

# Development Permit & Development Variance Permit DP17-0259/DVP17-0260



This permit relates to land in the City of Kelowna municipally known as

**2630 Bath Street**

and legally known as

**Lot 1 District Lot 14 Osoyoos Division Yale District Plan 3785**

and permits the land to be used for the following development:

## **Multiple Dwelling Housing**

with variances to the following sections of the Zoning Bylaw No. 8000:

### **Section 13.9.6(b): RM3 – Low Density Multiple Housing Development Regulations**

To vary the required maximum building site coverage from 50 % permitted to 53.7 % proposed.

### **Section 13.9.6(b): RM3 – Low Density Multiple Housing Development Regulations**

To vary the required maximum site coverage of buildings, driveways and parking areas from 60 % permitted to 65.3 % proposed.

### **Section 13.9.6(e): RM3 – Low Density Multiple Housing Development Regulations**

To vary the required minimum side yard from 4.0 m permitted to 2.79 m proposed.

The present owner and any subsequent owner of the above described land must comply with any attached terms and conditions.

Date of Decision: April 17, 2018

Decision By: City Council

Issued Date: April 17, 2018

Development Permit Area: Comprehensive and Revitalization Development Permit Areas

**This permit will not be valid if development has not commenced by April 17, 2020.**

Existing Zone: Future Land Use Designation:

**This is NOT a Building Permit.**

In addition to your Development Permit, a Building Permit may be required prior to any work commencing. For further information, contact the City of Kelowna, Development Services Branch.

## **NOTICE**

This permit does not relieve the owner or the owner's authorized agent from full compliance with the requirements of any federal, provincial or other municipal legislation, or the terms and conditions of any easement, covenant, building scheme or agreement affecting the building or land.

Owner: Greencorp Ventures Inc., Inc.No. BC0987730

Applicant: Worman Commercial

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Ryan Smith  
Community Planning Department Manager  
Community Planning & Strategic Investments

Date

## 1. SCOPE OF APPROVAL

This Development Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.

This Development Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this permit, noted in the Terms and Conditions below.

The issuance of a permit limits the permit holder to be in strict compliance with regulations of the Zoning Bylaw and all other Bylaws unless specific variances have been authorized by the Development Permit. No implied variances from bylaw provisions shall be granted by virtue of drawing notations that are inconsistent with bylaw provisions and that may not have been identified as required Variances by the applicant or Municipal staff.

## 2. CONDITIONS OF APPROVAL

- a) The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A";
- b) The exterior design and finish of the building to be constructed on the land be in accordance with Schedule "B";
- c) Landscaping to be provided on the land be in accordance with Schedule "C"; and
- d) The applicant be required to post with the City a Landscape Performance Security deposit in the form of a "Letter of Credit" in the amount of 125% of the estimated value of the landscaping, as determined by a Registered Landscape Architect.

This Development Permit is valid for two (2) years from the date of April 17, 2018 approval, with no opportunity to extend.

## 3. PERFORMANCE SECURITY

As a condition of the issuance of this Permit, Council is holding the security set out below to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Developer and be paid to the Developer or his or her designate if the security is returned. The condition of the posting of the security is that should the Developer fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the Municipality may use enter into an agreement with the property owner of the day to have the work carried out, and any surplus shall be paid over to the property own of the day. Should the Developer carry out the development permitted by this Permit within the time set out above, the security shall be returned to the Developer or his or her designate. There is filed accordingly:

- a) An Irrevocable Letter of Credit in the amount of **\$16,400.63**

Before any bond or security required under this Permit is reduced or released, the Developer will provide the City with a statutory declaration certifying that all labour, material, workers' compensation and other taxes and costs have been paid.

## 4. INDEMNIFICATION

Upon commencement of the works authorized by this Permit the Developer covenants and agrees to save harmless and effectually indemnify the Municipality against:

- a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality said Permit.

All costs, expenses, claims that may be incurred by the Municipality where the construction, engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

**The PERMIT HOLDER is the CURRENT LAND OWNER.  
Security shall ONLY be returned to the signatory of the  
Landscape Agreement or their designates.**

## DEVELOPMENT PERMIT GUIDELINES

### Comprehensive Development Permit Area

Consideration has been given to the following guidelines as identified in Section 14.A. of the City of Kelowna Official Community Plan relating to Comprehensive Development Permit Areas:

COMPREHENSIVE DEVELOPMENT PERMIT AREA	YES	NO	N/A
<b>Authenticity and Regional Expression</b>			
Do landscaping and building form convey a character that is distinct to Kelowna and the Central Okanagan?	✓		
Are materials in keeping with the character of the region?	✓		
Are colours used common in the region's natural landscape?		✓	
Does the design provide for a transition between the indoors and outdoors?	✓		
<b>Context</b>			
Does the proposal maintain the established or envisioned architectural character of the neighbourhood?		✓	
Does interim development consider neighbouring properties designated for more intensive development?			✓
Are façade treatments facing residential areas attractive and context sensitive?		✓	
Are architectural elements aligned from one building to the next?			✓
For exterior changes, is the original character of the building respected and enhanced?			✓
Is the design unique without visually dominating neighbouring buildings?		✓	
For developments with multiple buildings, is there a sense of architectural unity and cohesiveness?			✓
<b>Relationship to the Street</b>			
Do buildings create the desired streetscape rhythm?	✓		
Are parkade entrances located at grade?	✓		
For buildings with multiple street frontages, is equal emphasis given to each frontage?			✓
<b>Massing and Height</b>			
Does the design mitigate the actual and perceived mass of buildings?	✓		
Does the height consider shading and view impacts for neighbouring properties and transition to less intensive areas?	✓		
<b>Human Scale</b>			
Are architectural elements scaled for pedestrians?	✓		
Are façades articulated with indentations and projections?	✓		

<b>COMPREHENSIVE DEVELOPMENT PERMIT AREA</b>	<b>YES</b>	<b>NO</b>	<b>N/A</b>
Are top, middle and bottom building elements distinguished?	✓		
Do proposed buildings have an identifiable base, middle and top?	✓		
Are building facades designed with a balance of vertical and horizontal proportions?	✓		
Are horizontal glazed areas divided into vertically proportioned windows separated by mullions or building structures?	✓		
Does the design incorporate roof overhangs and the use of awnings, louvers, canopies and other window screening techniques?	✓		
Is the visual impact of enclosed elevator shafts reduced through architectural treatments?	✓		
<b>Exterior Elevations and Materials</b>			
Are buildings finished with materials that are natural, local, durable and appropriate to the character of the development?	✓		
Are entrances visually prominent, accessible and recognizable?	✓		
Are higher quality materials continued around building corners or edges that are visible to the public?	✓		
Are a variety of materials used to create contrast, enhance the pedestrian environment and reduce the apparent mass of a building?	✓		
Are elements other than colour used as the dominant feature of a building?	✓		
<b>Public and Private Open Space</b>			
Does public open space promote interaction and movement through the site?			✓
Are public and private open spaces oriented to take advantage of and protect from the elements?	✓		
Is there an appropriate transition between public and private open spaces?			✓
Are amenities such as benches, garbage receptacles, bicycle stands and community notice boards included on site?		✓	
<b>Site Access</b>			
Is the safe and convenient movement of pedestrians prioritized?	✓		
Are alternative and active modes of transportation supported through the site design?		✓	
Are identifiable and well-lit pathways provided to front entrances?	✓		
Do paved surfaces provide visual interest?	✓		
Is parking located behind or inside buildings, or below grade?	✓		
Are large expanses of parking separated by landscaping or buildings?			✓
Are vehicle and service accesses from lower order roads or lanes?	✓		

<b>COMPREHENSIVE DEVELOPMENT PERMIT AREA</b>	<b>YES</b>	<b>NO</b>	<b>N/A</b>
Do vehicle and service accesses have minimal impact on the streetscape and public views?			✓
Is visible and secure bicycle parking provided in new parking structures and parking lots?			✓
<b>Environmental Design and Green Building</b>			
Does the proposal consider solar gain and exposure?			✓
Are green walls or shade trees incorporated in the design?			✓
Does the site layout minimize stormwater runoff?			✓
Are sustainable construction methods and materials used in the project?			✓
Are green building strategies incorporated into the design?			✓
<b>Decks, Balconies, Rooftops and Common Outdoor Amenity Space</b>			
Are decks, balconies or common outdoor amenity spaces provided?	✓		
Does hard and soft landscaping enhance the usability of decks, balconies and outdoor amenity spaces?	✓		
Are large flat expanses of roof enhanced with texture, colour or landscaping where they are visible from above or adjacent properties?			✓
<b>Amenities, Ancillary Services and Utilities</b>			
Are loading, garage, storage, utility and other ancillary services located away from public view?	✓		
Are vents, mechanical rooms / equipment and elevator penthouses integrated with the roof or screened with finishes compatible with the building's design?	✓		
<b>Landscape Development and Irrigation Water Conservation</b>			
Does landscaping:	-	-	-
• Compliment and soften the building's architectural features and mitigate undesirable elements?	✓		
• Maintain the dominant pattern of landscaping along the street and surrounding properties?	✓		
• Enhance the pedestrian environment and the sense of personal safety?	✓		
• Screen parking areas, mechanical functions, and garbage and recycling areas?	✓		
• Respect required sightlines from roadways and enhance public views?	✓		
• Retain existing healthy mature trees and vegetation?		✓	
• Use native plants that are drought tolerant?	✓		
• Define distinct private outdoor space for all ground-level dwellings?	✓		
Do any fences and retaining walls create visual interest and enhance the pedestrian environment?	✓		

<b>COMPREHENSIVE DEVELOPMENT PERMIT AREA</b>	<b>YES</b>	<b>NO</b>	<b>N/A</b>
Do parking lots have one shade tree per four parking stalls?			✓
Does the Landscape Architect's Landscape Water Conservation Report:	-	-	-
<ul style="list-style-type: none"> <li>Meet the requirements for Landscape Water Budget calculations for the landscaped area?</li> </ul>	✓		
<ul style="list-style-type: none"> <li>Indicate how the development complies with or varies from the Landscape Water Conservation Guidelines?</li> </ul>	✓		
<i>Landscape Water Conservation Guidelines</i>			
Are plants grouped into "hydro-zones" of high, medium and low or unirrigated / unwatered areas?	✓		
Does at least 25% of the total landscaped area require no irrigation / watering?	✓		
Does at least 25% of the total landscaped area require low water use?	✓		
Does at most 50% of the total landscaped area require medium or high water use?	✓		
Is mulch cover provided for shrubs and groundcover to reduce soil evaporation?	✓		
Do water features such as pools and fountains use recirculated water systems?			✓
Do landscape installation standards meet the requirements of the BC Landscape Standard and / or the Master Municipal Construction Document?	✓		
Are the required written declarations signed by a qualified Landscape Architect?	✓		
<i>Irrigation System Guidelines</i>			
Is the Irrigation Plan prepared by a Qualified Professional?	✓		
Are irrigation circuits grouped into "hydro-zones" of high, medium and low or unirrigated / unwatered areas consistent with the landscaping plan?	✓		
Is drip or low volume irrigation used?	✓		
Are the required written declarations signed by a qualified Certified Irrigation Designer?	✓		
<b>Crime prevention</b>			
Are CPTED practices as related to landscaping, siting, form and exterior design included in the design?	✓		
Are building materials vandalism resistant?		✓	
<b>Universal Accessible Design</b>			
Is access for persons with disabilities integrated into the overall site plan and clearly visible from the principal entrance?			✓
Are the site layout, services and amenities easy to understand and navigate?			✓
<b>Lakeside Development</b>			
Are lakeside open spaces provided or enhanced?			✓

COMPREHENSIVE DEVELOPMENT PERMIT AREA	YES	NO	N/A
Are lake views protected?			✓
Does lakeside development act as a transition between the lake and inland development?			✓
<b>Signs</b>			
Do signs contribute to the overall quality and character of the development?			✓
Is signage design consistent with the appearance and scale of the building?			✓
Are signs located and scaled to be easily read by pedestrians?			✓
For culturally significant buildings, is the signage inspired by historical influences?			✓
<b>Lighting</b>			
Does lighting enhance public safety?	✓		
Is "light trespass" onto adjacent residential areas minimized?	✓		
Does lighting consider the effect on the façade, neighbouring buildings and open spaces?			✓
Is suitably scaled pedestrian lighting provided?			✓
Does exterior street lighting follow the International Dark Sky Model to limit light pollution?			✓

**Revitalization Development Permit Area**

Consideration has been given to the following guidelines as identified in Section 14.B. of the City of Kelowna Official Community Plan relating to Revitalization Development Permit Areas:

REVITALIZATION DEVELOPMENT PERMIT AREA	YES	NO	N/A
<b>Relationship to the Neighbourhood and Street</b>			
Does the proposal maintain the established or envisioned architectural character of the neighbourhood?		✓	
Do developments adjacent to non-revitalization areas create an appropriate transition?			✓
Are spaces for pedestrian friendly amenities, such as street furniture, included on site?		✓	
Is the ratio of streetwall height to street width less than 0.75:1?	✓		
Does the building frontage occupy the entire length of the street, without drive aisles or other dead zones?		✓	
<b>Building Design</b>			
Are architectural elements aligned from one building to the next?			✓
Are the effects of shadowing on public areas mitigated?			✓

REVITALIZATION DEVELOPMENT PERMIT AREA	YES	NO	N/A
Are doors or windows incorporated into at least 75% of street frontage?		✓	
Do proposed buildings have an identifiable base, middle and top?	✓		
Are windows, entrances, balconies and other building elements oriented towards surrounding points of interest and activity?	✓		
Are architectural elements such as atriums, grand entries and large ground-level windows used to reveal active interior spaces?			✓
Are buildings designed with individual entrances leading to streets and pathways rather than with mall style entrances and internal connections?	✓		
For multiple unit residential projects, is ground level access for first storey units provided?	✓		
Are buildings finished with materials that are natural, local, durable and appropriate to the character of the development?	✓		
Are prohibited materials such as vinyl siding, reflective or non-vision glass, plastic, unpainted or unstained wood, and concrete block not used in the design?	✓		
Are stucco and stucco-like finishes omitted as a principal exterior wall material?		✓	
Are vents, mechanical rooms/equipment and elevator penthouses integrated with the roof or screened with finishes compatible with the building's design?	✓		
<b>View Corridors</b>			
Are existing views preserved and enhanced?	✓		
<b>Vehicular Access and Parking</b>			
Are at-grade and above-grade parking levels concealed with façade treatments?			✓
Are garage doors integrated into the overall building design?	✓		
Are pedestrian entrances more prominent features than garage doors and vehicle entrances?	✓		
Is surface parking located to the rear of the building or interior of the block?			✓
Are truck loading zones and waste storage areas screened from public view?			✓
Do parking lots have one shade tree per four parking stalls?			✓
Are pedestrian connections provided within and between parking lots?			✓
Are driving, parking, pedestrian and cycling areas distinguished through changes in colour or pattern of paving materials?			✓
<b>Signage</b>			
Is signage design consistent with the appearance and scale of the building?			✓
Are corporate logos on signs complimentary to the overall building character?			✓
Is signage lighting minimized?			✓
<b>Public Art</b>			



REVITALIZATION DEVELOPMENT PERMIT AREA	YES	NO	N/A
Is public art incorporated into the project?			✓
<b>Tower Design (Building Greater than Six Stories)</b>			
Do towers enhance views to and through the skyline?			✓
Are tower forms and the upper portions of buildings at once cohesive yet distinct from the overall design?			✓
Does the building design emphasize height rather than width?			✓
Does building design take into account micro-climates, shading and wind tunneling effects?			✓
Are new developments integrated into the established urban pattern through siting and building design?			✓
Are large flat expanses of roof enhanced with texture, colour or landscaping where they are visible from above or adjacent properties?			✓
Do elements such as gazebos, trellises, and pergolas provide visual interest and enhance usability of rooftop spaces?			✓
Are balconies recessed a minimum depth of 1 m within the adjoining building face?			✓
Are podiums designed to provide an animated pedestrian environment?			✓
<b>Downtown Considerations</b>			
Does the proposal maintain and extend the traditional block pattern?			✓
Is the street façade articulated in a vertical rhythm that is consistent with the traditional street pattern?			✓
Are windows set back from the building face and do they include headers and sills?			✓
Are windows at street level kept low for displays of retail goods and for high visibility into interior spaces?			✓
Is the height of upper floor windows at least 1.5 times their width?			✓
Are building materials and colours consistent with other prominent Downtown buildings, preferably brick or cut stone?			✓
Is signage appropriate to the neighborhood and not internally lit or neon?			✓

SCHEDULE

A

This forms part of application

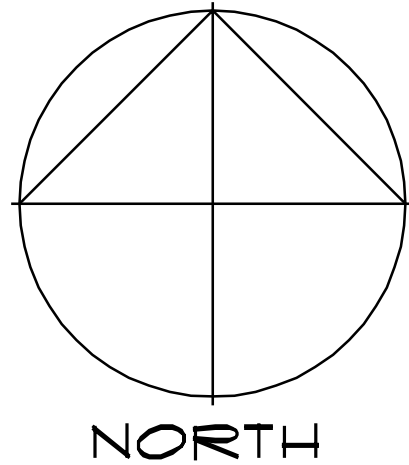
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Planner Initials

KB

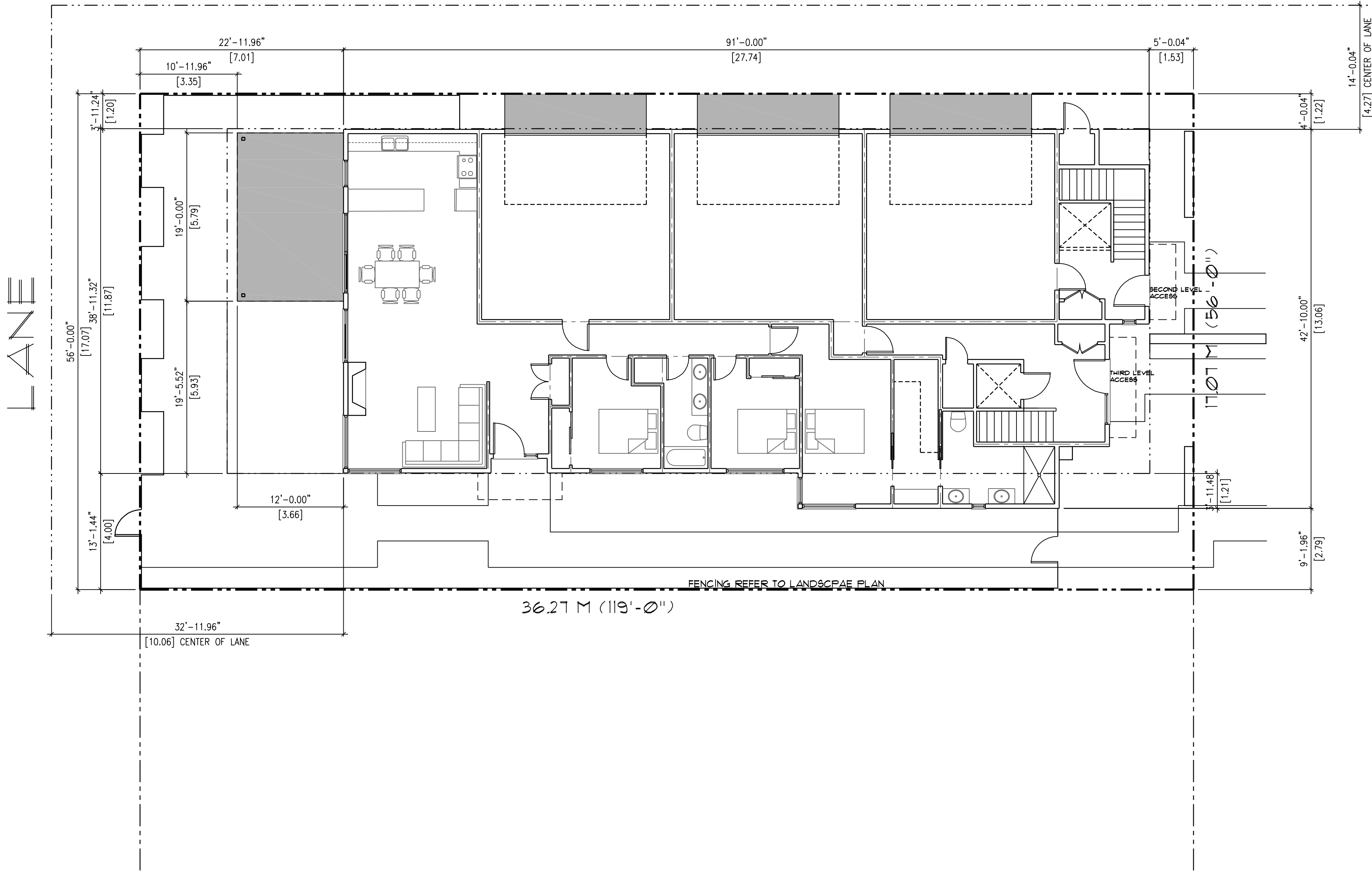
City of Kelowna

COMMUNITY PLANNING



LANE

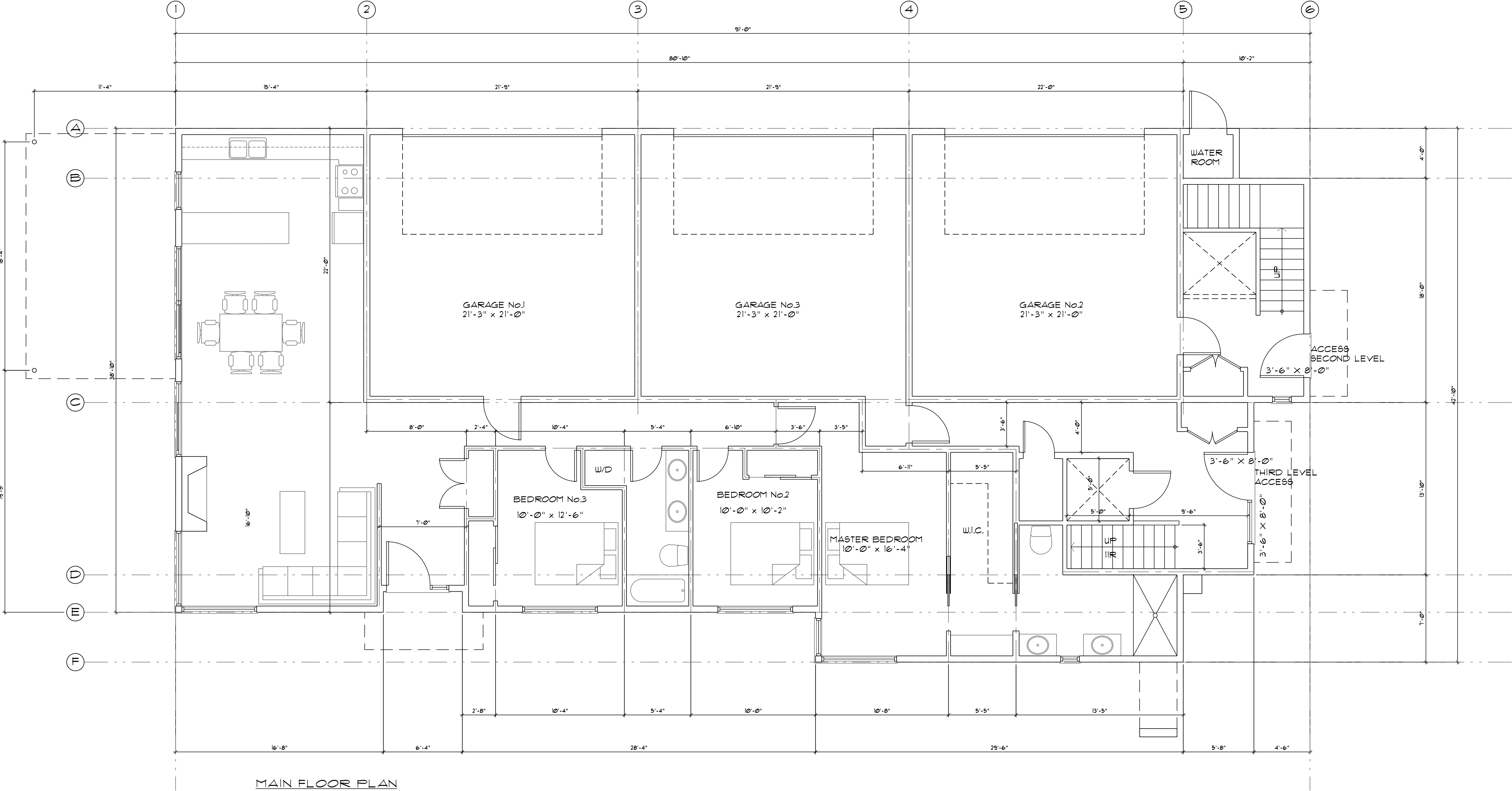
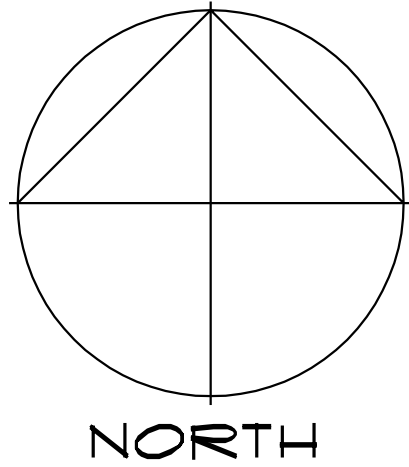
BATH STREET



PROJECT DATA		
CIVIC ADDRESS: 2673 GORE STREET, KELOWNA, BC		
LEGAL DESCRIPTION: LOT 1, PLAN 3785, DL, O.D.Y.D.		
CURRENT ZONING: RU6 – TWO DWELLING HOUSING		
ZONING BYLAW REQUIREMENTS		
PROPOSED ZONE RM3 – LOW DENSITY MULTIPLE HOUSING		
SITE AREA = 6,664 SQ.FT. (619.2 SQ.M.)		
BUILDING AREA (NET)		
MAIN FLOOR =	1,602 SQ.FT. (148.8 SQ.M.)	
SECOND FLOOR =	2,182 SQ.FT. (202.7 SQ.M.)	
THIRD FLOOR =	2,236 SQ.FT. (207.7 SQ.M.)	
TOTAL NET BUILDING AREA = 6,020 SQ.FT. (556.9 SQ.M.)		
	REQUIRED	PROPOSED
LOT WIDTH	30.0m	17.07m
LOT DEPTH	30.0m	36.27m
LOT AREA	900 sq.m.	619.2 sq.m.
FAR (w/ PARKING & URBAN CENTRE)	.9 (557.2 sq.m.)	.9 (556.9 sq.m.)
SITE COVERAGE (W/ BONUS FOR POS)	50% (309.6 sq.m.)	53.7% (332.8 sq.m.)*
SITE COVERAGE INCL. DRIVEWAYS & PARKING	60% (371.5 sq.m.)	65.3% (404.8 sq.m.)
HEIGHT (m)	10.0m/3 STOREYS	10.0m/3 STOREYS
SETBACKS (m)		
FRONT (BATH STREET)	1.5m	1.53m
SIDE (NORTH)	4.0m	2.79m*
SIDE (SOUTH, LANE)	1.2m	1.22m
REAR (LANE)	3.0m	3.35m
PARKING		
RESIDENTIAL @ 2/DWELLING UNIT x 4 UNITS = 8 STALLS		8 STALLS
BICYCLE PARKING		
CLASS I @ .5/DWELLING UNIT x 4 UNITS = 2 SPACES		2 SPACES
CLASS II @ .1/DWELLING UNIT x 4 UNITS = 1 SPACE		1 SPACE
PRIVATE OPEN SPACE		
25 sq.m./UNIT	MAIN FLOOR 112.1 sq.m. (1207 sq.ft.)	
	SECOND FLOOR 66.2 sq.m. (713 sq.ft.)	
	THIRD FLOOR 80.3 sq.m. (864 sq.ft.)	
LANDSCAPE BUFFERS (m)		
FRONT (BATH STREET)	1.5m	1.5m
SIDE (NORTH)	1.2m**	3.0m
SIDE (SOUTH)	1.2m	2.79m
REAR (EAST)	3.0m**	3.35m
LANDSCAPE TREATMENT LEVELS		
FRONT (BATH STREET)	2	2
SIDE (NORTH)	3	3
SIDE (SOUTH)	3	3
REAR (EAST)	3	1
* VARIANCE REQUIRED		

SITE PLAN  
SCALE: 1/8" = 1'-0"

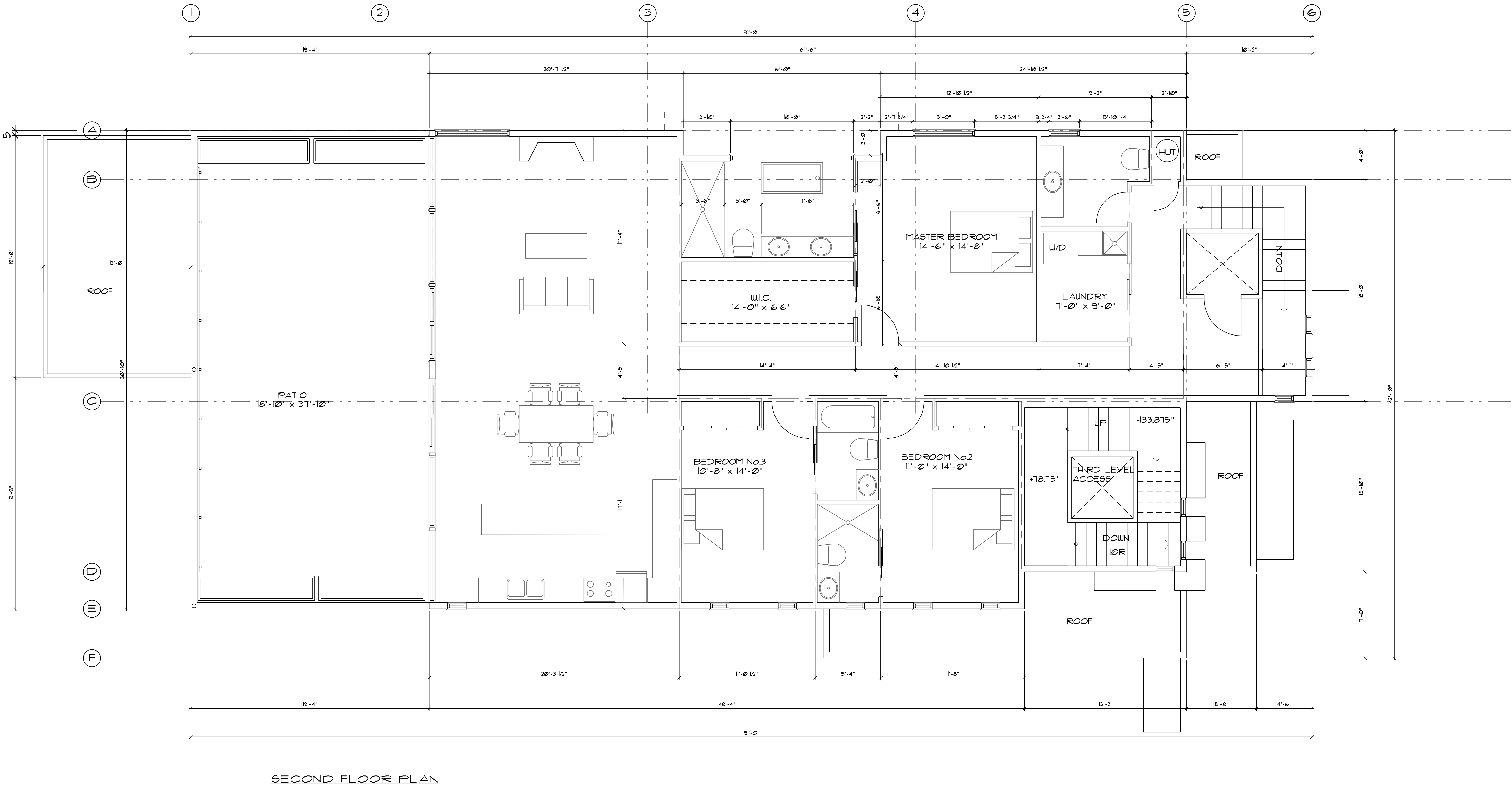
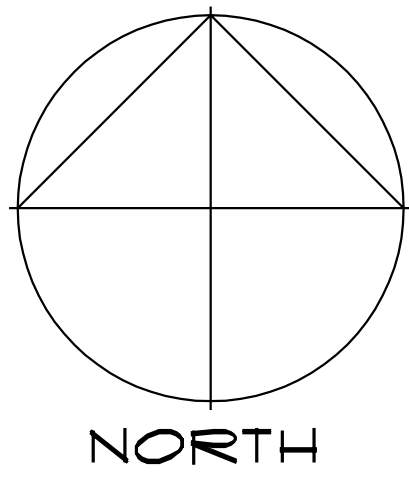
No.	DATE	DESCRIPTION	RESIDENTIAL BUILDING 2630 BATH STREET, KELOWNA		
1	NOV 8-17	ISSUED FOR DP			
2	MAR 23-18	REV'D FOR LANDSCAPING			
			SCALE: 1/8" = 1'-0"	SITE PLAN	
			DATE: OCT, 2017		
			DRAWING No. 40		



MAIN FLOOR PLAN  
SCALE: 1/4" = 1'-0"

No.		DATE	DESCRIPTION
1		NOV 8-17	ISSUED FOR DP

RESIDENTIAL BUILDING 2630 BATH STREET, KELOWNA		
SCALE: 1/4" = 1'-0"	MAIN FLOOR PLAN	
DATE: OCT, 2017		
		DRAWING No. A1



SECOND FLOOR PLAN  
SCALE: 1/4" = 1'-0"

No.		DATE	DESCRIPTION
1		NOV 8-17	ISSUED FOR DP

RESIDENTIAL BUILDING		
2630 BATH STREET, KELOWNA		
SCALE: 1/4" = 1'-0"	SECOND FLOOR PLAN	
DATE: OCT, 2017		
		DRAWING No. A2

SCHEDULE

B

This forms part of application

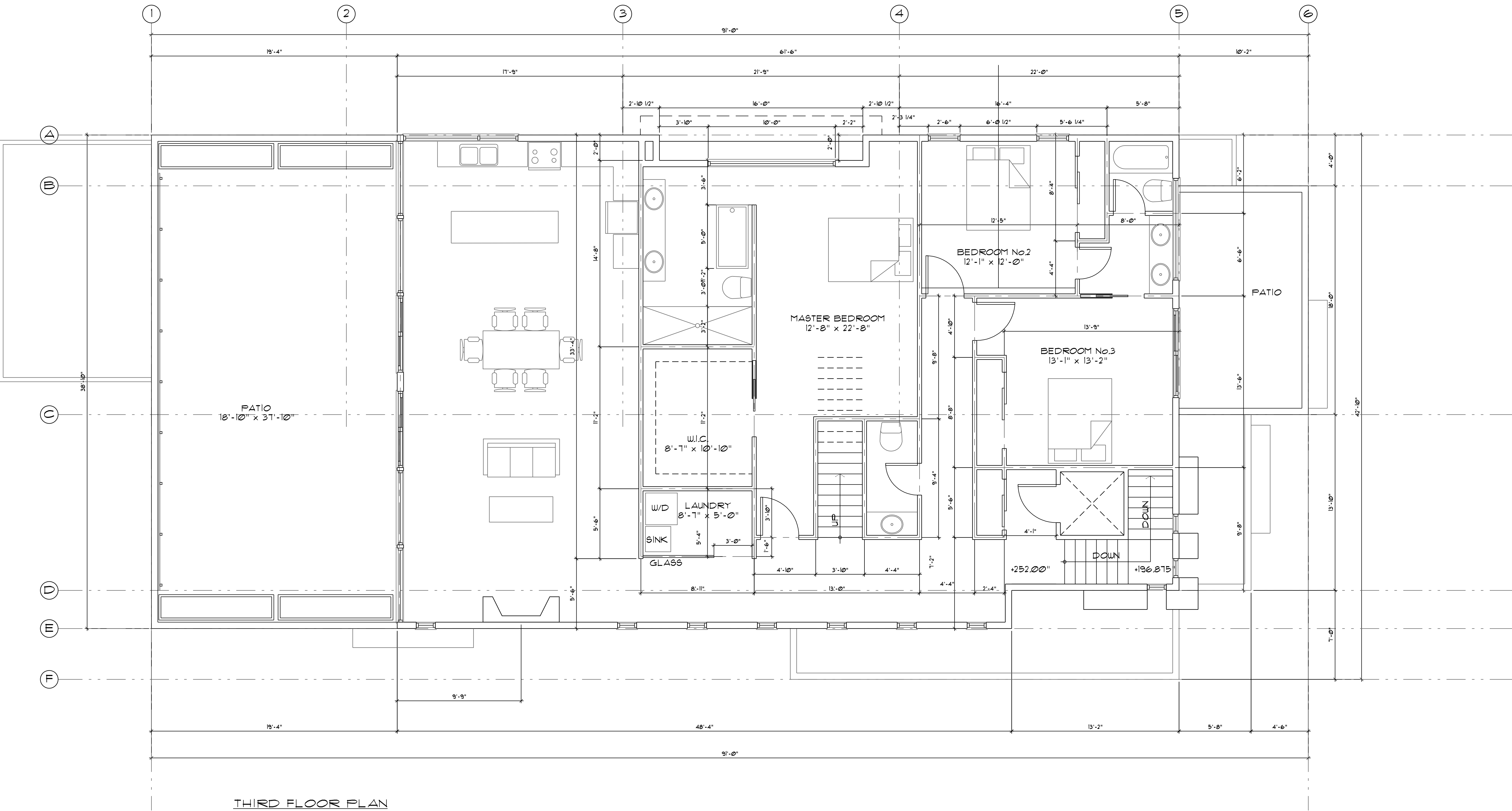
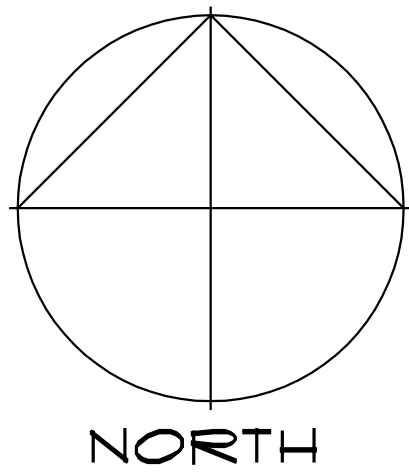
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Planner Initials

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City of Kelowna

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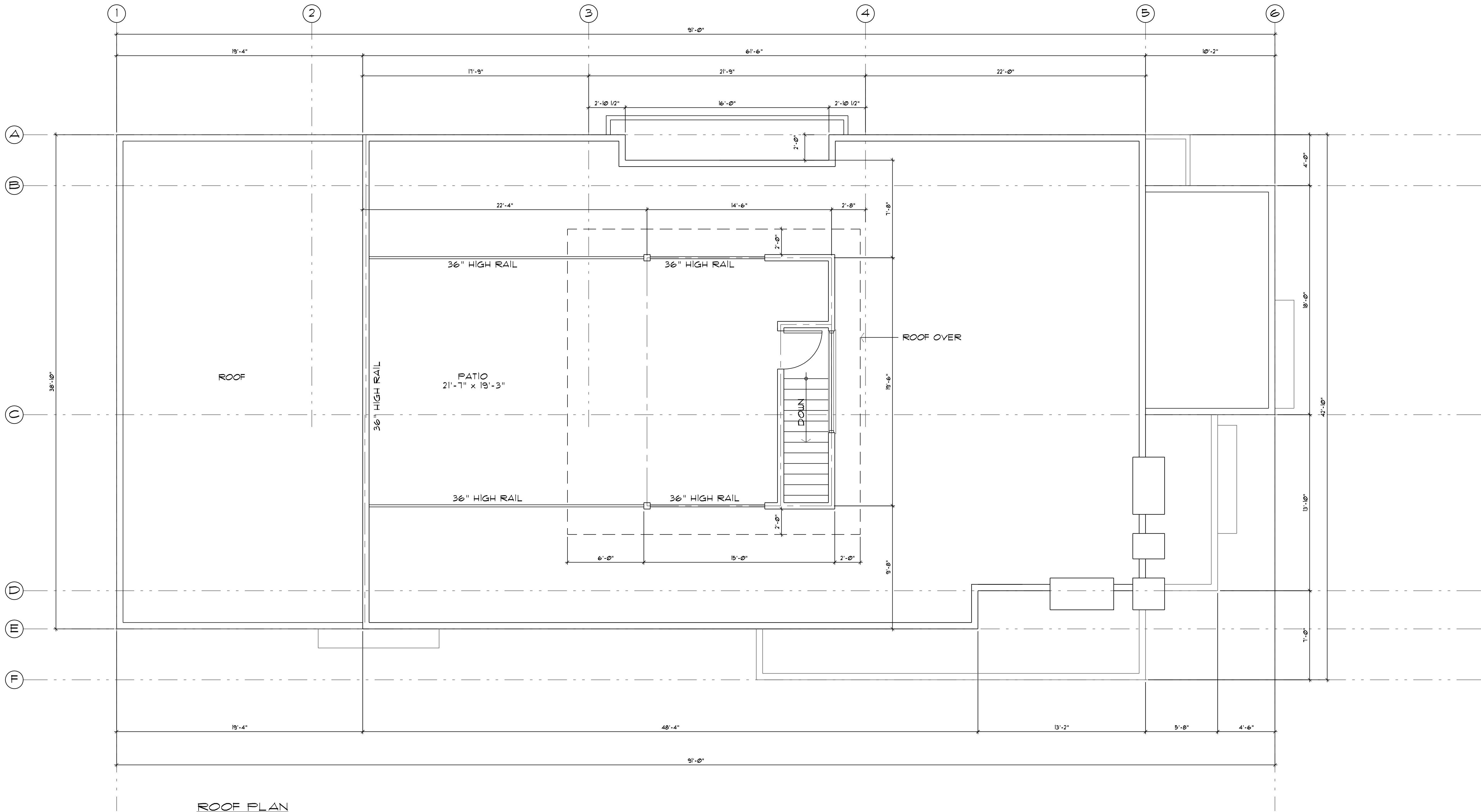
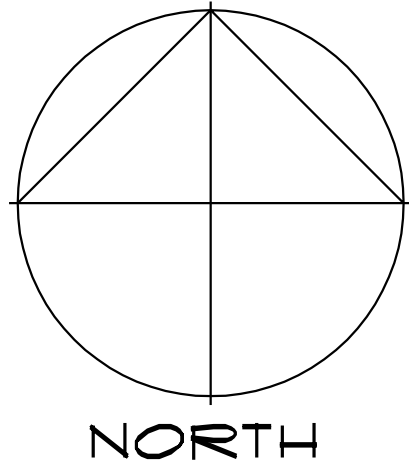


THIRD FLOOR PLAN  
SCALE: 1/4" = 1'-0"

No.		DATE	DESCRIPTION
1		NOV 8-17	ISSUED FOR DP

RESIDENTIAL BUILDING 2630 BATH STREET, KELOWNA		
SCALE: 1/4" = 1'-0"	THIRD FLOOR PLAN	
DATE: OCT, 2017		
		DRAWING No. A3

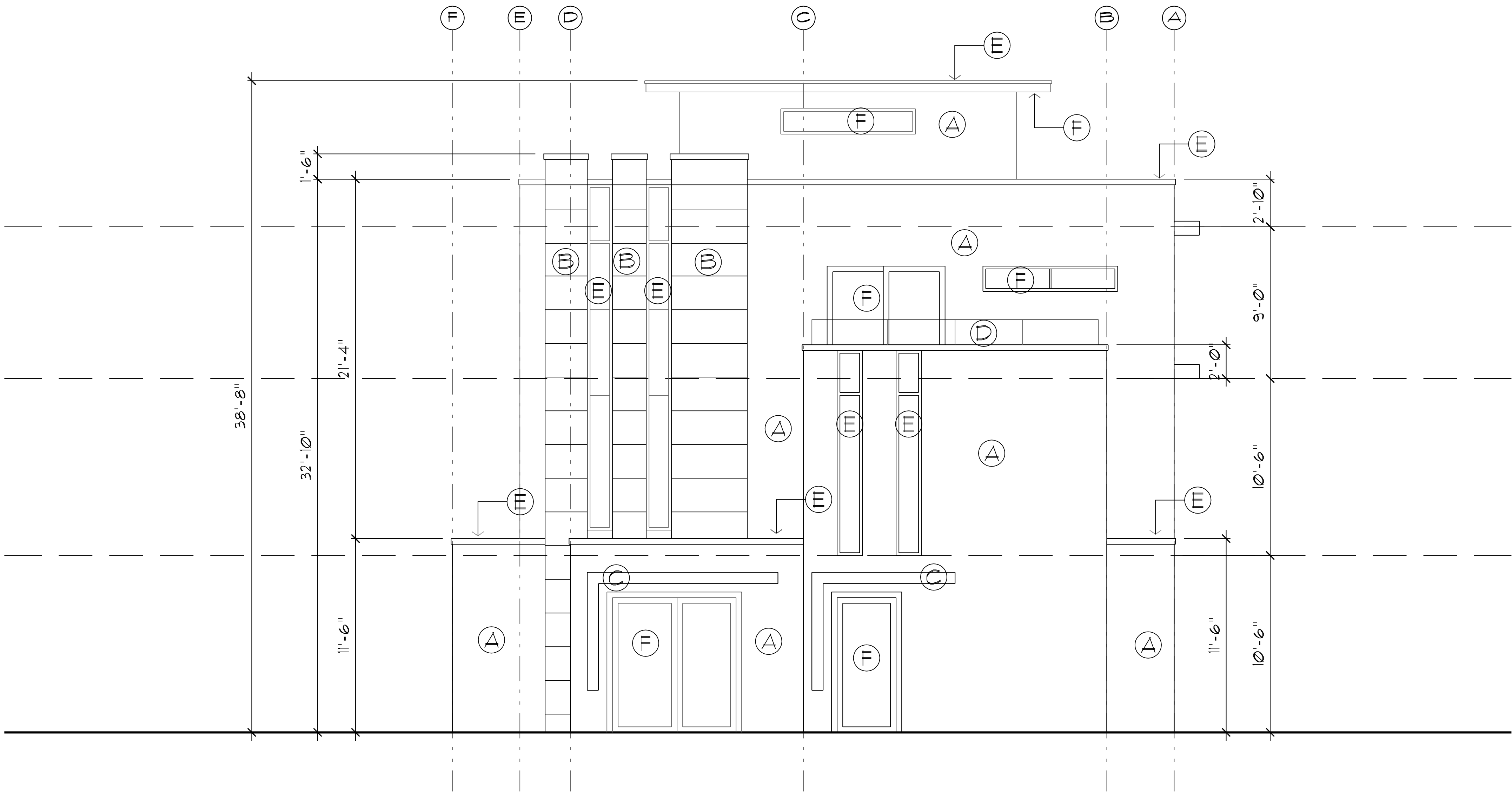




ROOF PLAN  
SCALE: 1/4" = 1'-0"


No.	DATE	DESCRIPTION
1	NOV 8-17	ISSUED FOR DP
2	JAN 12-18	REV'D FOR ROOF PATIO

RESIDENTIAL BUILDING 2630 BATH STREET, KELOWNA		
SCALE: 1/4" = 1'-0"	ROOF PLAN	
DATE: OCT, 2017		
		DRAWING No. A4



BATH STREET (WEST) ELEVATION  
SCALE: 1/4" = 1'-0"

LEGEND:	
A	ACRYLIC STUCCO, WHITE
B	PRECAST CONCRETE PANEL, URBAN CONCRETE COBBLESTONE CLASSIC
C	METAL CANOPIES, STAINLESS
D	TEMPERED GLASS RAIL, CLEAR
E	METAL FLASHING, WHITE
F	STUCCO SOFFIT, WHITE
G	COMMERCIAL ALUMINUM FRAMES, CLEAR GLASS
H	RESIDENTIAL VINYL FRAMES, CLEAR GLASS
I	FIXED METAL PLANTERS
J	4"Ø STEEL POST

No.	DATE	DESCRIPTION	RESIDENTIAL BUILDING		
			2630 BATH STREET, KELOWNA		
1	NOV 8-17	ISSUED FOR DP	SCALE: 1/8" = 1'-0"	ELEVATIONS	
			DATE: OCT, 2017		
					DRAWING No. A5

SCHEDULE B

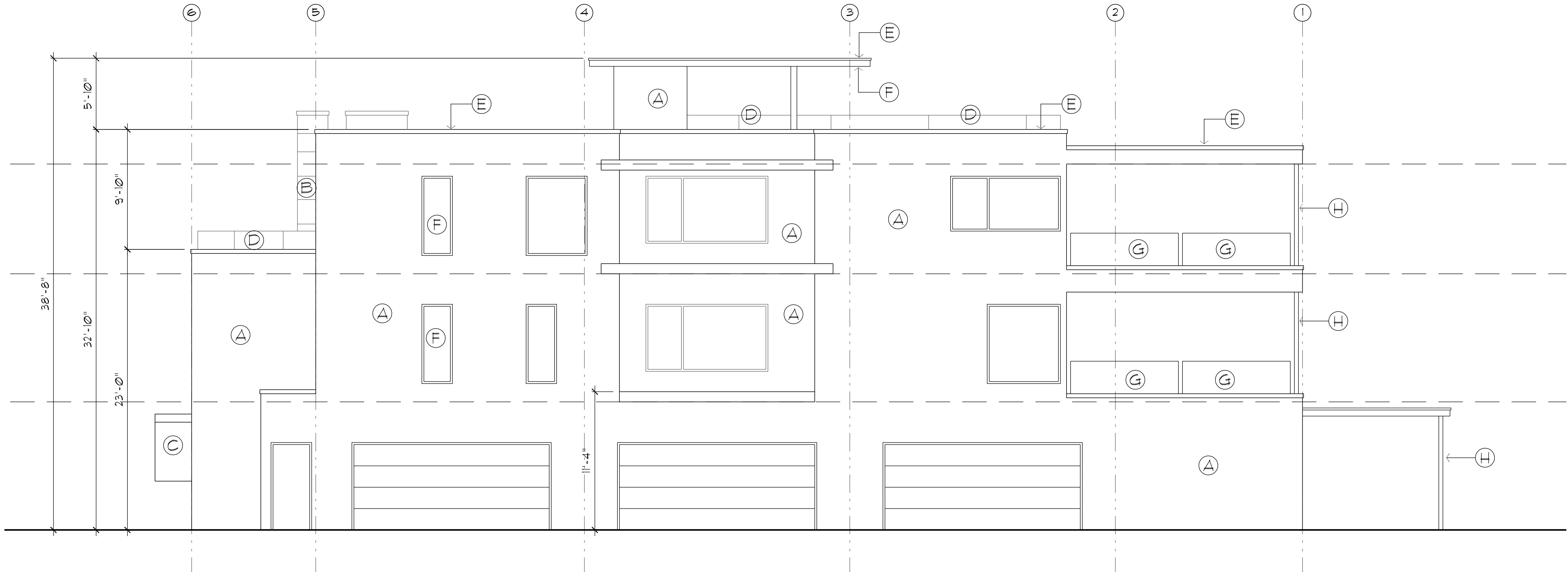
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SOUTH ELEVATION  
SCALE: 1/4" = 1'-0"

LEGEND:

- A ACRYLIC STUCCO, WHITE
- B PRECAST CONCRETE PANEL, URBAN CONCRETE COBBLESTONE CLASSIC
- C METAL CANOPIES, STAINLESS
- D TEMPERED GLASS RAIL, CLEAR
- E METAL FLASHING, WHITE
- F STUCCO SOFFIT, WHITE
- G COMMERCIAL ALUMINUM FRAMES, CLEAR GLASS
- H RESIDENTIAL VINYL FRAMES, CLEAR GLASS
- I FIXED METAL PLANTERS
- J 4"Ø STEEL POST

No.	DATE	DESCRIPTION	RESIDENTIAL BUILDING 2630 BATH STREET, KELOWNA		
1	NOV 8-17	ISSUED FOR DP	SCALE: 1/8" = 1'-0"		
2	JAN 12-18	REV'D FOR ROOF PATIO			
			DATE: OCT, 2017	ELEVATIONS	
					
			DRAWING No. A6		



SCHEDULE

B

This forms part of application

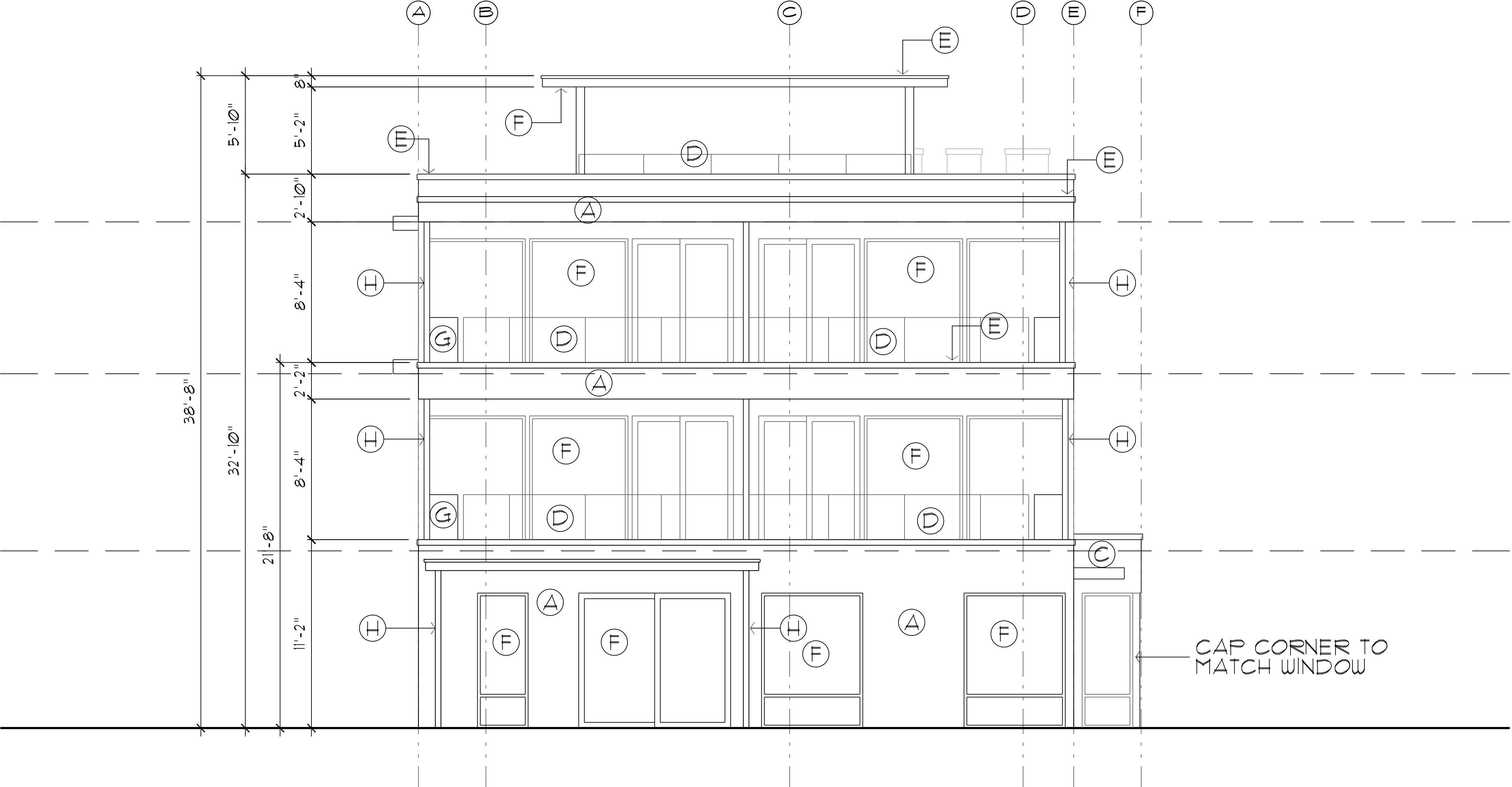
# DP17-0259/DVP17-0260

Planner Initials

KB


City of Kelowna

COMMUNITY PLANNING



LANE (EAST) ELEVATION  
SCALE: 1/4" = 1'-0"

LEGEND:	
Ⓐ	ACRYLIC STUCCO, WHITE
Ⓑ	PRECAST CONCRETE PANEL, URBAN CONCRETE COBBLESTONE CLASSIC
Ⓒ	METAL CANOPIES, STAINLESS
Ⓓ	TEMPERED GLASS RAIL, CLEAR
Ⓔ	METAL FLASHING, WHITE
Ⓕ	STUCCO SOFFIT, WHITE
Ⓖ	COMMERCIAL ALUMINUM FRAMES, CLEAR GLASS
Ⓗ	RESIDENTIAL VINYL FRAMES, CLEAR GLASS
Ⓖ	FIXED METAL PLANTERS
Ⓗ	4"Ø STEEL POST

No.	DATE	DESCRIPTION	RESIDENTIAL BUILDING		
			2630 BATH STREET, KELOWNA		
1	NOV 8-17	ISSUED FOR DP	SCALE: 1/8" = 1'-0"	ELEVATIONS	
2	JAN 12-18	REV'D FOR ROOF PATIO	DATE: OCT, 2017		
					DRAWING No. A1

SCHEDULE B

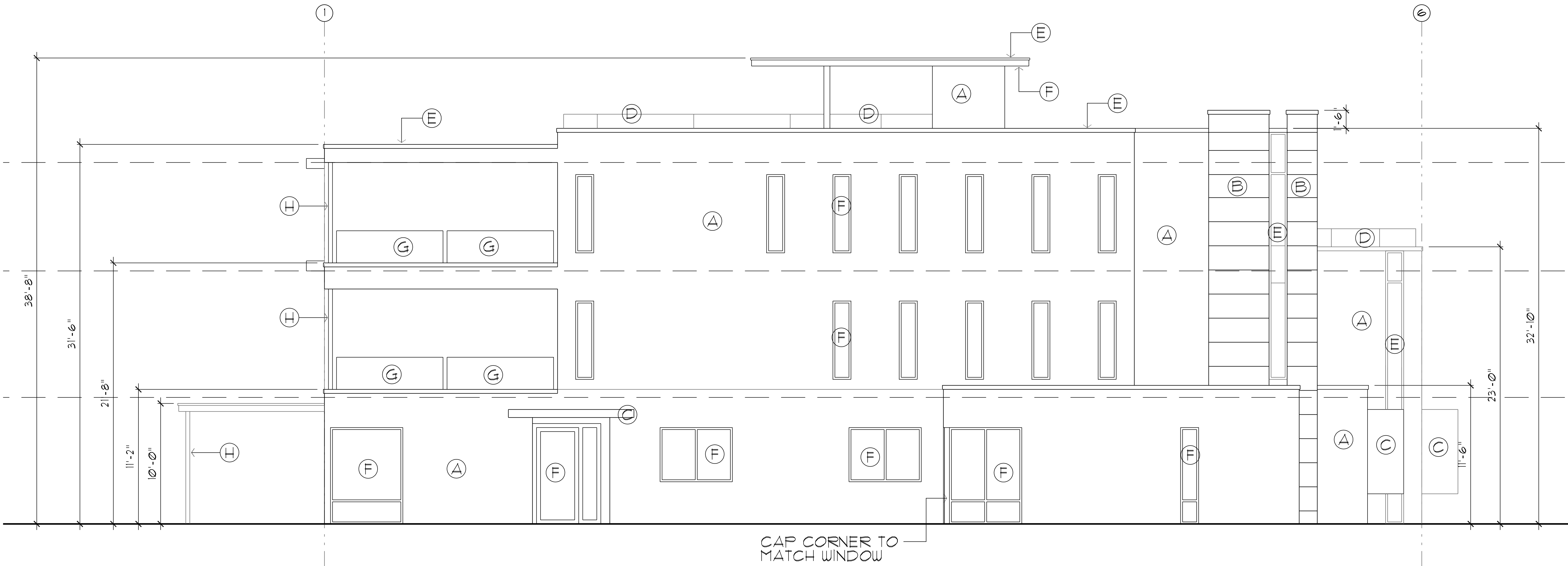
This forms part of application

# DP17-0259/DVP17-0260

Planner  
Initials

KB

City of  
**Kelowna**  
COMMUNITY PLANNING



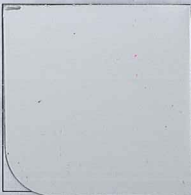
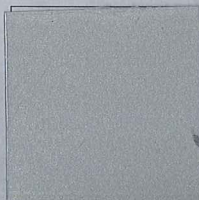
INTERIOR (NORTH) ELEVATION  
SCALE: 1/4" = 1'-0"

LEGEND:

- (A) ACRYLIC STUCCO, WHITE
- (B) PRECAST CONCRETE PANEL, URBAN CONCRETE COBBLESTONE CLASSIC
- (C) METAL CANOPIES, STAINLESS
- (D) TEMPERED GLASS RAIL, CLEAR
- (E) METAL FLASHING, WHITE
- (F) STUCCO SOFFIT, WHITE
- (E) COMMERCIAL ALUMINUM FRAMES, CLEAR GLASS
- (F) RESIDENTIAL VINYL FRAMES, CLEAR GLASS
- (G) FIXED METAL PLANTERS
- (H) 4"Ø STEEL POST

No.	DATE	DESCRIPTION	RESIDENTIAL BUILDING 2630 BATH STREET, KELOWNA		
1	NOV 8-17	ISSUED FOR DP	SCALE: 1/8" = 1'-0"		
2	JAN 12-18	REV'D FOR ROOF PATIO	DATE: OCT, 2017		
			ELEVATIONS		
			WORMAN		
			DRAWING No. A8		



**STUCCO WALLS AND SOFFIT:****"CUSTOM WHITE"****FLASHINGS:****"WHITE"****WINDOWS:****CLEAR ANODIZED ALUMINUM****CONCRETE PANELS:****URBAN CONCRETE "COBBLE STONE"****CUSTOM DETAILS:****"HIGH POLISH STAINLESS STEEL"****WORMAN**  
WORMAN HOMES | WORMAN COMMERCIAL**EXTERIOR FINISHES****2630 BATH STREET, KELOWNA, BC****PROJECT NO: 2630****OCTOBER 2, 2017**





SCHEDULE C

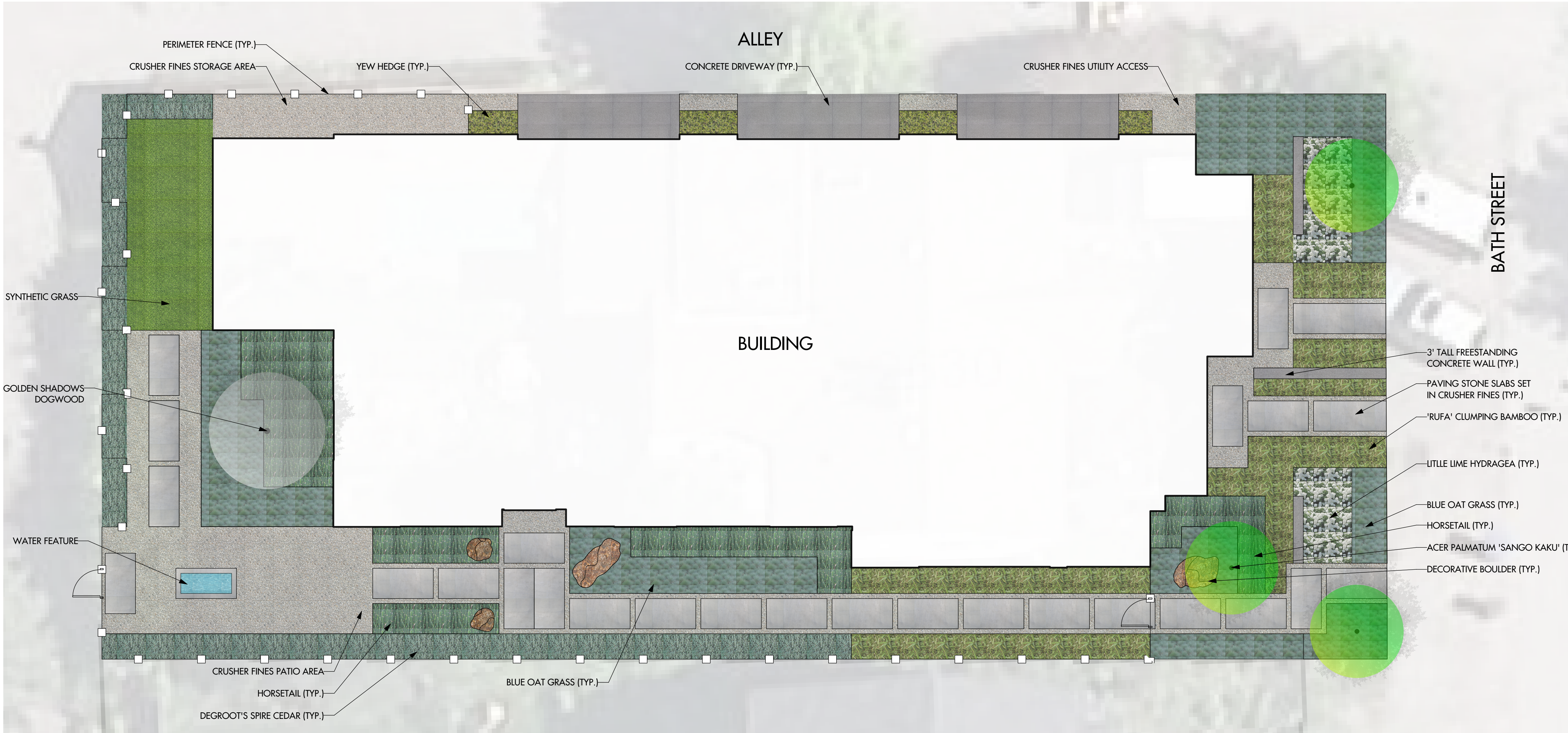
This forms part of application  
# DP17-0259/DVP17-0260

Planner  
Initials KB



OUTLAND DESIGN  
LANDSCAPE ARCHITECTURE

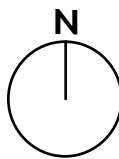
206 - 1889 Spall Road  
Kelowna, BC V1Y 4R2  
T (250) 868-9270  
www.outlanddesign.ca



- NOTES**
1. PLANT MATERIAL AND CONSTRUCTION METHODS SHALL MEET OR EXCEED B.C.L.N.A. STANDARDS.
  2. ALL SOFT LANDSCAPE AREAS SHALL BE WATERED BY A FULLY AUTOMATIC TIMED UNDERGROUND IRRIGATION SYSTEM.
  3. TREE AND SHRUB BEDS TO BE DRESSED IN A MINIMUM 50mm DOUGLAS RED FIR MULCH OR ROCK MULCH, AS SHOWN IN PLANS. DO NOT PLACE WEED MAT UNDERNEATH TREE AND SHRUB BEDS.
  4. TREE AND SHRUB BEDS TO RECEIVE A MINIMUM 300mm DEPTH TOPSOIL PLACEMENT.
  5. TURF AREAS FROM SOD SHALL BE NO. 1 GRADE GROWN FROM CERTIFIED SEED OF IMPROVED CULTIVARS REGISTERED FOR SALE IN B.C. AND SHALL BE TOLERANT OF DROUGHT CONDITIONS. A MINIMUM OF 100mm DEPTH OF GROWING MEDIUM IS REQUIRED BENEATH TURF AREAS. TURF AREAS SHALL MEET EXISTING GRADES AND HARD SURFACES FLUSH.

PLANT LIST

BOTANICAL NAME	COMMON NAME	QTY	SIZE/SPACING & REMARKS
<b>TREES</b>			
ACER PALMATUM 'SANGO KAKU'	SANGO KAKU JAPANESE MAPLE	3	6cm CAL.
CORNUS ALTERNIFOLIA 'WSTACKMAN'	GOLDEN SHADOWS DOGWOOD	1	6cm CAL.
<b>SHRUBS, PERENNIALS, GRASSES &amp; GROUNDCOVERS</b>			
EQUISETUM ARVENSE	HORSETAIL	88	#01 CONT. /0.6M O.C. SPACING
FARGESIA DRACOCEPHELA 'RUFA'	RUFA CLUMPING BAMBOO	34	#02 CONT. /1.0M O.C. SPACING
HELIOTRICHON SEMPERVIRENS	BLUE OAT GRASS	89	#01 CONT. /0.75M O.C. SPACING
HYDRANGEA PANICULATA 'LITTLE LIME'	LITTLE LIME HYDRANGEA	10	#02 CONT. /1.0M O.C. SPACING
TAXUS MEDIA 'HICKSII'	HICK'S YEW	5	#02 CONT. /1.0M O.C. SPACING
THUJA OCCIDENTALIS 'DEGROOT'S SPIRE'	DEGROOT'S SPIRE CEDAR	52	#02 CONT. /0.75M O.C. SPACING



PROJECT TITLE

2630 BATH STREET

Kelowna, BC

DRAWING TITLE

CONCEPTUAL  
LANDSCAPE PLAN

ISSUED FOR / REVISION

1	17.10.23	Review
2		
3		
4		
5		

PROJECT NO. 17-124

DESIGN BY CS

DRAWN BY MC

CHECKED BY FB

DATE OCT. 23, 2017

SCALE 1:75

SEAL



DRAWING NUMBER

L1/2

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SCHEDULE C

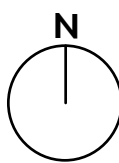
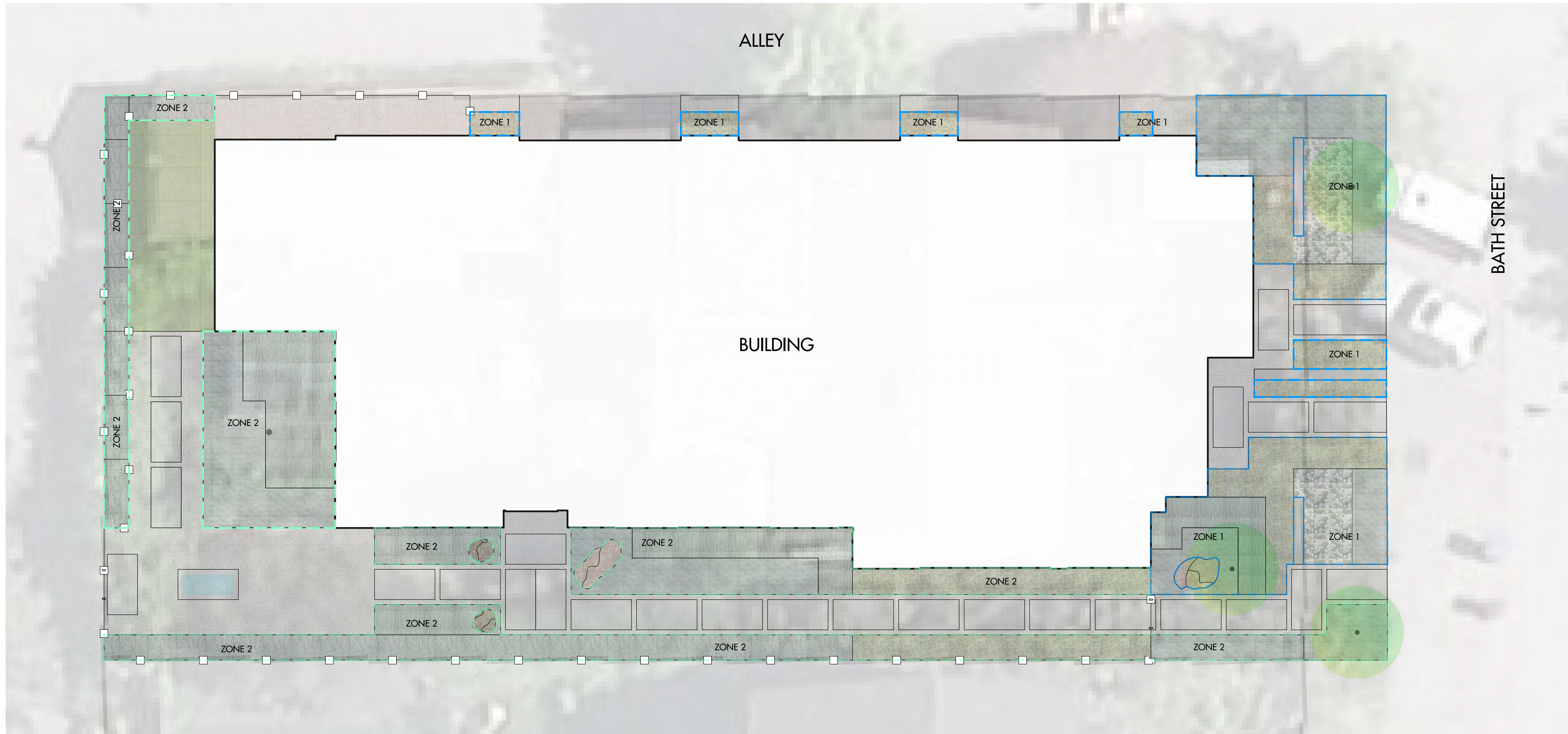
This forms part of application  
# DP17-0259/DVP17-0260

Planner Initials KB



OUTLAND DESIGN  
LANDSCAPE ARCHITECTURE

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Kelowna, BC V1Y 4R2  
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PROJECT TITLE  
**2630 BATH STREET**

Kelowna, BC

DRAWING TITLE  
**WATER CONSERVATION/  
IRRIGATION PLAN**

ISSUED FOR / REVISION		
1	17.10.23	Review
2		
3		
4		
5		

PROJECT NO	17-124
DESIGN BY	CS
DRAWN BY	MC
CHECKED BY	FB
DATE	OCT. 23, 2017
SCALE	1:75

SEAL



DRAWING NUMBER

L2/2

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IRRIGATION NOTES

1. IRRIGATION PRODUCTS AND INSTALLATION METHODS SHALL MEET OR EXCEED THE REQUIREMENTS OF THE WATER USE REGULATION BYLAW NO. 10480 AND THE SUPPLEMENTARY SPECIFICATIONS IN THE CITY OF KELOWNA BYLAW 7900 (PART 6, SCHEDULE 5).
2. THE IRRIGATION SYSTEM SHALL MEET THE REQUIREMENTS, REGULATIONS, AND BYLAWS OF THE WATER PURVEYOR.
3. THE IRRIGATION SYSTEM SHALL BE EQUIPPED WITH AN APPROVED BACKFLOW PREVENTION DEVICE, WATER METER, AND SHUT OFF VALVE LOCATED OUTSIDE THE BUILDING ACCESSIBLE TO THE CITY.
4. AN APPROVED SMART CONTROLLER SHALL BE INSTALLED. THE IRRIGATION SCHEDULING TIMES SHALL UTILIZE A MAXIMUM ET VALUE OF 7" / MONTH (KELOWNA JULY ET), TAKING INTO CONSIDERATION SOIL TYPE, SLOPE, AND MICROCLIMATE.
5. DRIP LINE AND EMITTERS SHALL INCORPORATE TECHNOLOGY TO LIMIT ROOT INTRUSION.
6. IRRIGATION SLEEVES SHALL BE INSTALLED TO ROUTE IRRIGATION LINES UNDER HARD SURFACES AND FEATURES.
7. IRRIGATION PIPE SHALL BE SIZED TO ALLOW FOR A MAXIMUM FLOW OF 1.5m /SEC.
8. A FLOW SENSOR AND MASTER VALVE SHALL BE CONNECTED TO THE CONTROLLER AND PROGRAMMED TO STOP FLOW TO THE SYSTEM IN CASE OF AN IRRIGATION WATER LEAK.

IRRIGATION LEGEND

- ZONE #1: HIGH EFFICIENCY SUBSURFACE DRIP IRRIGATION FOR MODERATE WATER USE PLANTING AREAS  
TOTAL AREA: 60 sq.m.  
MICROCLIMATE: NORTH EAST EXPOSURE, PARTIALLY SHADED BY BUILDING  
ESTIMATED ANNUAL WATER USE: 33 cu.m.
- ZONE #2: HIGH EFFICIENCY SUBSURFACE DRIP IRRIGATION FOR MODERATE WATER USE PLANTING AREAS  
TOTAL AREA: 97 sq.m.  
MICROCLIMATE: NORTH EXPOSURE, PARTIALLY SHADED BY BUILDING  
ESTIMATED ANNUAL WATER USE: 54 cu.m.

WATER CONSERVATION CALCULATIONS

LANDSCAPE MAXIMUM WATER BUDGET (WB) = 230 cu.m. / year  
ESTIMATED LANDSCAPE WATER USE (WU) = 88 cu.m. / year  
WATER BALANCE = 142 cu.m. / year  
\*REFER ATTACHED IRRIGATION APPLICATION FOR DETAILED CALCULATIONS