



## MEMORANDUM

**Date:** December 4, 2017  
**File No.:** DP17-0262  
**To:** Urban Planning (LK)  
**From:** Development Engineer Manager (JK)  
**Subject:** 129 Wyndham Court

Development Engineering Department have the following comments and requirements associated with this application. The road and utility upgrading requirements outlined in this report will be a requirement of this development.

The Development Engineering Technologist for this project is Ryan O'Sullivan

### 1. Domestic Water and Fire Protection

- a) The property is located within the GEID service area.
- b) Provide an adequately sized domestic water and fire protection system complete with individual lot connections. The water system must be capable of supplying domestic and fire flow demands of the project in accordance with the Subdivision, Development & Servicing Bylaw. Provide water calculations for this subdivision to confirm this.
- c) Ensure every building site is located at an elevation that ensures water pressure is within the bylaw pressure limits. Note: Private pumps are not acceptable for addressing marginal pressure.
- d) Hydrants are to be spaced at 200m but also must be located within 100m of a building.
- e) Design drawings must be reviewed by GEID prior to the City issuing the drawings for construction. Confirmation of their review must be provided to the City.

### 2. Geotechnical Report

- a) Provide a comprehensive geotechnical report, prepared by a Professional Engineer competent in the field of hydro-geotechnical engineering to address the items below: **NOTE: The City is relying on the Geotechnical Engineer's report to prevent any damage to property and/or injury to persons from occurring as a result of problems with soil slippage or soil instability related to this proposed subdivision.**

The Geotechnical report must be submitted prior to submission of Engineering drawings or application for subdivision approval.

- (i) Area ground water characteristics, including any springs and overland surface drainage courses traversing the property. Identify any monitoring required.
- (ii) Site suitability for development.
- (iii) Site soil characteristics (i.e. fill areas, sulphate content, unsuitable soils such as organic material, etc.).
- (iv) Any special requirements for construction of roads, utilities and building structures.
- (v) Suitability of on-site disposal of storm water and sanitary waste, including effects upon adjoining lands.
- (vi) Slope stability, rock fall hazard and slippage including the effects of drainage and septic tank effluent on the site.
- (vii) Identify slopes greater than 30%.
- (ii) Top of bank assessment and location including recommendations for property line locations, septic field locations, building setbacks, and ground water disposal locations.
- (iii) Recommendations for items that should be included in a Restrictive Covenant.
- (iv) Any special requirements that the proposed subdivision should undertake so that it will not impact the bank(s). The report must consider erosion and structural requirements.
- (v) Any items required in other sections of this document.
- (vi) Recommendations for erosion and sedimentation controls for water and wind.
- (vii) Recommendations for roof drains and perimeter drains.
- (viii) Recommendations for construction of detention or infiltration ponds if applicable.

### 3. **Sanitary Sewer**

City of Kelowna's records indicate that this property is connected with 150mm sewer services. The developer's consulting mechanical engineer will determine the development requirements of this proposed development and establish the service needs. Only one service will be permitted for this development. The applicant, at his cost, will arrange for the removal and disconnection of the existing services and the installation of one new larger service if necessary.

**4. Storm Drainage**

- (a) The developer must engage a consulting civil engineer to provide a storm water management plan for the site, which meets the requirements of the City Storm Water Management Policy and Design Manual. The storm water management plan must also include provision of lot grading plan, minimum basement elevation (MBE), if applicable, and recommendations for onsite drainage containment and disposal systems.
- (b) On site storm drainage systems for the site will be reviewed and approved by Engineering when a site servicing design is submitted.
- (c) There is a possibility of a high water table or surcharging of storm drains during major storm events. This should be considered in the design of the onsite system.

**5. Road Improvements**

- (a) Access to Development will be from Wyndham Court. Driveway letdown will be required.
- (b) Union road and Glenmore Road frontage is up to Urban standards.

**6. Electric Power and Telecommunication Services**

- a) All proposed service connections are to be installed underground. It is the developer's responsibility to make a servicing application with the respective electric power, telephone and cable transmission companies to arrange for these services, which would be at the applicant's cost.
- b) Re-locate existing utilities, where necessary

**8. Design and Construction**

- (a) Design, construction supervision and inspection of all off-site civil works and site servicing must be performed by a Consulting Civil Engineer and all such work is subject to the approval of the City Engineer. Drawings must conform to City standards and requirements.
- (b) Engineering drawing submissions are to be in accordance with the City's "Engineering Drawing Submission Requirements" Policy. Please note the number of sets and drawings required for submissions.
- (c) Quality Control and Assurance Plans must be provided in accordance with the Subdivision, Development & Servicing Bylaw No. 7900 (refer to Part 5 and Schedule 3).
- (d) A "Consulting Engineering Confirmation Letter" (City document 'C') must be completed prior to submission of any designs.
- (e) Before any construction related to the requirements of this subdivision application commences, design drawings prepared by a professional engineer must be submitted to the City's Development Engineering Department. The design



drawings must first be "Issued for Construction" by the City Engineer. On examination of design drawings, it may be determined that rights-of-way are required for current or future needs.

**9. Servicing Agreements for Works and Services**

- (a) A Servicing Agreement is required for all offsite works and services on City lands in accordance with the Subdivision, Development & Servicing Bylaw No. 7900. The applicant's Engineer, prior to preparation of Servicing Agreements, must provide adequate drawings and estimates for the required works. The Servicing Agreement must be in the form as described in Schedule 2 of the bylaw.
- (b) Part 3, "Security for Works and Services", of the Bylaw, describes the Bonding and Insurance requirements of the Owner. The liability limit is not to be less than \$5,000,000 and the City is to be named on the insurance policy as an additional insured.

**10. Other Engineering Comments**

- (a) Provide all necessary Statutory Rights-of-Way for any utility corridors as required.
- (b) If any road dedication affects lands encumbered by a Utility right-of-way (such as Fortis, etc.) please obtain the approval of the utility prior to application for final subdivision approval. Any works required by the utility as a consequence of the road dedication must be incorporated in the construction drawings submitted to the City's Development Manager.

**11. Development Permit and Site Related Issues**

- (a) Access and Manoeuvrability
  - (i) Access to the site will be permitted from the Wyndham Court only.
  - (ii) Indicate on the site plan, the locations of loading bays as well as the garbage and recycle bins.
  - (iii) MSU design vehicle must be able to manoeuvre without backing onto Wyndham Court.



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James Kay, P. Eng.  
Development Engineering Manager

RO



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**CITY OF KELOWNA**  
**MEMORANDUM**

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**Date:** December 4, 2017  
**File No.:** DVP17-0263  
**To:** Community Planning (LK)  
**From:** Development Engineering Manager (JK)  
**Subject:** 129 Wyndham Court                      Form and Character Side setbacks

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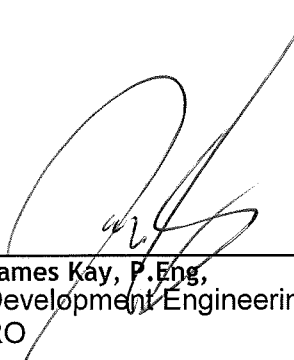
Development Engineering has the following comments and requirements associated with this application to obtain a Development Permit for the form and character of the proposed Apartment Building with Variance to Set yard setbacks South east and west sides.

The proposed development is within Proposed Strata Lot 26, Plan 54847

Development Engineering has no comment regarding the form and character and setbacks of the proposed buildings.

Proposed driveway access and turn around must be acceptable to the City fire department.

For servicing requirements refer to file DP17-0262



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James Kay, P.Eng.  
Development Engineering Manager  
RO



**Glenmore-Ellison Improvement District**

445 Glenmore Road  
Kelowna, BC V1V 1Z6

Email: [glenmore.ellison@shaw.ca](mailto:glenmore.ellison@shaw.ca)

Website: [www.glenmoreellison.com](http://www.glenmoreellison.com)

Phone: 250-763-6506

Fax: 250-763-5688

December 1, 2017

City of Kelowna  
Community Planning and Real Estate  
1435 Water Street  
Kelowna, B.C. V1Y 1J4

**Attention: Lydia Korolchuk (via email: [lkorolchuk@kelowna.ca](mailto:lkorolchuk@kelowna.ca); [planninginfo@kelowna.ca](mailto:planninginfo@kelowna.ca))**

**Re: City of Kelowna File DP17-0262, DVP17-0263, 54 unit apartment building  
129 Wyndham Crescent - Lot 26, Plan KAP51847**

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Glenmore-Ellison Improvement District (GEID) has received a DP / DVP referral from the City of Kelowna for the above noted property. GEID does not require fees and conditions prior to DP / DVP approval; however, GEID will have fees and conditions required prior to issuance of a Water Service Certificate to facilitate building permit issuance.

Please note that applications for new development proposing to utilize the GEID water system must proceed in compliance with GEID bylaws, regulations, and policy.

For a detailed assessment of the water servicing fees and conditions required prior to issuance of a Water Service Certificate, please submit an application fee in the amount of \$150.00 payable to GEID.

If you have any questions on this matter, please do not hesitate to contact me.

Sincerely,

**GLENMORE-ELLISON IMPROVEMENT DISTRICT**

Mike Rojem  
Projects Coordinator

cc. Applicant: GTA Architecture (via email: [carlos@gtarch.ca](mailto:carlos@gtarch.ca))  
Owner: 1125532 BC Ltd. 56 Panatella Pt. N.W. Calgary, Alberta, T3K 0A9



# Development Permit DP17-0039

<b>ATTACHMENT C</b>	
This forms part of application	
# DP17-0262 DVP17-0263	
Planner Initials	LK
City of <b>Kelowna</b> COMMUNITY PLANNING	



This permit relates to land in the City of Kelowna municipally known as

129 Wyndham Crescent

and legally known as

Lot 26 Section 4 Township 23 ODYD Plan KAP51847

and permits the land to be used for the following development:

## Multiple Dwelling Housing

The development has been approved subject to any attached terms and conditions, and to full compliance with the approved plans bearing the stamp of approval and the above described development permit number.

The present owner and any subsequent owner of the above described land must comply with any attached terms and conditions.

Date of Decision: April 17, 2018, 2018

Decision By: CITY COUNCIL

Development Permit Area: Comprehensive Development Permit Area

**This permit will not be valid if development has not commenced by April 17, 2020.**

Existing Zone: RM5

Future Land Use Designation: MRM

## This is NOT a Building Permit.

In addition to your Development Permit, a Building Permit may be required prior to any work commencing. For further information, contact the City of Kelowna, Development Services Branch.

## NOTICE

This permit does not relieve the owner or the owner's authorized agent from full compliance with the requirements of any federal, provincial or other municipal legislation, or the terms and conditions of any easement, covenant, building scheme or agreement affecting the building or land.

Owner: 1125532 BC LTD., INC. No. BC1125532

Applicant: GTA Architecture Ltd.

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Ryan Smith, Community Planning Department Manager  
Community Planning & Strategic Investments

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Date



## **1. SCOPE OF APPROVAL**

This Development Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.

This Development Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this permit, noted in the Terms and Conditions below.

The issuance of a permit limits the permit holder to be in strict compliance with regulations of the Zoning Bylaw and all other Bylaws unless specific variances have been authorized by the Development Permit. No implied variances from bylaw provisions shall be granted by virtue of drawing notations that are inconsistent with bylaw provisions and that may not have been identified as required Variances by the applicant or Municipal staff.

## **2. CONDITIONS OF APPROVAL**

- a) The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A";
- b) The exterior design and finish of the building to be constructed on the land be in accordance with Schedule "B";
- c) Landscaping to be provided on the land be in accordance with Schedule "C"; and
- d) The applicant be required to post with the City a Landscape Performance Security deposit in the form of a "Letter of Credit" in the amount of 125% of the estimated value of the landscaping, as determined by a Registered Landscape Architect.

This Development Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

## **3. PERFORMANCE SECURITY**

As a condition of the issuance of this Permit, Council is holding the security set out below to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Developer and be paid to the Developer or his or her designate if the security is returned. The condition of the posting of the security is that should the Developer fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the Municipality may use enter into an agreement with the property owner of the day to have the work carried out, and any surplus shall be paid over to the property own of the day. Should the Developer carry out the development permitted by this Permit within the time set out above, the security shall be returned to the Developer or his or her designate. There is filed accordingly:

- a) A Certified Cheque in the amount of \$150,637.50
- OR
- b) An Irrevocable Letter of Credit in the amount of \$150,637.50

Before any bond or security required under this Permit is reduced or released, the Developer will provide the City with a statutory declaration certifying that all labour, material, workers' compensation and other taxes and costs have been paid.

## **4. Indemnification**

Upon commencement of the works authorized by this Permit the Developer covenants and agrees to save harmless and effectually indemnify the Municipality against:

- a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality said Permit.

All costs, expenses, claims that may be incurred by the Municipality where the construction, engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

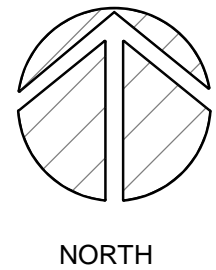
**The PERMIT HOLDER is the CURRENT LAND OWNER.  
Security shall ONLY be returned to the signatory of the  
Landscape Agreement or their designates.**



# WYNDHAM CRESCENT

129 Wyndham Crescent, Kelowna, BC

LOCATION MAP



## CONSULTANTS:

### ARCHITECTURAL:

**GTA ARCHITECTURE LTD.**  
CONTACT: GARRY TOMPOROWSKI  
243 - 1889 SPRINGFIELD ROAD  
KELOWNA, B.C., V1V 1S9  
PHONE: (250) 979-1668, FAX: (250) 979-4366  
EMAIL: garry@gtarch.ca

### CIVIL:

**CTQ CONSULTANTS LTD**  
CONTACT: MURRAY NOBLE  
1334 ST. PAUL STREET, KELOWNA,  
BC V1Y 2E1, CANADA  
PHONE: (250)-979-1221  
EMAIL: MNOBLE@CTQCONSULTANTS.CA

### LANDSCAPE:

**WSP LTD**  
CONTACT: ADRIAN SHURA  
540 LEON AVENUE, KELOWNA  
BC V1Y 6J6, CANADA  
PHONE: (250)-980-5510  
EMAIL: ADRIAN.SHURA@WSP.COM

### SURVEYOR:

**RUNNALLS DENBY-BRITISH COLUMBIA LAND SURVEYORS**  
CONTACT: NEIL DENBY  
259A LAWRENCE AVENUE, KELOWNA,  
BC, V1Y 6L2  
PHONE: (250) 763-7322  
EMAIL: ROB@RUNNALLSDENBY.COM

## LIST OF DRAWINGS:

### ARCHITECTURAL

SHEET NUMBER	SHEET NAME
A0.00	COVER SHEET
A0.01	VARIANCE REQUEST
A0.02	SITE PHOTOS
A0.03	PERSPECTIVE VIEW
A0.04	PERSPECTIVE VIEW
A1.10	SURVEY PLAN
A1.20	SITE PLAN
A2.00	BASEMENT FLOOR PLAN
A2.01	MAIN FLOOR PLAN
A2.02	TYPICAL UPPER FLOOR
A2.04	ROOF PLAN
A2.10	SUITE PLAN
A3.01	EXTERIOR ELEVATIONS
A3.02	EXTERIOR ELEVATIONS
A4.01	BUILDING SECTIONS
A4.02	BUILDING SECTIONS

## SYMBOL LEGEND:

GL	GRID LINE:
Y	DRAWING NUMBER
AS.5	SHEET NUMBER
2	BUILDING SECTION REFERENCE MARKER
AS.4	DETAIL REFERENCE
Wx	ASSEMBLY TYPE
Wx	ASSEMBLY TYPE REFERENCE
Wx	STRUCTURAL MATERIAL

## PROJECT INFO:

### CIVIL ADDRESS:

129 Wyndham Crescent, Kelowna, BC

### LEGAL DESCRIPTION:

Lot 15 District Lot 1688S Similkameen  
Division Yale District Plan KAP71342

### ZONING:

RM5

### LOT AREA:

4262m<sup>2</sup>

## FLOOR AREAS:

GROSS FLOOR AREA:  
BASEMENT: 3270m<sup>2</sup>  
MAIN FLOOR: 1415m<sup>2</sup>  
SECOND FLOOR: 1415m<sup>2</sup>  
THIRD FLOOR: 1415m<sup>2</sup>  
FOURTH FLOOR: 1415m<sup>2</sup>

TOTAL: 8930m<sup>2</sup>

## UNIT COUNT(NET FLOOR AREA):

1 - BEDROOM UNIT : 7  
2 - BEDROOM UNIT : 47  
TOTAL UNITS NO: 54  
  
TYPE 'A': 946 ft<sup>2</sup> X 8 = 7568 ft<sup>2</sup>  
TYPE 'B': 984 ft<sup>2</sup> X 24 = 23616 ft<sup>2</sup>  
TYPE 'C': 990 ft<sup>2</sup> X 4 = 3960 ft<sup>2</sup>  
TYPE 'D': 670 ft<sup>2</sup> X 7 = 4690 ft<sup>2</sup>  
TYPE 'E': 943 ft<sup>2</sup> X 4 = 3772 ft<sup>2</sup>  
TYPE 'F': 1000 ft<sup>2</sup> X 4 = 4000 ft<sup>2</sup>

UNIT TOTAL: 47606 ft<sup>2</sup>(4422m<sup>2</sup>)

## CITY OF KELOWNA ZONING BYLAW NO. 8000 ANALYSIS:

### Section 7 – Landscaping and Screening

#### 7.3 Refuse and Recycling Bins

7.3.2 REFUSE & RECYCLING BINS SCREENING FROM ADJACENT STREETS AND LOTS  
(PROPOSED: BINS SCREENED)

### 7.6 MINIMUM LANDSCAPE BUFFERS

7.6.1  
b)LEVEL 2: MIN 3.0m BUFFER

c)LEVEL 3: MIN 3.0m BUFFER OR OPAQUE BARRIER

TABLE 7.1 MIN. LANDSCAPE BUFFER TREATMENT LEVELS SCHEDULE

FRONT: LEVEL 2 BOULEVARD(NO ADJACENT PROPERTY)  
REAR YARD: LEVEL 3 O SETBACK AT ENTRY LEVEL LEVEL  
(PARKADE) VEG. BUFFER AT FIRST

#### STOREY DECK

NORTH SIDE YARD: LEVEL 3

SOUTH SIDE YARD: LEVEL 3

BOULEVARD (NO ADJACENT PROPERTY)  
NOT REQ'D DUE TO PROP. LINE SPECIAL  
CONDITION. PEDESTRIAN SIDEWALK  
PROVIDED

## SECTION 9 - PARKING AND LOADING

### 8.1 OFF-STREET VEHICLE PARKING

#### 8.1.2. MIN NUMBER SPACES

TABLE 8.1

- ALL COMMERCIAL USES IN THE C4 ZONE: 1.75 PER 100M2 G.F.A.

TOTAL REQUIRED: 80  
TOTAL PROPOSED: 80  
COVERED: 80  
UNCOVERED:

### 8.1.7 PARKING SPACES FOR THE DISABLED

a) PER B.C. BUILDING CODE: 1/100 PROP: 2

### 8.1.11 SIZE AND RATIO

FULL SIZE:  
a) MIN WIDTH: 2.5m PROP: 76  
MIN LENGTH: 6m PROP: 2.5m  
MIN HEIGHT: 2.0m PROP: 6.0m  
PROP: 2.0m

MID SIZE: MAX NUMBER: 40% PROP: 12

SMALL SIZE: MAX NUMBER: 40% PROP: N/A

### 8.4 OFF-STREET BICYCLE PARKING

#### 8.4.1 NUMBER OF SPACES

TABLE 8.3: COMMERCIAL

CLASS I: 0.50 PER 100m2 GLA 27 SPACES REQUIRED PROP: 27 SPACES  
CLASS II: 0.10 PER 100m2 GLA: 6 SPACES REQUIRED PROP: 6

### 8.4.6 DEVELOPMENT

BICYCLE PARKING MIN WIDTH: 0.6m  
MIN LENGTH: 1.8m  
MIN HEIGHT: 1.9m

## SECTION 13.11 - RM5 - MEDIUM DENSITY MULTIPLE HOUSING

### 13.11.2. PRINCIPLE USES:

(f) MULTIPLE DWELLING HOUSING

### 13.11.5 SUBDIVISION REGULATIONS

MINIMUM LOT WIDTH: 30.0m. (EXISTING : 57m)  
MINIMUM LOT DEPTH: 35.0m (EXISTING: 100m)  
MINIMUM LOT AREA: 1400 m<sup>2</sup>. (EXISTING: 4262m<sup>2</sup>)

### 13.11.6 DEVELOPMENT REGULATIONS

MAX HEIGHT: IS THE LESSER OF 18.0m OR 4.5 STOREYS  
SITE COVERAGE: 40%  
MAX FLOOR AREA RATIO: 1.2(COVERED PARKING BONUS)  
MIN FRONT YARD: 6.0m  
MIN SIDE YARD: 7.0m

PROP: 4 STOREYS(15.0m)  
PROP: 37%  
PROP: 1.03  
PROP: 30.0m  
PROP: 7.5m(NE),

4.5m(SE, VARIANCE 1)  
4.5m(NW, VARIANCE 2)

SEE SHEET A0.01

MIN REAR YARD: 9.0m(WITH REAR LANE 7.0m)  
MAX BUILDING FRONTAGE: 100m  
MIN PRIVATE OPEN SPACE: 7.5m<sup>2</sup>(BACHELOR), 15m<sup>2</sup>(1 BEDROOM), 25m<sup>2</sup>(2 BEDROOM)

PROP: 9.0m  
PROP: 85m  
PROP: 25m<sup>2</sup>(2 BEDROOM)  
PROP: TOTAL REQ'D=1280m<sup>2</sup>  
TOTAL PROVIDED=2740m<sup>2</sup>

## Notes:

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02	NOV 10, 2017	FF	ISSUE FOR REVIEW
03	NOV 23, 2017	FF	ISSUE FOR DEVELOPMENT PERMIT

NO. DATE BY REVISION

DESIGN CONSULTANT

SEAL

gta

GTA ARCHITECTURE LTD.

243 1889 SPRINGFIELD ROAD  
Kelowna, British Columbia,  
V1Y 1S5  
TELEPHONE: (250)979-1668  
www.gtarch.ca

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PROJECT

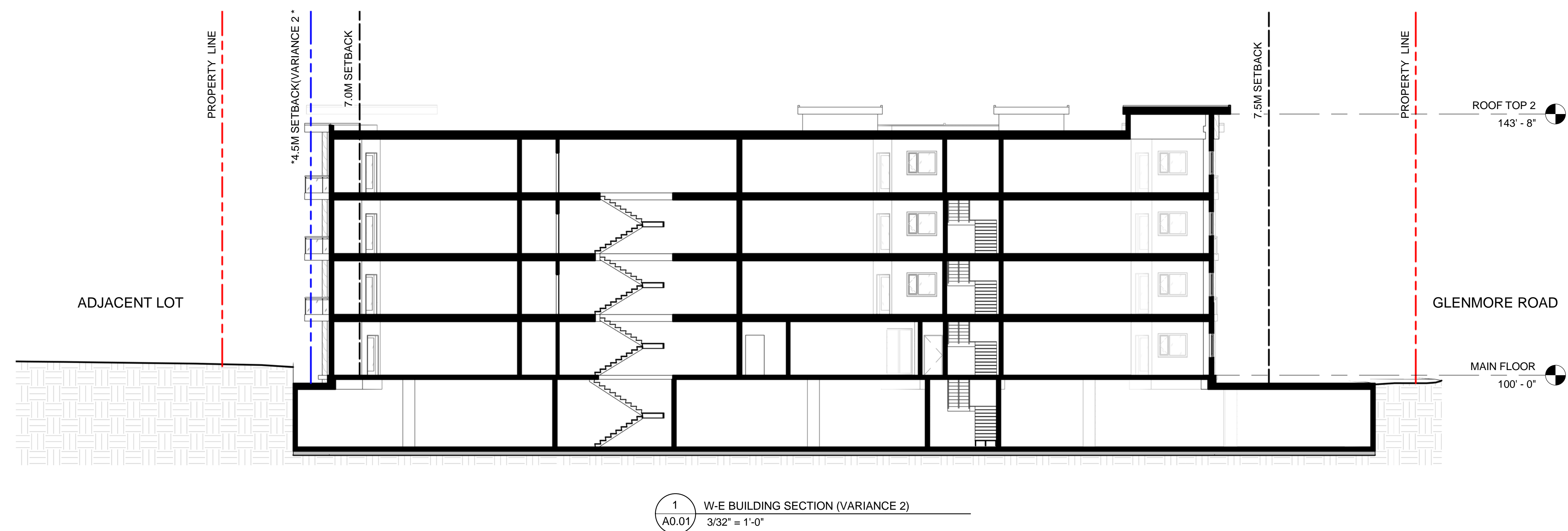
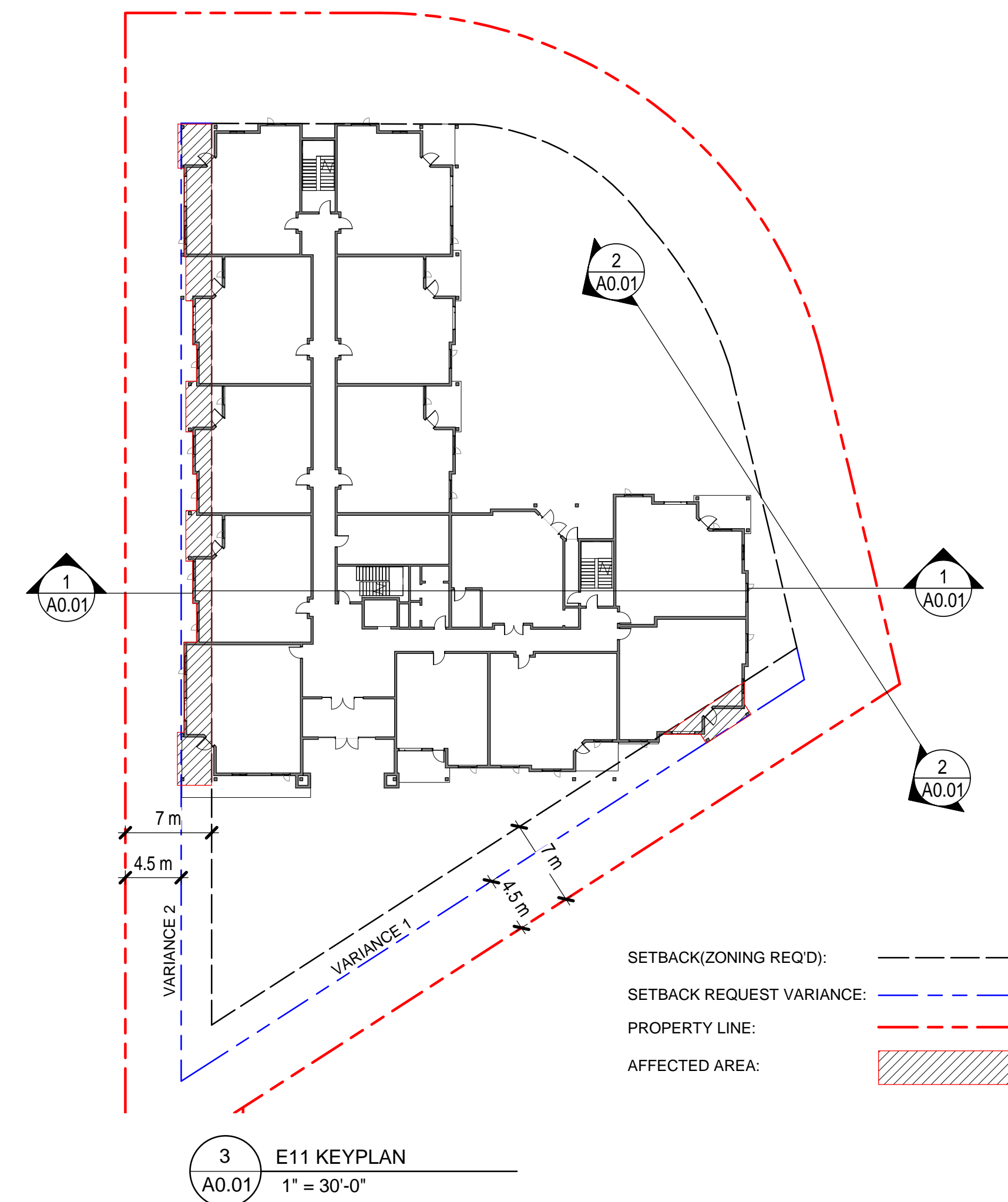
WYNDHAM  
CRESCENT  
129 Wyndham Crescent, Kelowna, BC

SHEET TITLE

COVER SHEET

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SCALE:	As indicated		
DATE:	24/11/2017 12:23:45 PM	FILE:	A17-24





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DESIGN CONSULTANT

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PROJECT

WYNDHAM  
CRESCENT  
Wyndham Crescent, Kelowna, BC

SHEET TITLE

## VARIANCE REQUEST

DRAWN BY:	FF	DRAWING NO.	A0.01
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NO.	DATE	BY	REVISION
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DESIGN CONSULTANT

SEAL

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DEVELOPED BY:

PROJECT

WYNDHAM  
CRESCENT

129 Wyndham Crescent, Kelowna, BC

SHEET TITLE

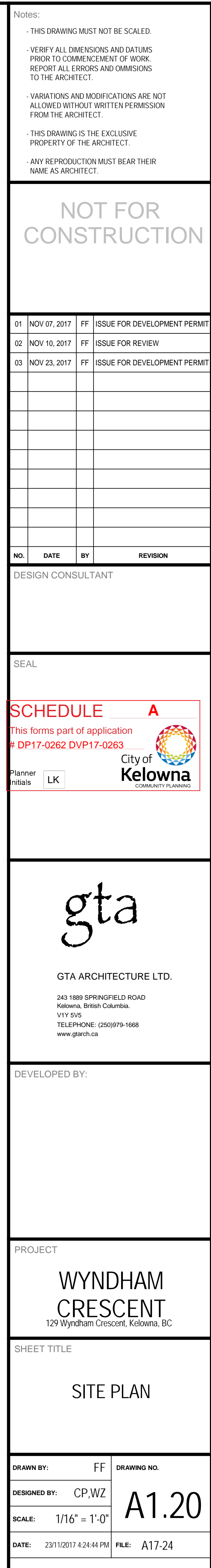
PERSPECTIVE VIEW

DRAWN BY:	FF	DRAWING NO.	A0.04
DESIGNED BY:	CP,WZ		
SCALE:			
DATE:	23/11/2017 4:24:33 PM	FILE:	A17-24



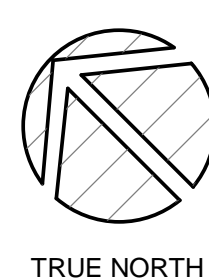




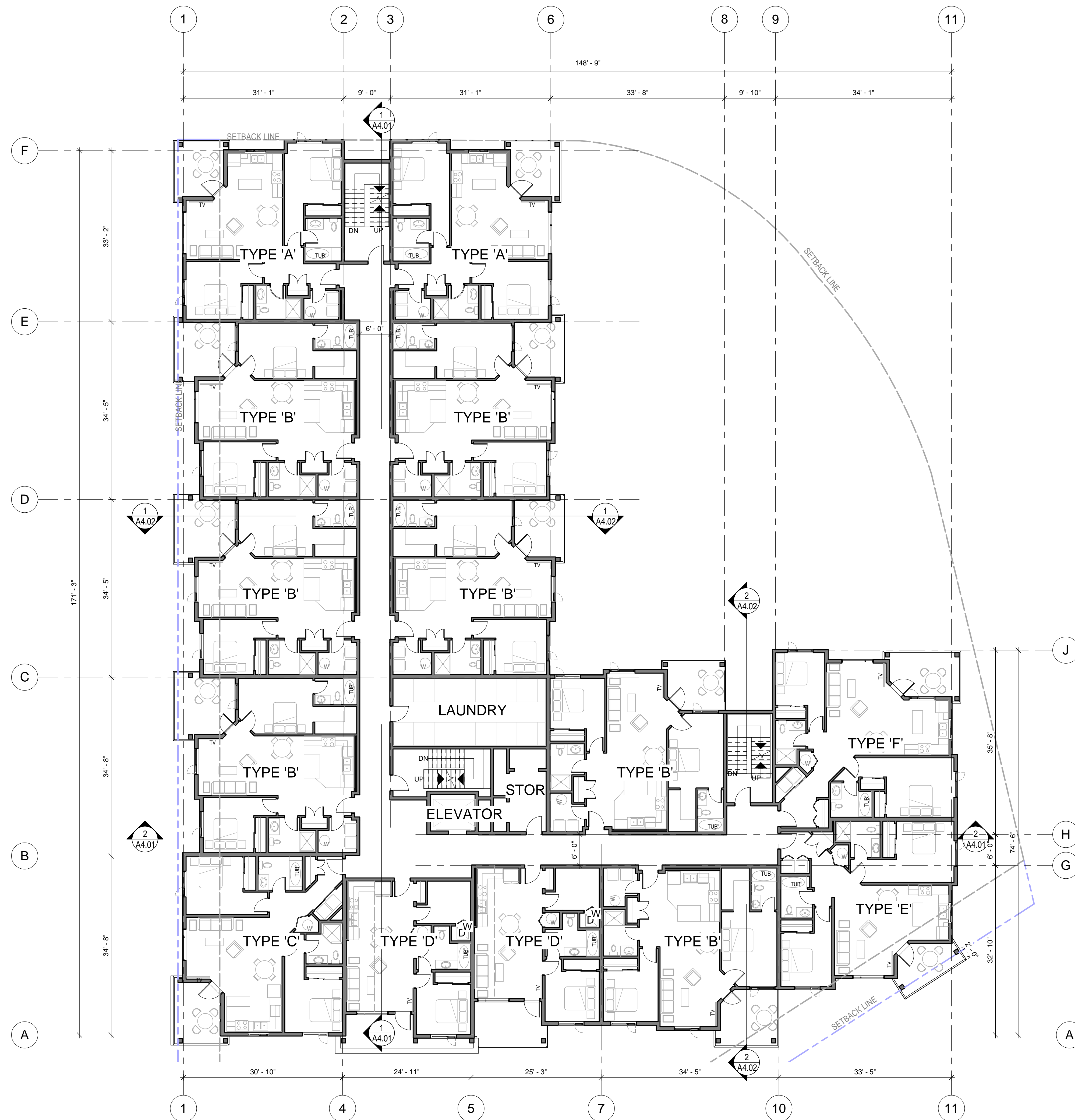




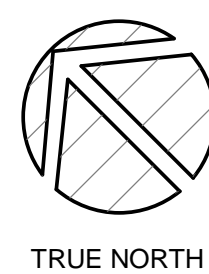




DRAWN BY:	FF	DRAWING NO.	A2.01
DESIGNED BY:	CP		
SCALE:	1" = 10'-0"		
DATE:	23/11/2017 4:24:47 PM	FILE:	



1  
A2.02  
TYPICAL UPPER FLOOR PLANS(2nd TO 4th)  
1" = 10'-0"



Notes:  
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02	NOV 10, 2017	FF	ISSUE FOR REVIEW
03	NOV 23, 2017	FF	ISSUE FOR DEVELOPMENT PERMIT

NO.	DATE	BY	REVISION
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DESIGN CONSULTANT

SEAL

**SCHEDULE A**  
This forms part of application  
# DP17-0262 DVP17-0263  
Planner Initials **LK**  
City of Kelowna  
COMMUNITY PLANNING

gta

GTA ARCHITECTURE LTD.  
243 1889 SPRINGFIELD ROAD  
Kelowna, British Columbia  
V1Y 5V5  
TELEPHONE: (250)979-1668  
www.gtach.ca

DEVELOPED BY:

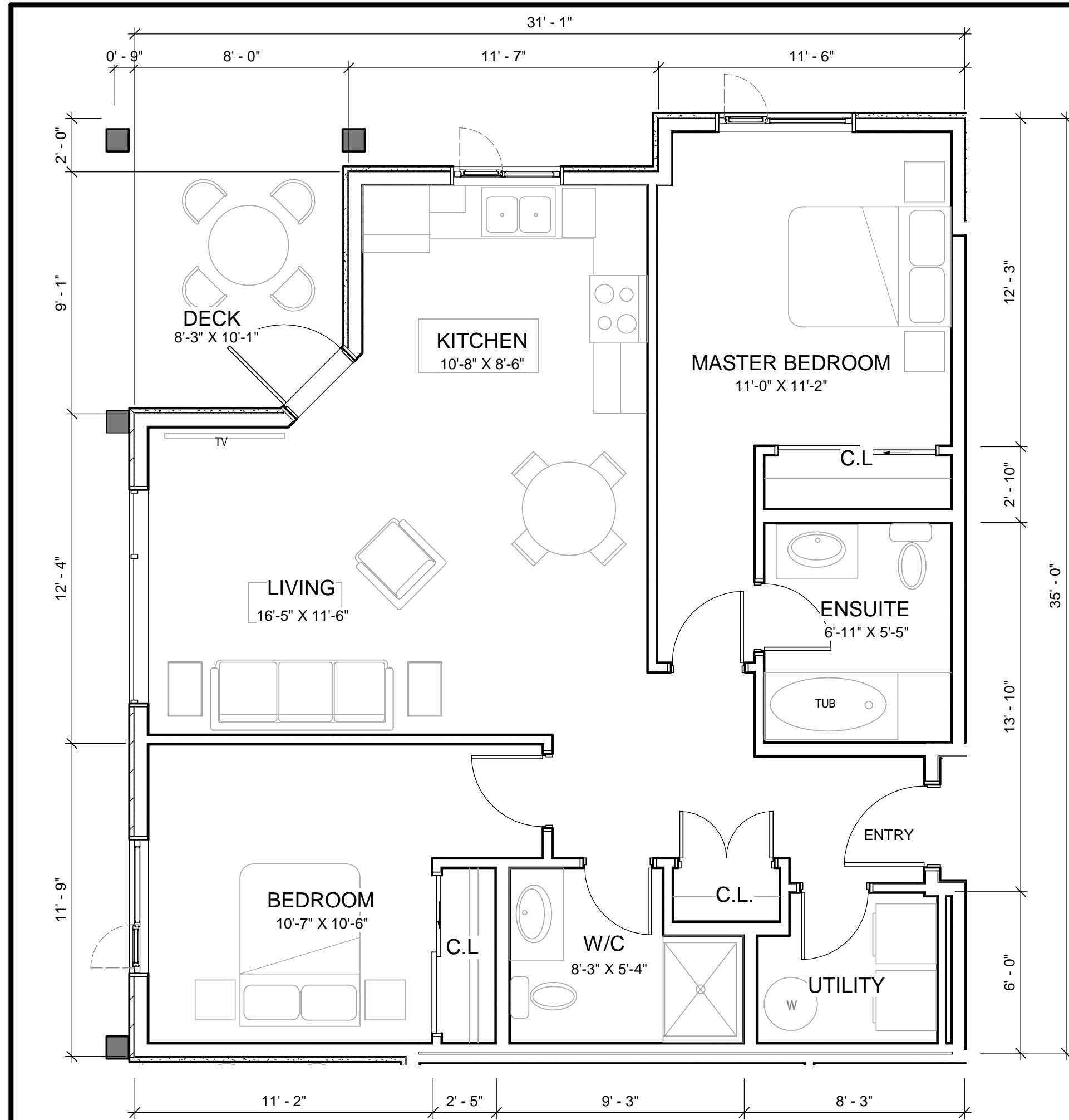
PROJECT  
**WYNDHAM  
CRESCENT**  
129 Wyndham Crescent, Kelowna, BC

SHEET TITLE  
**TYPICAL UPPER  
FLOOR**

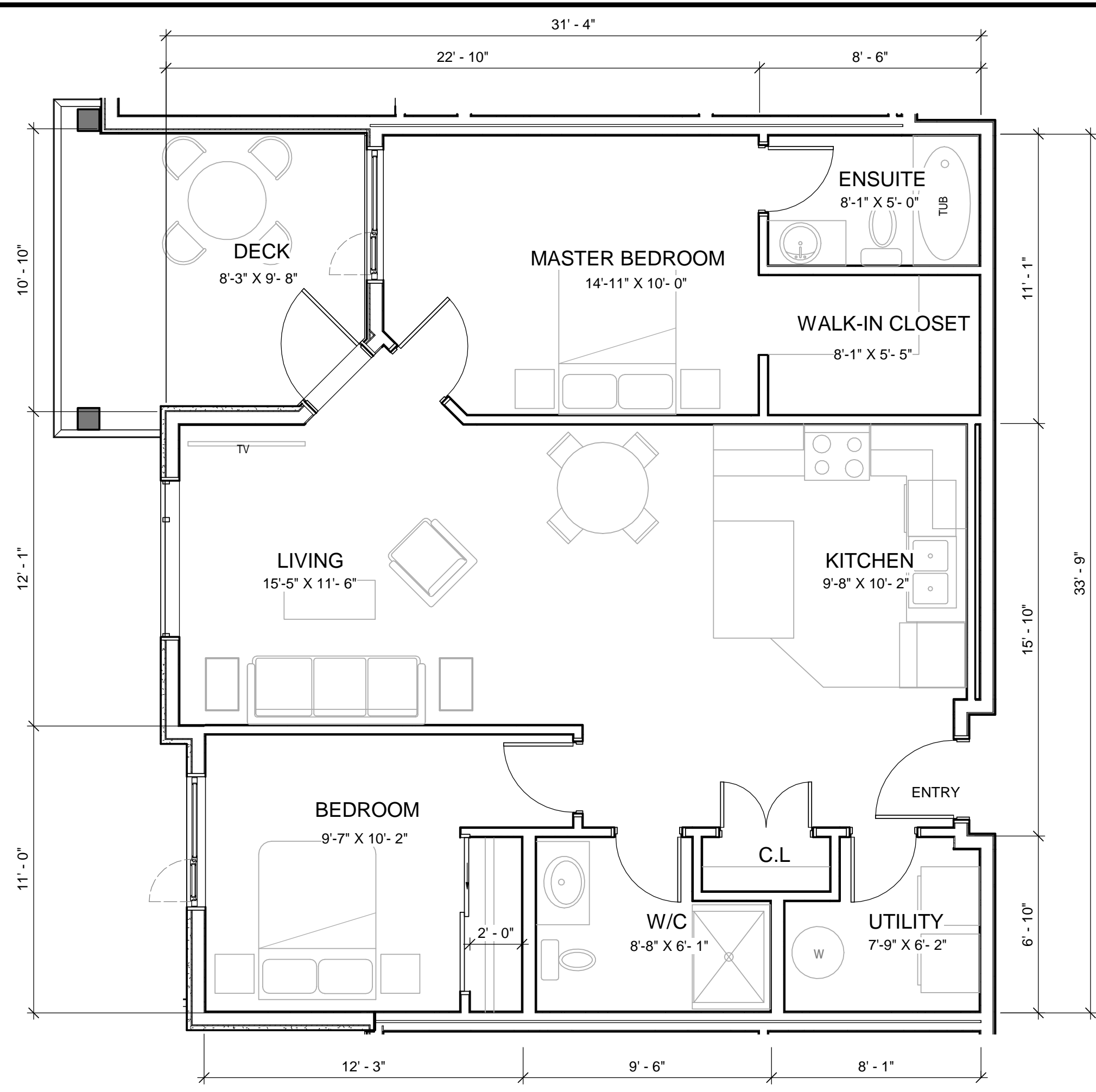
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DESIGNED BY:	CP		<b>A2.02</b>
SCALE:	1" = 10'-0"		
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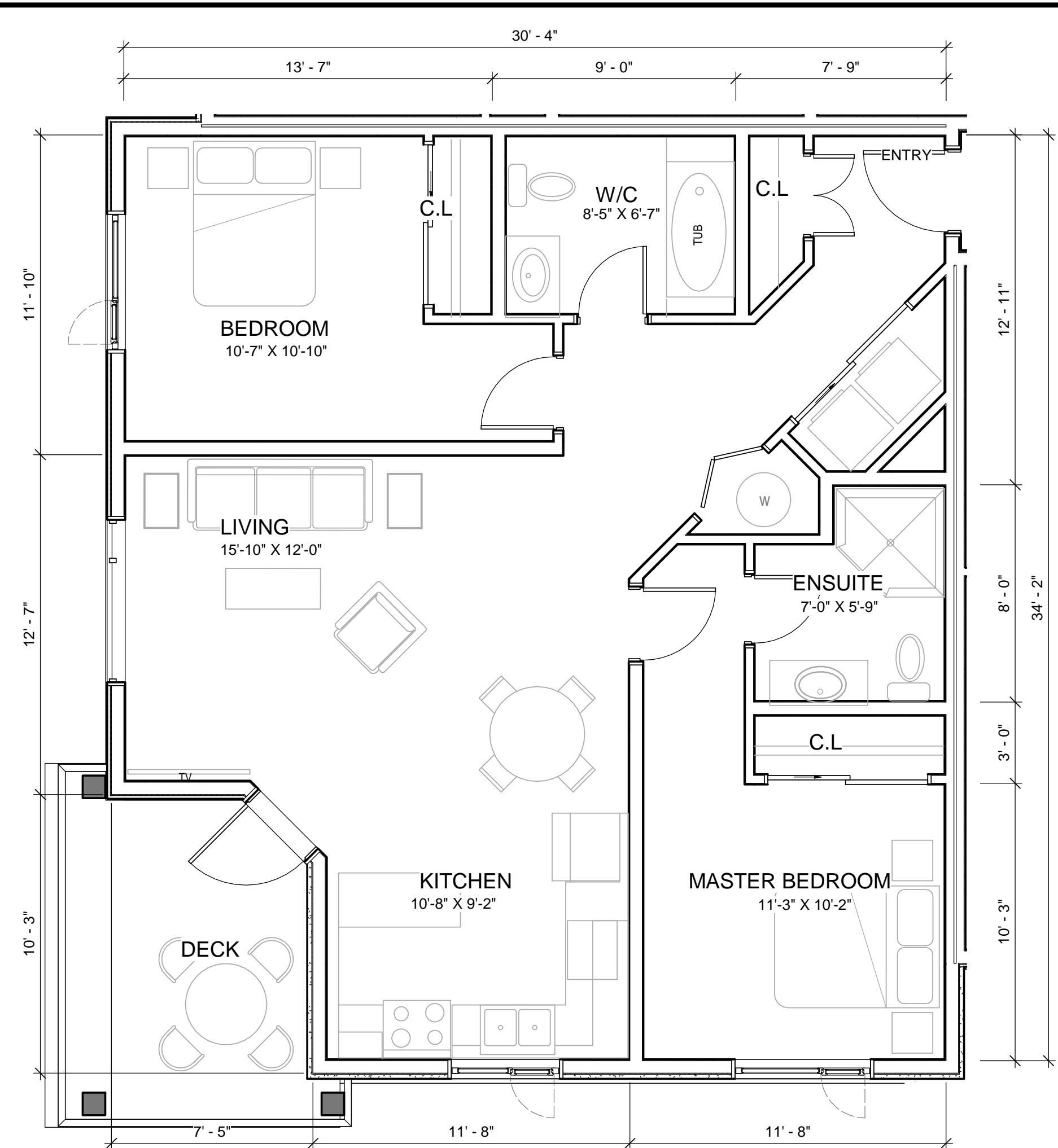




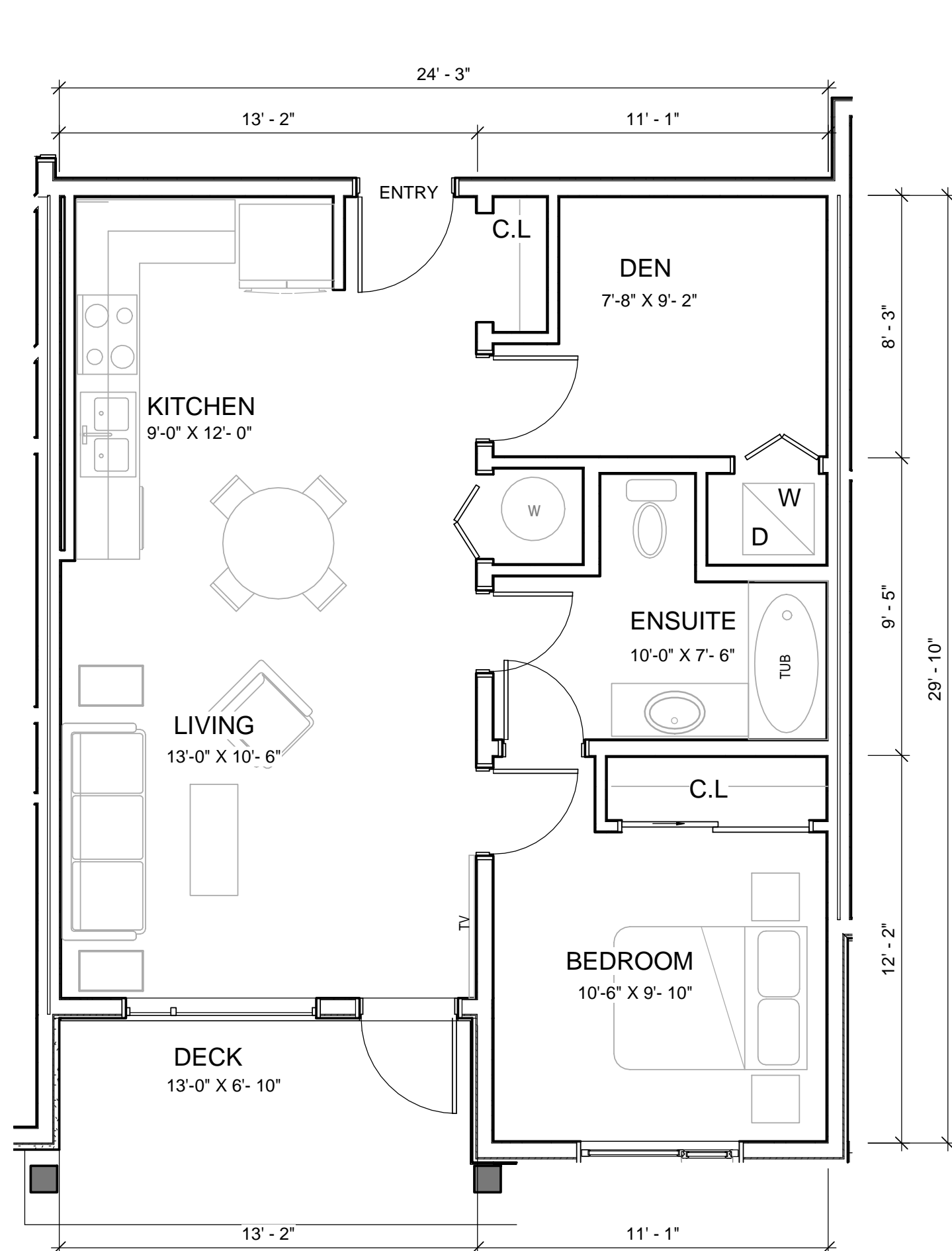
1 TYPE 'A' SUITE PLAN (946ft2)  
1/4" = 1'-0"



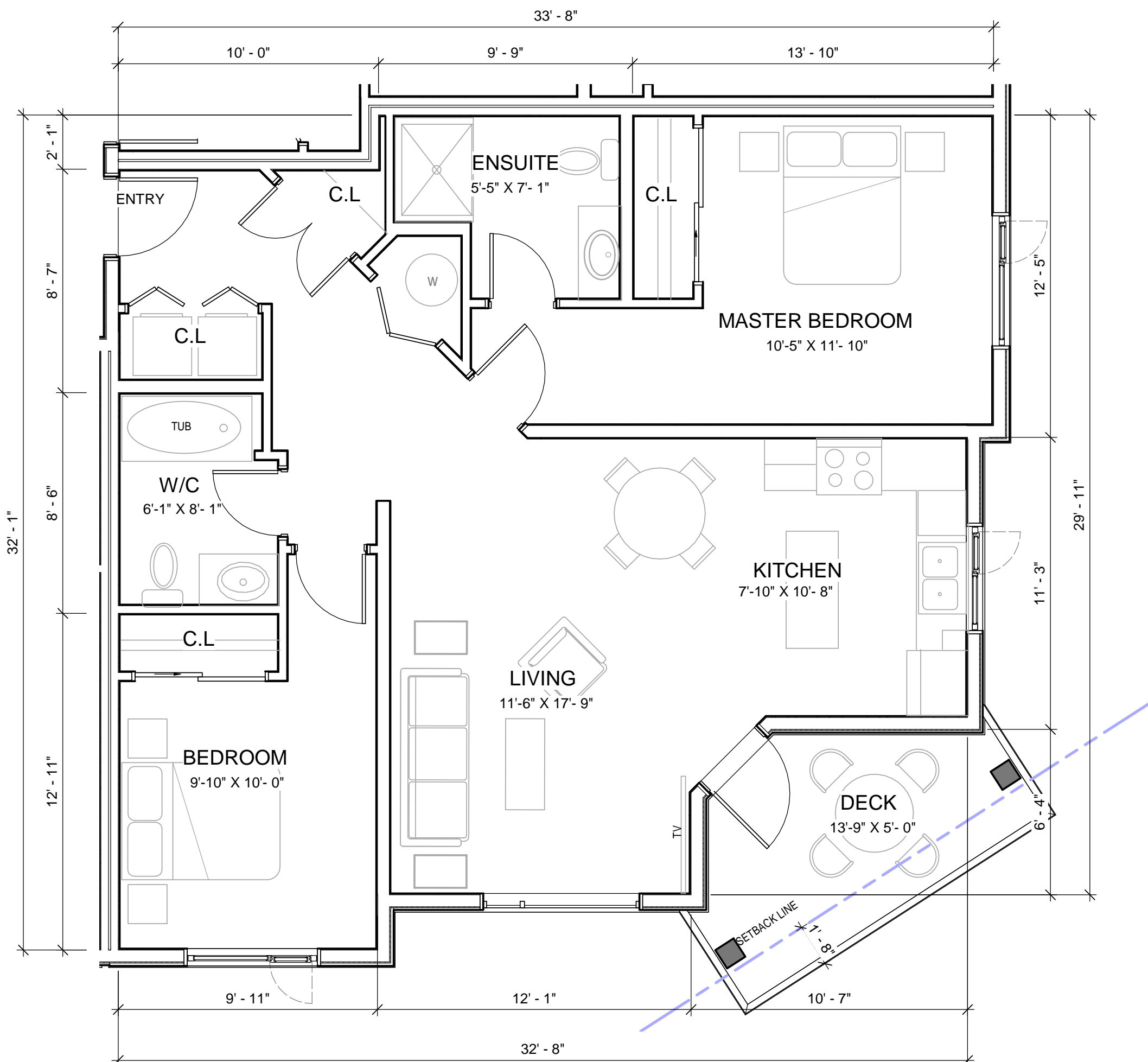
2 TYPE 'B' SUITE PLAN (984 ft2)  
1/4" = 1'-0"



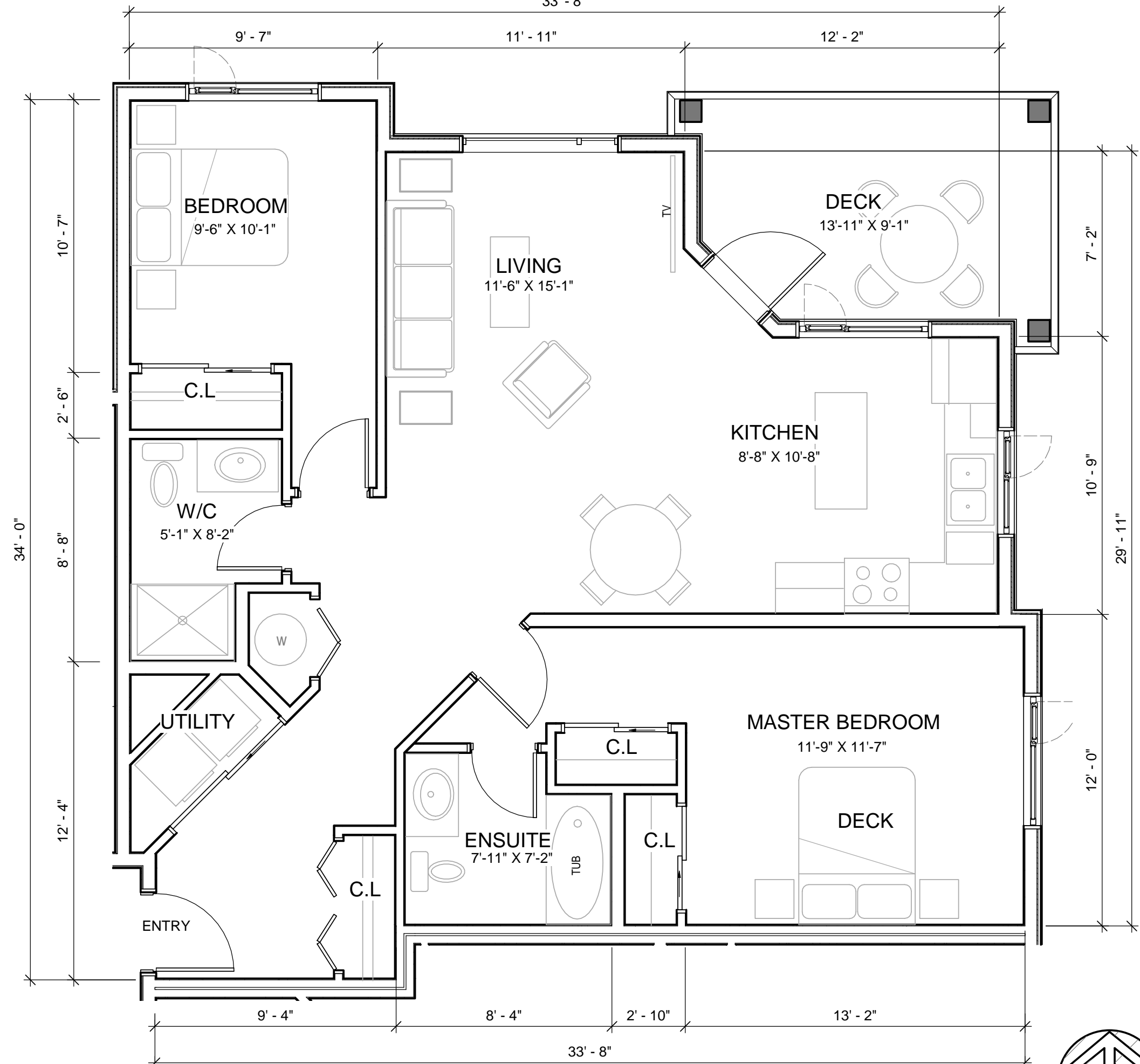
3 TYPE 'C' SUITE PLAN (990 ft2)  
1/4" = 1'-0"



4 TYPE 'D' SUITE PLAN (670 ft2)  
1/4" = 1'-0"



5 TYPE 'E' SUITE PLAN (943 ft2)  
1/4" = 1'-0"



6 TYPE 'F' SUITE PLAN (1000 ft2)  
1/4" = 1'-0"

Notes:  
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**SCHEDULE A**  
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City of Kelowna  
COMMUNITY PLANNING  
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Kelowna, British Columbia  
V1Y 5V5  
TELEPHONE: (250)979-1668  
www.gtarch.ca

DEVELOPED BY:

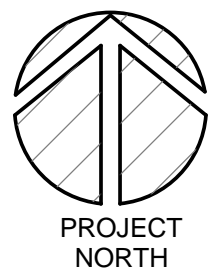
PROJECT

WYNDHAM CRESCENT  
129 Wyndham Crescent, Kelowna, BC

SHEET TITLE

SUITE PLAN

DRAWN BY:	FF	DRAWING NO.	A2.10
DESIGNED BY:	CP,WZ	SCALE:	1/4" = 1'-0"
DATE:	23/11/2017 4:24:50 PM	FILE:	A17-24

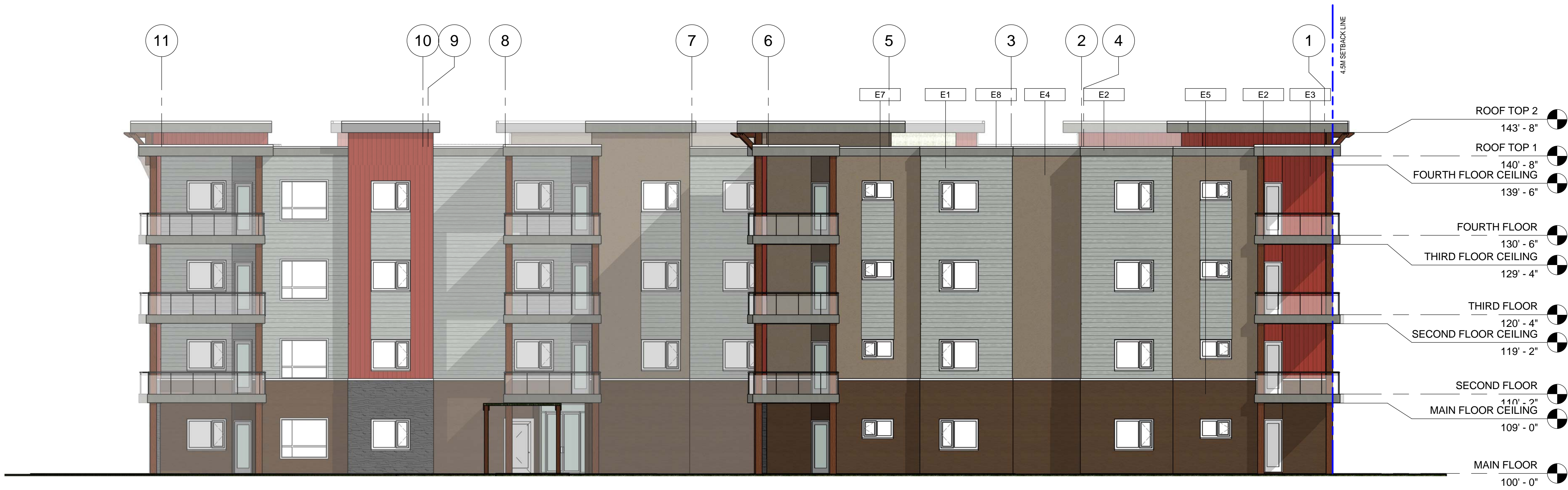






1 EAST ELEVATION  
A3.01  
1/8" = 1'-0"

MATERIAL LEGEND	
MATERIAL CODE	MATERIAL DESCRIPTION
E1	7" LAP SIDING/HardiePlank®/Cobble Stone
E2	HARDIE PLANK/GREY
E3	VERTICAL SIDING/HardiePanel®/RED
E4	STUCCO/LOCAL SUPPLIER/BEIGE
E5	STUCCO/LOCAL SUPPLIER/BROWN
E6	STONE/Cultured Stone/DARK RIDGE
E7	VINYL WINDOW/LUCAL SUPPLIER/WHITE
E8	PREFINISHED METAL FLASHING/SILVER



2 NORTH ELEVATION  
A3.01  
1/8" = 1'-0"

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03	NOV 23, 2017	FF	ISSUE FOR DEVELOPMENT PERMIT

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**SCHEDULE B**  
This forms part of application  
# DP17-0262 DVP17-0263  
City of Kelowna  
Planner Initials LK

gta

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243 1889 SPRINGFIELD ROAD  
Kelowna, British Columbia  
V1Y 5V5  
TELEPHONE: (250) 979-1668  
www.gtarch.ca

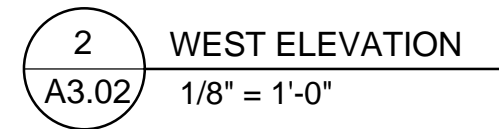
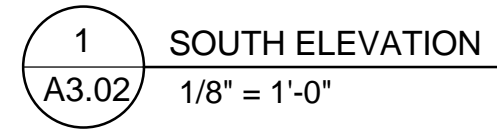
DEVELOPED BY:

PROJECT  
**WYNDHAM  
CRESCENT**  
129 Wyndham Crescent, Kelowna, BC

SHEET TITLE  
**EXTERIOR  
ELEVATIONS**

DRAWN BY:	FF	DRAWING NO.	A3.01
DESIGNED BY:	CP,WZ		
SCALE:	As indicated		
DATE:	23/11/2017 4:25:55 PM	FILE:	A17-24





MATERIAL LEGEND	
MATERIAL CODE	MATERIAL DESCRIPTION
E1	7" LAP SIDING/HardiePanel®/Cobble Stone
E2	HARDIE PLANK/GREY
E3	VERTICAL SIDING/HardiePanel®/RED
E4	STUCCO/LOCAL SUPPLIER/BEIGE
E5	STUCCO/LOCAL SUPPLIER/BROWN
E6	STONE/Cultured Stone/DARK RIDGE
E7	VINYL WINDOW/LOCAL SUPPLIER/WHITE
F8	PREFINISHED METAL FLASHING/SILVER

NOT FOR  
CONSTRUCTION

[illegible]

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## SCHEDULE

This forms part of application

# DP17-0262 DVP17-0263

Planner 

114



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243 1889 SPRINGFIELD ROAD  
Kelowna, British Columbia.  
V1Y 5V5  
TELEPHONE: (250)979-1668  
[www.gtarch.ca](http://www.gtarch.ca)

DEVELOPED BY:

PROJECT

WYNDHAM  
CRESCENT

129 Wyndham Crescent, Kelowna, BC

ET TITLE

## EXTERIOR ELEVATIONS

DRAWN BY:

FF

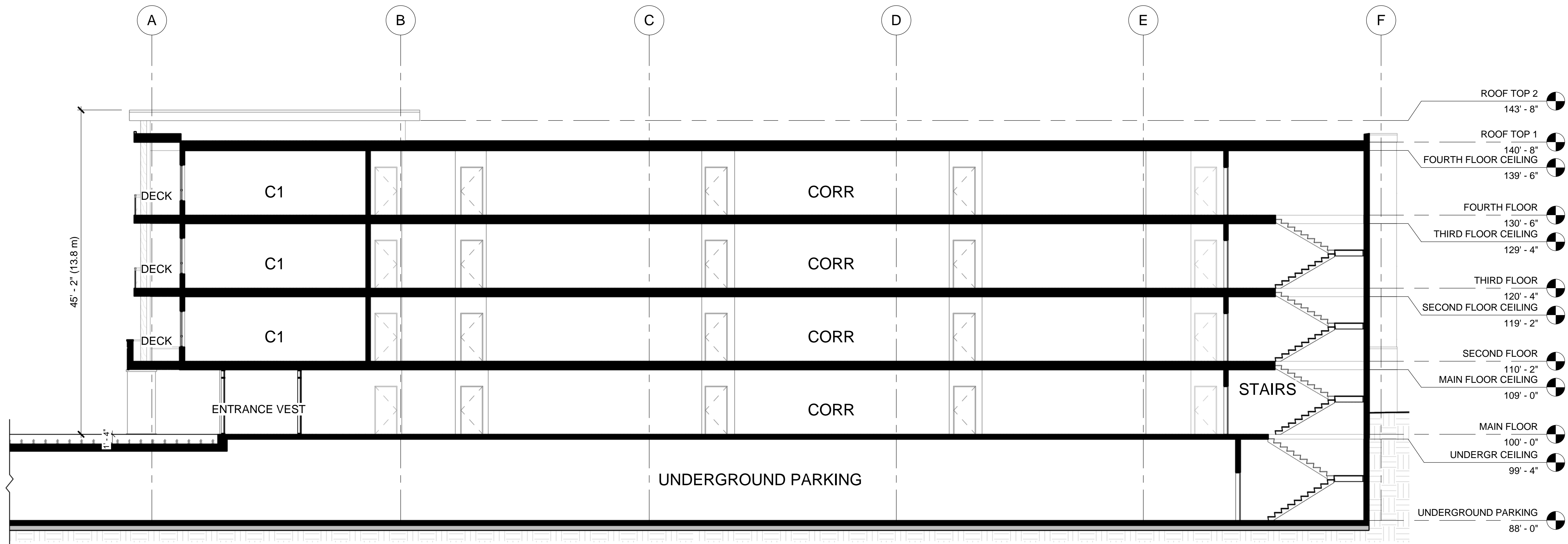
DESIGNED BY: CP,WZ

SCALE: As indicated

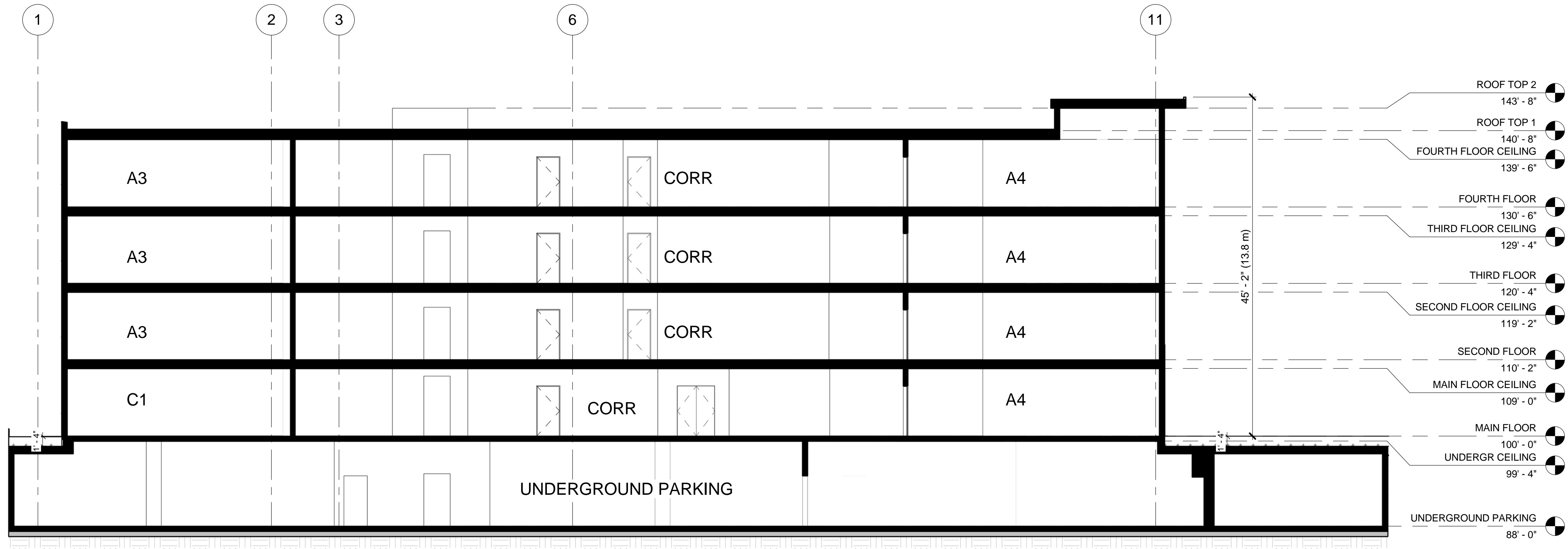
DATE: \_\_\_\_\_

FILE: A17-24





1 BUILDING SECTION AA  
A4.01 1/8" = 1'-0"



2 BUILDING SECTION BB  
A4.01 1/8" = 1'-0"

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Kelowna, British Columbia  
V1Y 5V5  
TELEPHONE: (250)979-1668  
www.gtarch.ca

DEVELOPED BY:

PROJECT

WYNDHAM  
CRESCENT  
129 Wyndham Crescent, Kelowna, BC

SHEET TITLE

BUILDING SECTIONS

DRAWN BY:	FF	DRAWING NO.	
DESIGNED BY:	CP		A4.01
SCALE:	1/8" = 1'-0"		
DATE:	23/11/2017 4:27:15 PM	FILE:	A17-24









- LANDSCAPE DEVELOPMENT DATA:**
1. PLANT MATERIALS AND CONSTRUCTION METHODS SHALL CONFORM TO MINIMUM STANDARDS ESTABLISHED IN THE CANADIAN LANDSCAPE STANDARD (CURRENT EDITION).
  2. THE LANDSCAPE DESIGN DESIGNATED HEREIN IS CONCEPTUAL BUT REFLECTS THE MINIMUM ACCEPTABLE QUALITY AND SIZE.
  3. PLANT MATERIAL SELECTIONS ARE CONCEPTUAL ONLY. FINAL PLANTING SELECTIONS MAY VARY DEPENDING UPON AVAILABILITY.
  4. ALL PLANTING BEDS SHALL HAVE APPROVED MULCH.
  5. ALL LANDSCAPE AREAS TO BE IRRIGATED WITH AN EFFICIENT AUTOMATIC IRRIGATION SYSTEM.
  6. THIS DRAWING DEPICTS FORM AND CHARACTER AND IS TO BE USED FOR DEVELOPMENT PERMIT SUBMISSION ONLY. IT IS NOT INTENDED FOR USE AS A CONSTRUCTION DOCUMENT.

**SITE PLAN LEGEND:**

- EXISTING TREE
- CONIFEROUS TREE
- DECIDUOUS TREE
- PROPERTY LINE
- GRASS / PERENNIAL / SHRUB MULCHED PLANTING BEDS
- HEDGE PLANTING MULCHED PLANTING BEDS
- SOD PLANTING
- COBBLE
- PATIO (BY OTHERS)
- CONCRETE PAVING
- BIKE RACK

**SCHEDULE C**  
This forms part of application  
# DP17-0262 DVP17-0263  
City of Kelowna  
COMMUNITY PLANNING  
Planner Initials LK

REPRESENTATIVE PLANT LIST				
BOTANICAL NAME	COMMON NAME	SIZE	ROOT	Mature Plant Size (Ht x Wd.)
<b>Trees</b>				
<i>Cercidiphyllum japonicum</i>	Katsura Tree	6cm Cal	B&B	12.0m x 6.0m
<i>Acer freemanii</i> 'Autumn Blaze'	Autumn Blaze Maple	6cm Cal	B&B	12.0mx6.0m
<i>Acer ginnala</i> 'Flame'	Flame Amur Maple	2mHgt	B&B	5.0mx5.0m
<i>Acer griseum</i>	Paperbark Maple	4cm Cal	B&B	8.0m x 5.0m
<i>Amelanchier grandiflora</i>	Ballerina Service Berry	#15 Pot	CONT.	4.0m x 4.0m
<i>Ballerina</i>	Bloodgood Japanese Maple	3mHgt	B&B	5.5m x 4.5m
<i>Acer palmatum</i> 'Bloodgood'	Magnolia Butterflies	2mHgt	B&B	7.5m x 5m
<i>Magnolia</i> 'Butterflies'	Scots Pine	2.5-3m	B&B	
<i>Pinus sylvestris</i>				
<b>Shrubs / Grasses</b>				
<i>Taxus cuspidata</i> 'Emerald Spreader'	Emerald Spreader Yew	#02	Potted	0.6m x 2.5m
<i>Juniperus horizontalis</i> 'Plumosa Compacta'	Andorra Juniper	#01	Potted	0.6m x 2.5m
<i>Rhododendron</i> 'Nova Zembla'	Nova Zembla	#05	Potted	1.5m x 1.5m
<i>Thuja occidentalis</i> 'Smaragd'	Rhododendron	2mHgt	B&B	4.5m x 1m
<i>Euonymus alatus</i> 'Compacta'	Emerald Hedge Cedar	#02	Potted	2m x 2.5m
<i>Mahonia repens</i>	Compact Burning Bush	#01	Potted	0.6m x 1m
<i>Miscanthus sinensis</i>	Creeping Oregon Grape	#02	Potted	1.5m x 1.5m
<i>Gracillimus</i>	Gracillimus Maiden Grass	#02	Potted	1.5m x 1.5m
<i>Fothergilla</i> 'Mt Airy'	Mt. Airy Dwarf Fothergilla	#02	Potted	1.2m x 1m
<i>Hammemellis</i> 'Diane'	Diane Witch Hazel	#05	Potted	2.75m x 2.0m
<i>Spiraea nipponica</i> 'Snow Mound'	Snow Mound Spiraea	#02	Potted	1.5m x 1.5m
<i>Pennisetum alopecuroides</i> 'Little Bunny'	Little Bunny Fountain Grass	#01	Potted	0.6m x 0.6m
<b>Perennials</b>				
<i>Ajuga</i> 'Caitlyn's Giant'	Caitlyn's Giant Carpet Bugle	4" Pot	Potted	0.1m x 0.3m
<i>Anemone japonica</i> 'Honore Jobert'	Honore Jobert Japanese Anemone	#01	Potted	0.8 m x 0.5 m
<i>Iris setosa</i>	Dwarf Arctic Iris	#01	Potted	0.4m x 0.5
<i>Iris sibirica</i> 'Caesar's Brother'	Caesar's Brother Siberian Iris	#01	Potted	1.0m x 0.6m
<i>Bergenia cordifolia</i> 'Winter Glow'	Winterglow Heart Leaf Bergenia	#01	Potted	0.2 m x 0.4 m
<i>Heuchera micrantha</i> 'Palace Purple'	Palace Purple Coral Bells	#01	Potted	0.3m x 0.3m
<i>Hosta seiboldiana</i> 'Frances Williams'	Frances Williams Hosta	#01	Potted	0.45m x x 0.6m
<i>Vinca minor</i>	Perriwinkle	4" Pot	Potted	0.2m x 0.45m
<i>Rudbeckia fulgida</i> var. 'sullivantii	Little Goldstar Coneflower	#01	Potted	0.5m x 0.5m
<i>Polystichum munitum</i>	Western Sword Fern	#01	Potted	0.45 x 0.6
<i>Narcissus</i> 'Thalia'	Thalia Daffodil	Bulb		

**REPRESENTATIVE IMAGES**



REVISIONS / ISSUED	
NO.	DATE
1	NOV 24/17
ISSUED FOR DP	
DESCRIPTION	

PROJECT  
**129 WYNDHAM CRESCENT CONDO**

CLIENT  
**GTA ARCHITECTURE LTD.**

LOCATION  
KELOWNA, B.C.

**WSP**

540 Leon Avenue, Kelowna, BC V1Y6J6  
t. 250.869.1334, f. 250.862.4849, www.wsp.com

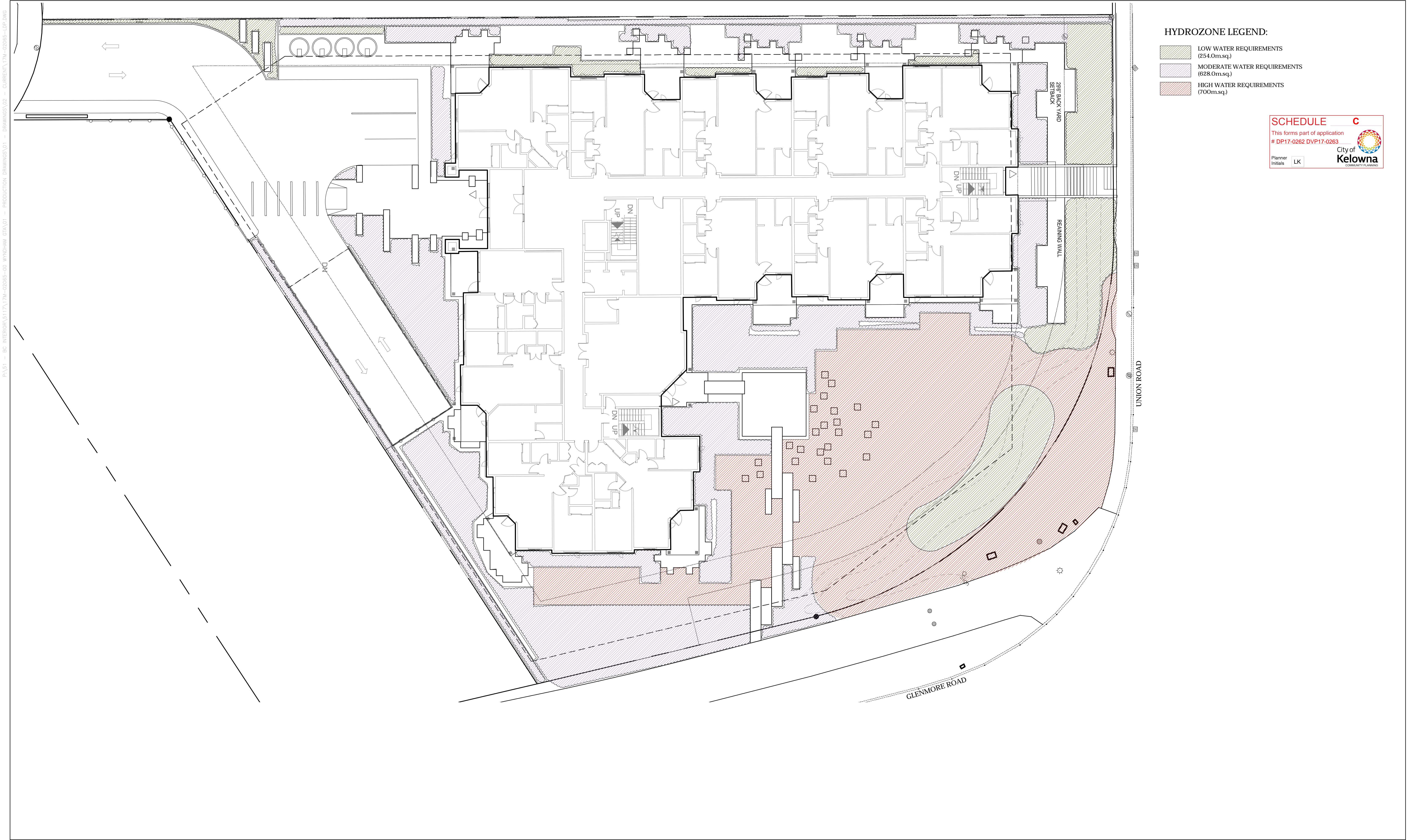
DESIGN BY	AS
DRAWN BY	YY
CHECKED BY	RF
PROJECT NO.	17M-02065
SCALE	1:150

SHEET TITLE  
**SITE PLAN**

SHEET NO.  
**LDP-1**

1 OF 2





**HYDROZONE LEGEND:**

- LOW WATER REQUIREMENTS  
(254.0m.sq)
- MODERATE WATER REQUIREMENTS  
(628.0m.sq)
- HIGH WATER REQUIREMENTS  
(700m.sq)

**SCHEDULE C**

This forms part of application  
# DP17-0262 DVP17-0263

Planner Initials LK

City of Kelowna  
COMMUNITY PLANNING