

September 27, 2017

**Project Address:** 809 Bernard Avenue, Kelowna, BC, V1Y 6P6  
**Project Type:** Carriage House in Existing Accessory Building

## PROJECT DESCRIPTION

The proposed project is a renovation to an existing accessory building to turn it into a carriage house. Currently the accessory building is partially finished and being used as storage. The exterior cladding, where it even exists, needs repair, however, the framing and slab are in good condition. It's on the basis that the structure is in serviceable condition that the decision to proceed with a carriage house was made, as a complete teardown and rebuild is not feasible within the proposed budget for this project.

## DESIGN RATIONALE

The addition of a carriage house to the property will help provide much needed rental capacity near the downtown core, while generating additional income for the owner.

The proposed renovation of the carriage house utilizes stucco and cement fibre shake cladding and trim boards to create a more traditional exterior aesthetic that is in tune with the historical context of the neighbourhood. These finishes also match those selected for a renovation to the existing primary residence to create a cohesive look throughout the property.

We're seeking two variances in the required setbacks as the existing footprint of the building occurs within the minimum required side and rear setbacks. The setback requirement and existing provided setbacks are:

- East side yard setback, **2.0m** required, **0.5m** existing provided
- Rear yard setback off a lane, **0.9m** required, **0.3m** existing provided

All existing unprotected openings have been removed from the east side elevation, and the east side will be sheathed with 5/8" Type X exterior grade gypsum. The roof is to be insulated with spray foam insulation, which eliminates the requirement for venting and allows for solid metal soffits. These proposed improvements, combined with the stucco and cement fibre cladding, allow for a completely non-combustible east building face.

There is one proposed unprotected opening on the south building face towards the rear lane to provide egress for the bedroom. While the current location of the building does not conform to the required setback, it does satisfy the code requirements for sufficient limiting distance to the centreline of the laneway to allow for the window.

It's the owner's intent to create a more desirable property both for the aesthetic improvement to existing neighbours and to attract a higher standard of tenant that would appreciate and respect the newly improved space.

Please contact us if you have any questions regarding the project or require any additional information.

Regards,

Chris Skomorowski  
Senior Designer

# Development Variance Permit

## DVP17-0298



This permit relates to land in the City of Kelowna municipally known as

809 Bernard Avenue

and legally known as

Lot 21 Block 15 District Lot 138 ODYD Plan 262

The development has been approved subject to any attached terms and conditions, and to full compliance with the approved plans bearing the stamp of approval and the above described Development Variance Permit number.

The present owner and any subsequent owner of the above described land must comply with any attached terms and conditions.

Date of Decision: April 17<sup>th</sup>, 2018

Decision By: CITY COUNCIL

Issued Date: Tbd

File Manager: Alec Warrender

**This permit will not be valid if development has not commenced by April 10, 2020.**

Existing Zone: RU6 – Two Dwelling Housing

Future Land Use Designation: S2RES – Single/Two Unit Residential

### **This is NOT a Building Permit.**

In addition to your Development Variance Permit, a Building Permit may be required prior to any work commencing. For further information, contact the City of Kelowna, Development Services Branch.

### **NOTICE**

This permit does not relieve the owner or the owner's authorized agent from full compliance with the requirements of any federal, provincial or other municipal legislation, or the terms and conditions of any easement, covenant, building scheme or agreement affecting the building or land.

Owner: Scott Renou - Sandy Point Development Corp.

Address: 2900 – 595 Burrard Street

City: Vancouver, BC

Email: [scott@SandyPointCorp.com](mailto:scott@SandyPointCorp.com)

\_\_\_\_\_  
Ryan Smith, Community Planning Department Manager  
Community Planning & Strategic Investments

\_\_\_\_\_  
Date

#### **1. SCOPE OF APPROVAL**

This Development Variance Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.

This Development Variance Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this permit, noted in the Terms and Conditions below.

The issuance of a permit limits the permit holder to be in strict compliance with regulations of the Zoning Bylaw and all other Bylaws unless specific variances have been authorized by the Development Variance Permit. No implied variances from bylaw provisions shall be granted by virtue of drawing notations that are inconsistent with bylaw provisions and that may not have been identified as required Variances by the applicant or Municipal staff.

## **2. CONDITIONS OF APPROVAL**

THAT Council authorizes the issuance of Development Variance Permit No. DVP17-0298 for Lot 21 Block 15 District Lot 138 ODYD Plan 262 located at 809 Bernard Avenue, Kelowna, BC, to allow the construction of a carriage house subject to the following:

1. The dimensions and siting of the buildings to be constructed on the land be in accordance with Schedule "A,";
2. The elevations of the single family dwelling to be constructed on the land be in accordance with Schedule "B".

AND THAT variances to the following sections of Zoning Bylaw No. 8000 be granted:

### **Section 9.5b.1 (i): Carriage House Regulations**

To vary the side yard setback from 1.5m required to 0.5m proposed.

### **Section 9.5b.1 (j): Carriage House Regulations**

To vary the rear yard setback from 0.9m required to 0.3m proposed.

This Development Variance Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

## **3. PERFORMANCE SECURITY**

None required.

## **4. DEVELOPMENT**

The land described herein shall be developed strictly in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit that shall form a part hereof.

If the Permit Holder does not commence the development permitted by this Permit within two years of the date of this Permit, this Permit shall lapse.

**This Permit IS NOT a Building Permit.**

## **5. Indemnification**

Upon commencement of the works authorized by this Permit the Developer covenants and agrees to save harmless and effectually indemnify the Municipality against:

- a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality said Permit.

All costs, expenses, claims that may be incurred by the Municipality where the construction, engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

**The PERMIT HOLDER is the CURRENT LAND OWNER.  
Security shall ONLY be returned to the signatory of the  
Landscape Agreement or their designates.**





This forms part of application  
# **DVP17-0298**



AW

## GENERAL CONDITIONS

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PROJECT TITLE #1707

Bernard Carriage  
House

809 Bernard Avenue  
Kelowna, BC

---

SHEET TITLE

SCALE

A0.0

ALL EQUIPMENT AND APPLIANCES TO BE INSTALLED AND TESTED AS PER TRADE STANDARDS.

R-ROOF		R-ROOF	
MATERIAL	O.C.	EFFECTIVE RSI	R-VALUE
• EXT AIR FILM		0.3	0.17
• ASPHALT SHINGLES		0.8	0.45
• ROOF UNDERLAYMENT		0.1	0.6
• 6'-0" ICE AND WATER SHEILD AT EAVES AND VALLEYS		0.00	0.00
• 5/8" PLYWOOD DECKING*		0.10	0.55
• 2X6 RAFTER EXISTING*	24	1.19	6.76
• 2X2 NEW STRAPPING TO U/S OF RAFTER	24	0.32	1.84
• R30 2LB POLYURETHANE SPRAY FOAM		5.28	30.00
• 1/2" GWB		0.8	0.45
• INTERIOR AIR FILM		0.11	0.62
* USE EXISTING IF PRESENT			-
EFFECTIVE RSI/R-VALUE OF ENTIRE ASSEMBLY		4.10	28.37
MINIMUM RSI VALU IF WITH NO HRV INSTALL FD		4.67	76.52

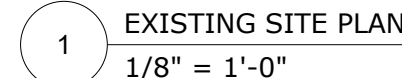


## A



City of Kelowna  
COMMUNITY PLANNING

2 ZONING INFORMATION  
N.T.S.



LANE

BASED ON SKETCH PLAN SHOWING SITE  
INFORMATION ON AND ADJACENT TO LOT  
21, BLOCK 15, PL 138, ODYD, PLAN 263

[illegible]

## DRAWING NUMBER

# A1.0





A0.0	INFORMATION SHEET
A1.0	SITE PLAN
A2.0	DEMOLITION & PROPOSED PLAN
A3.0	PROPOSED PERSPECTIVE ELEVATION
A3.1	PROPOSED ELEVATIONS
A3.2	EXISTING ELEVATIONS
A3.3	EXISTING PHOTOS
A4.0	SECTIONS
A5.0	DETAILS

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SITE NORTH	PROJECT NORTH
	
DATE	ISSUED FOR
2017-09-26	CONSTRUCTION DOCUMENTATION
2017-09-27	DEVELOPMENT PERMIT

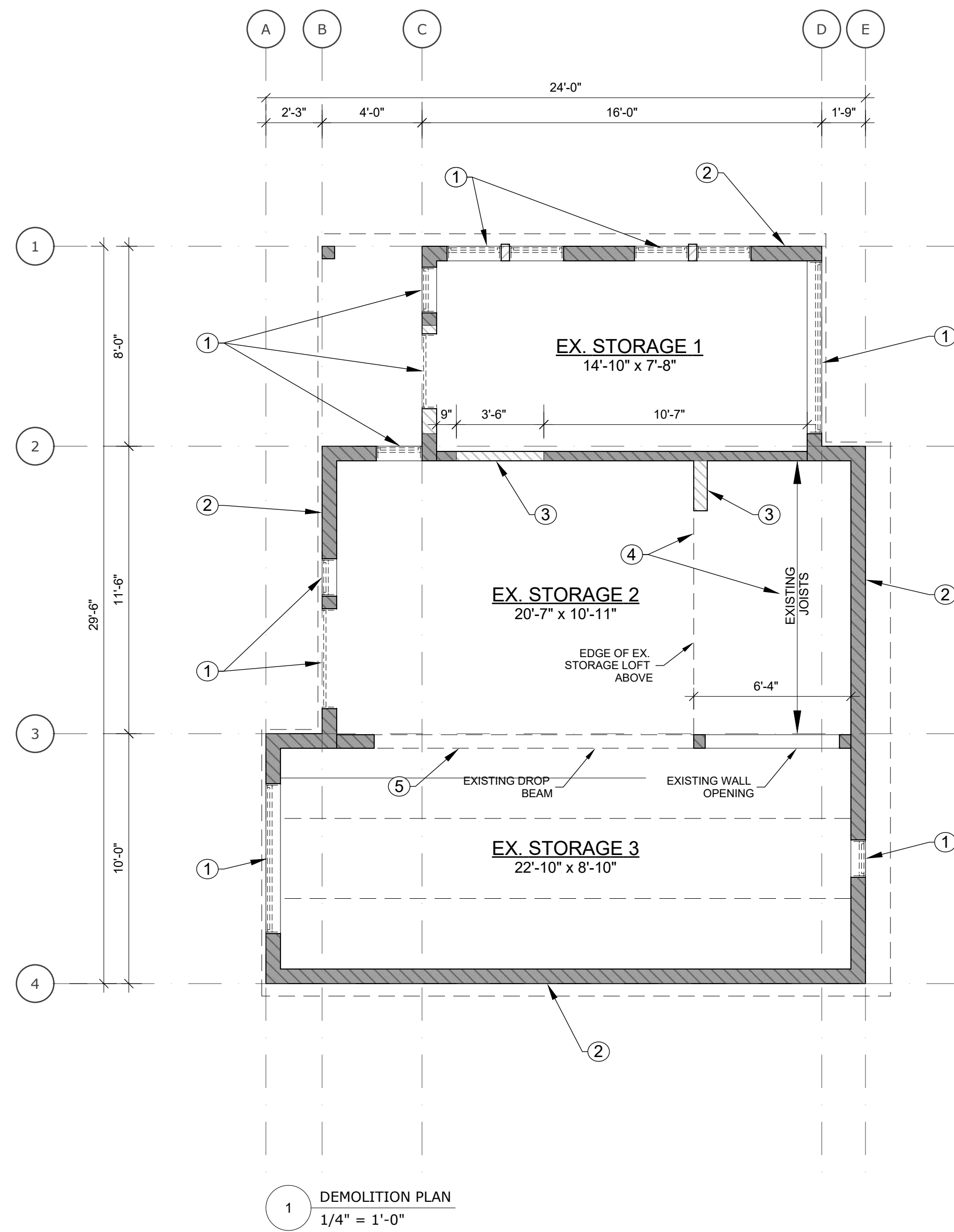
PROJECT TITLE **#1707**  
**Bernard Carriage House**  
809 Bernard Avenue  
Kelowna, BC  
SHEET TITLE

Demolition & Proposed Plan

SCALE 1/4" = 1'-0"

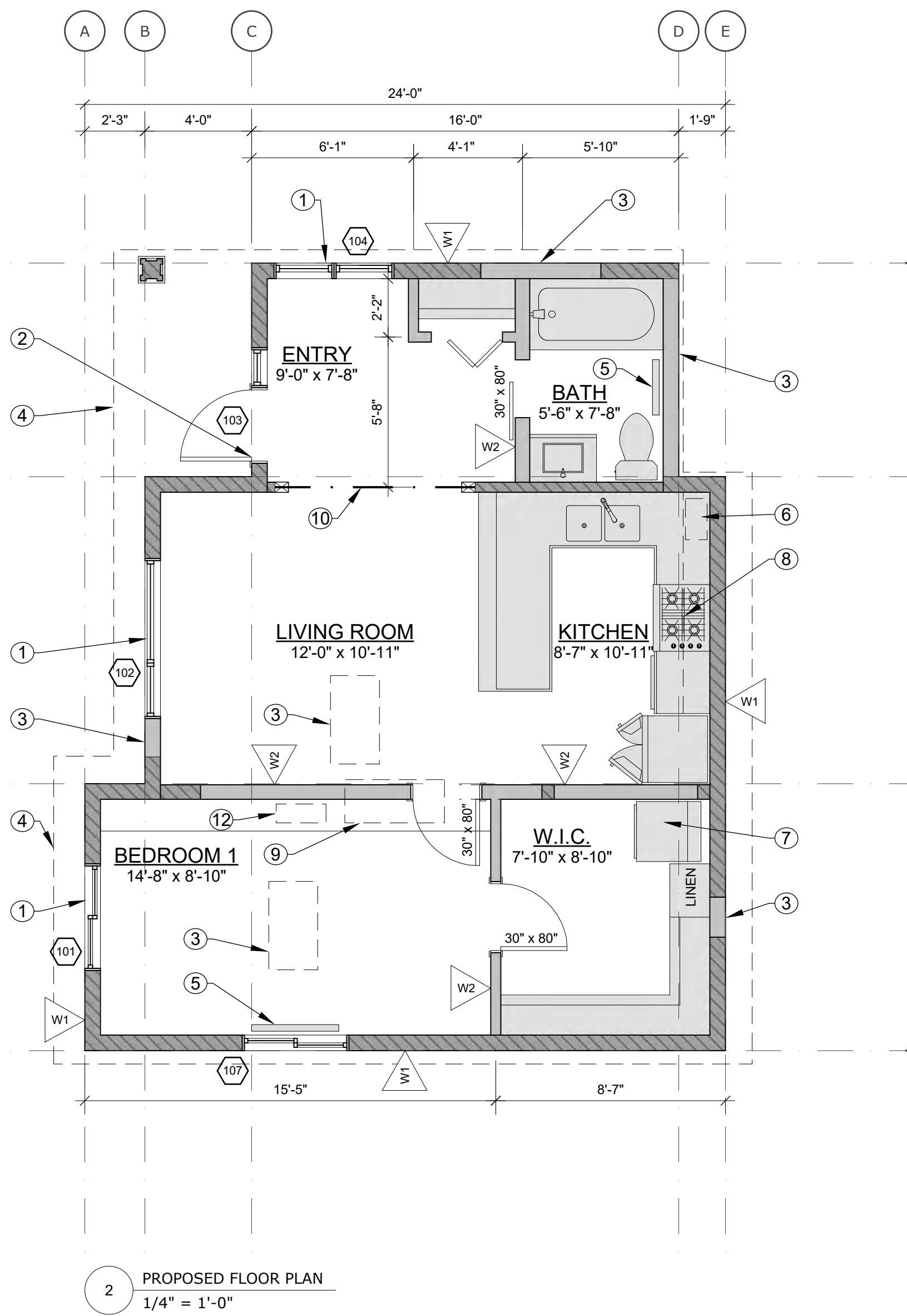
DRAWING NUMBER

A2.0



1 DEMOLITION PLAN  
1/4" = 1'-0"

DEMOLITION NOTES	
1	REMOVE EXISTING WINDOW OR DOOR
2	REMOVE EXISTING SIDING & BUILDING PAPER, PATCH AND REPAIR SHEATHING AS REQUIRED
3	REMOVE EXISTING WALL FRAMING, PATCH AND REPAIR SHEATHING/GYPSUM BOARD AS REQUIRED, VERIFY NON-LOAD BEARING CONDITION PRIOR TO REMOVAL
4	REMOVE EXISTING UPPER STORAGE LOFT
5	REMOVE EXISTING DROP BEAM OVER OPENING AND REMOVE SUPPORTED CEILING JOISTS, REPLACE WITH BEARING WALL TO INCREASE HEADROOM CLEARANCE AT OPENING



2 PROPOSED FLOOR PLAN  
1/4" = 1'-0"

PROPOSED NOTES	
1	NEW WINDOW SIZE AND AS NOTED W/NEW 2-2x6 LINTEL U.N.O.
2	NEW EXTERIOR DOOR SIZE AS NOTED W/NEW 2-2x6 LINTEL U.N.O.
3	NEW EXTERIOR WALL OPENING INFILL, STUD DEPTH, BATT INSULATION, A/V BARRIER, AND SHEATHING ALL TO MATCH EXISTING, SEE PROPOSED ELEVATIONS FOR FINISH
4	HATCH REPRESENTS EXTENT OF NEW EAVE EXTENSION, SEE STRUCTURAL ENGINEER DETAIL
5	NEW BASEBOARD HEATER
6	NEW ELECTRIC ON DEMAND WATER HEATER LOCATED IN BASE CORNER CABINET
7	NEW STACK WASHER AND DRYER, VENT TO EXTERIOR
8	NEW RANGE W/HOOD VENTED TO EXTERIOR OR RECIRCULATED THROUGH CHARCOAL FILTER
9	NEW MINI SPLIT LOCATED IN CEILING ABOVE BEDROOM
10	NEW 2-2x8 LINTEL OVER OPENING
11	NEW 2x4 CEILING JOISTS @ 16" O.C. MATCH EXISTING FLAT CEILING HEIGHT
12	NEW HRV LOCATED IN CEILING ABOVE BEDROOM
13	NEW UNVENTED ALUMINUM SOFFIT

A. Main Floor Living	618 SF
B. Lower Floor Living	0 SF
Total Living (A+B)	618 SF

LEGEND

- EXISTING CONSTRUCTION
- PROPOSED CONSTRUCTION
- PROPOSED DEMOLITION
- ROOF OVERHANG EXTENSION (SEE STRUCTURAL ENGINEER DETAIL)

WINDOW/ EXTERIOR DOOR SCHEDULE						
Description	Orientation	RO Width M	RO Height M	RO Width Inches	RO Height Inches	Notes
101	WEST	1.22	0.91	48"	36"	HORIZONTAL SLIDER, MUST MEET EGRESS REQUIREMENT(MIN. 0.35 m2, MIN 380mm)
102	WEST	1.83	0.91	72"	36"	PICTURE & 24" x 36" OPERABLE CASEMENT
103	WEST	1.37	2.3.	54"	80"	36" EXTERIOR SWING DOOR, LOCKING HARDWARE & DEADBOLT, 18" SIDELITE
104	NORTH	1.37	0.91	54"	36"	CASEMENT, ADJUST SIZE TO FIT EXISTING OPENING
105	ROOF	0.56	1.22	22"	48"	SKYLIGHT, INOPERABLE, ADJUST SIZE AND LOCATION TO FIT EXISTING RAFTER SPACING
106	ROOF	0.56	1.22	22"	48"	SKYLIGHT, INOPERABLE, ADJUST SIZE AND LOCATION TO FIT EXISTING RAFTER SPACING
107	SOUTH	1.22	0.91	48"	36"	HORIZONTAL SLIDER, MUST MEET EGRESS REQUIREMENT(MIN. 0.35 m2, MIN 380mm)

SCHEDULE

A

This forms part of application

# DVP17-0298

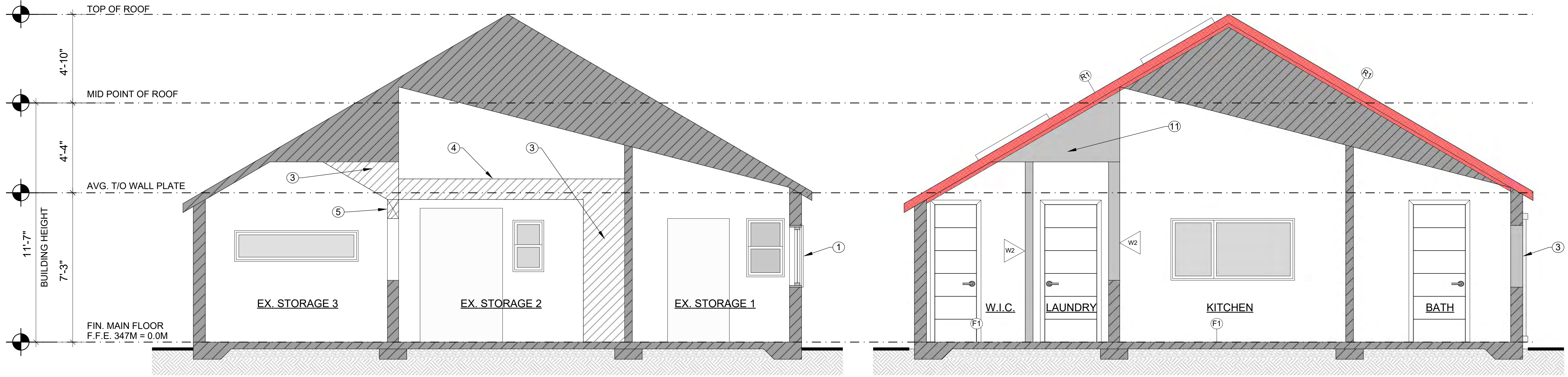
Planner Initials

AW

City of  
**Kelowna**  
COMMUNITY PLANNING







1 SECTION 1 - EXISTING  
3/8" = 1'-0"

2 SECTION 1 - PROPOSED  
3/8" = 1'-0"

## SCHEDULE

A

This forms part of application  
# DVP17-0298

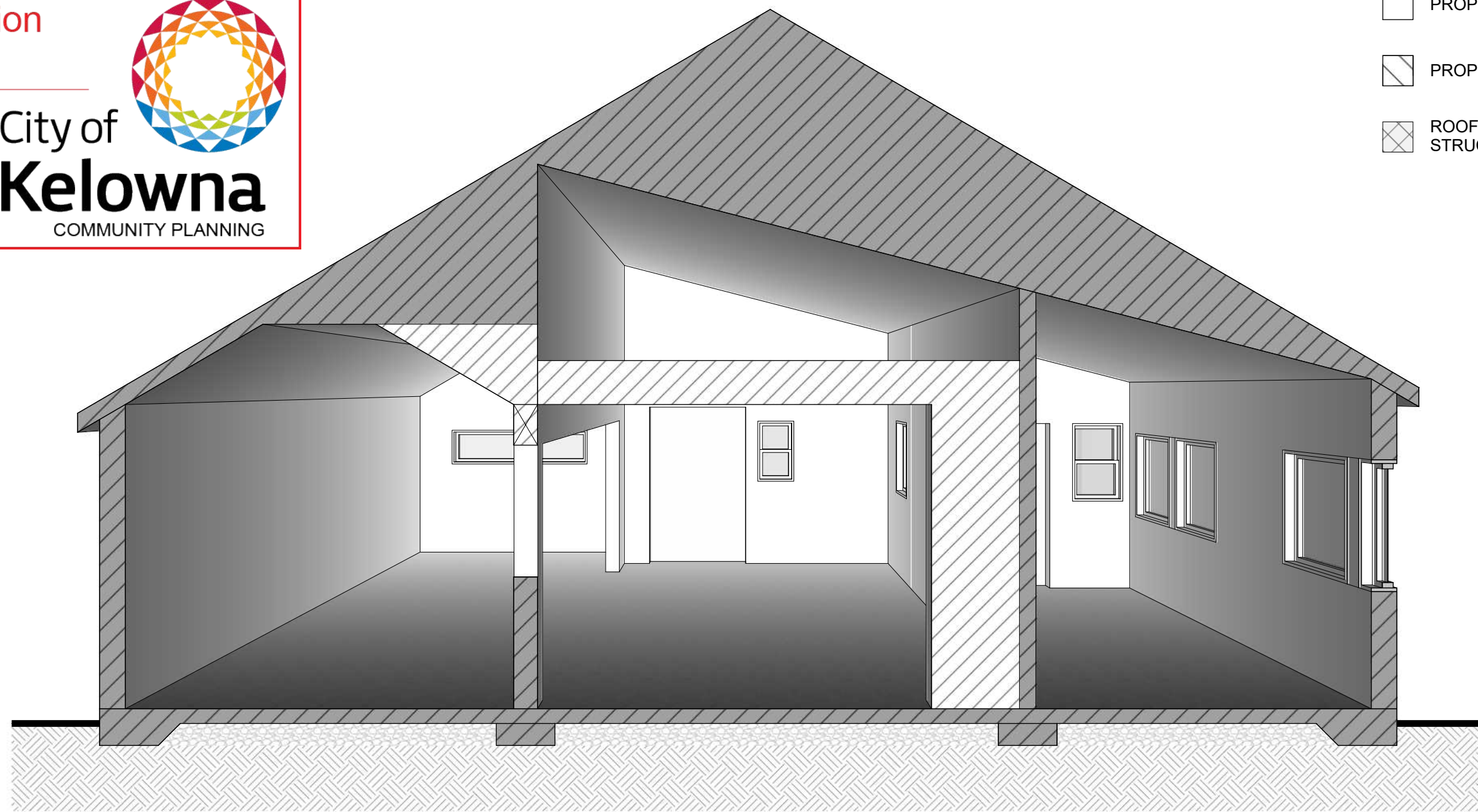
Planner  
Initials

AW

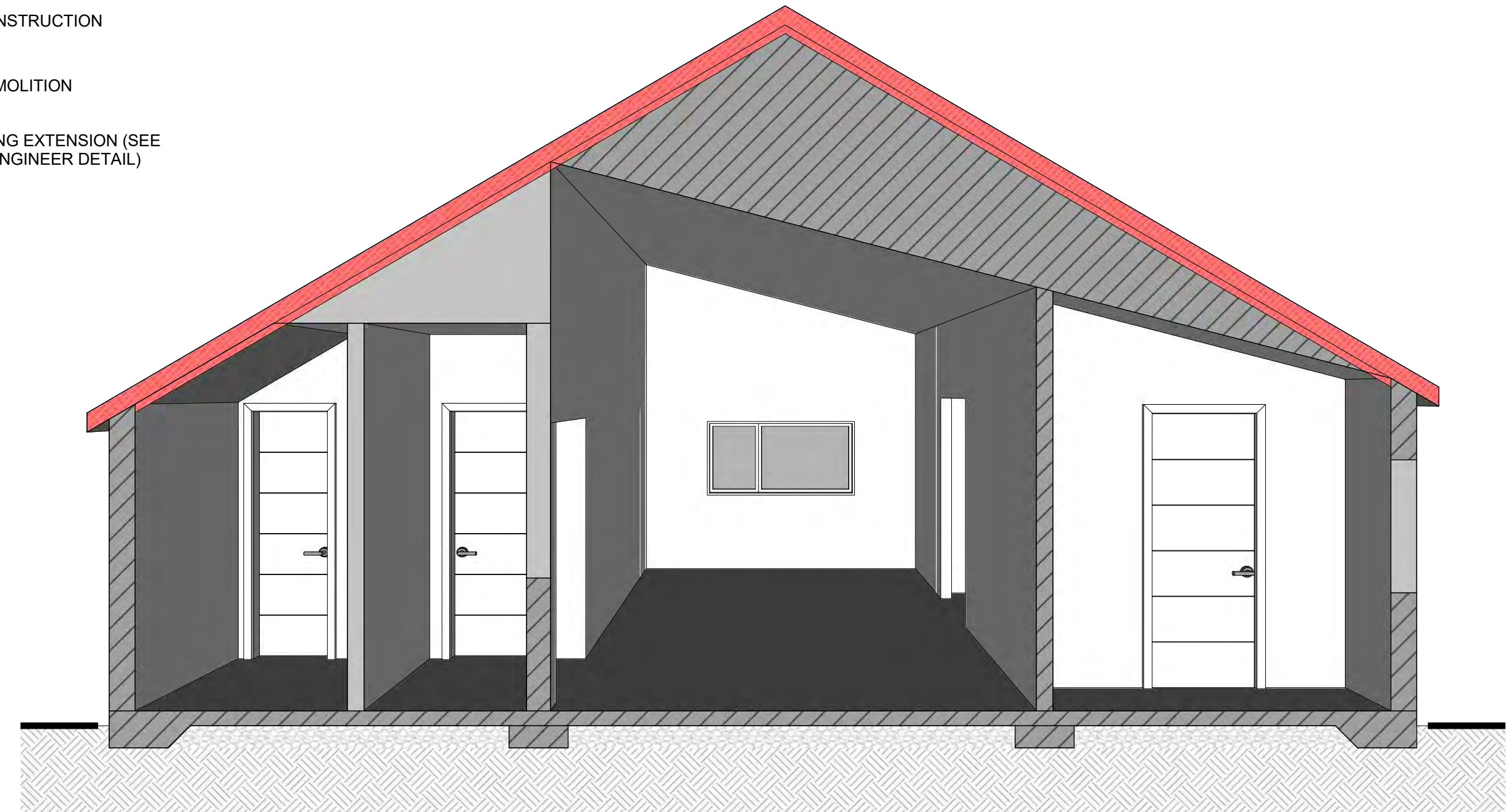


### LEGEND

- EXISTING CONSTRUCTION
- PROPOSED CONSTRUCTION
- PROPOSED DEMOLITION
- ROOF OVERHANG EXTENSION (SEE STRUCTURAL ENGINEER DETAIL)



3 SECTION 1 - EXISTING PERSPECTIVE  
N.T.S.



4 SECTION 2 - PROPOSED PERSPECTIVE  
N.T.S.

DEMOLITION NOTES	
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A0.0	INFORMATION SHEET
A1.0	SITE PLAN
A2.0	DEMOLITION & PROPOSED PLAN
A3.0	PROPOSED PERSPECTIVE ELEVATION
A3.1	PROPOSED ELEVATIONS
A3.2	EXISTING ELEVATIONS
A3.3	EXISTING PHOTOS
A4.0	SECTIONS
A5.0	DETAILS

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SITE NORTH PROJECT NORTH

DATE	ISSUED FOR
2017-09-26	CONSTRUCTION DOCUMENTATION
2017-09-27	DEVELOPMENT PERMIT

PROJECT TITLE #1707  
Bernard Carriage House  
809 Bernard Avenue  
Kelowna, BC  
SHEET TITLE

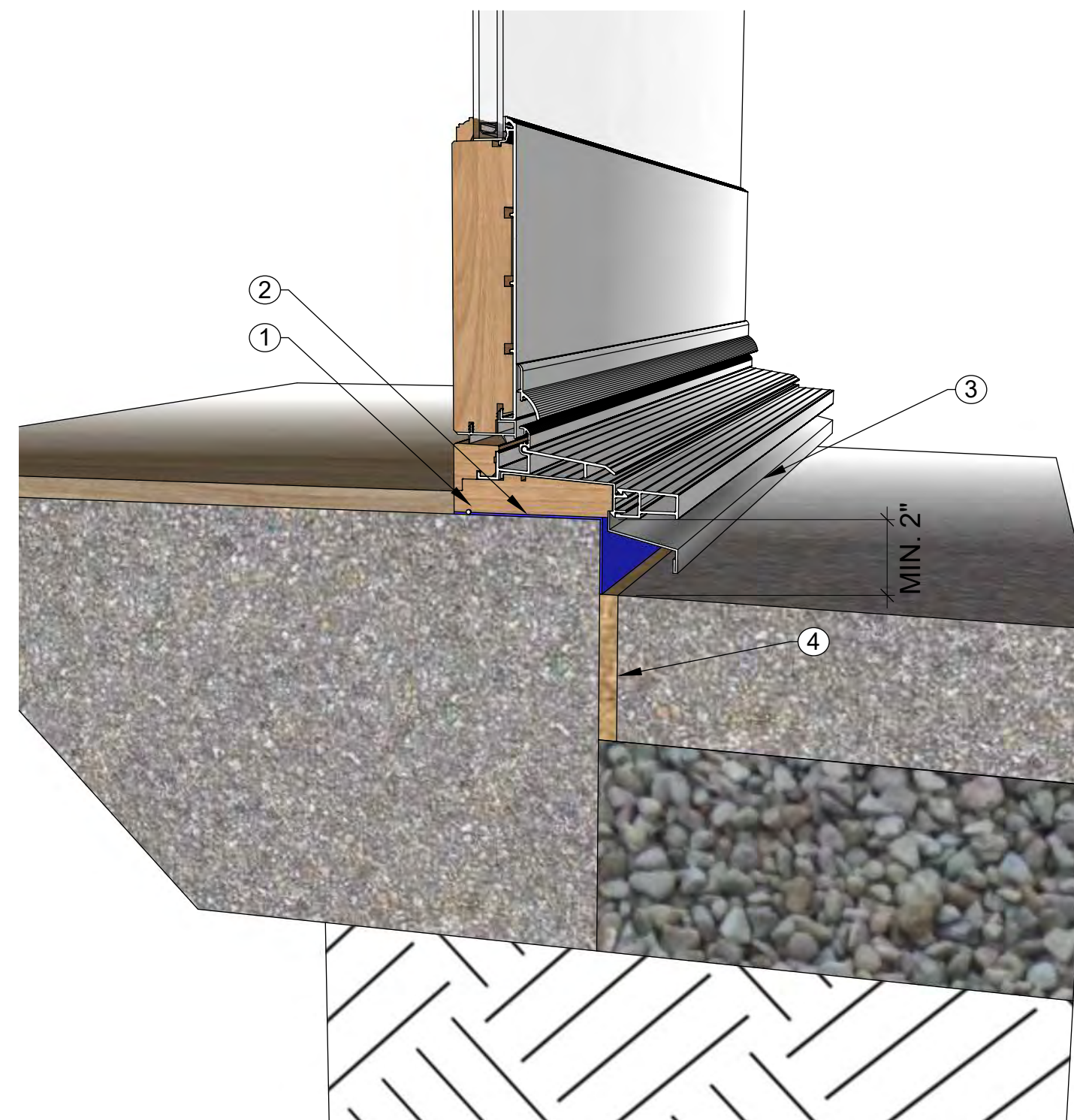
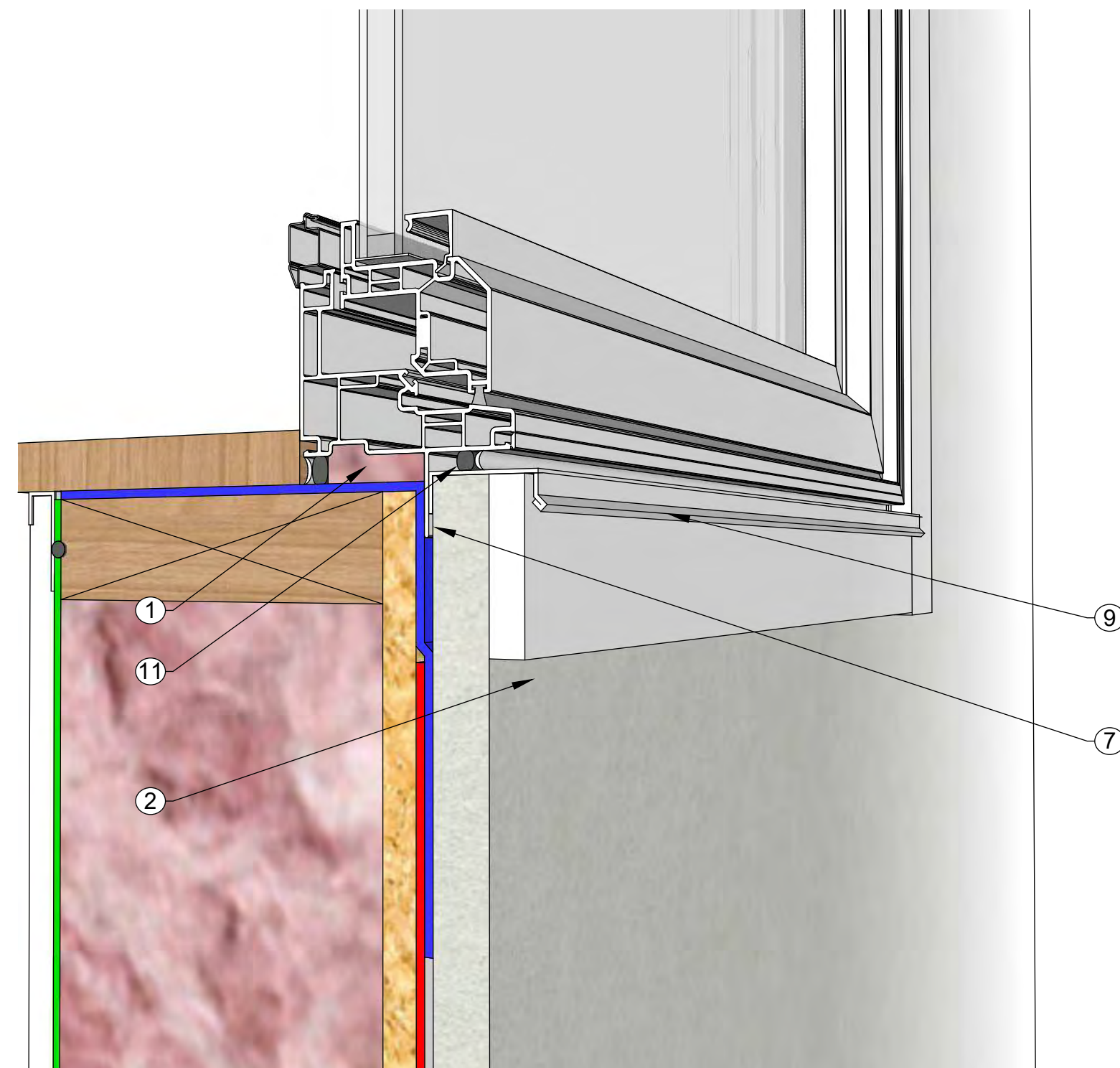
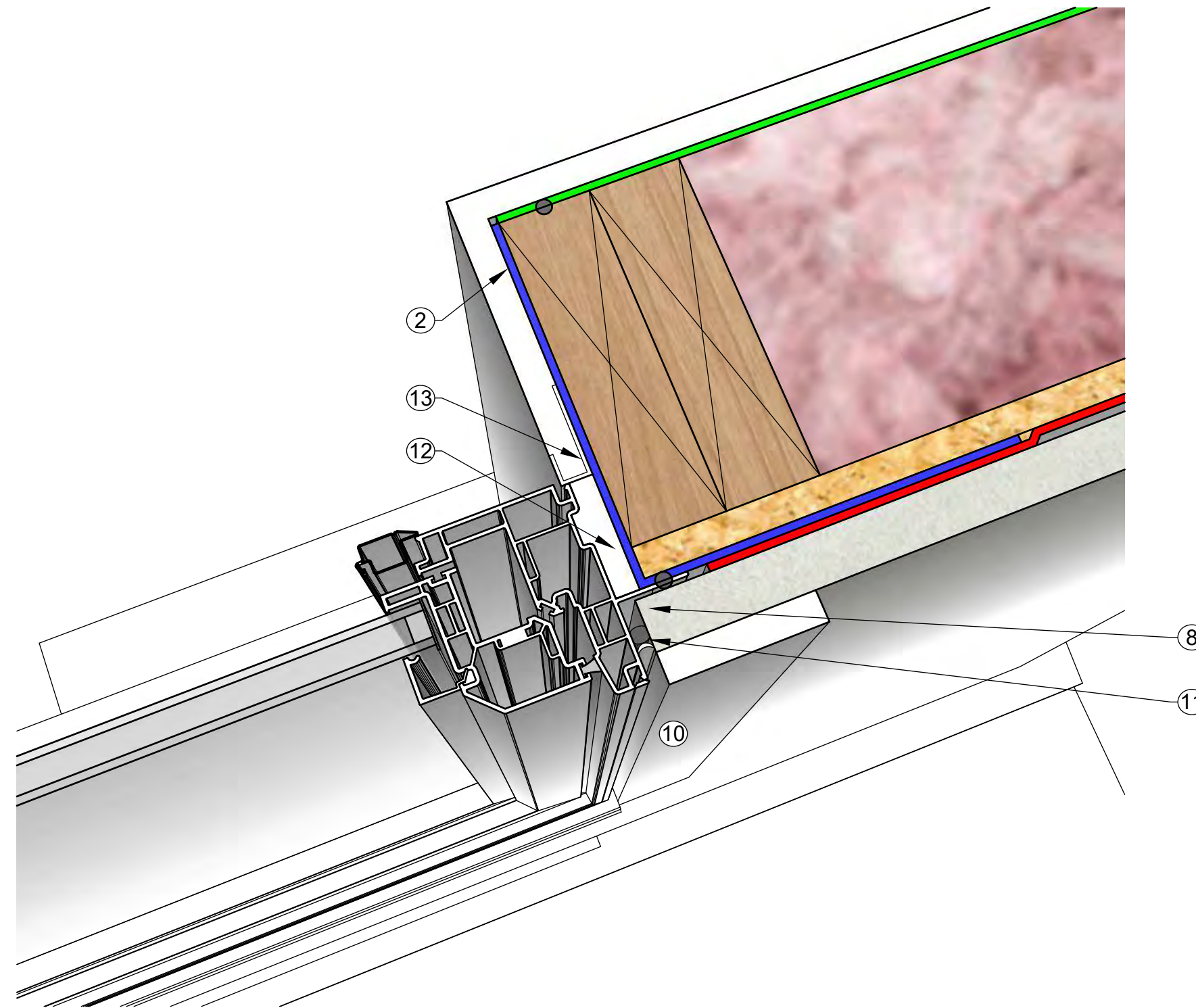
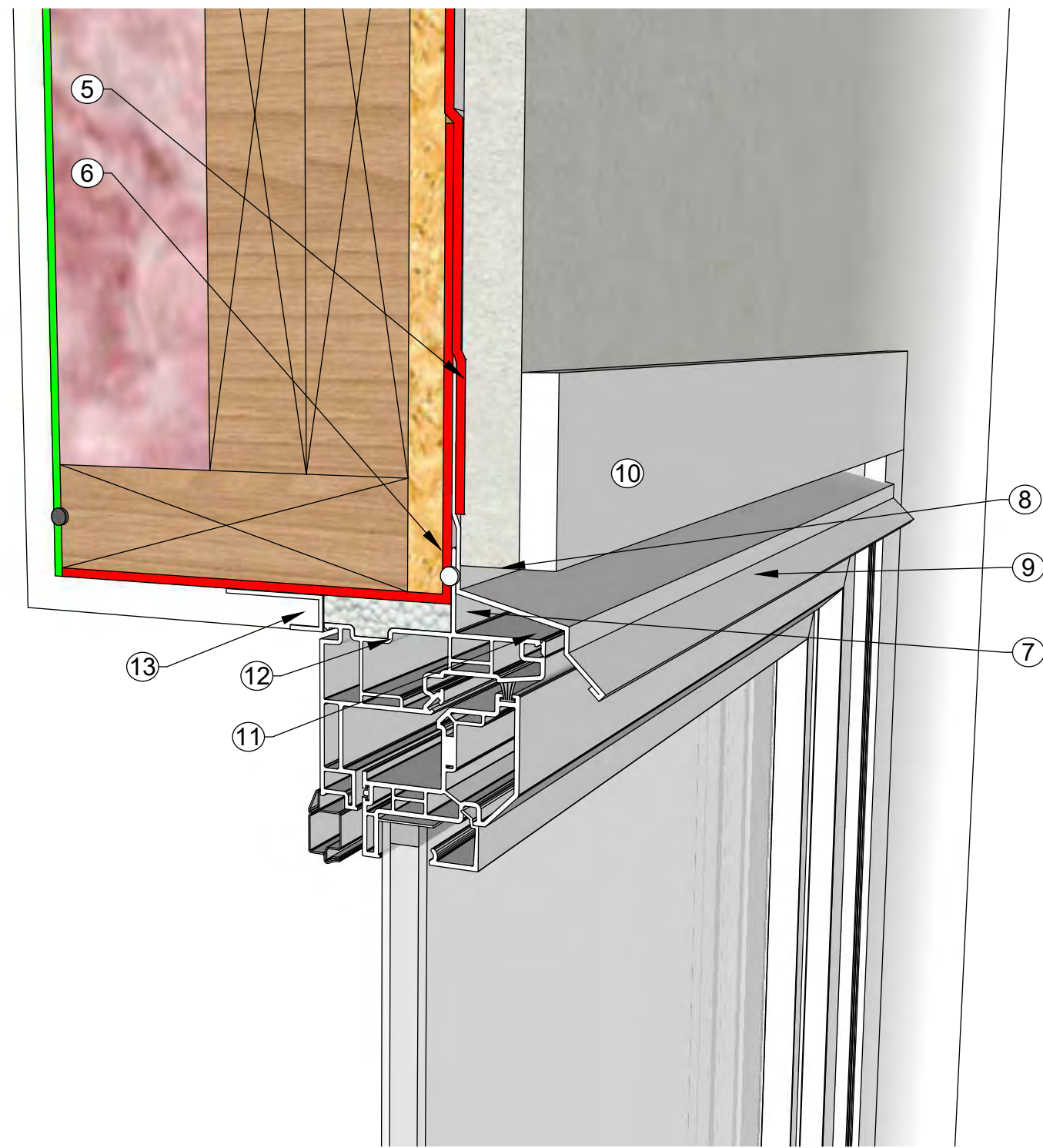
### Sections

SCALE AS NOTED

DRAWING NUMBER

A4.0





KEYNOTES	
1	SET SILL ONTO TWO BEADS OF CONTINUOUS POLYURETHANE CAULKING
2	PEEL AND STICK WATERPROOF MEMBRANE AT SILL AND 6" UP JAMB
3	HEAVY GAUGE METAL FLASHING WITH MILL FINISH TO CONCEAL PEEL AND STICK MEMBRANE
4	PROVIDE 1/2" COARSE SAND IN BETWEEN SIDEWALK AND FOUNDATION WALL INSULATION FOR DRAINAGE
5	TYVEK W.R.B. LAPPED OVER PREFINISHED METAL FLASHING
6	TYVEK MIN. 8" UP WALL SHEATHING AND BACK WRAPPED INTO ROUGH OPENING AT HEAD AND JAMBS
7	INTERMITENT NAILING FLANGE
8	GALVANIZED STUCCO CASING BEAD
9	SLOPED PREFINISHED METAL FLASHING WITH HEMMED DRIP EDGE AND END DAMS
10	HARDIE TRIM 3 1/2" x 4/4" SMOOTH
11	BACKER ROD AND CAULK FRAME TO TRIM ALL AROUND
12	WINDOW FRAME SECURED TO ROUGH FRAMING AS PER MANUFACTURERS INSTRUCTIONS
13	GWB WITH J-TRIM BUTT INTO WINDOW FRAME AND CORNER BEAD

[illegible]

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DATE	ISSUED FOR
2017-09-26	CONSTRUCTION DOCUMENTATION
2017-09-27	DEVELOPMENT PERMIT

PROJECT TITLE #1707

Bernard Carriage  
House  
809 Bernard Avenue  
Kelowna, BC

SHEET TITLE

## Details

SCALE	AS NOTED
-------	----------

DRAWING NUMBER

## A5.0

NIDO DESIGN INC.  
203-251 Lawrence Avenue  
Kelowna, BC, V1Y 6L2  
250.448.4307  
hello@nido.design





1 PROPOSED NORTH PERSPECTIVE  
N.T.S.



2 PROPOSED EAST PERSPECTIVE  
N.T.S.



3 PROPOSED SOUTH PERSPECTIVE  
N.T.S.



4 PROPOSED WEST PERSPECTIVE  
N.T.S.

**SCHEDULE B**

This forms part of application  
# DVP17-0298

Planner  
Initials

AW



A0.0	INFORMATION SHEET
A1.0	SITE PLAN
A2.0	DEMOLITION & PROPOSED PLAN
A3.0	PROPOSED PERSPECTIVE ELEVATION
A3.1	PROPOSED ELEVATIONS
A3.2	EXISTING ELEVATIONS
A3.3	EXISTING PHOTOS
A4.0	SECTIONS
A5.0	DETAILS

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2017-09-27	DEVELOPMENT PERMIT

PROJECT TITLE **#1707**  
Bernard Carriage House  
809 Bernard Avenue  
Kelowna, BC

SHEET TITLE  
Proposed Elevation Perspectives

SCALE 1/4" = 1'-0"

DRAWING NUMBER



[illegible]

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DATE	ISSUED FOR
7-09-26	CONSTRUCTION DOCUMENTATION
7-09-27	DEVELOPMENT PERMIT

PROJECT TITLE #1707

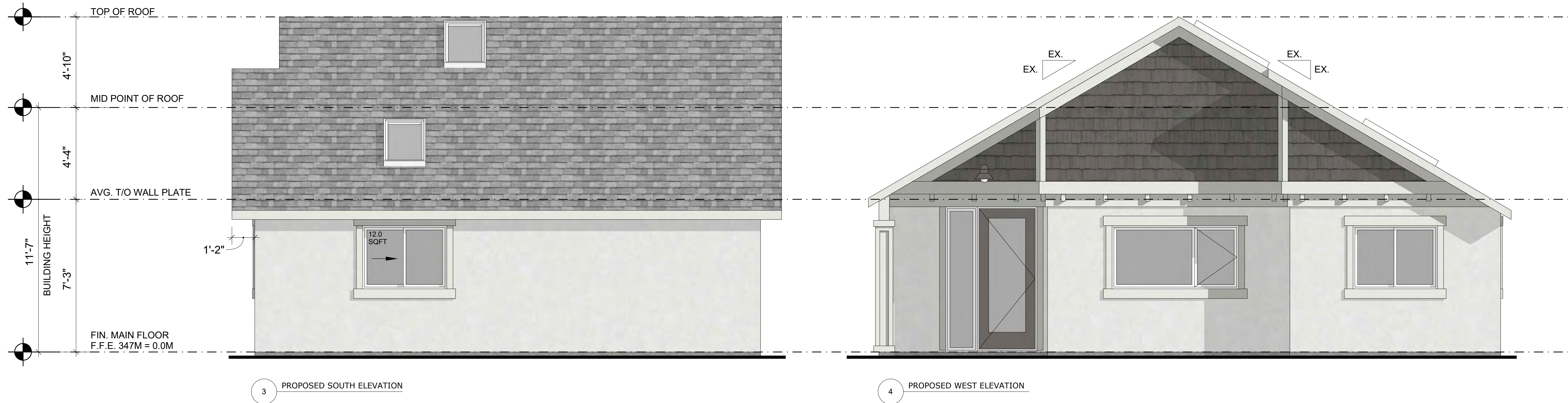
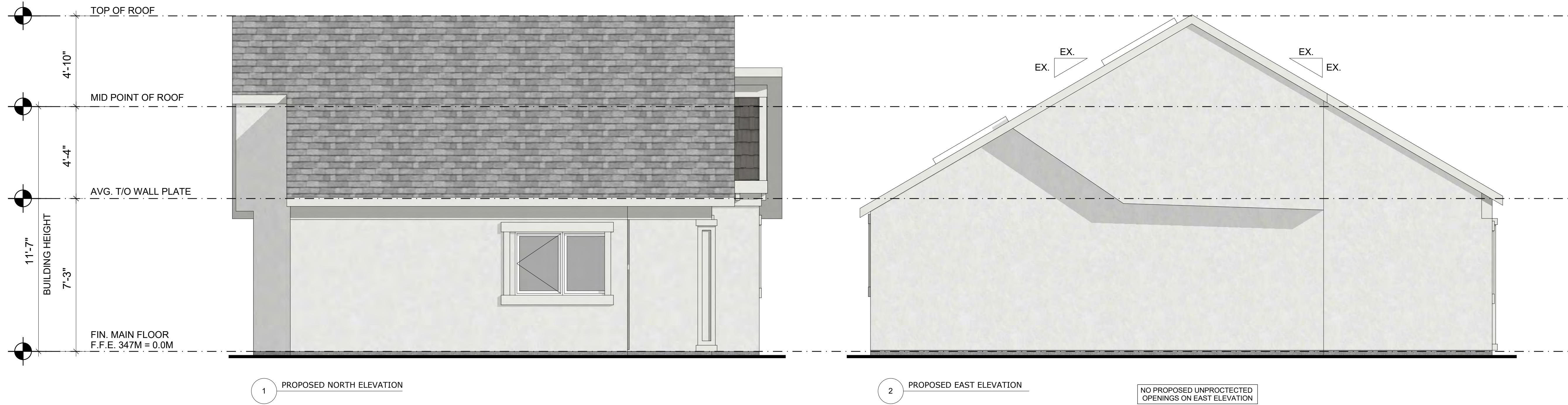
Bernard Carriage  
house  
09 Bernard Avenue  
Kelowna, BC

SHEET TITLE

Proposed  
Elevations

SCALE  $3/8" = 1'-0"$

DRAWING NUMBER



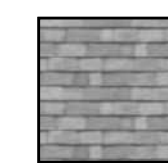
**GLAZING CALCULATION:**  
 LIMITING DISTANCE: 11'-0" (3.35M)  
 BUILDING FACE AREA: 324 SQFT (30.1M2)  
 ALLOWABLE OPENINGS: 11% (35.64 SQFT)  
 PROPOSED OPENINGS: 4% (12.0 SQFT)

**B**

# DVP17-0298

Planner Initials AW

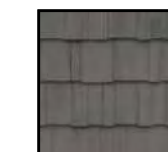
City of Kelowna  
COMMUNITY PLANNING



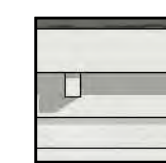
NEW ASPHALT SHINGLES



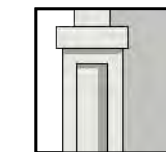
NEW ACRYLIC STUCCO FINISH



NEW CEMENT FIBRE SHAKE (HARDIE OR EQUIVALENT, EXTENT OF SHAKE TO BE STRAPPED OUT W/2x4



NEW CEMENT FIBER TRIM (HARDIE OR EQUIVALENT) W/DENTIL BLOCK UNDER STRAPPED 2x4 BUMP OUT



NEW CEMENT FIBER TRIM (HARDIE OR EQUIVALENT) ON EXISTING POST, EXISTING BEAM ABOVE TO BE PAINTED OR CLAD IN TRIM TO MATCH



NEW CEMENT FIBER TRIM (HARDIE OR EQUIVALENT) AROUND WINDOWS AND DOORS



[illegible]

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2017-09-26	CONSTRUCTION DOCUMENTATION
2017-09-27	DEVELOPMENT PERMIT

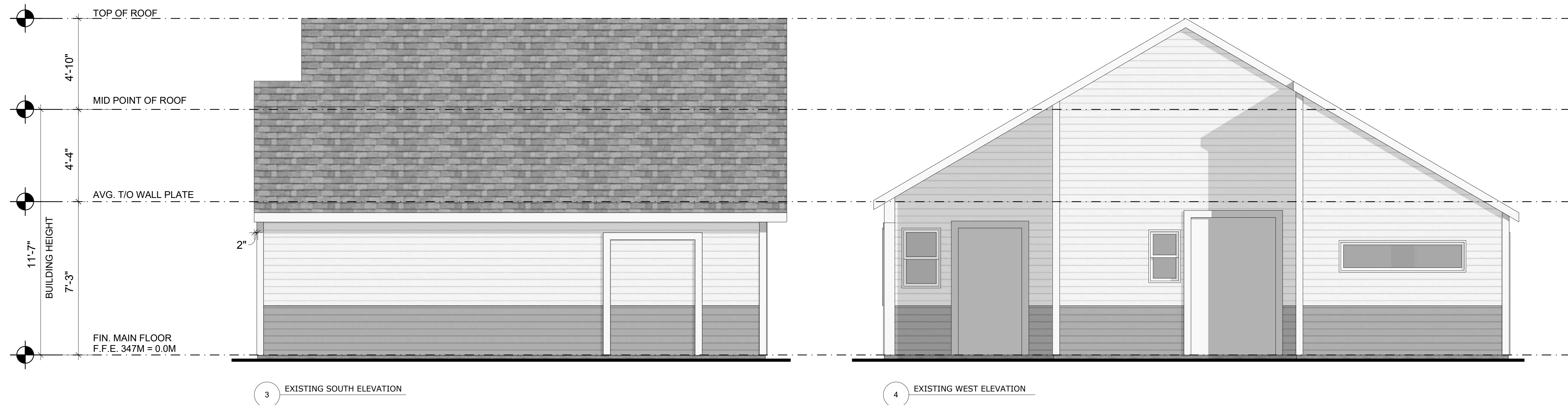
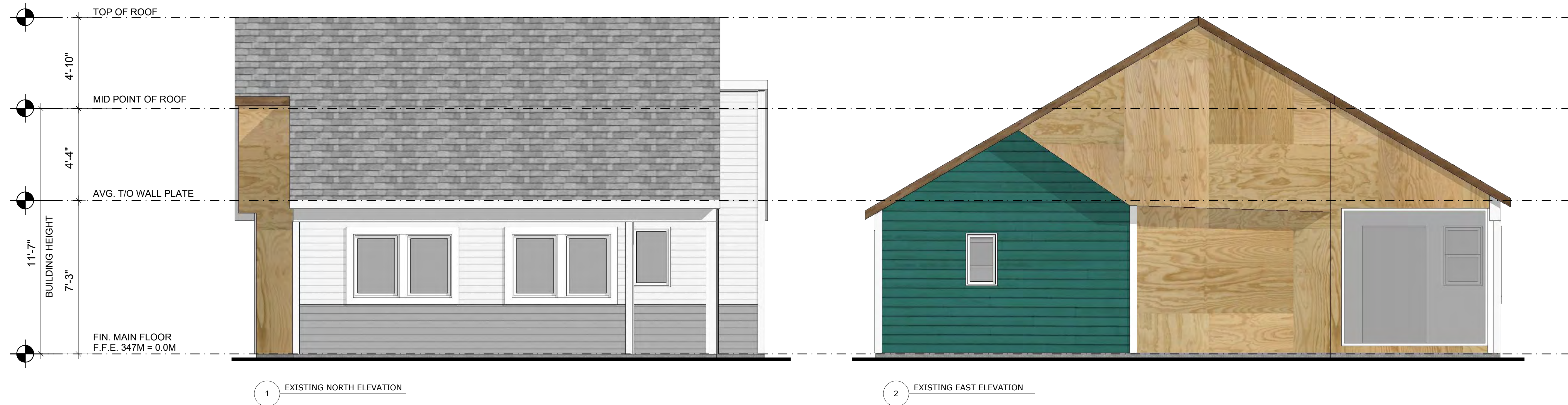
PROJECT TITLE #1707  
Bernard Carriage  
House  
809 Bernard Avenue  
Kelowna, BC

SHEET TITLE

## Existing Elevations

SCALE  $3/8" = 1'-0"$

DRAWING NUMBER



# SCHEDULE

---

This forms part of application

# DVP17-0298

# B

Planner  
Initials

AW



City of  
**Kelowna**  
COMMUNITY PLANNING

- 
- EXISTING VINYL SIDING
- EXISTING ASPHALT SHINGLES
- EXISTING EXPOSED PLYWOOD
- EXISTING WOOD LAP SIDING





A0.0	INFORMATION SHEET
A1.0	SITE PLAN
A2.0	DEMOLITION & PROPOSED PLAN
A3.0	PROPOSED PERSPECTIVE ELEVATION
A3.1	PROPOSED ELEVATIONS
A3.2	EXISTING ELEVATIONS
A3.3	EXISTING PHOTOS
A4.0	SECTIONS
A5.0	DETAILS

GENERAL CONDITIONS

Check and verify all critical details and dimensions prior to the start of construction and contact this office if any clarification is required. Written dimensions will always take precedence over scaled dimensions. This drawing must be read in conjunction with all drawings & specs issued for this project. Contractor is responsible to notify designer about conflicting design instructions.

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DATE	ISSUED FOR
2017-09-26	CONSTRUCTION DOCUMENTATION
2017-09-27	DEVELOPMENT PERMIT

PROJECT TITLE **#1707**  
Bernard Carriage  
House  
809 Bernard Avenue  
Kelowna, BC

SHEET TITLE

Existing Photos

SCALE

DRAWING NUMBER