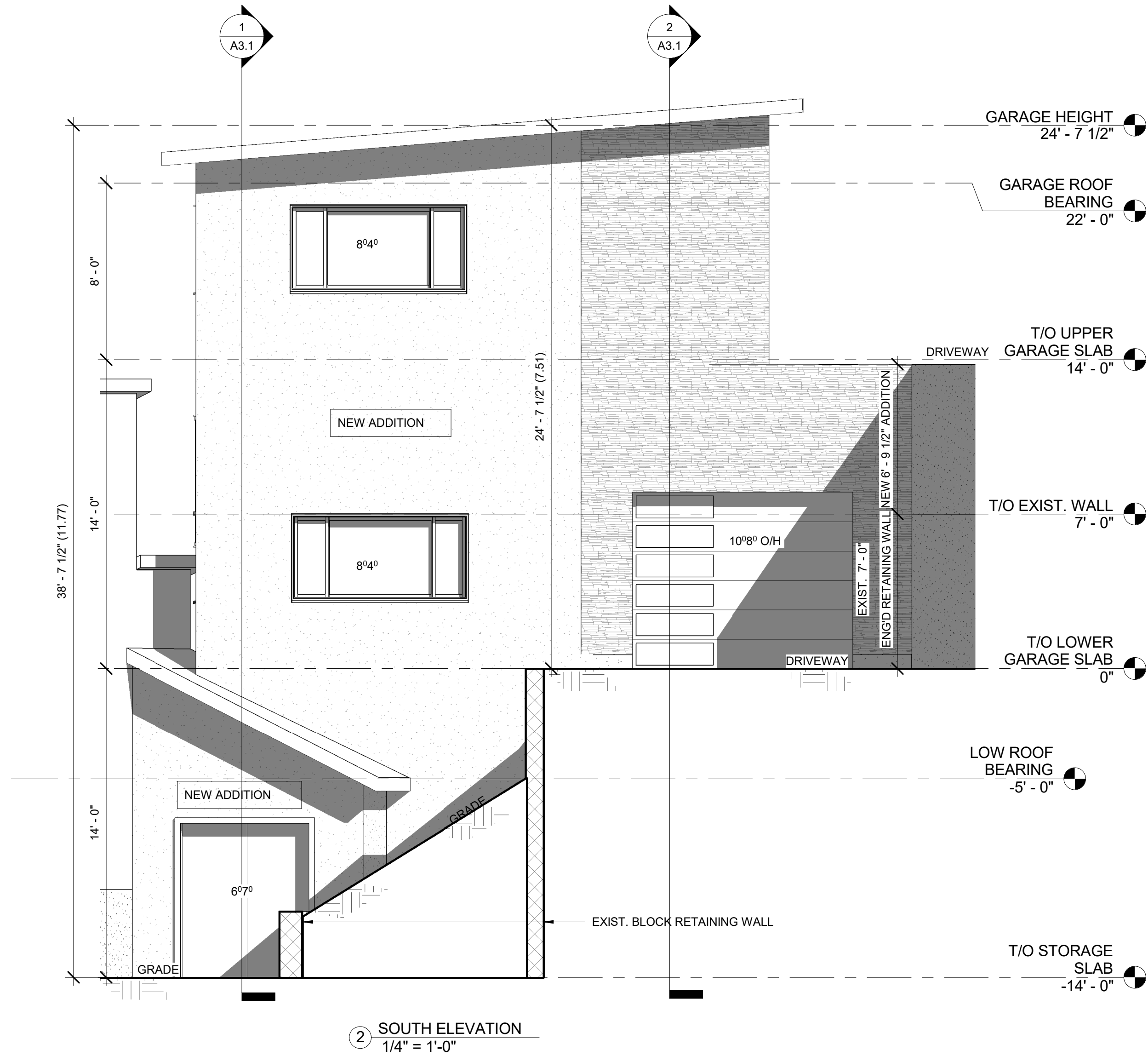
1 FRONT 3D



2 SIDE 3D



- BUILDING NOTES**
GENERAL ZONING AND SITE INFORMATION
- CIVIC ADDRESS: 2510 DUBBIN RD.
- LEGAL: PLAN 3252, LOT 2
- ZONE: RR3 - RURAL RESIDENTIAL 3
- AUTHORITY: CITY OF KELOWNA
- TOTAL LOT AREA: 10,011sqft [930m²]
- EXISTING HOUSE FOOTPRINT: 1685sqft [156.5m²]
- EXISTING DRIVEWAY FOOTPRINT: 1555sqft [144.5m²]
- GARAGE ADDITION FOOTPRINT: 940sqft [87.3m²]
- NEW DRIVEWAY FOOTPRINT: 585sqft [54.3m²]
- MAXIMUM LOT COVERAGE (30%): 3003sqft [279m²]
- TOTAL PROPOSED LOT COVERAGE: 2625sqft [243.9m²]
- PROPOSED % TOTAL COVERAGE: 26%
- EXISTING FLOOR AREA: 2683sqft [249.3m²]
- PROPOSED GARAGE AREA: 1897sqft [176.2m²]
- PROPOSED TOTAL AREA: 4580sqft [425.5m²]
- MAXIMUM HEIGHT: 9.5m or 2 1/2 STOREYS
- PROPOSED HEIGHT OF HOUSE AT REAR: 14.77m
- PROPOSED HEIGHT OF ADDITION AT SIDE ENTRY: 7.51m
- PROPOSED HEIGHT OF ADDITION AT STREET: 3.31m
- MIN YARD SETBACK FOR ADDITION**
- FRONT YARD SETBACK: 6.0m
- REAR YARD SETBACK: 7.5m
- SIDE YARD SETBACK: 2.3m (2 - 2.5 STOREY)



SCHEDULE A & B
This forms part of application
DVP18-0035
Planner Initials LK
City of Kelowna
COMMUNITY PLANNING



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250.864.6666
blue.vision@hotmail.com

Issue Schedule		
Issue Number	Description	Date
1	SITE REVIEW	22.07.17
2	VARIANCE	28.07.17

Dave Ross
2510 Dubbin Rd
Kelowna,BC V1V 2B8
250.212.8412
javabaja@gmail.com

Garage Addition

2510 Dubbin Rd.
Kelowna, BC

SITE PLAN &
ELEVATIONS

SCALE: AS NOTED	
DRAWN BY: BV	CHECKED BY: BV
DATE: 28.07.17	PROJECT: 2017-016

A1.0

SCHEDULE

B

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Planner

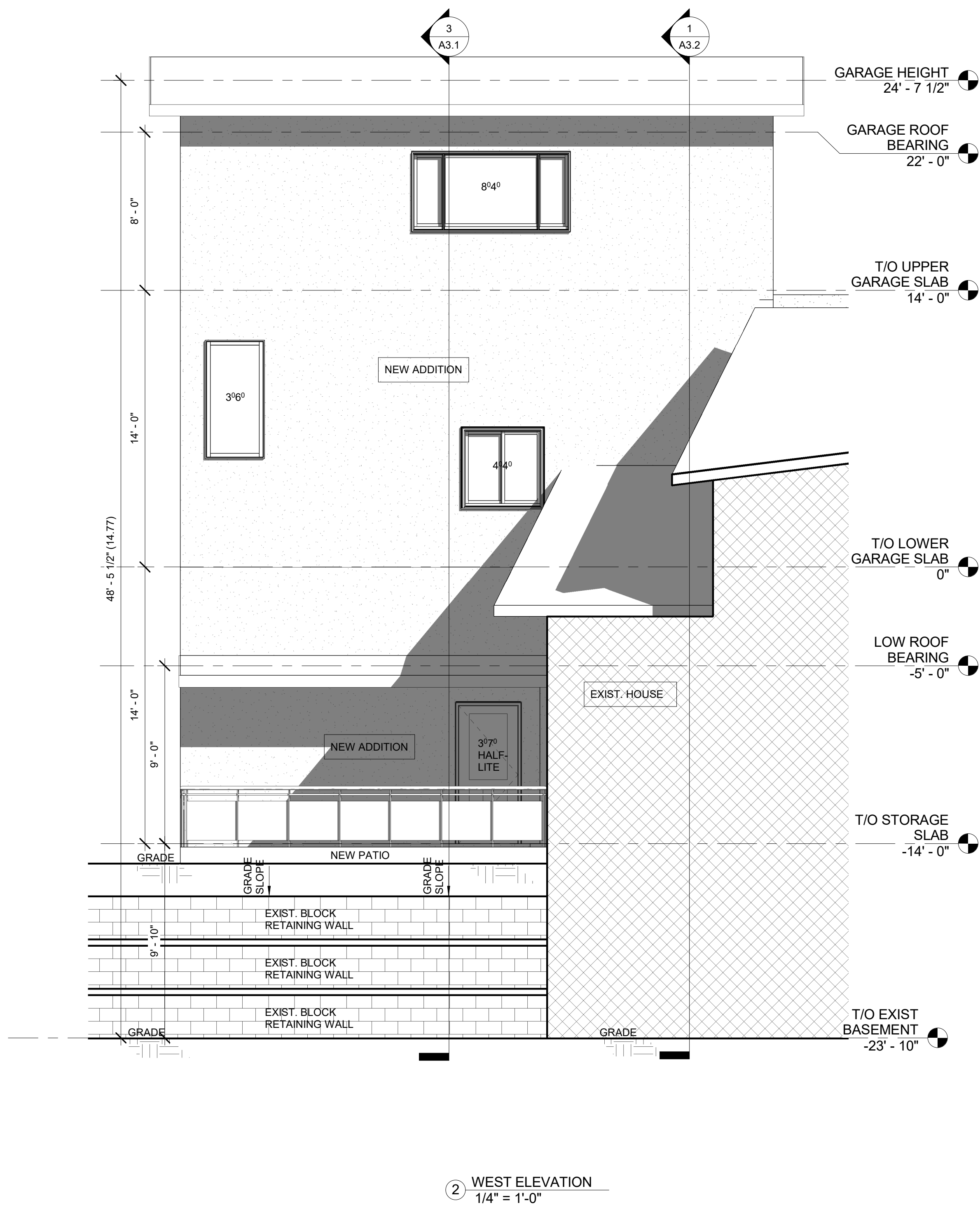
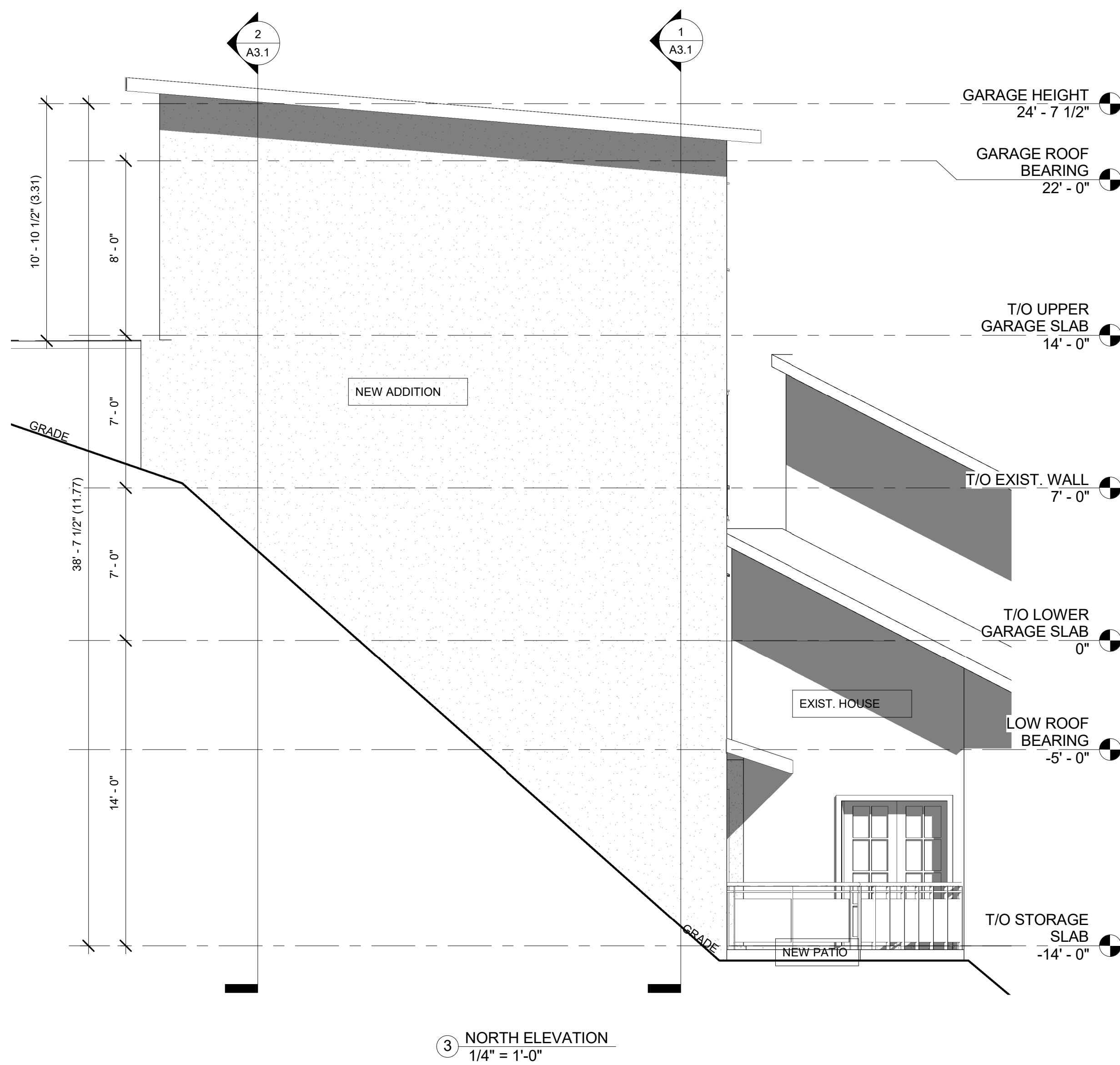
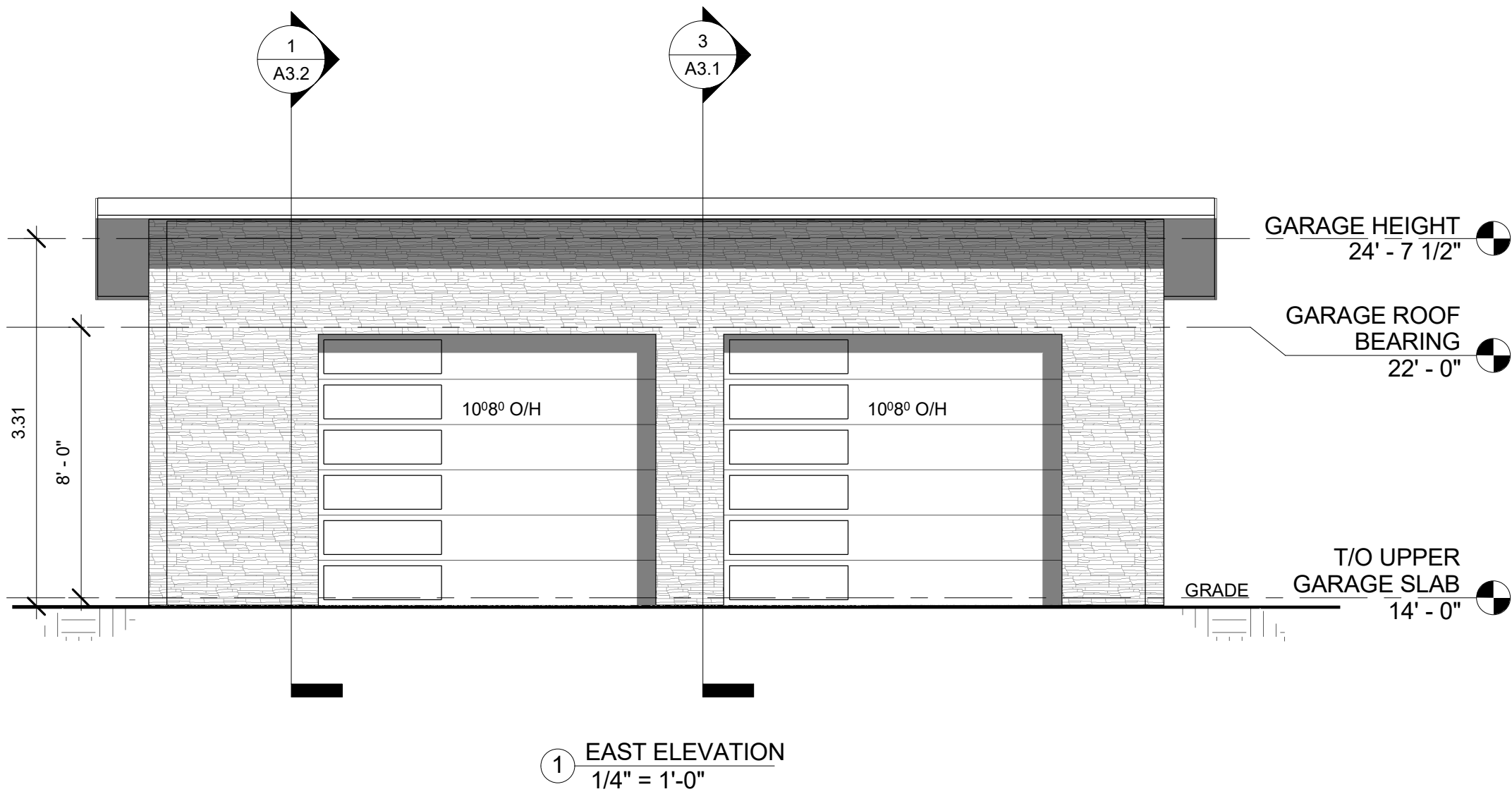
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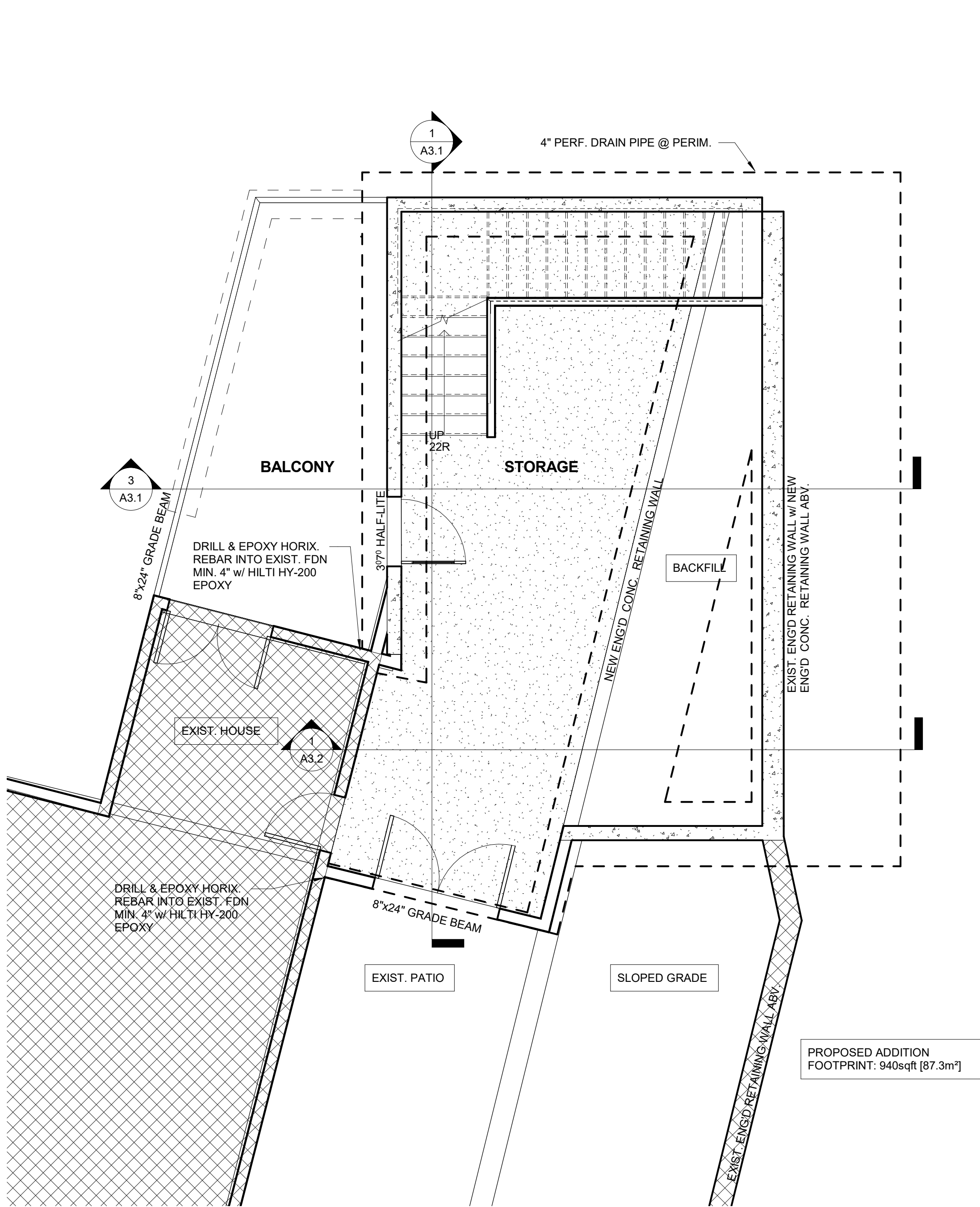
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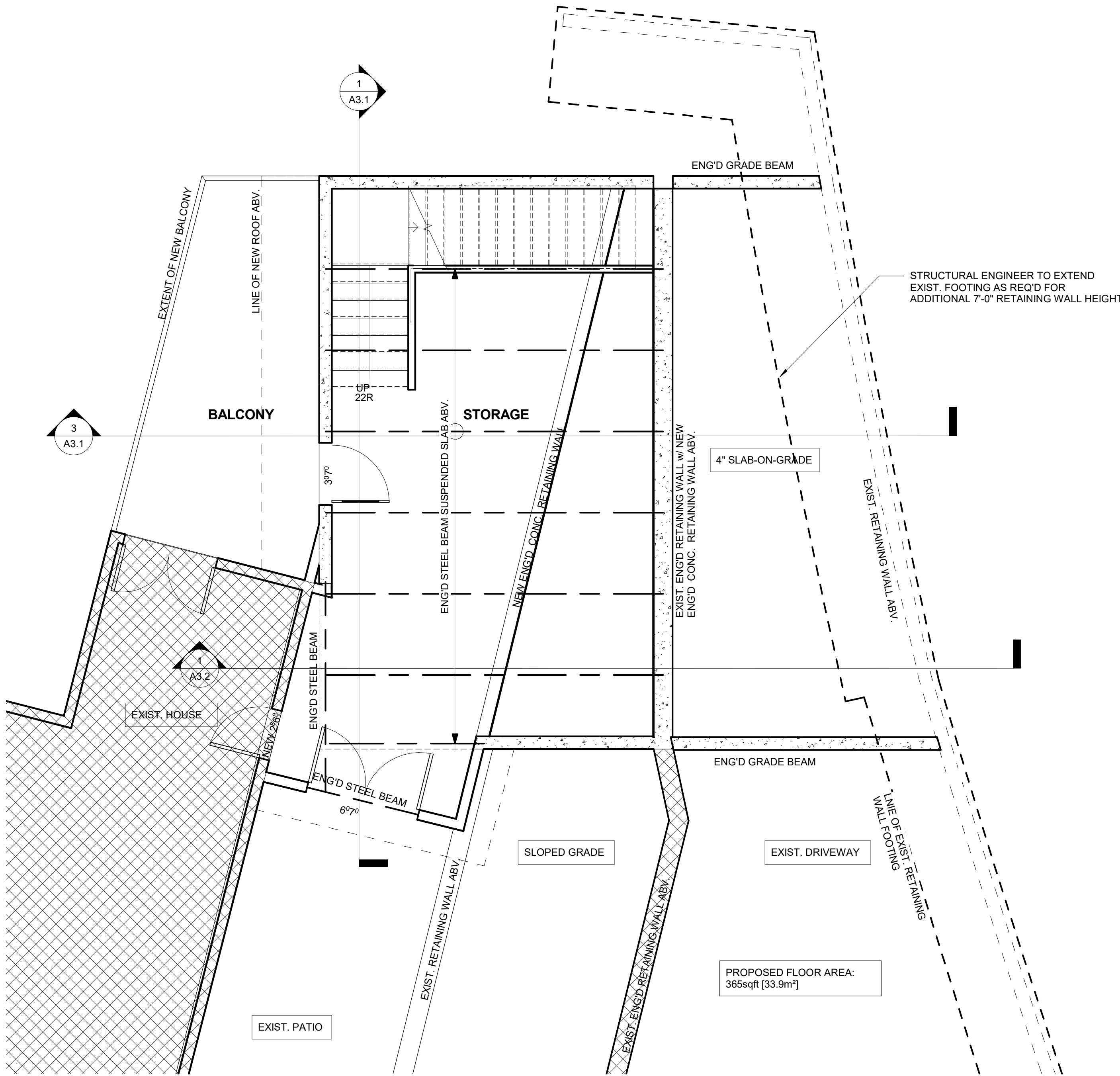
PLANS

SCALE: AS NOTED	
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A2.1



1. FOUNDATION PLAN
1/4" = 1'-0"



2. STORAGE PLAN
1/4" = 1'-0"

GENERAL CONSTRUCTION NOTES:
1. 1/2 WALL STAIR GUARDS TO BE 42" HIGH OR AS PER PLAN.
2. PROVIDE MIN 2" FRONT ENTRY STEP.
3. ALL BATHROOMS TO BE MECHANICALLY VENTILATED TO PROVIDE AT LEAST 1 AIR CHANGE PER HOUR.
4. 20"x28" INSULATED/WEATHER STRIPPED ATTIC ACCESS HATCH W/ INSULATION SHAFT
5. PROVIDE 2" (MIN.) CLEARANCE AROUND MECHANICAL FLUES TO ALL COMBUSTIBLE CONSTRUCTION.
6. PROVIDE FLASHING ABOVE EXTERIOR DOORS AND WINDOW OPENINGS WHERE REQUIRED
7. NON-HARDENING EXTERIOR CAULKING COMPOUND TO BE USED OVER & AROUND ALL EXTERIOR OPENINGS / IE. SERVICE ELECT., ETC.
8. ALL EXTERIOR/ INTERIOR LOAD BEARING LINTELS TO BE 2-PLY 2x10 U.N.O.
9. ALL EXTERIOR SIDING/ STUCCO FINISHES TO BE 8" MIN. ABOVE FINISHED GRADE
10. ALL WORKMANSHIP AND MILLWORK TO CONFORM TO THE STANDARDS OF GOOD BUILDING PRACTICES, & CURRENT LOCAL BUILDING CODES WITH ALL RESPECTS
11. WHERE THERE IS A DISCREPANCY BETWEEN THE PLANS AND THE BUILDING CODE, THE BUILDING CODE SHALL TAKE PRECEDENCE.

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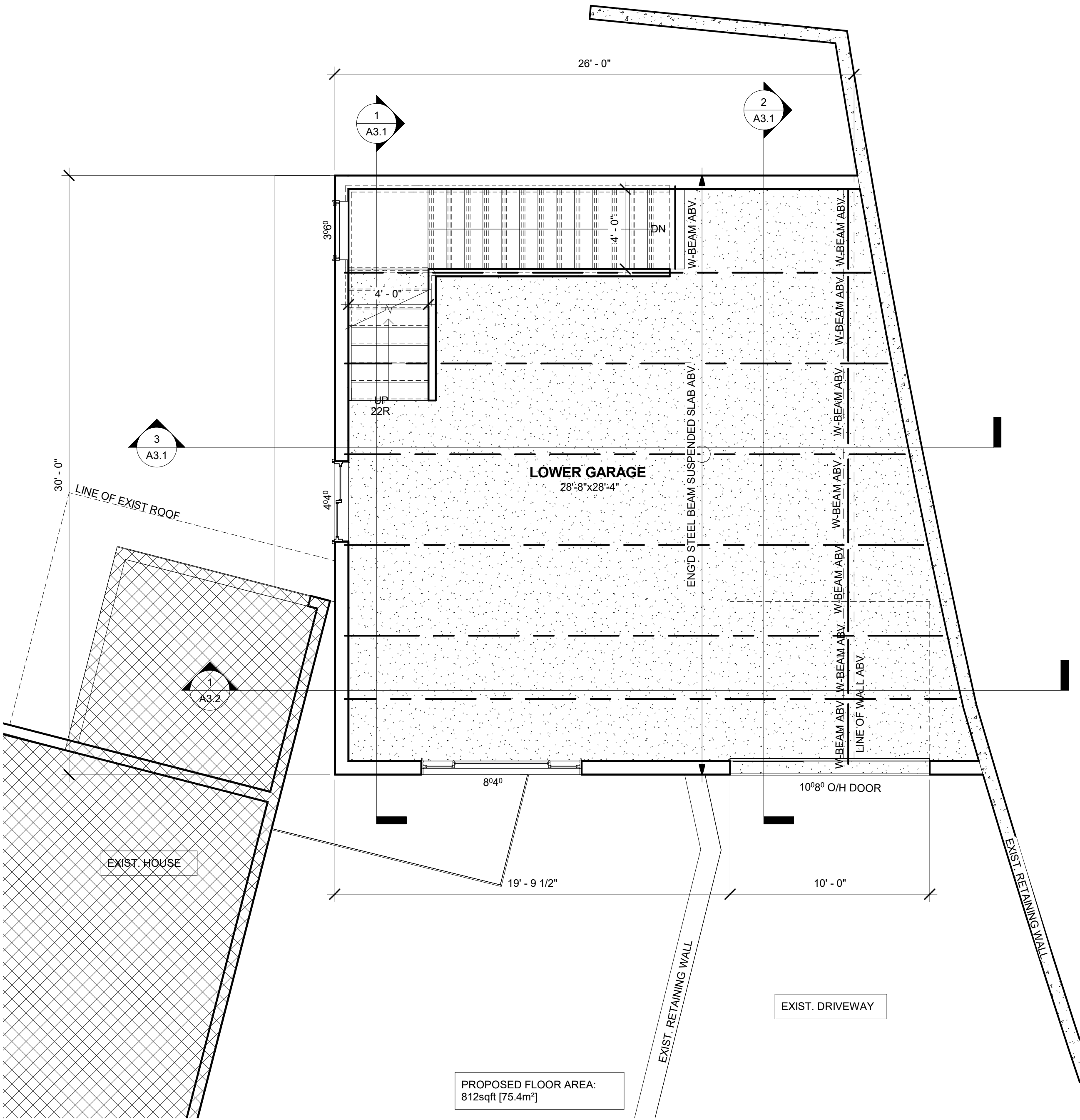
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PLANS

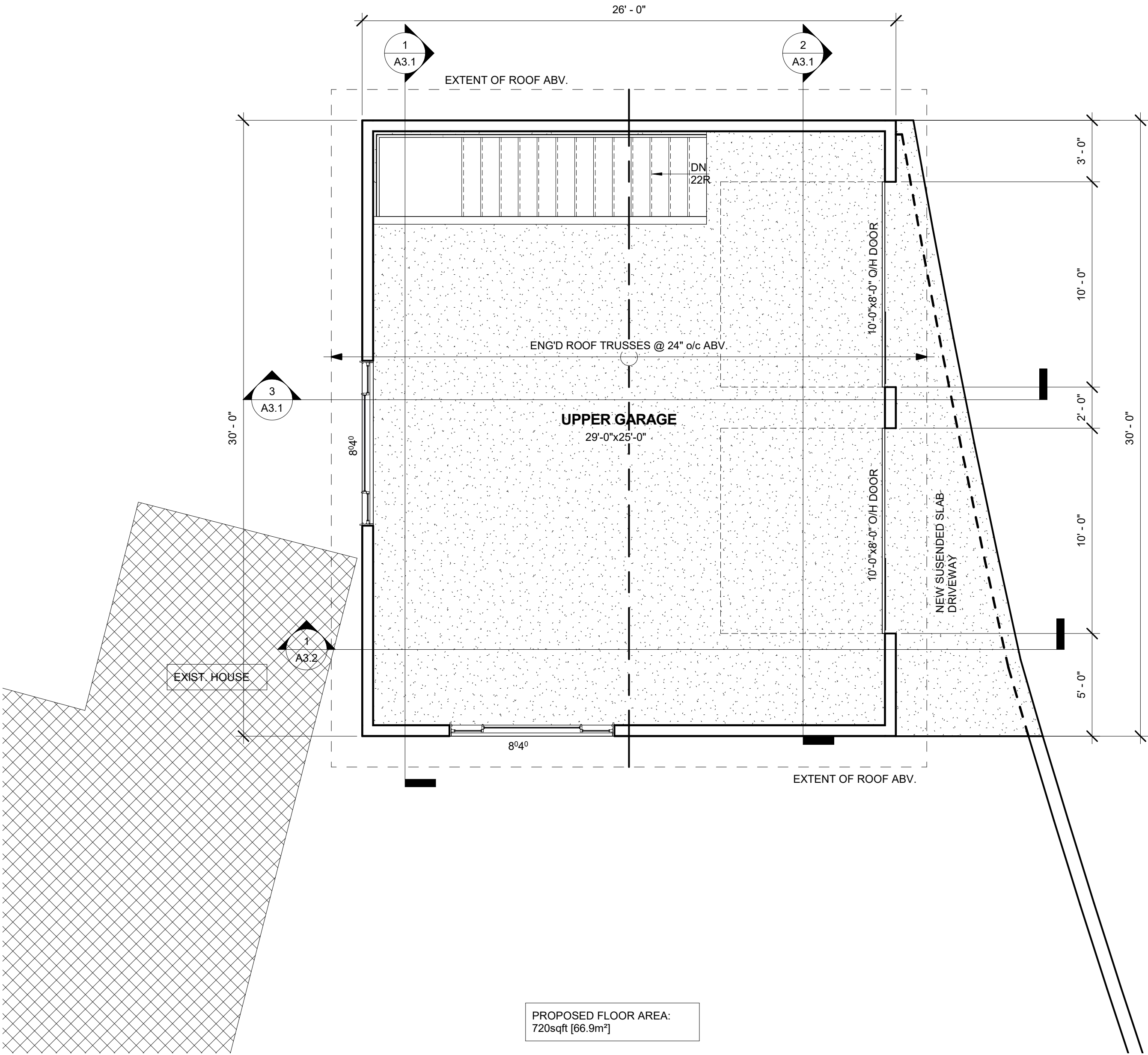
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DRAWN BY: Author	CHECKED BY: Checker
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A2.2



PROPOSED FLOOR AREA:
812sqft [75.4m²]

① 3. LOWER GARAGE PLAN
1/4" = 1'-0"



PROPOSED FLOOR AREA:
720sqft [66.9m²]

② 4. UPPER GARAGE PLAN
1/4" = 1'-0"

SCHEDULE

B

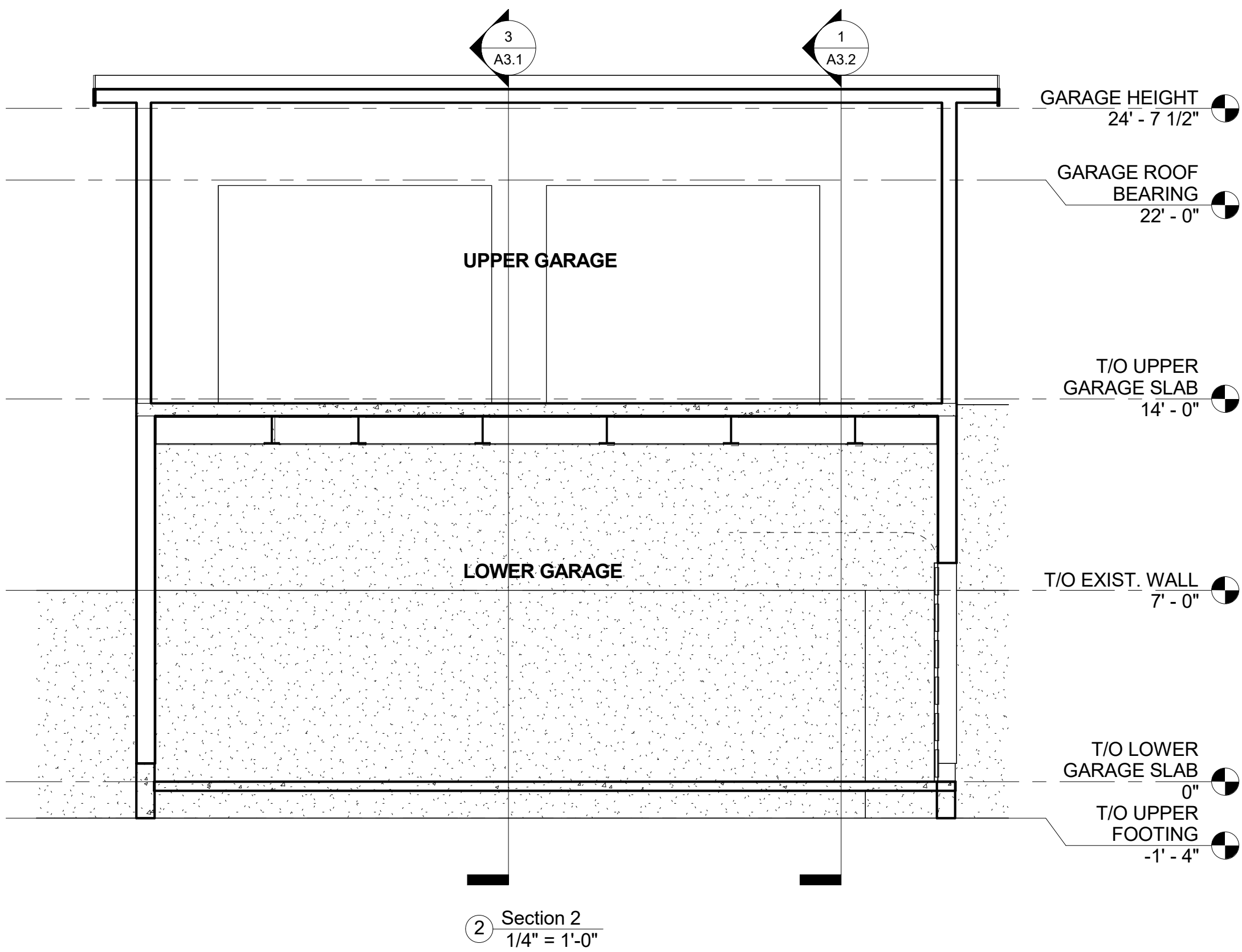
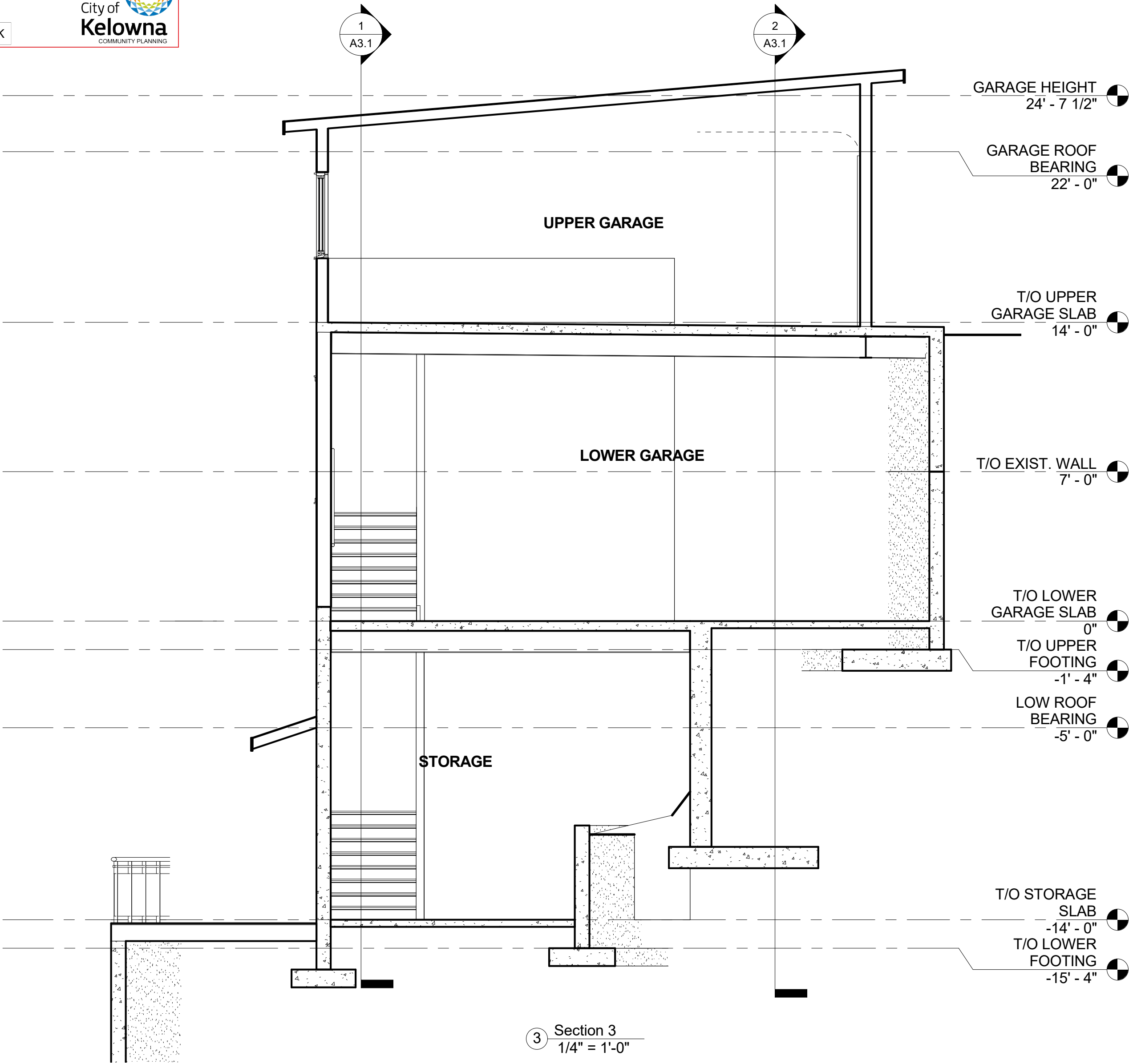
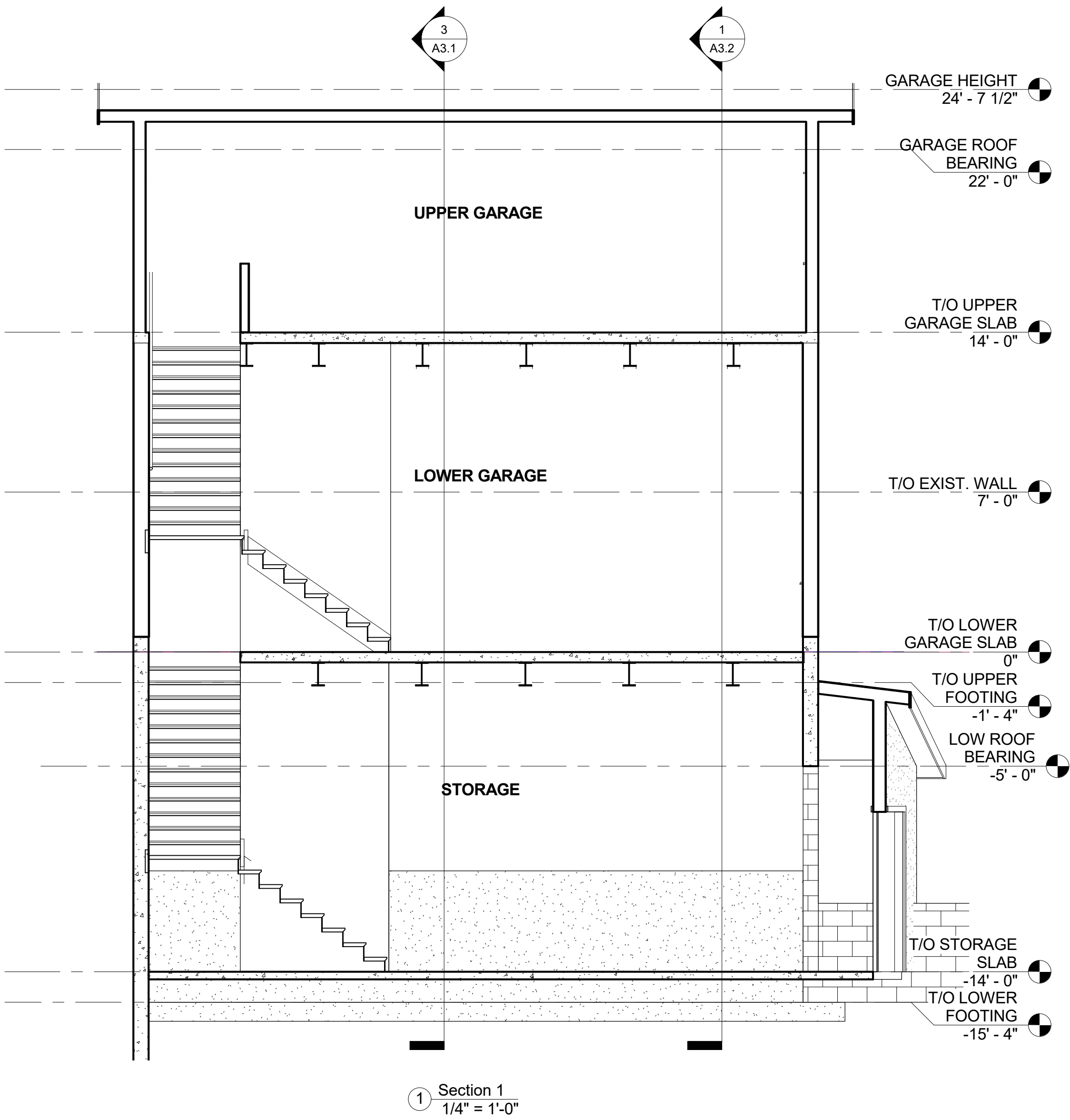
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SECTIONS

SCALE: AS NOTED	
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A3.1

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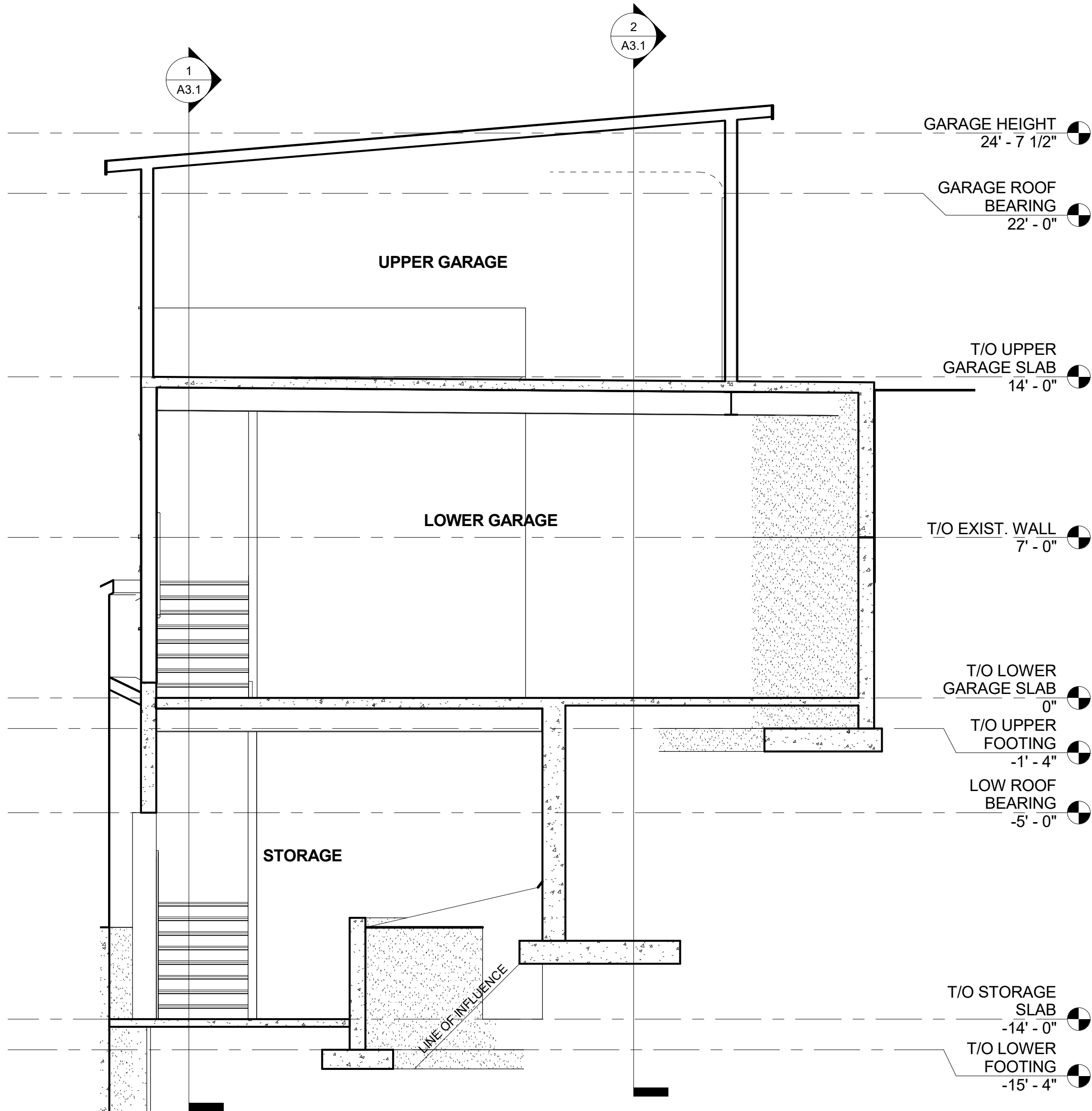
SECTIONS

SCALE:

AS NOTED

DRAWN BY: Author	CHECKED BY: Checker
DATE: 28.07.17	PROJECT: 2017-016

A3.2



1 Section 4
1/4" = 1'-0"



2510 Dubbin Road -Site conditions

The picture above shows the site from the water. The area for the proposed garage is shown with an arrow. The white area below the arrow is the existing permitted retaining wall. The building in the background is the neighbour to the east.

SCHEDULE

C

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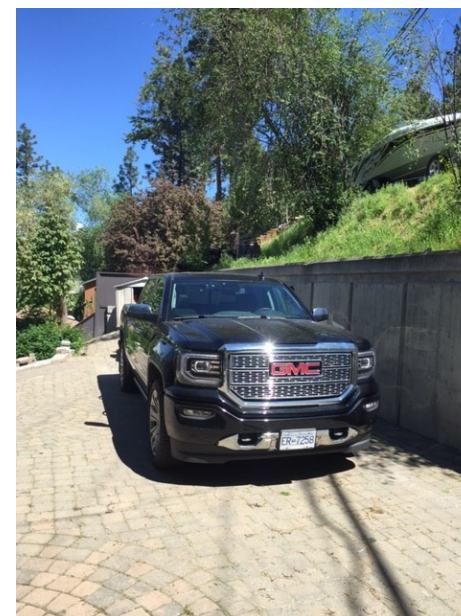
Planner
Initials

LK

City of
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COMMUNITY PLANNING



The view from the road's edge onto the property



The existing driveway with a view to the north east corner of the site where the addition is proposed.



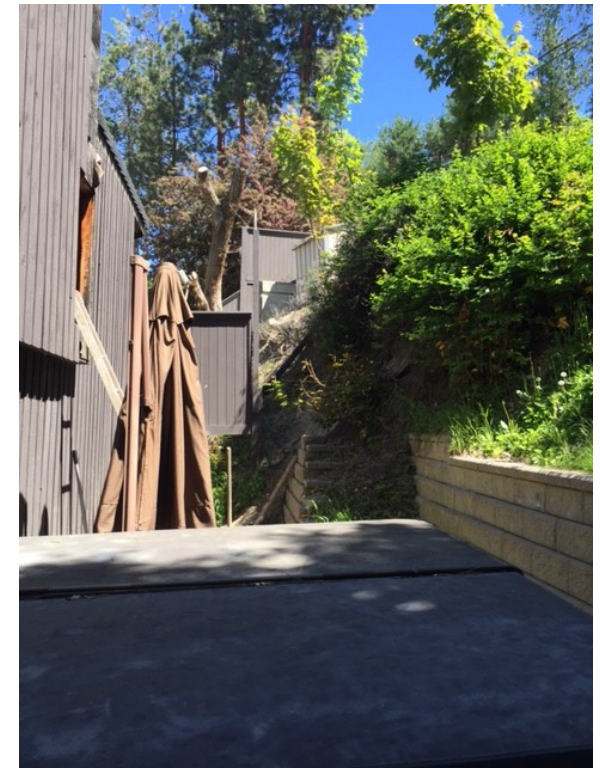
Pictures of the property's north side including the home, the steepness of the terrain and the existing retaining walls. Please note the French doors that will access the balcony of the addition.



SCHEDULE C

This forms part of application
DVP18-0035

Planner
Initials LK



A view from the front of the SFD look north to the proposed location of the addition.