

September 27, 2017

Project Address: 809 Bernard Avenue, Kelowna, BC, V1Y 6P6
Project Type: Carriage House in Existing Accessory Building

PROJECT DESCRIPTION

The proposed project is a renovation to an existing accessory building to turn it into a carriage house. Currently the accessory building is partially finished and being used as storage. The exterior cladding, where it even exists, needs repair, however, the framing and slab are in good condition. It's on the basis that the structure is in serviceable condition that the decision to proceed with a carriage house was made, as a complete teardown and rebuild is not feasible within the proposed budget for this project.

DESIGN RATIONALE

The addition of a carriage house to the property will help provide much needed rental capacity near the downtown core, while generating additional income for the owner.

The proposed renovation of the carriage house utilizes stucco and cement fibre shake cladding and trim boards to create a more traditional exterior aesthetic that is in tune with the historical context of the neighbourhood. These finishes also match those selected for a renovation to the existing primary residence to create a cohesive look throughout the property.

We're seeking two variances in the required setbacks as the existing footprint of the building occurs within the minimum required side and rear setbacks. The setback requirement and existing provided setbacks are:

- East side yard setback, 2.om required, 0.5m existing provided
- Rear yard setback off a lane, **o.9m** required, **o.3m** existing provided

All existing unprotected openings have been removed from the east side elevation, and the east side will be sheathed with 5/8" Type X exterior grade gypsum. The roof is to be insulated with spray foam insulation, which eliminates the requirement for venting and allows for solid metal soffits. These proposed improvements, combined with the stucco and cement fibre cladding, allow for a completely non-combustible east building face.

There is one proposed unprotected opening on the south building face towards the rear lane to provide egress for the bedroom. While the current location of the building does not conform to the required setback, it does satisfy the code requirements for sufficient limiting distance to the centreline of the laneway to allow for the window.

It's the owner's intent to create a more desirable property both for the aesthetic improvement to existing neighbours and to attract a higher standard of tenant that would appreciate and respect the newly improved space.

Please contact us if you have any questions regarding the project or require any additional information.

Regards,

Chris Skomorowski Senior Designer

Development Variance Permit DVP17-0298



This permit relates to land in the City of Kelowna municipally known as

809 Bernard Avenue

and legally known as

Lot 21 Block 15 District Lot 138 ODYD Plan 262

The development has been approved subject to any attached terms and conditions, and to full compliance with the approved plans bearing the stamp of approval and the above described Development Variance Permit number.

The present owner and any subsequent owner of the above described land must comply with any attached terms and conditions.

<u>Date of Decision:</u> April 17th, 2018

Decision By: CITY COUNCIL

<u>Issued Date:</u> Tbd

File Manager: Alec Warrender

This permit will not be valid if development has not commenced by April 10, 2020.

Existing Zone: RU6 – Two Dwelling Housing

Future Land Use Designation: S2RES – Single/Two Unit Residential

This is NOT a Building Permit.

In addition to your Development Variance Permit, a Building Permit may be required prior to any work commencing. For further information, contact the City of Kelowna, Development Services Branch.

NOTICE

This permit does not relieve the owner or the owner's authorized agent from full compliance with the requirements of any federal, provincial or other municipal legislation, or the terms and conditions of any easement, covenant, building scheme or agreement affecting the building or land.

Owner: Scott Renou - Sandy Point Development Corp.

Address: 2900 – 595 Burrard Street

City: Vancouver, BC

Email: scott@SandyPointCorp.com

Ryan Smith, Community Planning Department Manager

Community Planning & Strategic Investments

Date

1. SCOPE OF APPROVAL

This Development Variance Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.

This Development Variance Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this permit, noted in the Terms and Conditions below.

The issuance of a permit limits the permit holder to be in strict compliance with regulations of the Zoning Bylaw and all other Bylaws unless specific variances have been authorized by the Development Variance Permit. No implied variances from bylaw provisions shall be granted by virtue of drawing notations that are inconsistent with bylaw provisions and that may not have been identified as required Variances by the applicant or Municipal staff.

2. CONDITIONS OF APPROVAL

THAT Council authorizes the issuance of Development Variance Permit No. DVP17-0298 for Lot 21 Block 15 District Lot 138 ODYD Plan 262 located at 809 Bernard Avenue, Kelowna, BC, to allow the construction of a carriage house subject to the following:

- The dimensions and siting of the buildings to be constructed on the land be in accordance with Schedule "A,";
- 2. The elevations of the single family dwelling to be constructed on the land be in accordance with Schedule "B".

AND THAT variances to the following sections of Zoning Bylaw No. 8000 be granted:

Section 9.5b.1 (i): Carriage House Regulations

To vary the side yard setback from 1.5m required to 0.5m proposed.

Section 9.5b.1 (j): Carriage House Regulations

To vary the rear yard setback from o.9m required to o.3m proposed.

This Development Variance Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

3. PERFORMANCE SECURITY

None required.

4. DEVELOPMENT

The land described herein shall be developed strictly in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit that shall form a part hereof.

If the Permit Holder does not commence the development permitted by this Permit within two years of the date of this Permit, this Permit shall lapse.

This Permit IS NOT a Building Permit.

5. Indemnification

Upon commencement of the works authorized by this Permit the Developer covenants and agrees to save harmless and effectually indemnify the Municipality against:

a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality said Permit.

All costs, expenses, claims that may be incurred by the Municipality where the construction, engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

The PERMIT HOLDER is the <u>CURRENT LAND OWNER</u>.

Security shall <u>ONLY</u> be returned to the signatory of the Landscape Agreement or their designates.



809 BERNARD AVENUE

CARRIAGE HOUSE RENOVATION

This forms part of application # DVP17-0298

SYMBOLS LEGEND **ROOM SIZE** DOOR REFERENCE NUMBER REFER TO DOOR SCHEDULE FOR SPECIFIC INFORMATION SHEET NUMBER **BUILDING SECTION NUMBER** SHEET NUMBER WALL SECTION NUMBER INTERIOR ELEVATION NUMBER SHEET NUMBER KEYNOTE NUMBER REVISION NUMBER \W1/ WALL TYPE FLOOR TYPE (R1) **ROOF TYPE** CONTROL POINT SPOT ELEVATION POINT LOAD

LOAD BEARING PARTITION

GENERAL PERFORMANCE SPECIFICATIONS

CODES AND STANDARDS

ALL WORKMANSHIP IS TO BE OF A STANDARD EQUAL IN ALL RESPECTS TO GOOD

AT THE TIME OF PREPARATION. THIS PLAN WAS DRAWN IN ACCORDANCE WITH THE CURRENT EDITION OF THE B.C. BUILDING CODE. IT IS THE RESPONSIBILITY OF COMPLIED WITH AND ALL AMENDMENTS ARE INCORPORATED IN THE CONSTRUCTION OF THIS PLAN. ALL WORK SHALL CONFORM TO LOCAL BUILDING

WRITTEN DIMENSIONS ALWAYS TAKE PRECEDENCE OVER SCALE MEASUREMENTS ANY VARIANCE FROM STRUCTURAL DRAWINGS AND SPECIFICATIONS OR FROM CONDITIONS ENCOUNTERED AT THE JOB SITE. SHALL

SITE SPECIFICATIONS

BUILDING AND SITE GRADE ELEVATIONS SHALL BE CONFIRMED WITH UTILITY PROVIDERS AND LOCAL AUTHORITIES AND COMPLY WITH UTILITY SERVICE AND SITE DRAINAGE REQUIREMENTS.

ALL BUILDING AND UTILITY EXCAVATIONS SHALL BE FILLED AND COMPACTED IN 12" LAYERS TO MINIMUM 95% PROCTOR DENSITY TO ENSURE MINIMAL

DIMENSIONS ARE SHOWN TO EXTERIOR OF ROUGH FRAMING (WOOD STUD) ON EXTERIOR WALLS AND TO THE CENTRE OF INTERIOR WALLS (WOOD STUD). CONTRACTOR IS TO VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION.

CONCRETE FOOTINGS MUST BE PLACED ON UNDISTURBED OR COMPACTED SOIL TO AN ELEVATION BELOW FROST PENETRATION. FOOTINGS SHOWN ON THESE DRAWINGS HAVE BEEN DESIGNED FOR SOIL BEARING CAPACITY OF 2,500 PSF. IF A OR OTHER APPROVED METHOD ON EXTERIOR WALLS. LESSER BEARING CAPACITY IS ENCOUNTERED, IT IS THE RESPONSIBILITY OF THE OWNER/BUILDER TO HAVE THE FOOTINGS REDESIGNED BY QUALIFIED PERSONS TO SUIT EXISTING CONDITIONS.

ALL CONCRETE TO HAVE A MINIMUM COMPRESSIVE STRENGTH OF 2,900 PSI (20

ALL FOUNDATION WALLS 24" (600 MM) AND HIGHER SHOULD HAVE ONE HORIZONTAL PLATES ARE TO BE ANCHORED TO CONCRETE WITH ½" 10 MM REINFORCING BAR 3" (75 MM) FROM THE TOP. CORNER REINFORCING TO BE

ALL FOOTINGS ARE TO HAVE TWO ½" (#4) REINFORCING BARS. THE REINFORCING BARS ARE TO BE SITUATED SUCH THAT ONE BAR IS 3" (75 MM) CLEAR OF THE SIDE AND BOTTOM OF THE FOOTING ON BOTH SIDES OF THE FOOTING

BEYOND THE SCOPE OF THESE DRAWINGS UNLESS OTHERWISE NOTED.

ALL ABOVE GRADE MASONRY IS TO CONFORM TO THE BC BUILDING CODE. IF BRICK VENEER IS TO BE INSTALLED, COUNTER FLASHING SHALL BE INSTALLED UP TO 8" (200 MM) BEHIND THE WEATHER RESISTANT BARRIER AND BELOW THE BOTTOM COURSE WITH VERTICAL JOINTS RAKED CLEAN. WEEP HOLES 24" (600 MM)

ALL DIMENSIONS AND GRIDLINES AT EXTERIOR WALLS ARE TO FACE OF SHEATHING, INTERIOR DIMENSIONS ARE TO MIDDLE OF STUD AT PARTITIONS AND EDGE OF STUD INSULATION REQUIREMENTS MAY VARY WITH HEATING AT STAIR OPENINGS UNLESS OTHERWISE NOTED

FRAMING LUMBER SHALL BE NUMBER TWO (2) OR BETTER SPRUCE UNLESS OTHERWISE SPECIFIED ON THE PLAN. ALL BEAM AND LINTEL SIZES SHOWN ON THE DRAWINGS TO BE REVIEWED & CONFIRMED BY TRUSS MANUFACTURER AND CONTRACTOR. ANY BEAM OR LINTEL SIZES PROVIDED BY TRUSS/FLOOR MANUFACTURER TAKE PRECEDENCE.

JOISTS ARE TO BE DOUBLED UNDER PARALLEL PARTITIONS.

JOISTS SHALL BE PLACED TO ACCOMMODATE PLUMBING, IN THE EVENT OF A DISCREPANCY PLEASE CONTACT FLOOR SUPPLIER BEFORE ANY ALTERATIONS OR

WOOD IN CONTACT WITH CONCRETE SHALL BE DAMPPROOFED WITH A SILL PLATE GASKET AND PRESSURE TREATED WITH A WATERBORNE PRESERVATIVE

INTERIOR FRAMING TO BE 4" (100 MM) CLEAR OF BACK AND SIDES OF FIREBOX AND 2" (50 MM) CLEAR OF BRICK CHIMNEYS. FRAME EXTERIOR WALLS 1" (25 MM) CLEAR FROM EXTERIOR FIREPLACES.

ANCHOR BOLTS, MAXIMUM 6 FT. O.C. OR OTHER APPROVED

FLUSH FRAMED WOOD MEMBERS SHALL BE ANCHORED WITH 200 LB. JOIST HANGERS UNLESS OTHERWISE SPECIFIED. STAMPED AND SEALED SHOP DRAWINGS SHALL BE PROVIDED FOR ALL STRUCTURAL BEAM, FLOOR AND ROOF SYSTEMS. LINTELS ARE (2) 2x10" SPF. w/ 2" THICK RIGID INSULATION

SEALED AT PERIMETER U.N.O. PROVIDE 2x6" SOLID BLOCKING AT TOWEL BARS, TOILET PAPER HOLDERS, COAT HOOKS, MIRRORS AND WALL

INSULATION/VENTILATION

REFER TO FLOOR/WALL/ROOF SCHEDULE FOR INSULATION

WALLS AND CEILINGS BETWEEN RESIDENCE AND ATTACHED GARAGE SHALL BE INSULATED.

SYSTEMS AND WITH LOCAL CONDITIONS.

ROOF WILL BE AN UNVENTED ASSEMBLY USING CLOSED CELL SPRAY FOAM IN THE RAFTER SPACE.

MISCELLANEOUS

CAULK OVER AND AROUND ALL EXTERIOR OPENINGS USING NON-HARDENING CAULKING COMPOUND. FLASH ALL CHANGES OF MATERIALS ON EXTERIOR WALLS. FLASH OVER ALL EXTERIOR OPENINGS.

ALL SIDING OR STUCCO TO BE A MINIMUM OF 8" (150 MM) ABOVE FINISHED GRADE.

ALL BALCONY RAILINGS TO BE 3'6" (1070 MM) IN HEIGHT. MAXIMUM SPACING BETWEEN VERTICAL MEMBERS IS 4" (100 MM). MINIMUM DISTANCE BETWEEN HORIZONTAL RAILS TO BE 32" (800 MM). TOP RAIL TO SUSTAIN OUTWARD LOAD OF 40 LBS. PER LINEAL FOOT.

SHELF WITH MINIMUM DEPTH OF 24" UNLESS OTHERWISE STATED. LINEN CLOSET SHALL HAVE 5 ADJUSTABLE SHELVES WHEREVER POSSIBLE. BROOM CLOSETS SHALL HAVE ONE SHELF.

WHERE TUBS OR SHOWERS OCCUR, PROVIDE MOISTURE RESISTANT

ASPHALT (TAR) PAPER NOT ALLOWED. USE ONLY TYVEK OR APPROVED WEATHER RESISTANT BARRIER EQUIVALENT. TAPE ALL VERTICAL AND HORIZONTAL SEAMS AS PER MANUFACTURERS INSTRUCTIONS.

ELECTRICAL SPECIFICATIONS

ALL ELECTRICAL JUNCTION BOXES TO BE NUTEK PLASTIC BOX WITH AIRTIGHT FOAM GASKET COUPLED WITH PLASTIC VAPOUR BARRIER BOOT, PROVIDE SPRAY FOAM AT WIRE PENETRATION

ALL ELECTRICAL OUTLET AND FIXTURES LOCATIONS ARE TO BE

ALL ELECTRICAL OUTLETS, SERVICES AND FIXTURES TO COMPLY WITH CURRENT ELECTRICAL CODES. ALL ELECTRICAL SERVICES TO BE INSTALLED BY A QUALIFIED TRADESMAN.

HEIGHT OF STANDARD OUTLETS (CENTER OF BOX) - WALL OUTLETS 14"

- SWITCHES 46" - OUTLETS ABOVE COUNTERTOP 6"

HVAC SPECIFICATIONS

ALL HVAC SYSTEMS TO COMPLY WITH BC BUILDING CODE. ALL HVAC SYSTEMS TO BE DESIGNED BY A QUALIFIED DESIGNER.

ALL FIXTURES AND MATERIALS TO BE CSA APPROVED. ALL EQUIPMENT AND APPLIANCES TO BE INSTALLED AND TESTED AS PER TRADE STANDARDS.

EXISTING SLAB ON GRADE MATERIAL • INTERIOR AIR FILM FINISHED FLOORING 4" CONCRETE SLAB • COMPACTED GRANULAR FILL AND PREPARED SUBGRADE - REFER TO GEOTECH REPORT

STANDARD EXTERIOR WALL				W2/ INTERIOR WALL	
MATERIAL	O.C.	EFFECTIVE RSI R-VA	ALUE	MATERIAL	
• INTERIOR AIR FILM		0.11	0.62	MATERIAL	
• 1/2" GWB		0.8	0.45	• 1/2" GWB	
6 MIL POLY VAPOUR BARRIER		0.00	0.00		
• 2X6" WOOD STUDS	24	1.19	6.76	• 2X4" WOOD STUDS	
R24 FIBREGLASS INSULATION		4.23	24.00	• 1/2" GWB	
• 5/8" EXTERIOR GRADE TYPE X GYPSUM BOARD		0.8	0.45	1/2 GWB	
• TYVEK W.R.B SEAMS TAPED WITH TUCK TAPE		0.00	0.00	W3/ DUCT WALL & BULKHEADS	
METAL LATH		0.00	0.00	DUCT WALL & BULKHEADS	
ACRYLIC STUCCO FINISH		0.00	0.00		
• EXT AIR FILM		0.3	0.17	MATERIAL	
				• 1/2" GWB	
* USE EXISTING IF PRESENT				- 3VAII MOOD CTUDG	
DENSGLASS IF NON-COMBUSTIBLE REQUIRED				• 2X4" WOOD STUDS	
THIS IS AN EXISTING WALL TO BE UPGRADED					
EFFECTIVE RSI/R-VALUE OF ENTIRE ASSEMBLY		3.10	17.60		
MINIMUM RSI VALUE WITH HRV INSTALLED		2.97	16.86		

R1 ROOF				
MATERIAL	o.c.	EFFECTIVE RSI	R-VALUE	
• EXT AIR FILM		0.3	0.17	
ASPHALT SHINGLES		0.8	0.45	
ROOF UNDERLAYMENT		0.1	0.6.	
• 6'-0" ICE AND WATER SHEILD AT EAVES AND VALLEYS		0.00	0.00	
• 5/8" PLYWOOD DECKING*		0.10	0.55	
• 2X6 RAFTER EXISTING*	24	1.19	6.76	
• 2X2 NEW STRAPPING TO U/S OF RAFTER	24	0.32	1.84	
• R30 2LB POLYURETHANE SPRAY FOAM		5.28	30.00	
• 1/2" GWB		0.8	0.45	
• INTERIOR AIR FILM		0.11	0.62	
* USE EXISTING IF PRESENT			-	
EFFECTIVE RSI/R-VALUE OF ENTIRE ASSEMBLY		4.10	28.37	
MINIMUM RSI VALUE WITH NO HRV INSTALLED		4.67	26.52	

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			A0.0	INFORMATION SHEET
			A1.0	SITE PLAN
			A2.0	DEMOLITION & PROPOSED PLAN
			A3.0	PROPOSED PERSPECTIVE ELEVATION
	.		A3.1	PROPOSED ELEVATIONS
			A3.2	EXISTING ELEVATIONS
			A3.3	EXISTING PHOTOS
			A4.0	SECTIONS
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			A5.0	DETAILS
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GENERAL CONDITIONS

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DATE	ISSUED FOR
2017-09-26	CONSTRUCTION DOCUMENTATION
2017-09-27	DEVELOPMENT PERMIT
PROJECT TIT	LE #170
Bernard	l Carriage
Bernard House	l Carriage
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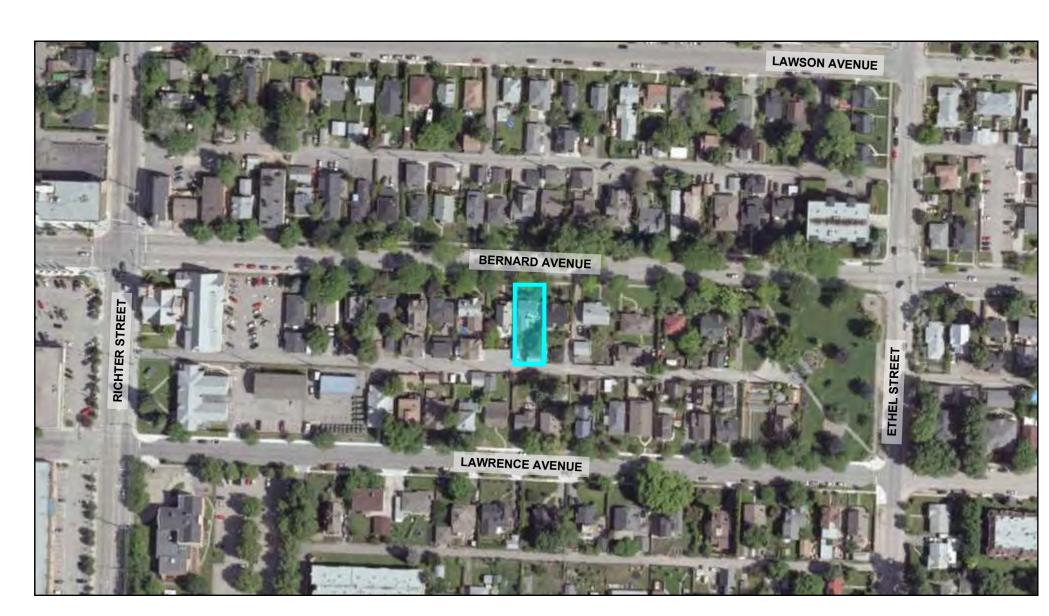
Information Shee

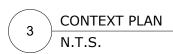
SCALE DRAWING NUMBER

SCHEDULE A This forms part of application # DVP17-0298 City of Kelowna Initials AW

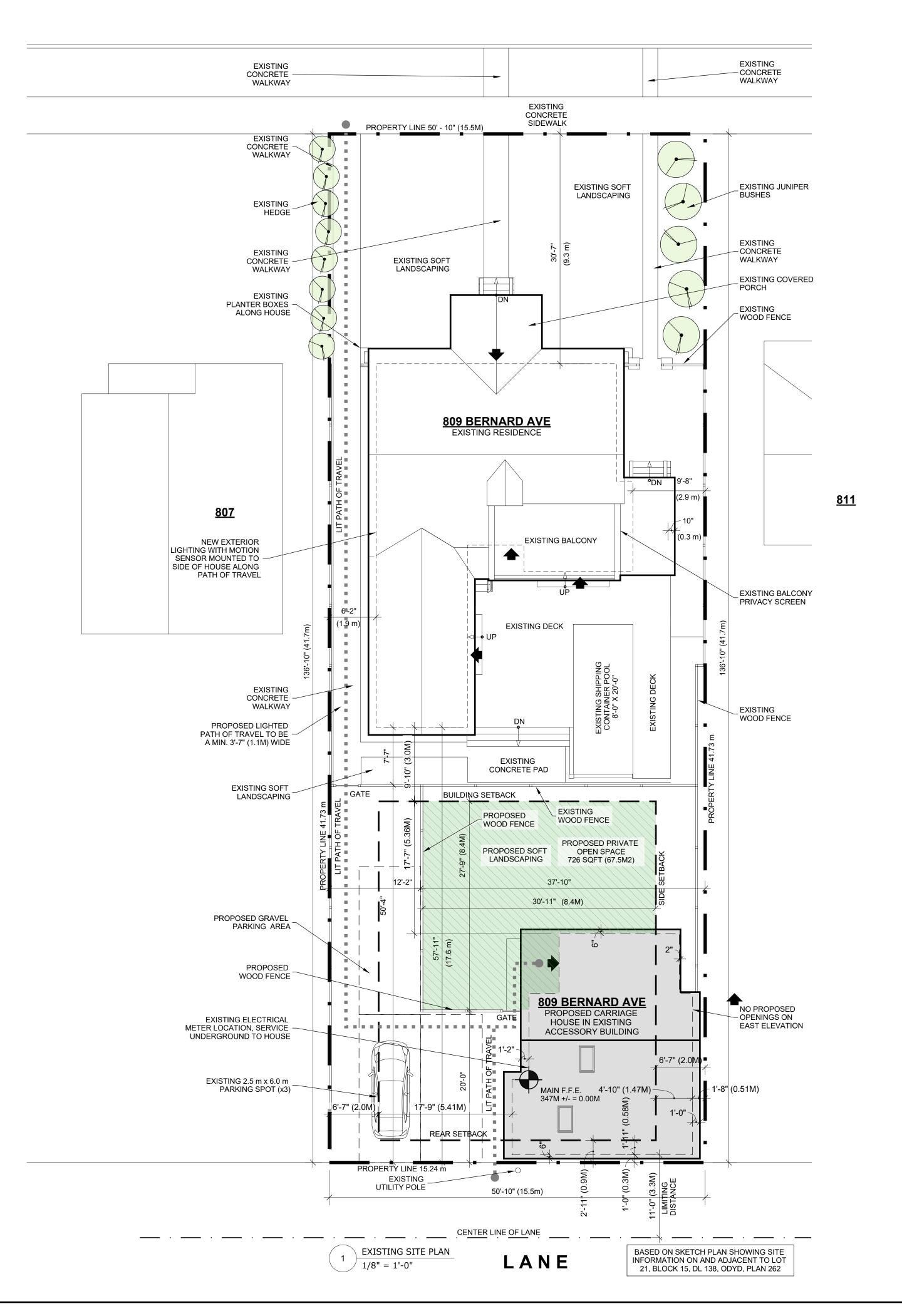
SITE DETAILS	ZONIN	G REQUIR	REMENTS	PROPOSED PR	OJECT	VARIAI	NCE REQUIRED?
ZONING	RU6			RU6		-	
	TWO DWE	LLING HOUSING	<u> </u>	CARRIAGE HOUSE			
		A 45TDIG	11.4050141	METRIC	IN ADEDIAL		
SITE AREA		400.0	4,305.6	635.1	6,845.8	_	
SITE WIDTH		18.0	59' 1"	15.5	50' 10"	EXISTIN	NG WIDTH
SITE DEPTH		30.0	98' 5"	41.7	136' 10"	-	
SITE COVERAGE							
PRINCIPAL RESIDENCE		35%	2,396.0	17.2%	1,178.0		
PROPOSED CARRIAGE HOUSE		14%	602.8	9.0%	618.0	-	
DRIVEWAYS AND PARKING		40%	2,738.3	14.4%	984.5	1_	
BUILDINGS, DRIVEWAYS, PARKING		50%	3,422.9	40.6%	2,780.5	-	
,					,		
DEVELOPMENT REGULATIONS							
TOTAL NUMBER OF UNITS			+	<u> </u>	2		
FLOOR AREA				METRIC	IMPERIAL	NOTES	
PRINCIPAL RESIDENCE		•		219.2	2,359.0		
PROPOSED CARRIAGE HOUSE				57.4	618.0		
TOTAL FINISHED AREA				276.6	2,977.0		
FLOOR AREA RATIO		0.0			34.5%		
RATIO OF CARRIAGE TO PRINCIPAL					26.2%		
BUILDING HEIGHT		MASTRES	CCCT.	AAFTDEC			
PRINCIPAL		9.5	31' 2"	METRES 6.8	7EET 22' 4"		
ACCESSORY		4.8	15' 9"	3.8	12' 6"	то міс	O OF GABLE
BUILDING SETBACKS		METRES	FEET	METRES	FEET		
FROM PRINCIPAL BUILDING		3.0	9' 10"	8.4	27' 5"	-	
SIDE (WEST)		2.0	6' 7"	7.4	24' 4"	-	
SIDE (EAST)		2.0	6' 7"	0.5	1' 8"	VARIAN	ICE REQUESTED
REAR WITH LANE		0.9	2' 11"	0.3	0' 12"	VARIAN	ICE REQUESTED

ZONING INFORMATION N.T.S.





BERNARD AVENUE



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A0.0	INFORMATION SHEET
A1.0	SITE PLAN
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A3.1	PROPOSED ELEVATIONS
A3.2	EXISTING ELEVATIONS
A3.3	EXISTING PHOTOS
A4.0	SECTIONS
A5.0	DETAILS
	1

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SITE NORTH PROJECT NORTH

DATE ISSUED FOR

2017-09-26 CONSTRUCTION DOCUMENTATION

2017-09-27 DEVELOPMENT PERMIT

PROJECT TITLE

Bernard Carriage

House 809 Bernard Avenue Kelowna, BC

SHEET TITLE

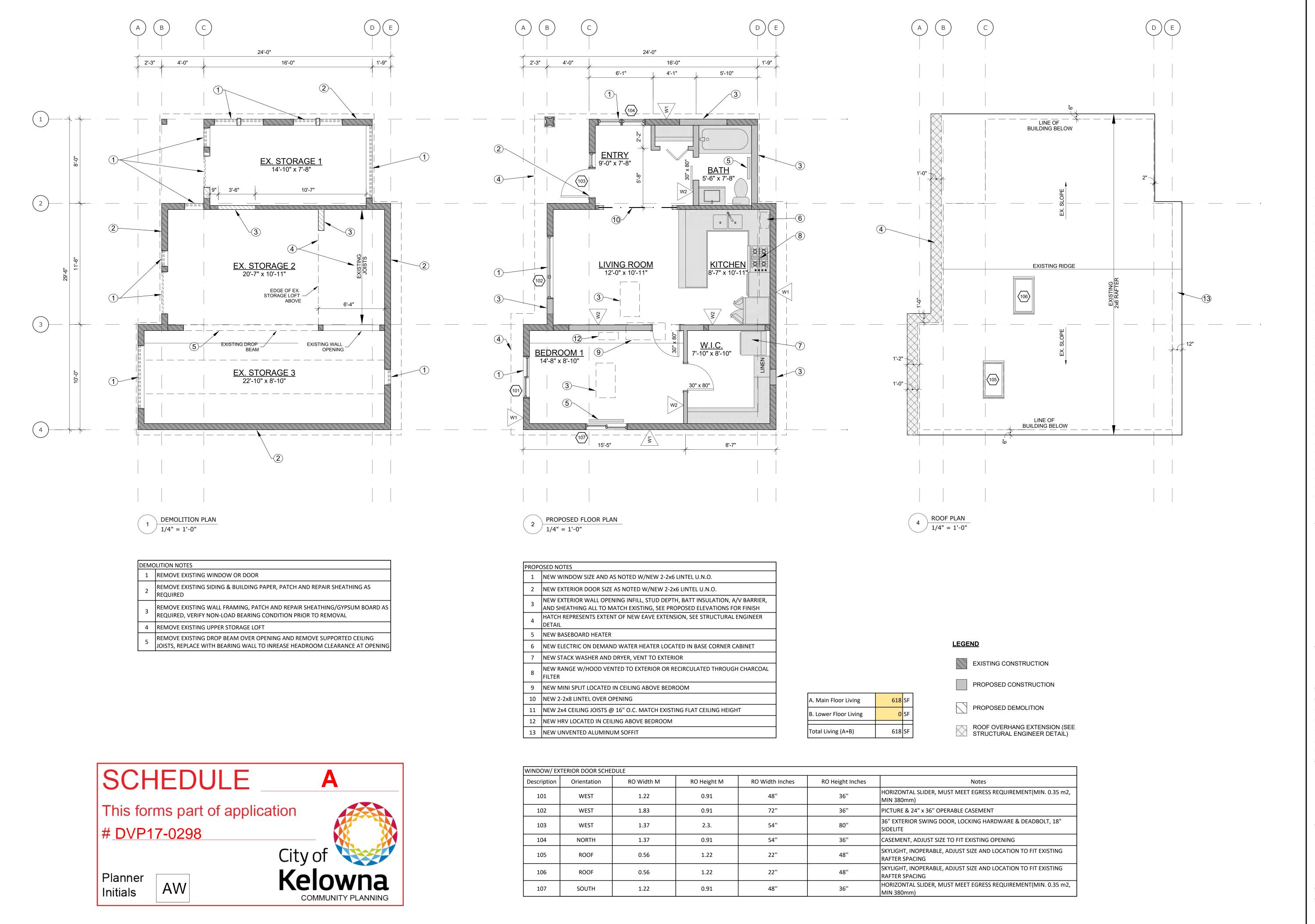
Site Plan

SCALE

DRAWING NUMBER

A1.0

AS NOTED



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SITE NORTH

PROJECT NORTH

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DATE ISSUED FOR

2017-09-26 CONSTRUCTION DOCUMENTATION

2017-09-27 DEVELOPMENT PERMIT

PROJECT TITLE

Bernard Carriage House

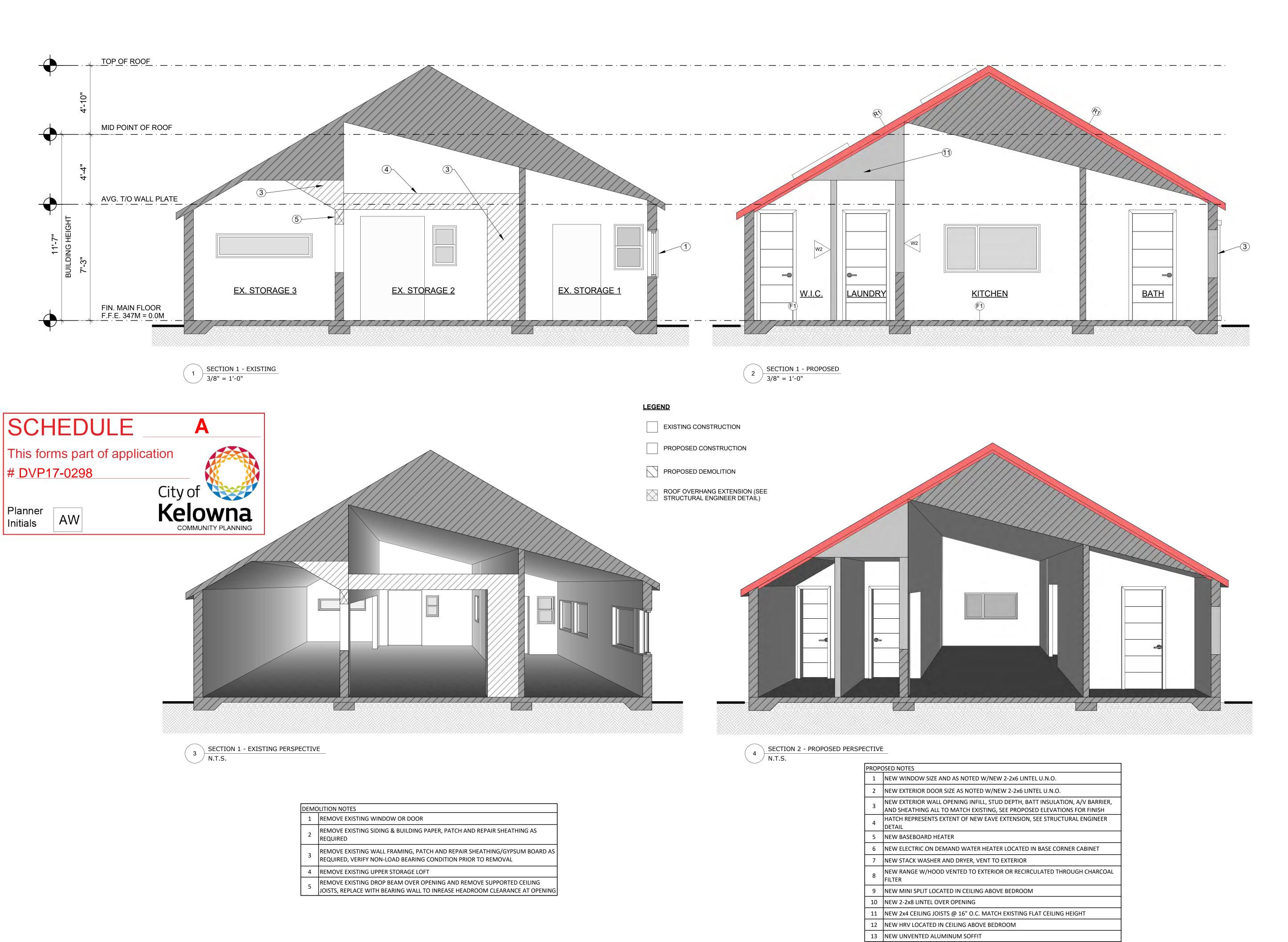
809 Bernard Avenue Kelowna, BC

SHEET TITLE

Demolition & Proposed Plan

SCALE 1/4" = 1'-0"

DRAWING NUMBER



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A1.0 SITE PLAN

A2.0 DEMOLITION & PROPOSED PLAN

A3.0 PROPOSED PERSPECTIVE ELEVATION

A3.1 PROPOSED ELEVATIONS

A3.2 EXISTING ELEVATIONS

A4.0 SECTIONS

A5.0 DETAILS

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PROJECT TITLE

Bernard Carriage

House 809 Bernard Avenue

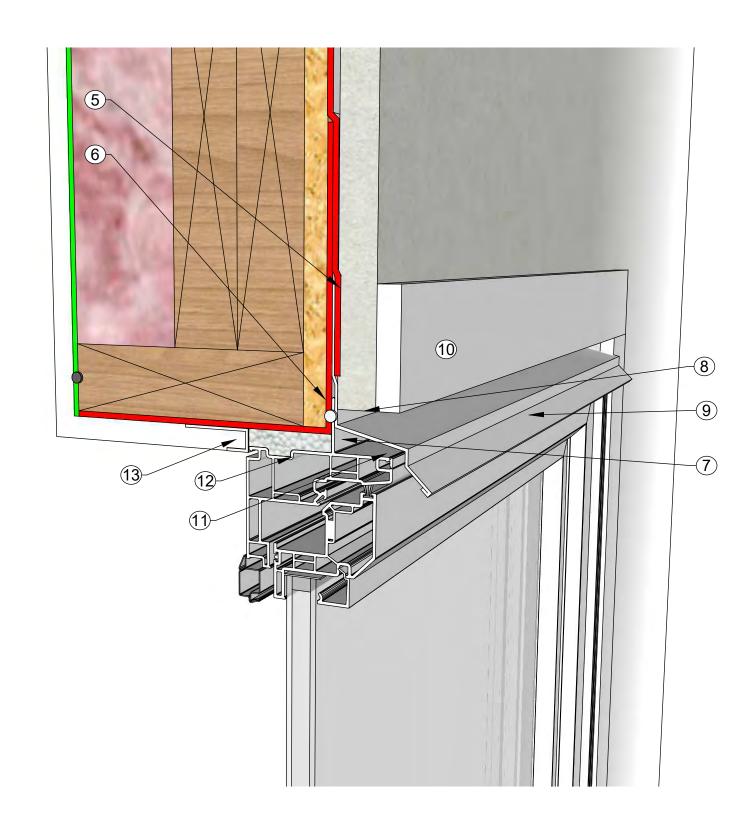
Kelowna, BC
SHEET TITLE

Sections

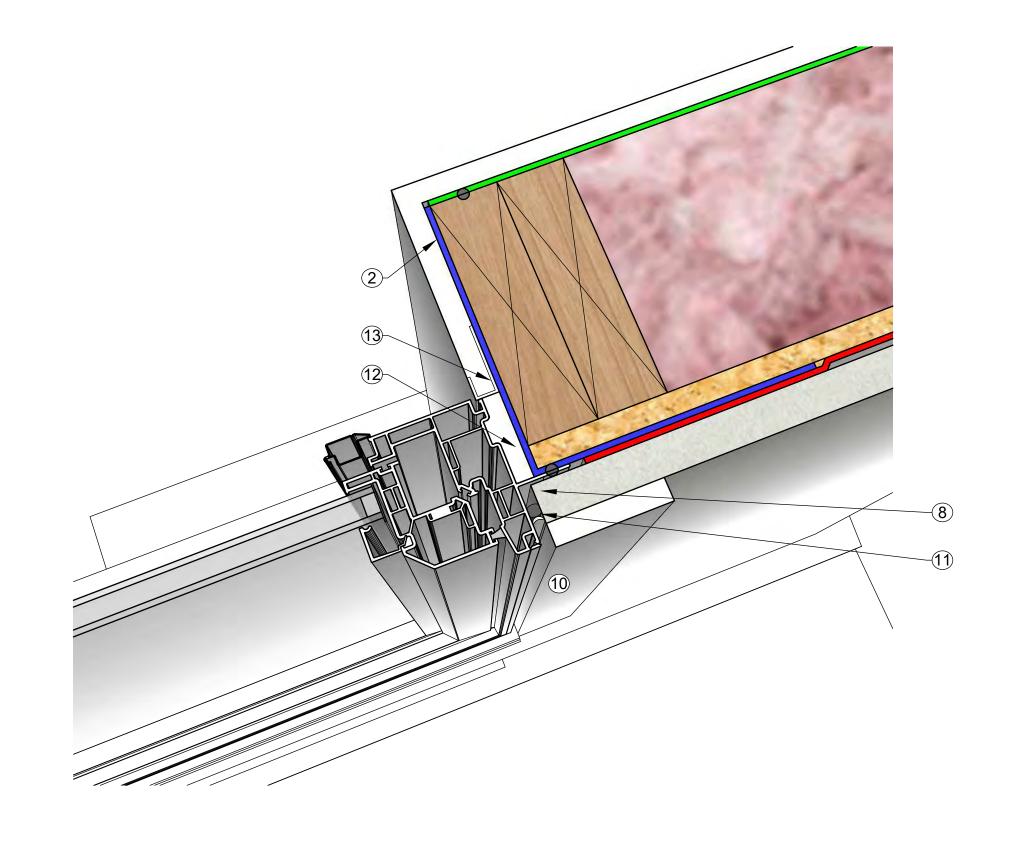
SCALE AS NOTED

DRAWING NUMBER

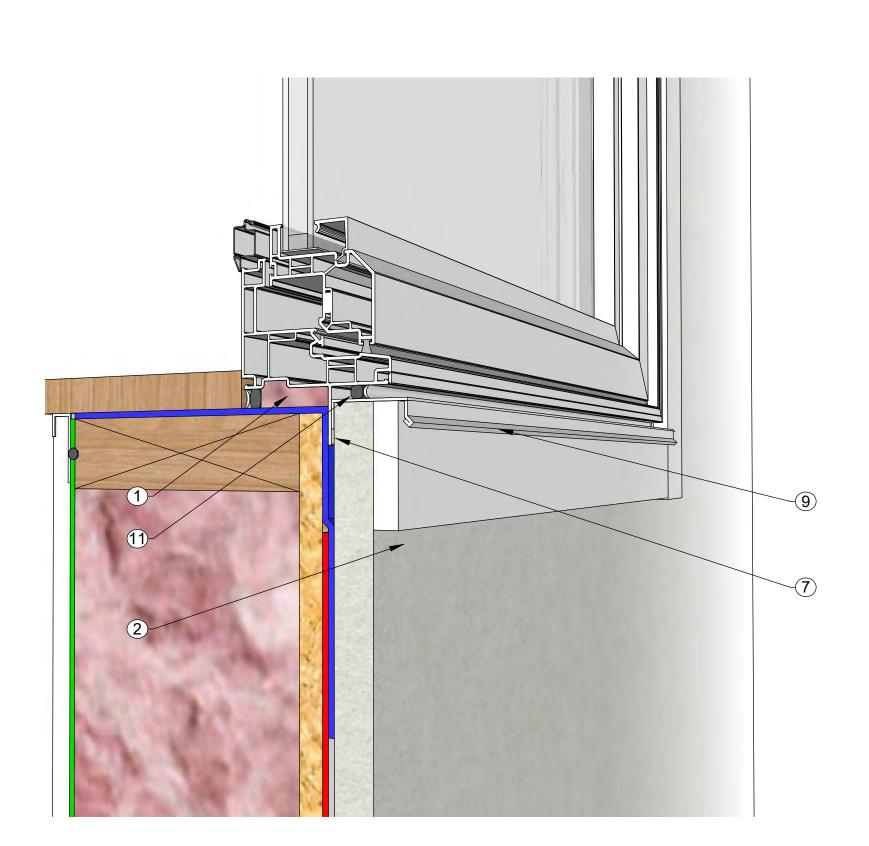
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WINDOW / DOOR HEAD



SET SILL ONTO TWO BEADS OF CONTINUOUS POLYURETHANE CAULKING PEEL AND STICK WATERPROOF MEMBRANE AT SILL AND 6" UP JAMB HEAVY GAUGE METAL FLASHING WITH MILL FINISH TO CONCEAL PEEL AND STICK PROVIDE 1/2" COARSE SAND IN BETWEEN SIDEWALK AND FOUNDATION WALL INSULATION FOR DRAINAGE TYVEK W.R.B. LAPPED OVER PREFINISHED METAL FLASHING TYVEK MIN. 8" UP WALL SHEATHING AND BACK WRAPPED INTO ROUGH OPENING AT HEAD AND JAMBS INTERMITENT NAILING FLANGE GALVANIZED STUCCO CASING BEAD SLOPED PREFINISHED METAL FLASHING WITH HEMMED DRIP EDGE AND END 10 HARDIE TRIM 3 1/2" x 4/4" SMOOTH 11 BACKER ROD AND CAULK FRAME TO TRIM ALL AROUND WINDOW FRAME SECURED TO ROUGH FRAMING AS PER MANUFACTURERS 13 GWB WITH J-TRIM BUTT INTO WINDOW FRAME AND CORNER BEAD



WINDOW SILL N.T.S.

2 N.T.S.

DOOR SILL N.T.S.

SCHEDULE This forms part of application # DVP17-0298 Planner

KEYNOTES

Kelowna, BC SHEET TITLE Details

Bernard Carriage

809 Bernard Avenue

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A0.0 INFORMATION SHEET

A2.0 DEMOLITION & PROPOSED PLAN

GENERAL CONDITIONS

about conflicting design instructions. COPYRIGHT RESERVED

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2017-09-26

2017-09-27

PROJECT TITLE

House

SCALE

Check and verify all critical details and dimensions prior to the start of construction and contact this office if any clarification is required. Written dimensions will always take precedence over scaled dimensions. This drawing must be read in conjunction with all drawings & spec's issued for this project. Contractor is responsible to notify designer

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ISSUED FOR

DEVELOPMENT PERMIT

CONSTRUCTION DOCUMENTATION

A3.1 PROPOSED ELEVATIONS

A3.2 EXISTING ELEVATIONS A3.3 EXISTING PHOTOS

A4.0 SECTIONS

A5.0 DETAILS

A3.0 PROPOSED PERSPECTIVE ELEVATION

A1.0 SITE PLAN

203-251 Lawrence Avenue Kelowna, BC, V1Y 6L2

DRAWING NUMBER

AS NOTED



1 PROPOSED NORTH PERSPECTIVE N.T.S.



PROPOSED SOUTH PERSPECTIVE N.T.S.



This forms part of application

DVP17-0298

PROPOSED WEST PERSPECTIVE N.T.S.

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		A0.0	INFORMATION SHEET
		A1.0	SITE PLAN
		A2.0	DEMOLITION & PROPOSED PLAN
		A3.0	PROPOSED PERSPECTIVE ELEVATION
		A3.1	PROPOSED ELEVATIONS
		A3.2	EXISTING ELEVATIONS
		A3.3	EXISTING PHOTOS
		A4.0	SECTIONS
		A5.0	DETAILS
	'		

GENERAL CONDITIONS

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DATE	ISSUED FOR				
2017-09-26	CONSTRUCTION DOCUM	ENTATION			
2017-09-27	DEVELOPMENT PERMIT				
PROJECT TITI	_E	#1707			
Bernard Carriage					
House					
809 Bernard	d Avenue				

SHEET TITLE Proposed

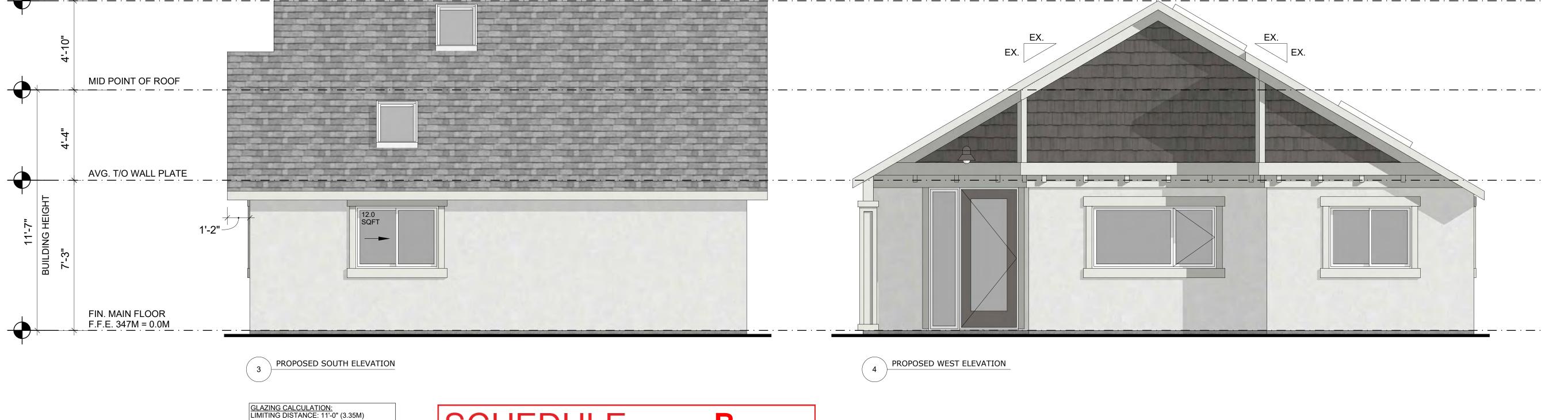
Kelowna, BC

Elevation Perspectives

1/4" = 1'-0" SCALE

DRAWING NUMBER





SCHEDULE B

This forms part of application
DVP17-0298

City of Kelowna

Name of Amount of Amou

BUILDING FACE AREA: 324 SQFT (30.1M2)

ALLOWABLE OPENINGS: 11% (35.64 SQFT) PROPOSED OPENINGS: 4% (12.0 SQFT) NEW ASPHALT SHINGLES

NEW ASPHALT SHINGLES

NEW CEMENT FIBER TRIM (HARDIE OR EQUIVALENT) W/DENTIL BLOCK UNDER STRAPPED 2x4 BUMP OUT

NEW ACRYLIC STUCCO FINISH

NEW CEMENT FIBER TRIM (HARDIE OR EQUIVALENT) ON EXISTING POST, EXISTING BEAM ABOVE TO BE PAINTED OR CLAD IN TRIM TO MATCH

NEW CEMENT FIBRE SHAKE (HARDIE OR EQUIVALENT, EXTENT OF SHAKE TO BE STRAPPED OUT W/2x4

NEW CEMENT FIBER TRIM (HARDIE OR EQUIVALENT, EXTENT OF SHAKE TO BE STRAPPED OUT W/2x4

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2017-09-26 CONSTRUCTION DOCUMENTATION
2017-09-27 DEVELOPMENT PERMIT

PROJECT TITLE #1707

Bernard Carriage

House
809 Bernard Avenue
Kelowna, BC

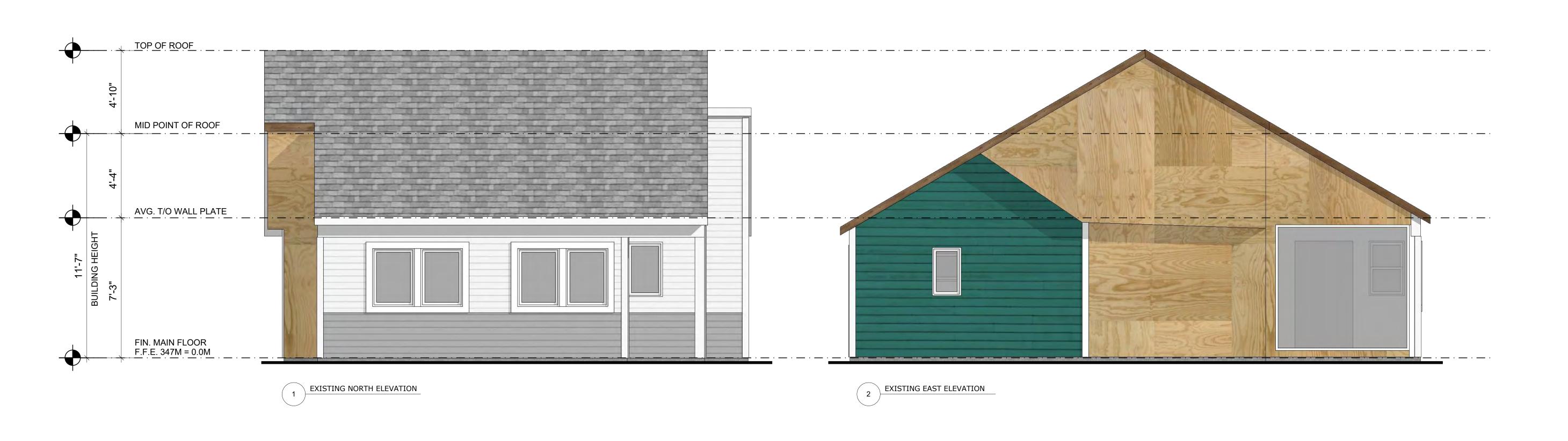
SHEET TITLE

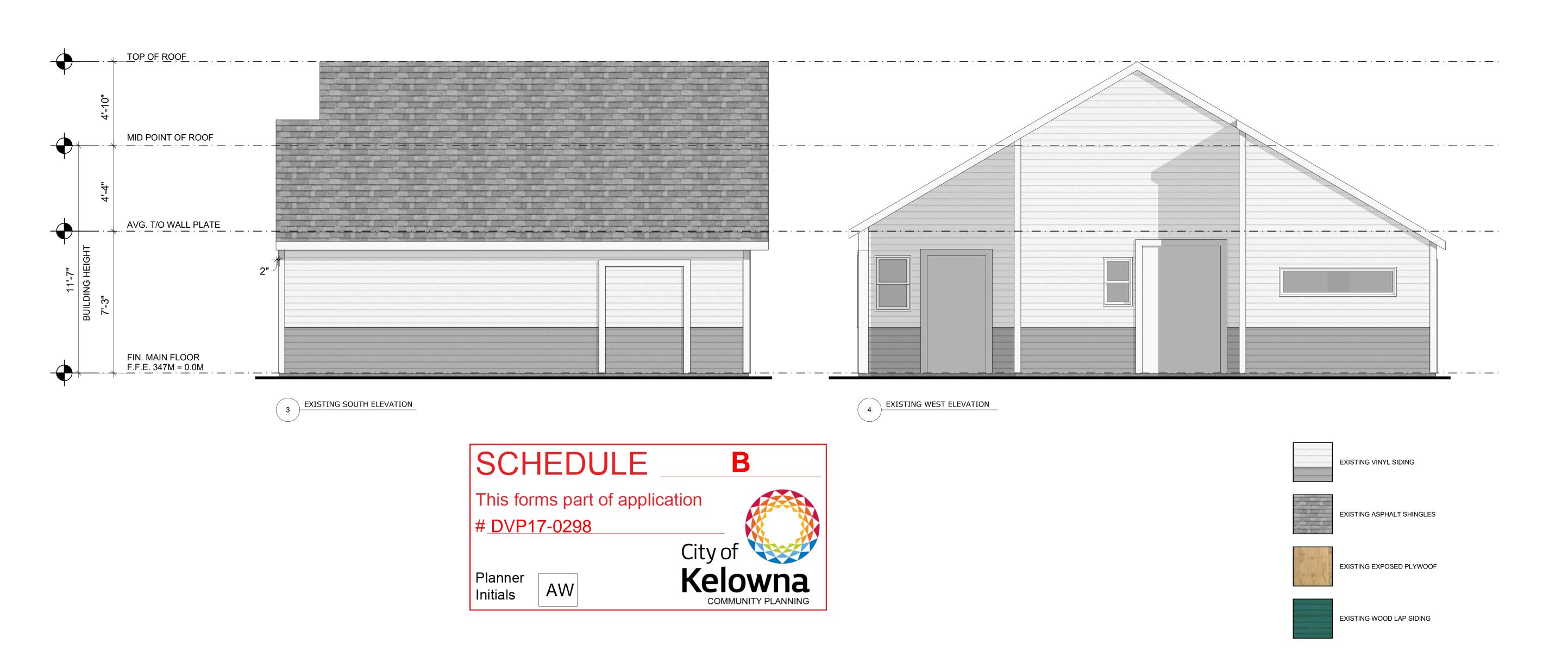
Proposed Elevations

SCALE 3/8" = 1'-0"

DRAWING NUMBER

A O





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A3.0	PROPOSED PERSPECTIVE ELEVATION
A3.1	PROPOSED ELEVATIONS
A3.2	EXISTING ELEVATIONS
A3.3	EXISTING PHOTOS
A4.0	SECTIONS
A5.0	DETAILS
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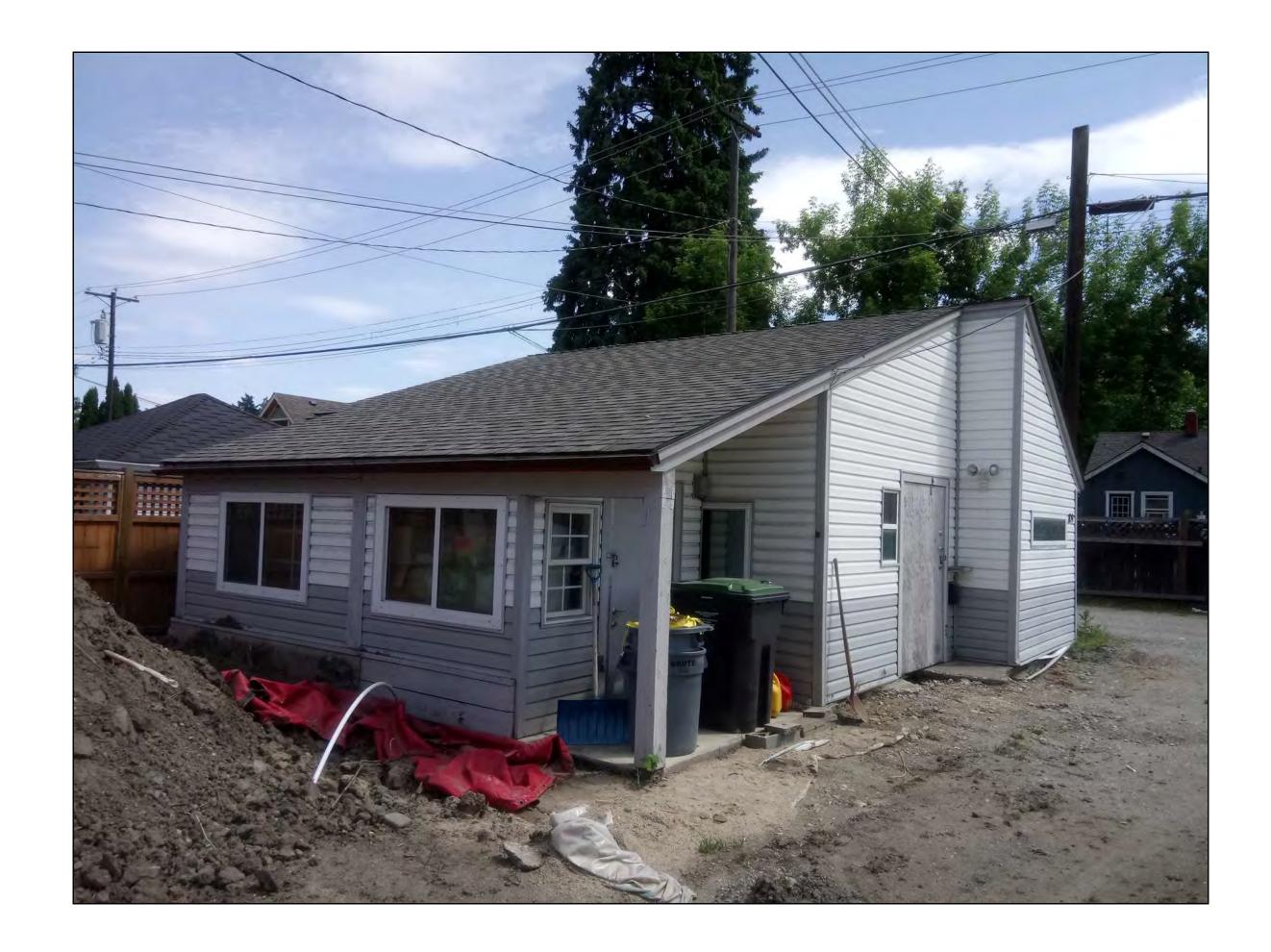
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DATE	ISSUED FOR
2017-09-26	CONSTRUCTION DOCUMENTATION
2017-09-27	DEVELOPMENT PERMIT
PROJECT TITI	_E #1707
Bernard	Carriage
House	
809 Bernard	I Avenue
Kelowna, BC	
SHEET TITLE	

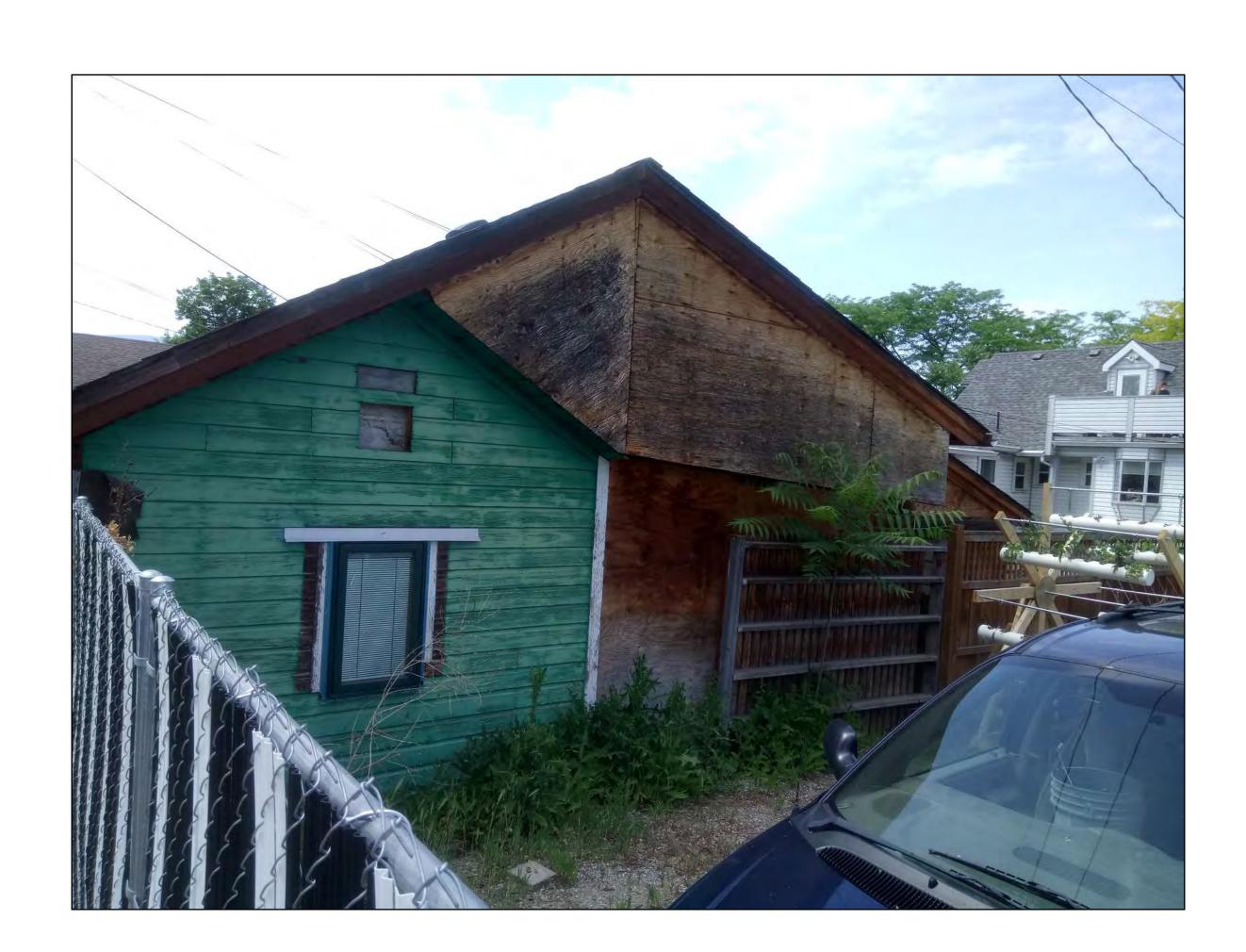
Existing Elevations

SCALE 3/8" = 1'-0"

DRAWING NUMBER









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_	A4.0	SECTIONS
	A5.0	DETAILS
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DATE

2017-09-26

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2017-09-27	DEVELOPMENT PERMIT	
PROJECT TITL	#170	
Bernard	Carriage	
House		
809 Bernard	I Avenue	

ISSUED FOR

CONSTRUCTION DOCUMENTATION

Kelowna, BC
SHEET TITLE

Existing Photos

SCALE

DRAWING NUMBER