

Development Variance Permit

DVP17-0196



This permit relates to land in the City of Kelowna municipally known as

261 Rialto Drive

and legally known as

Lot 37 Section 6 TWP 23 Plan 19808

The development has been approved subject to any attached terms and conditions, and to full compliance with the approved plans bearing the stamp of approval and the above described Development Variance Permit number.

The present owner and any subsequent owner of the above described land must comply with any attached terms and conditions.

Date of Decision: April 17th, 2018

Decision By: CITY COUNCIL

Issued Date: Tbd

File Manager: Alec Warrender

This permit will not be valid if development has not commenced by April 10, 2020.

Existing Zone: RR1 – Rural Residential 1

Future Land Use Designation: S2RES – Single/Two Unit Residential

This is NOT a Building Permit.

In addition to your Development Variance Permit, a Building Permit may be required prior to any work commencing. For further information, contact the City of Kelowna, Development Services Branch.

NOTICE

This permit does not relieve the owner or the owner's authorized agent from full compliance with the requirements of any federal, provincial or other municipal legislation, or the terms and conditions of any easement, covenant, building scheme or agreement affecting the building or land.

Owner: Israel & Mila Shapiro
Address: 261 Rialto Drive
City: Kelowna, BC
Phone: 250-864-9226

Ryan Smith, Community Planning Department Manager
Community Planning & Strategic Investments

Date

1. SCOPE OF APPROVAL

This Development Variance Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.

This Development Variance Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this permit, noted in the Terms and Conditions below.

The issuance of a permit limits the permit holder to be in strict compliance with regulations of the Zoning Bylaw and all other Bylaws unless specific variances have been authorized by the Development Variance Permit. No implied variances from bylaw provisions

shall be granted by virtue of drawing notations that are inconsistent with bylaw provisions and that may not have been identified as required Variances by the applicant or Municipal staff.

2. CONDITIONS OF APPROVAL

THAT Council authorizes the issuance of Development Variance Permit No. DVP17-0196 for Lot 37 Section 6 TWP 23 ODYD Plan 19808 located at 261 Rialto Drive, Kelowna, BC, to allow the construction of a carriage house subject to the following:

1. The dimensions and siting of the buildings to be constructed on the land be in accordance with Schedule "A,";
2. The elevations of the single family dwelling to be constructed on the land be in accordance with Schedule "B".

AND THAT variances to the following sections of Zoning Bylaw No. 8000 be granted:

Section 12.1.6(b): RR1 – Rural Residential 1 - Development Regulations

To vary the height of the proposed addition from 2 ½ storeys permitted to 3 storeys proposed.

Section 12.1.6(d): RR1 – Rural Residential 1 - Development Regulations

To vary the side yard setback from 3.0m required to 1.8m proposed.

This Development Variance Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

3. PERFORMANCE SECURITY

None required.

4. DEVELOPMENT

The land described herein shall be developed strictly in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit that shall form a part hereof.

If the Permit Holder does not commence the development permitted by this Permit within two years of the date of this Permit, this Permit shall lapse.

This Permit IS NOT a Building Permit.

5. Indemnification

Upon commencement of the works authorized by this Permit the Developer covenants and agrees to save harmless and effectually indemnify the Municipality against:

- a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality said Permit.

All costs, expenses, claims that may be incurred by the Municipality where the construction, engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

**The PERMIT HOLDER is the CURRENT LAND OWNER.
Security shall ONLY be returned to the signatory of the
Landscape Agreement or their designates.**

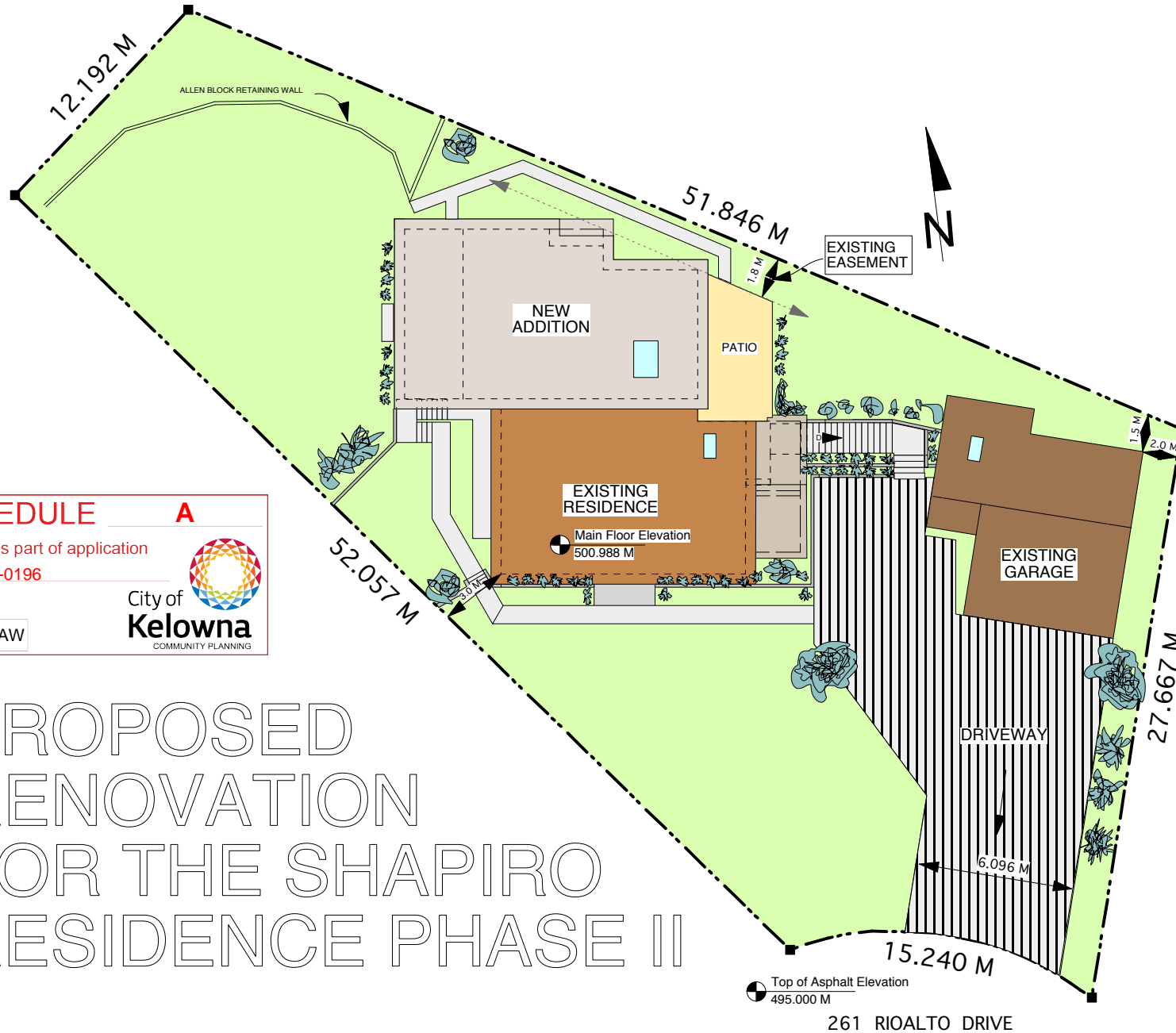
GENERAL NOTES:

1. BUILDER OR CONTRACTOR MUST VERIFY ALL DIMENSIONS PRIOR TO PROCEEDING WITH CONSTRUCTION.
2. ALL EXTERIOR WALL DIMENSIONS ARE TO THE FACE OF CONCRETE AND PLYWOOD SHEATHING.
3. ALL INTERIOR WALLS ARE DIMENSIONED TO THE CENTER LINE.
4. ALL WINDOWS AND DOORS ARE DIMENSIONED TO THE CENTER LINE.
5. INSULATE ALL BATHROOM WALLS R12 BATT INSULATION.
6. PROVIDE ACOUSTICAL BATT INSULATION AROUND ALL VERTICAL PLUMBING RUNS IN ALL WALLS.

LEGAL DISCRPTION

261 RIOALTO DRIVE
 KELOWNA, B.C.
 LOT 37, PLAN 19808,
 SEC. 6, TP23, ODYD
 ZONING: RU1
 LOT: 1394.5 SQ.M
 NEW ADDITION: 114.6 SQ. M

- LAWN
- SIDEWALK
- DRIVEWAY
- SHRUBS / TREES
- RETAINING WALL



SCHEDULE A

This forms part of application
 # DVP17-0196

Planner Initials **AW**

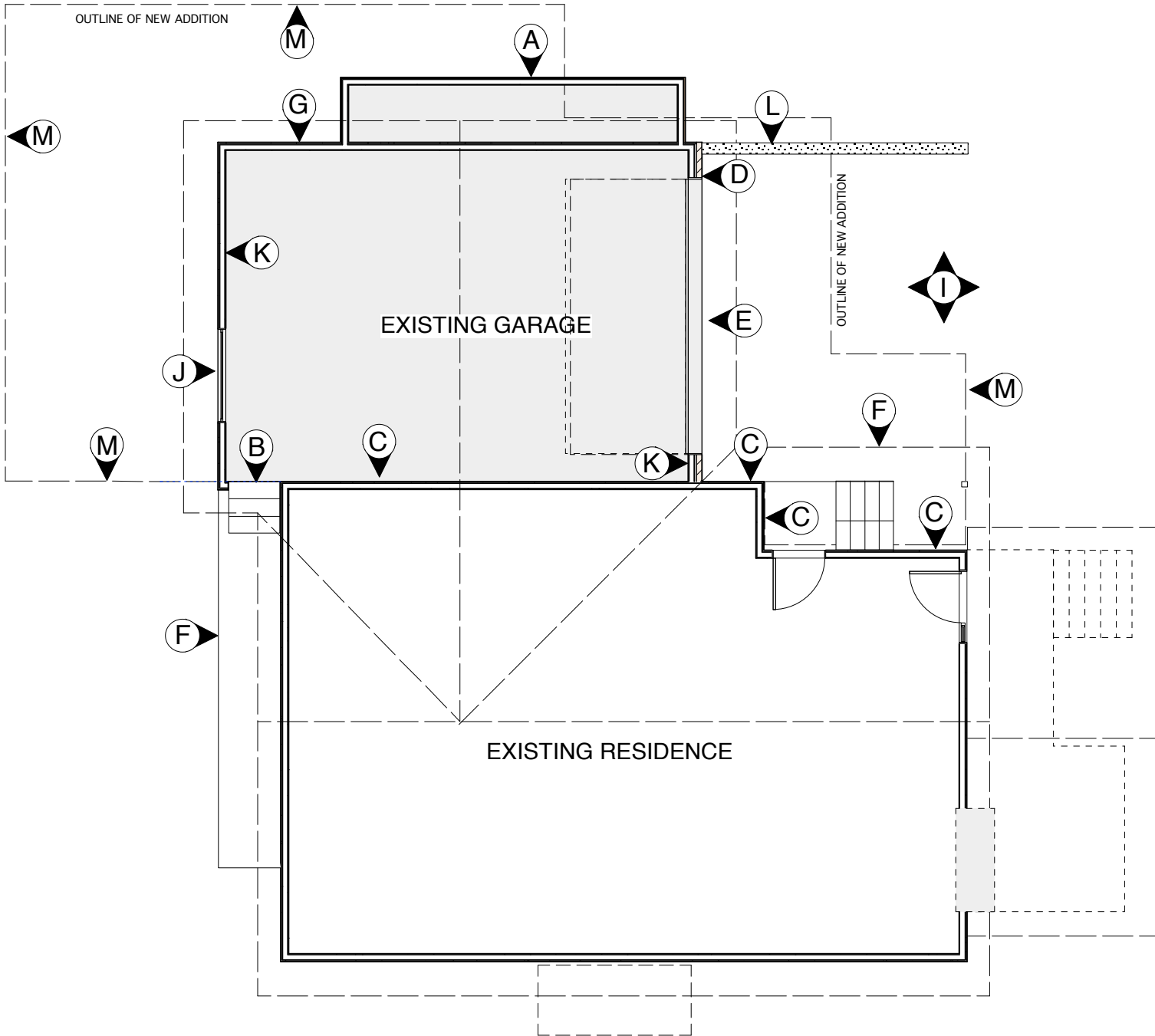
City of Kelowna
 COMMUNITY PLANNING

PROPOSED RENOVATION FOR THE SHAPIRO RESIDENCE PHASE II

SITE PLAN



PROJECT: SHAPIRO RENO PHASE II		SHEET: A.2	
NAME: SITE PLAN	DWN BY: IZZI	DATE: AUG. 24, 2017	



NOTES:

- TURN OVER ALL REUSABLE ITEMS TO OWNER.
- ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR.

LEDGEND

- A - remove shed & roof structure.
- B - fill in concrete steps.
- C - remove all stucco siding.
- D - remove cultured stone.
- E - remove overhead door and hdwe.
- F - remove overhang - flush with wall.
- G - remove side wall framing.
- H - remove 1x6 ceiling panelling.
- I - remove all existing asphalt surface.
- J - remove horizontal slider window.
- K - removal all interior wall coverings.
- L - remove retaining wall.
- M - proposed extension to existing garage.
- N - saw cut conc. wall for new TJI floor joists.
- O - remove shingle, roof sheathing & rafters
- P - remove beams from garage roof.
- Q - protect residence roof from weather
- R - temporarily relocate hvac unit

SCOPE OF ALTERATIONS:

- CONVERT EXISTING GARAGE INTO MEDIA ROOM, OFFICE SPACE AND ART STUDIO.
- CONVERT OLD ENTRY INTO WALK-IN CLOSET.
- ADD PATIO off MEDIA ROOM AND REAR STUDIO.

SCHEDULE A

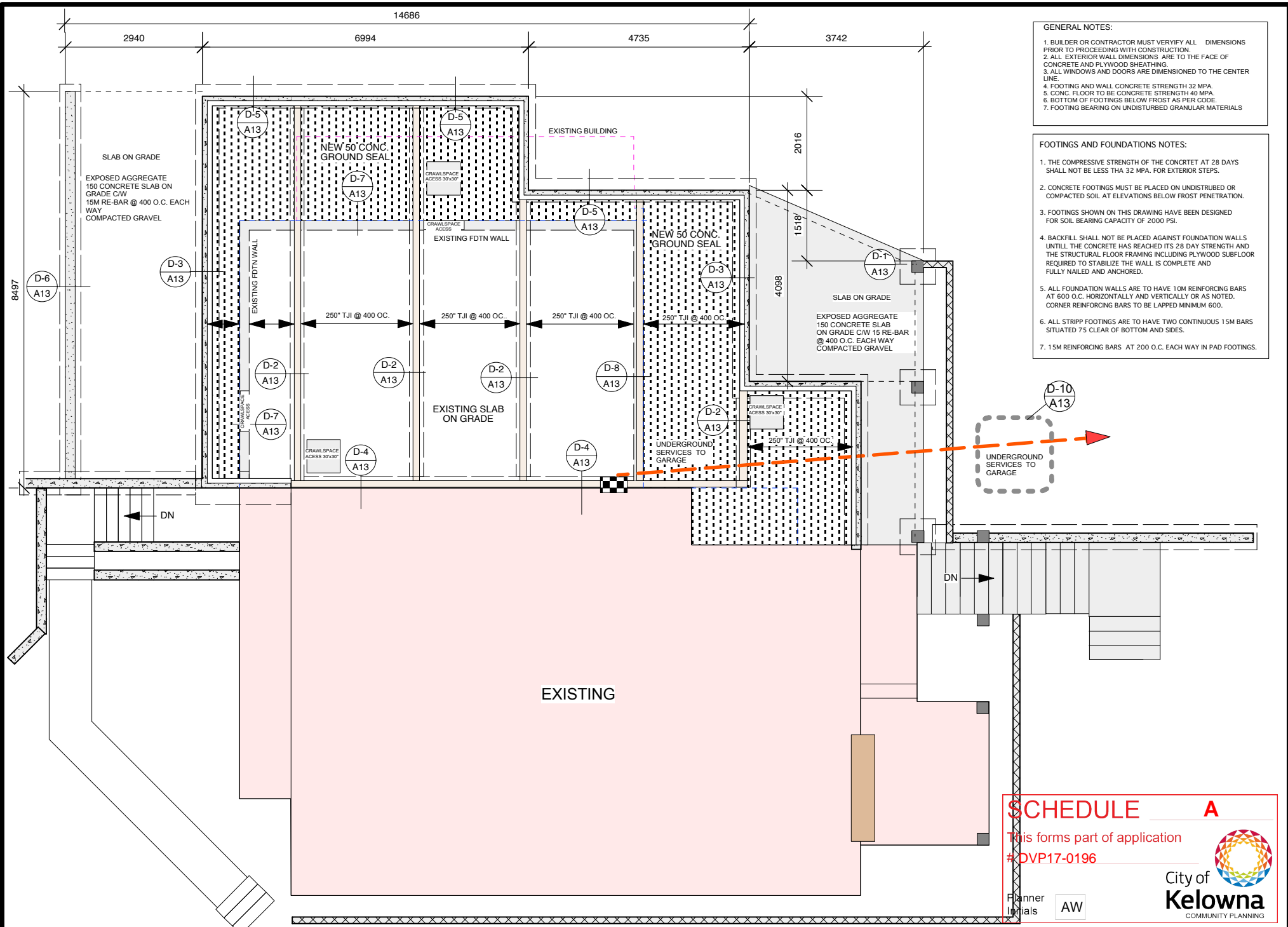
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Planner Initials **AW**

City of Kelowna
COMMUNITY PLANNING

DEMOLITION PLAN

PROJECT:	SHAPIRO RENO PHASE II		SHEET:
NAME:	DEMOLITION PLAN	DWN BY:	IZZI
		DATE:	AUG. 24, 2017
			A.3



- GENERAL NOTES:**
1. BUILDER OR CONTRACTOR MUST VERIFY ALL DIMENSIONS PRIOR TO PROCEEDING WITH CONSTRUCTION.
 2. ALL EXTERIOR WALL DIMENSIONS ARE TO THE FACE OF CONCRETE AND PLYWOOD SHEATHING.
 3. ALL WINDOWS AND DOORS ARE DIMENSIONED TO THE CENTER LINE.
 4. FOOTING AND WALL CONCRETE STRENGTH 32 MPA.
 5. CONC. FLOOR TO BE CONCRETE STRENGTH 40 MPA.
 6. BOTTOM OF FOOTINGS BELOW FROST AS PER CODE.
 7. FOOTING BEARING ON UNDISTURBED GRANULAR MATERIALS

- FOOTINGS AND FOUNDATIONS NOTES:**
1. THE COMPRESSIVE STRENGTH OF THE CONCRET AT 28 DAYS SHALL NOT BE LESS THA 32 MPA. FOR EXTERIOR STEPS.
 2. CONCRETE FOOTINGS MUST BE PLACED ON UNDISTRUBED OR COMPACTED SOIL AT ELEVATIONS BELOW FROST PENETRATION.
 3. FOOTINGS SHOWN ON THIS DRAWING HAVE BEEN DESIGNED FOR SOIL BEARING CAPACITY OF 2000 PSI.
 4. BACKFILL SHALL NOT BE PLACED AGAINST FOUNDATION WALLS UNTILL THE CONCRETE HAS REACHED ITS 28 DAY STRENGTH AND THE STRUCTURAL FLOOR FRAMING INCLUDING PLYWOOD SUBFLOOR REQUIRED TO STABILIZE THE WALL IS COMPLETE AND FULLY NAILED AND ANCHORED.
 5. ALL FOUNDATION WALLS ARE TO HAVE 10M REINFORCING BARS AT 600 O.C. HORIZONTALLY AND VERTICALLY OR AS NOTED. CORNER REINFORCING BARS TO BE LAPPED MINIMUM 600.
 6. ALL STRIPP FOOTINGS ARE TO HAVE TWO CONTINUOUS 15M BARS SITUATED 75 CLEAR OF BOTTOM AND SIDES.
 7. 15M REINFORCING BARS AT 200 O.C. EACH WAY IN PAD FOOTINGS.

SCHEDULE A

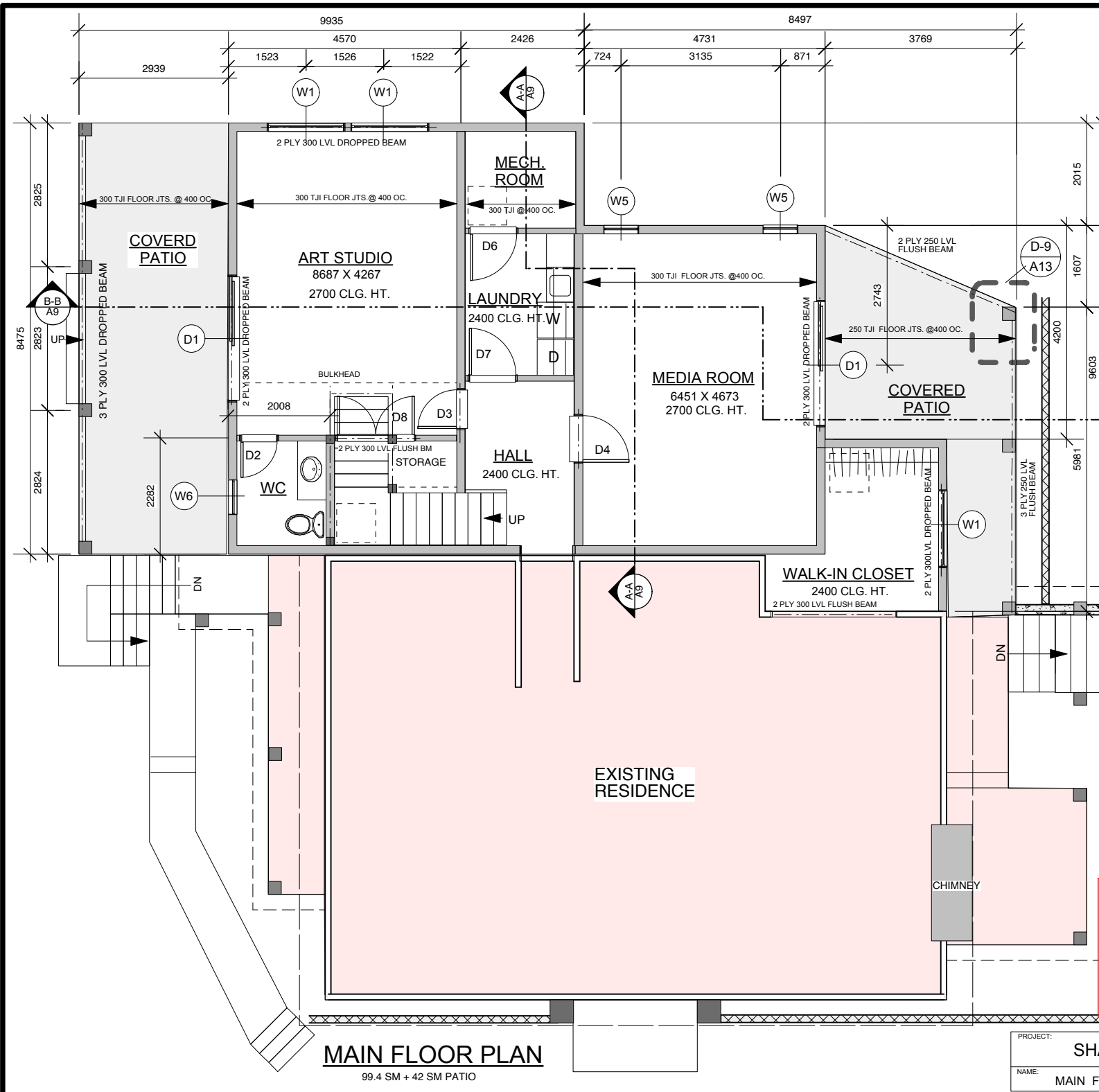
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City of Kelowna
COMMUNITY PLANNING

Planner Initials: **AW**

FOUNDATION PLAN

PROJECT:	SHAPIRO RENO PHASE II		SHEET:
NAME:	FOUNDATION PLAN	DWN BY:	A.4
		IZZI	DATE:
			AUG. 24, 2017



MAIN FLOOR WINDOW SCHEDULE				
I.D.	QTY	SIZE	TYPE	STYLE
W1	3	60 X 18	HORIZONTAL SLIDER	as per owner
W2	-	96 X 18	HORIZONTAL SLIDER	as per owner
W3	-	44 X 70	SKYLIGHT	as per owner
W4	-	60 X 60	HORZ. SLIDER	frosted glass
W5	2	24 X 60	VERT. SLIDER	as per owner
W6	1	24 X 36	VERT. SLIDER	frosted glass

MAIN FLOOR DOOR SCHEDULE					
I.D.	QTY	SIZE	TYPE	SWING	STYLE
D1	2	9068	EXT. SLIDING DOOR	XOX	as per owner
D2	1	2668	INT. SWING DR.	RH	as per owner
D3	1	2668	INT. SWING DR.	LH	as per owner
D4	1	2868	INT. SWING DR.	RH	as per owner
D5	-	2868	INT. SWING DR.	LH	as per owner
D6	1	3068	INT. SWING DR.	RH	as per owner
D7	1	3068	INT. SWING DR.	LH	as per owner
D8	1	6068	INT. DBLE SWING DR.	LH& RH	as per owner
D9	-	2668	INT. POCKET DR.	LH	as per owner

MAIN FLOOR PLAN
99.4 SM + 42 SM PATIO

SCHEDULE A

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Planner Initials **AW**

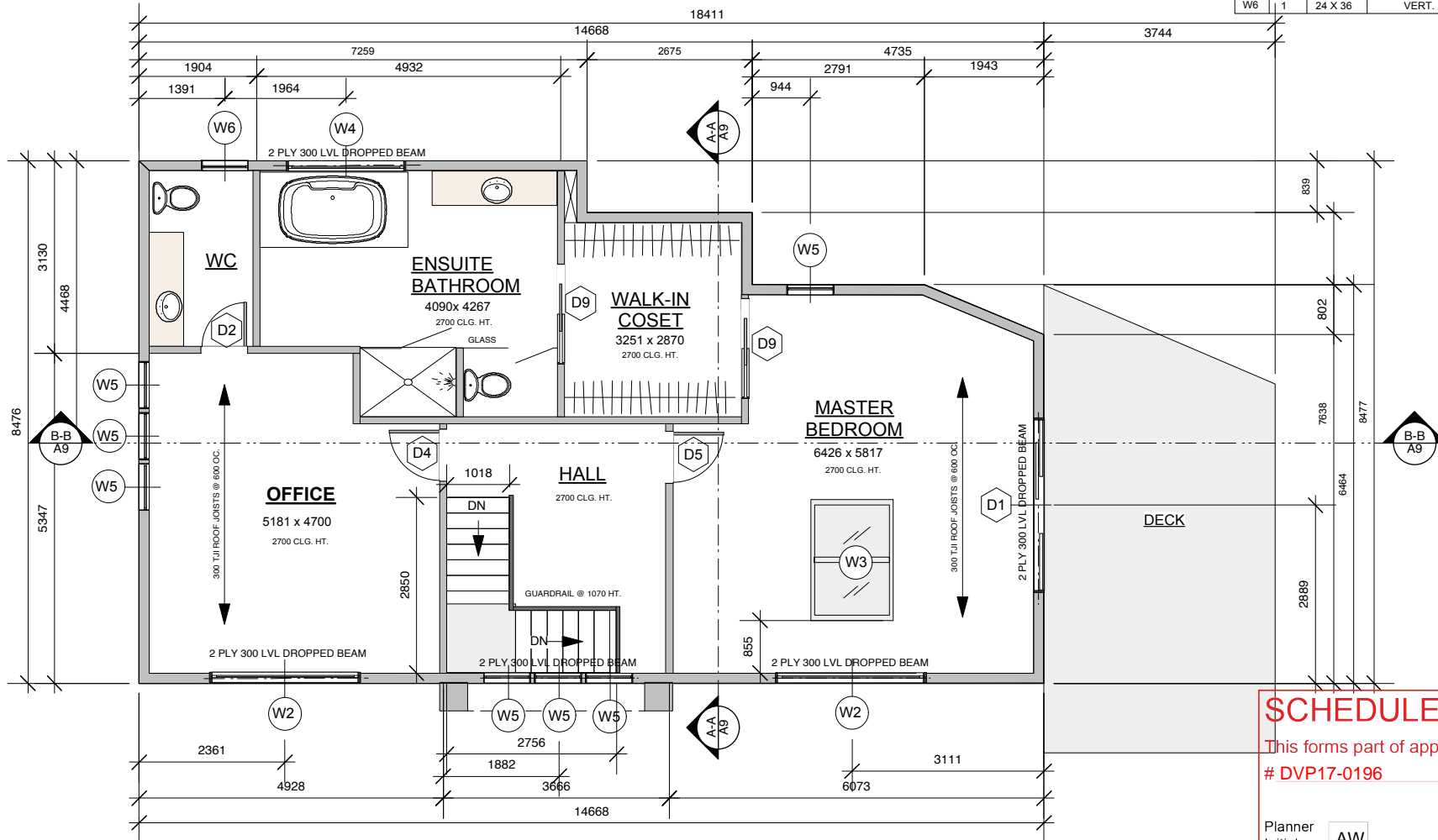
TRADE-OFF CALCULATIONS RSI WALL & CEILING CALCULATIONS					
ASSEMBLIES BEING TRADED	AREA OF ASSEMBLY	REFERENCE DESIGN VALUES		REFERENCE DESIGN VALUES	
		RSI VALUES (R)	A/R VALUES	RSI VALUES (R)	A/R VALUES
ATTIC	111 m ²	8.67 (m ² x K)	9.6 W/R	8.67 (m ² x K)	9.6 W/R
WALL	219 m ²	3.08 (m ² x K)	56.50 W/R	3.08 (m ² x K)	56.50 W/R
		TOTAL AIR VALUE 66.30 W/R			
DIFFERENCE IN A/R VALUES: 66.30 W/R = 0.75 W/R					
CEILING RESIDUAL A/R VALUE DIFFERENCE: 9.8 W/R - 0.75 W/R = 9.05 W/R					
PROPOSED CEILING AIR VALUE + WALL AIR VALUE: 9.05 + 57.25 W/R = 66.30 W/R					
NEW ATTIC RSI VALUE: 34.5 m ² / 9.05 W/R = 9.39 (m & K)Wx 5.678 = R53.33					

RSI WALL CALCULATIONS		
EXTERIOR WALL ASSEMBLY		
COMPONENT	RSI	
1. EXTERIOR AIR FILM	0.03	
2. ACRYLIC STUCCO SIDING	0.02	
3. ASPHALT IMPREGNATED PAPER 2	0.01	
4. 7/16" (11.1mm) OSB SHEATHING	0.11	
5. 2" x 6" (38mm X 140mm) FRAMING FILLED WITH R24 @ 16" O.C.	4.23	
6. POLYETHYLENE	0.00	
7. 1/2" (12.7mm) GYPSUM BOARD	0.08	
8. FINISH: 1 COAT LATEX PRIMER AND LATEX PAINT	0.00	
9. INTERIOR AIR FILM	0.12	
10.		
EFFECTIVE VALUE (WITHOUT HRV)	3.06	4.60
EFFECTIVE VALUE (WITH HRV)	2.97	

RSI CEILING CALCULATIONS		
ROOF ASSEMBLY - ceiling below attic		
COMPONENT	RSI	
1. 5/8" PLYWOOD ROOF SHEATHING	0.62	
2. VENTED ROOF AIR SPACE	0.03	
3. 2PLY 6" ROXUL 24" BATT INSULATION	7.75	
4. 12" TJI ROOF JOISTS+2X4 STRAPING + TAPERS @ 24" OC	1.76	
5. POLYETHYLENE	0.00	
6. 1/2" (12.7mm) GYPSUM BOARD	0.08	
7. INTERIOR AIR FILM CEILING (HEAT FLOW UP)	0.11	
8.		
EFFECTIVE VALUE (WITHOUT HRV)	8.67	10.35
EFFECTIVE VALUE (WITH HRV ZONE 5)	6.91	

UPPER FLOOR DOOR SCHEDULE						
I.D.	QTY	SIZE	TYPE	OPEN	STYLE	COMMENTS
D1	1	9068	EXT. SLIDING DOOR	XOX	as per owner	GLASS
D2	1	2668	INT. SWING DR.	RH		PANEL
D3	-	2668	INT. SWING DR.	LH		PANEL
D4	-	2868	INT. SWING DR.	RH		PANEL
D5	1	2868	INT. SWING DR.	LH		PANEL
D6	1	3068	INT. SWING DR.	RH		PANEL
D7	-	3068	INT. SWING DR.	LH		PANEL
D8	-	6068	INT. DBLE SWING DR.	LH&RH		PANEL
D9	2	2668	INT. POCKET DR.	LH		PANEL

UPPER FLOOR WINDOW SCHEDULE				
I.D.	QTY	SIZE	TYPE	STYLE
W1	-	60 X 18	HORIZONTAL SLIDER	as per owner
W2	2	96 X 18	HORIZONTAL SLIDER	as per owner
W3	1	44 X 70	SKYLIGHT	as per owner
W4	1	60 X 60	HOR. SLIDER	frosted glass
W5	7	24 X 60	VERT. SLIDER	as per owner
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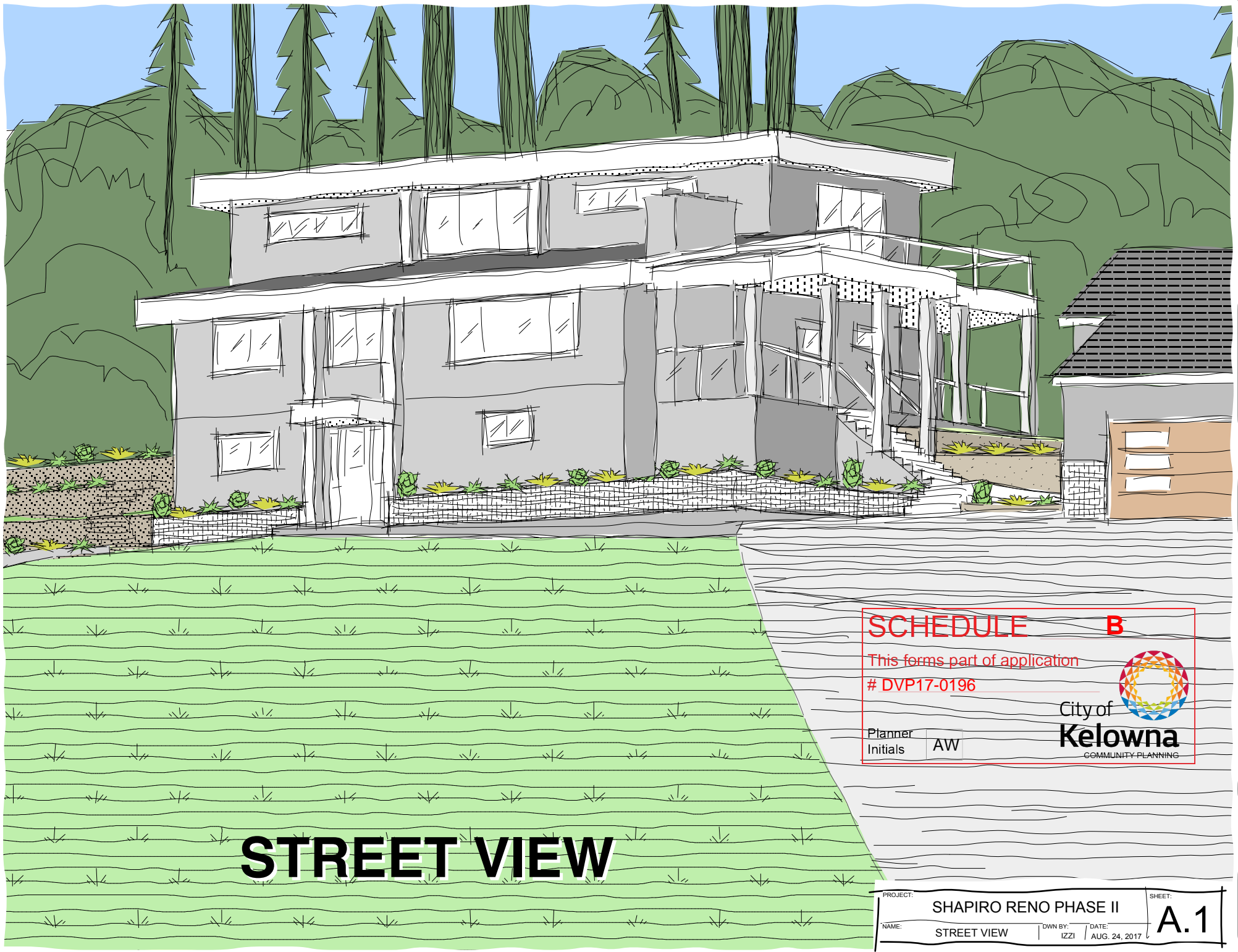


SCHEDULE A
 This forms part of application
 # DVP17-0196
 City of Kelowna
 COMMUNITY PLANNING
 Planner Initials: AW

UPPER FLOOR PLAN

111.5 SM + DECK 25.5 SM

PROJECT:	SHAPIRO RENO PHASE II		SHEET:	A.6
NAME:	UPPER FLOOR PLAN	DWN BY:	IZZI	
		DATE:	AUG. 24, 2017	



STREET VIEW

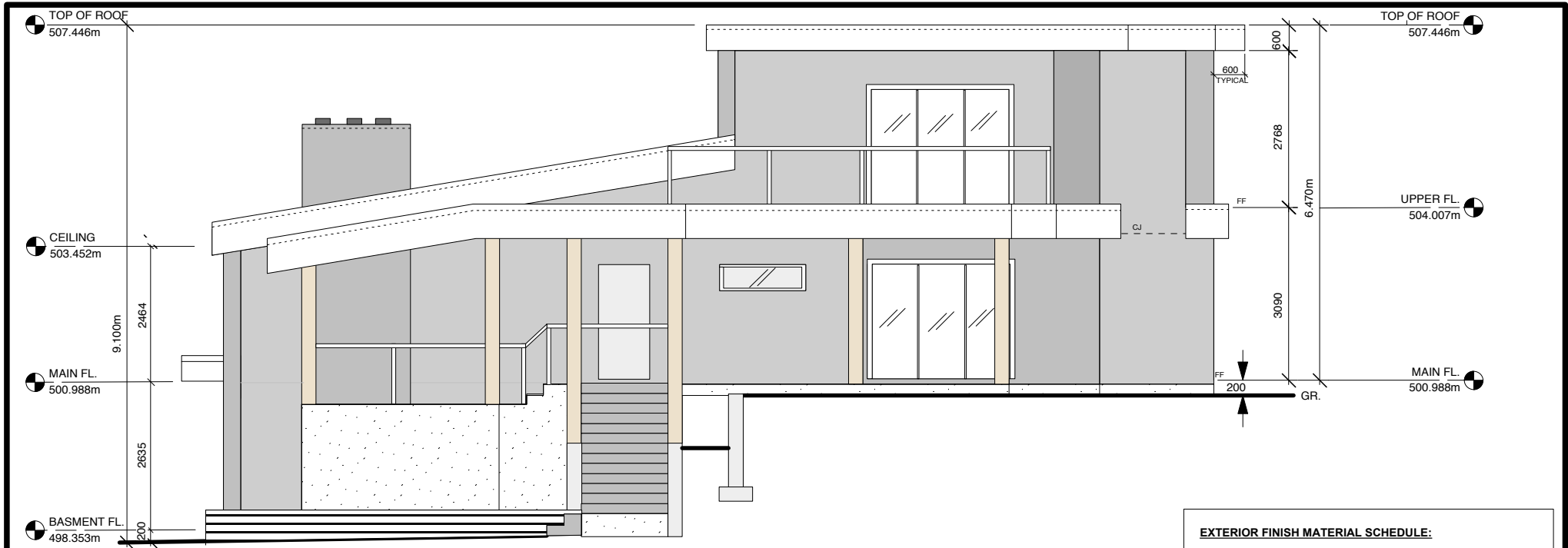
SCHEDULE B

This forms part of application
DVP17-0196

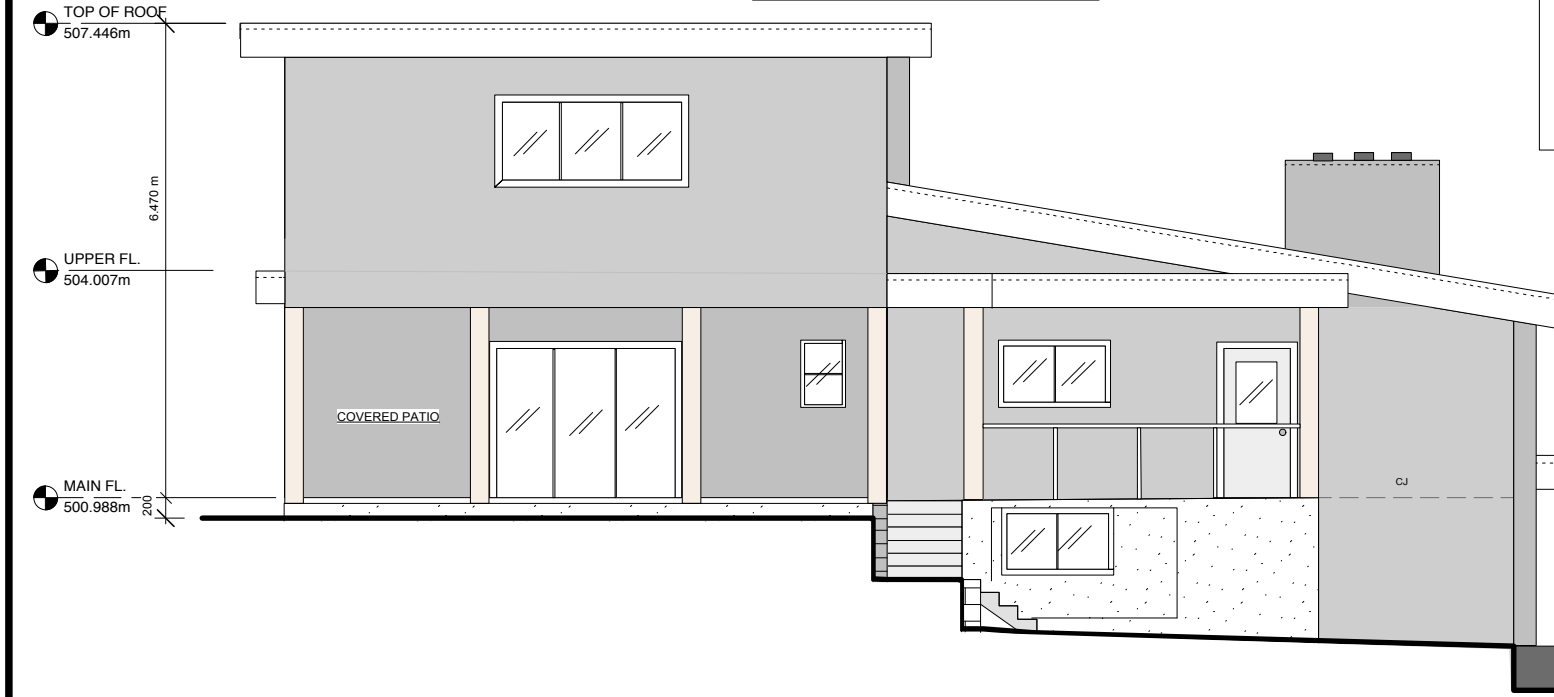
Planner Initials **AW**

City of **Kelowna**
COMMUNITY PLANNING





EAST ELEVATION VIEW



WEST ELEVATION VIEW

EXTERIOR FINISH MATERIAL SCHEDULE:

1. ROOF:	TORCH-ON MEMBRANE: COLOUR TO BE CONFIRMED
2. WALL FINISH:	ACRYLIC STUCCO: COLOUR TO BE CONFIRMED
3. WINDOWS:	VINYL FRAME, CLEAR GLASS EXCEPT WASHROOM DOUBLE GLAZED, COLOUR: WHITE
4. FASCIA:	ACRYLIC STUCCO FASCIA
5. SOFFIT:	WHITE ALUMINUM VENTED SOFFIT
6. GUARD RAILING:	WHITE ALUMINUM RAILING WITH TEMPERED GLASS

SCHEDULE B

This forms part of application
DVP17-0196

Planner Initials **AW**



City of Kelowna
COMMUNITY PLANNING

PROJECT:	SHAPIRO RENO PHASE II		SHEET:
NAME:	ELEVATIONS	DWN BY:	IZZI
		DATE:	AUG. 24, 2017
			A.7

TOP OF ROOF
507.446m

UPPER FL.
504.007m

CEILING
503.452m

MAIN FL.
500.988m

COVERED ENTRY

COVERED PATIO

HVAC

COVERED PATIO

600
TYPICAL

SCHEDULE B

This forms part of application
DVP17-0196

Planner Initials **AW**



NORTH ELEVATION VIEW

EXTERIOR FINISH MATERIAL SCHEDULE:

1. ROOF: TORCH-ON MEMBRANE: COLOUR TO BE CONFIRMED
2. WALL FINISH: ACRYLIC STUCCO: COLOUR TO BE CONFIRMED
3. WINDOWS: VINYL FRAME, CLEAR GLASS EXCEPT WASHROOM DOUBLE GLAZED, COLOUR: WHITE
4. FASCIA: ACRYLIC STUCCO FASCIA
5. SOFFIT: WHITE ALUMINUM VENTED SOFFIT
6. GUARD RAILING: WHITE ALUMINUM RAILING WITH TEMPERED GLASS

TOP OF ROOF
507.446m

UPPER FL.
504.007m

MAIN FL.
500.988m

GRADE

BASMENT FL.
27.813m

COVERED PATIO

600
TYPICAL

SOUTH ELEVATION VIEW

PROJECT:	SHAPIRO RENO PHASE II		SHEET:
NAME:	ELEVATIONS	DWN BY:	IZZI
		DATE:	AUG. 24, 2017
			A.8